

Existing Front Facade– Main House

Location of second floor addition



Existing Rear Facade— Main House



Location of second floor addition

Location of first floor addition



Existing Side Elevation– Main House



Location of second floor addition

Existing Side Elevation- Main House

Location of second floor addition



Existing Front Facade Elevation- ADU



Location of first & second floor addition



Location of second floor addition

Existing Rear Facade Elevation- ADU



Location of first & second floor addition

Existing Side Elevation- ADU



Location of second floor addition

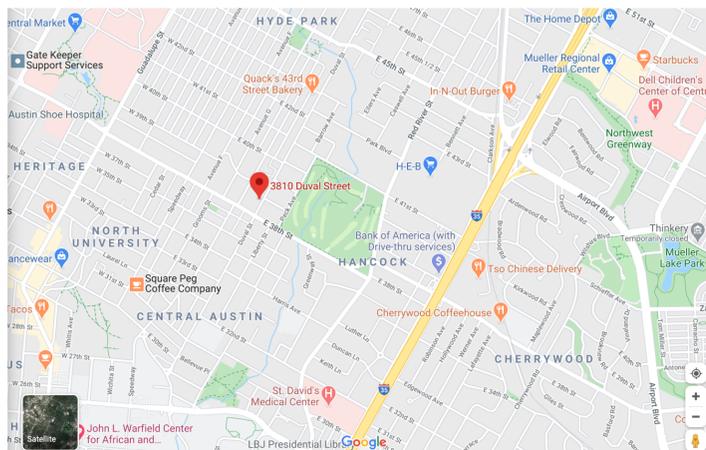
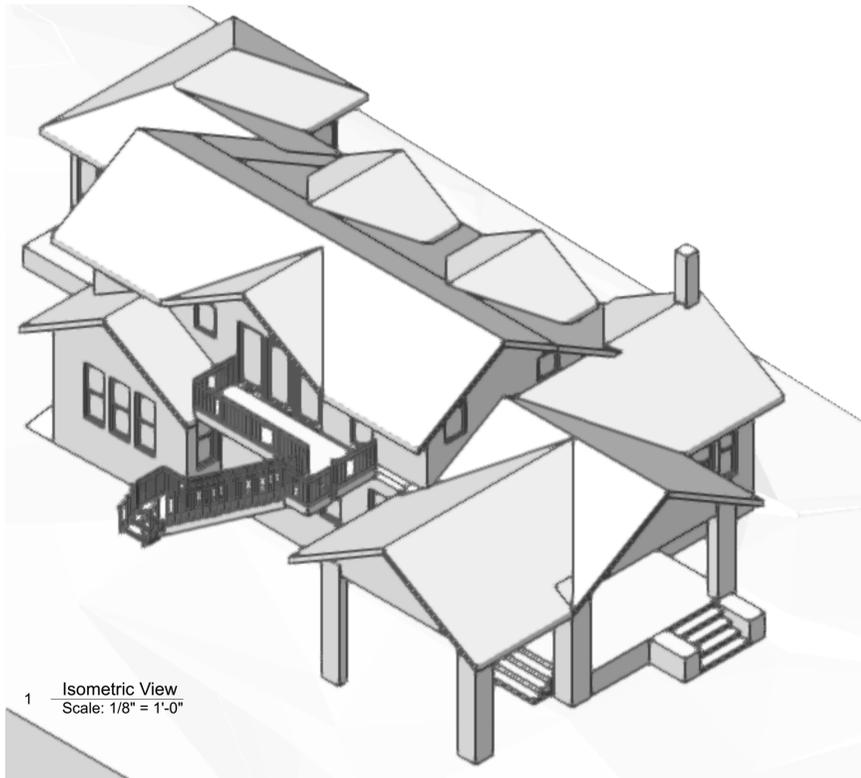
Existing Side Elevation- ADU

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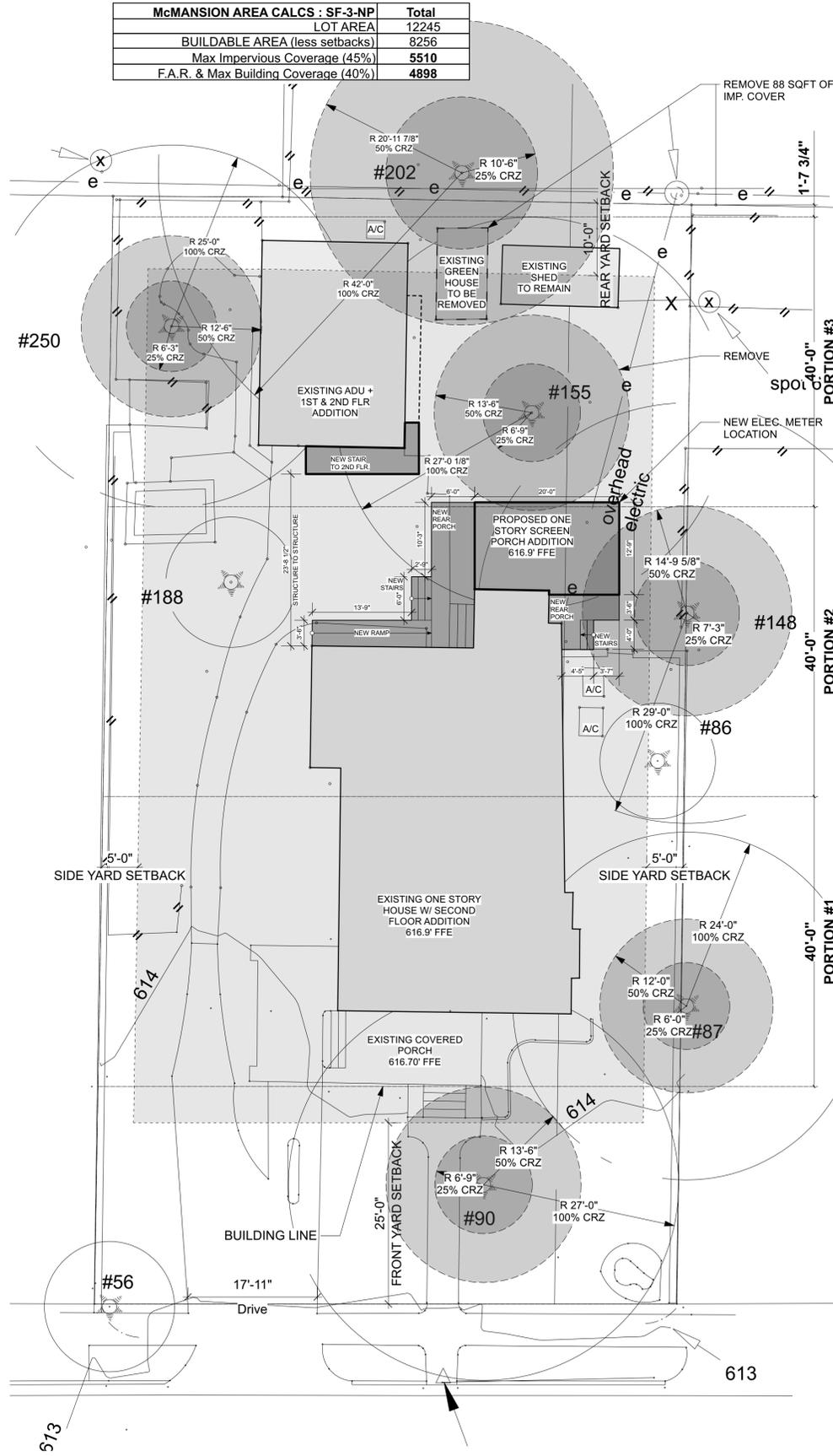
MAIN HOUSE: FIRST FLOOR SCREEN PORCH ADDITION + SECOND FLOOR ADDTION & REMODEL
 GUEST HOUSE: FIRST FLOOR ADDITION + SECOND FLOOR ADDTION

Planning & Zoning
 Right click hyperlinks to open in a new window.
 Future Land Use (FLUM): **No Future Land Use Map**
 Regulating Plan: **No Regulating Plan**
 Zoning: **SF-3-HD-NCCD-NP**
 Zoning Cases: C14-01-0046, C14-01-0046.01, C14H-2010-0019
 Zoning Ordinances: 020131-20, Local Historic District: 20101216-093, 20120112-086
 Zoning Overlays: **Neighborhood Conservation Combining District: HYDE PARK**, Residential Design Standards: LDC/25-2-Subchapter F, Selected Sign Ordinances
 Neighborhood Plan: **HYDE PARK**
 Infill Options: -
 Neighborhood Restricted Parking Areas: **Central Austin Neighborhoods Planning Area Committee, Hyde Park Neighborhood Assn.**
 Mobile Food Vendors: -
 Historic Landmark: -
 Urban Roadways: **Yes**

Environmental
 Fully Developed Floodplain: **No**
 FEMA Floodplain: **No**
 Austin Watershed Regulation Areas: **URBAN**
 Watershed Boundaries: **Waller Creek**
 Creek Buffers: **No**
 Edwards Aquifer Recharge Zone: **No**
 Edwards Aquifer Recharge Verification Zone: **No**
 Erosion Hazard Zone Review Buffer: **No**



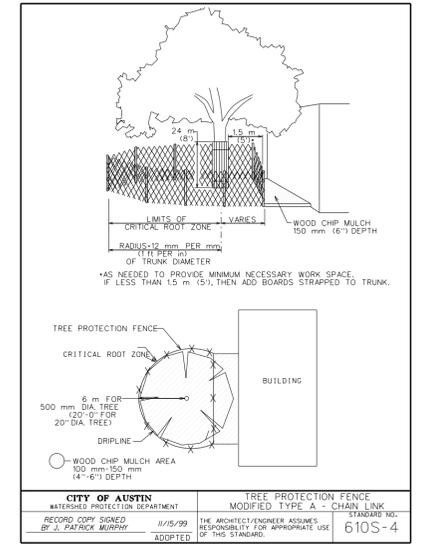
McMANSION AREA CALCS : SF-3-NP		Total
LOT AREA		12245
BUILDABLE AREA (less setbacks)		8256
Max Impervious Coverage (45%)		5510
F.A.R. & Max Building Coverage (40%)		4898



INDEX OF SHEETS: (*) INCLUDED IN PERMIT FILING SET
 A0.1 COVER ARCHITECTURAL SITE PLAN
 A1.0 DEMOLITION PLANS - MAIN HOUSE
 A1.1 PROPOSED MAIN HOUSE FLOOR PLANS
 A2.0 EXTERIOR ELEVATIONS
 A3.0 ADU DETAILS

CONSTRUCTION TO MEET 2015 IRC CODE STANDARDS AND ALL LOCAL AMENDMENTS

Tag #	Description	Comments
56	9" REDBUD	Preserve
86	8" SPANISH OAK	Preserve
87	24" PECAN	Preserve (P)(H)
90	27" MESQUITE	Preserve (P)(H)
148	29" PECAN	Preserve (P)(H)
155	27" MESQUITE	REMOVE
188	9" SPANISH OAK	Preserve
202	42" PECAN	Preserve (P)(H)
250	25" PECAN	Preserve
(M)		Multi-Stem
(P)		Protected
(H)		Heritage



GENERAL NOTES:
 Fencing is required to be chain-link mesh at a minimum height of five feet. When the tree protection fencing cannot incorporate the entire 1/2 Critical Root Zone, an eight inch layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the Critical Root Zone.

Foot traffic is considered a root zone disturbance. COA requires 2x4 or greater size planks (6' tall minimum) to be strapped securely around protected trees trunks and root flares when protective fencing does not incorporate the entire 1/2 CRZ for any reason at any time in the project.

The following may not be placed within 1/2 Critical Root Zones:

- Dumpster
- Spoils placement

Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will have to be air spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5"+ in diameter and the paid receipt for the work will be required by the Final Tree Inspector.

No foundation formwork, stakes or batter boards are allowed within or at the edge of the 1/2 CRZ of protected trees - Please refer to TOR Detail #2. No over excavation or compaction outside of the form edge.

Foundation Concrete Pour:
 Either:
 Concrete line pump: Wrap connections of concrete line pump with plastic to prevent concrete slurry from leaching into ground and near roots of trees.
 Or:
 Concrete truck: If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

Tree Pruning:
 If any pruning of protected tree canopies expected for access, new structures or the health of the protected tree(s) a Certified Arborist must perform the pruning and pruning can only happen once during the project duration. This should typically happen prior to construction to avoid damage to the trees during construction, especially with new two story builds. If pruning is expected, have a Certified Arborist assess the pruning needs for the project and provide a written assessment with the Update submittals of the estimated percentage of canopy that the pruning is proposed to remove - this cannot exceed 25% per protected tree. A "paid in full" receipt for the work will be required from this Certified Arborist to the Final Tree Inspector. If 25% or more of the canopy is desired to be removed (for any protected tree), a Certified Arborist must provide a written report to us before performing this work in order for us to consider the permit required to do so.

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 architecture +
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BUILDER:
 Paul Carapetian

STRUCTURAL ENGINEER:

SURVEYOR:
 Waterloo Surveyors
 Thomas Dixon

LEGAL DESCRIPTION:
 N63.38FT OF LOT 59 & S16.64FT OF LOT 60 SHADOW LAWN

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 MEASURES AT 1/2 SCALE SHOWN

ISSUE DATE SET
 8/26/2021 CoA Issue #1

A0.1
 Architectural Site Plan
 PRINTED 8/27/21



8/27/21

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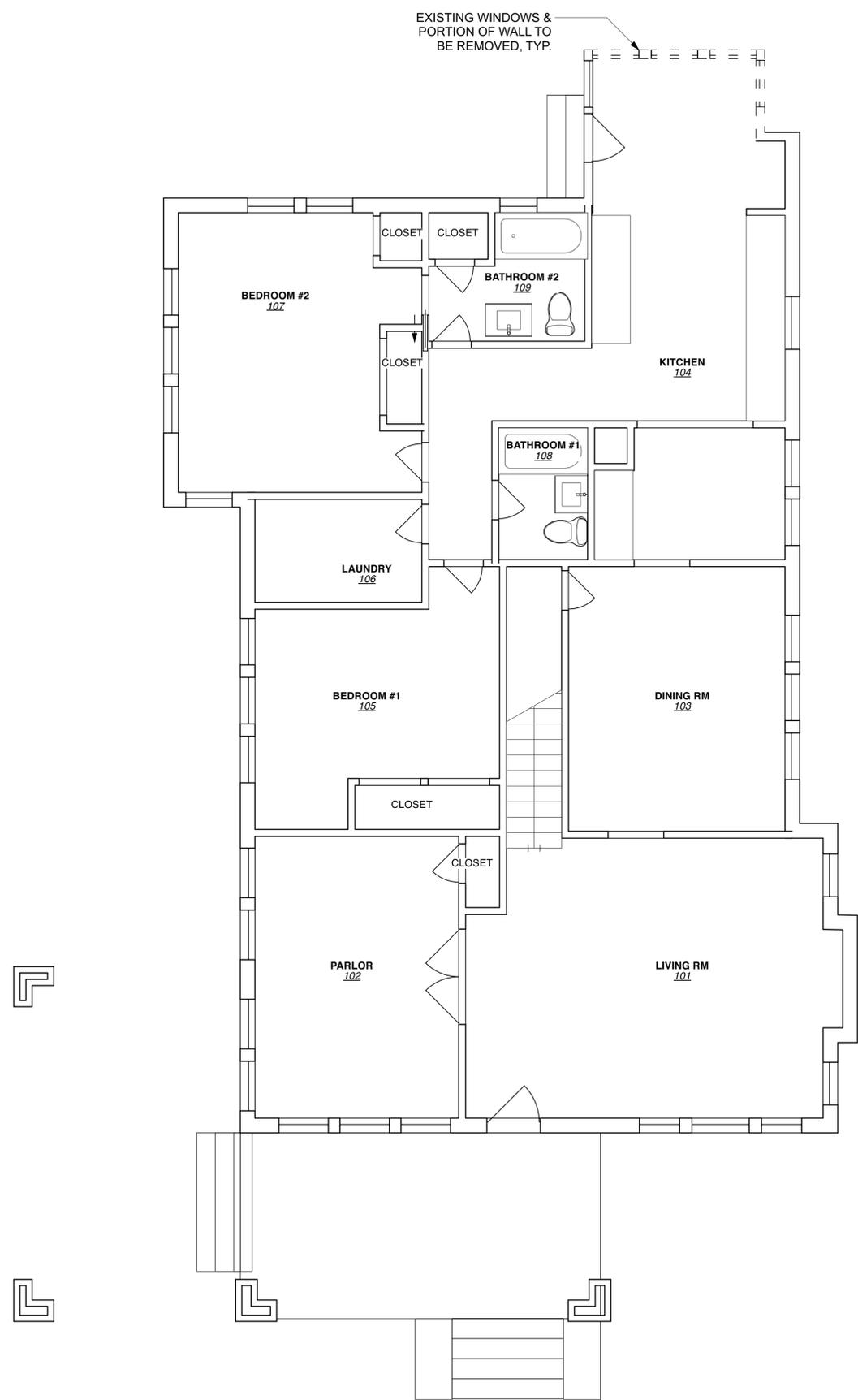
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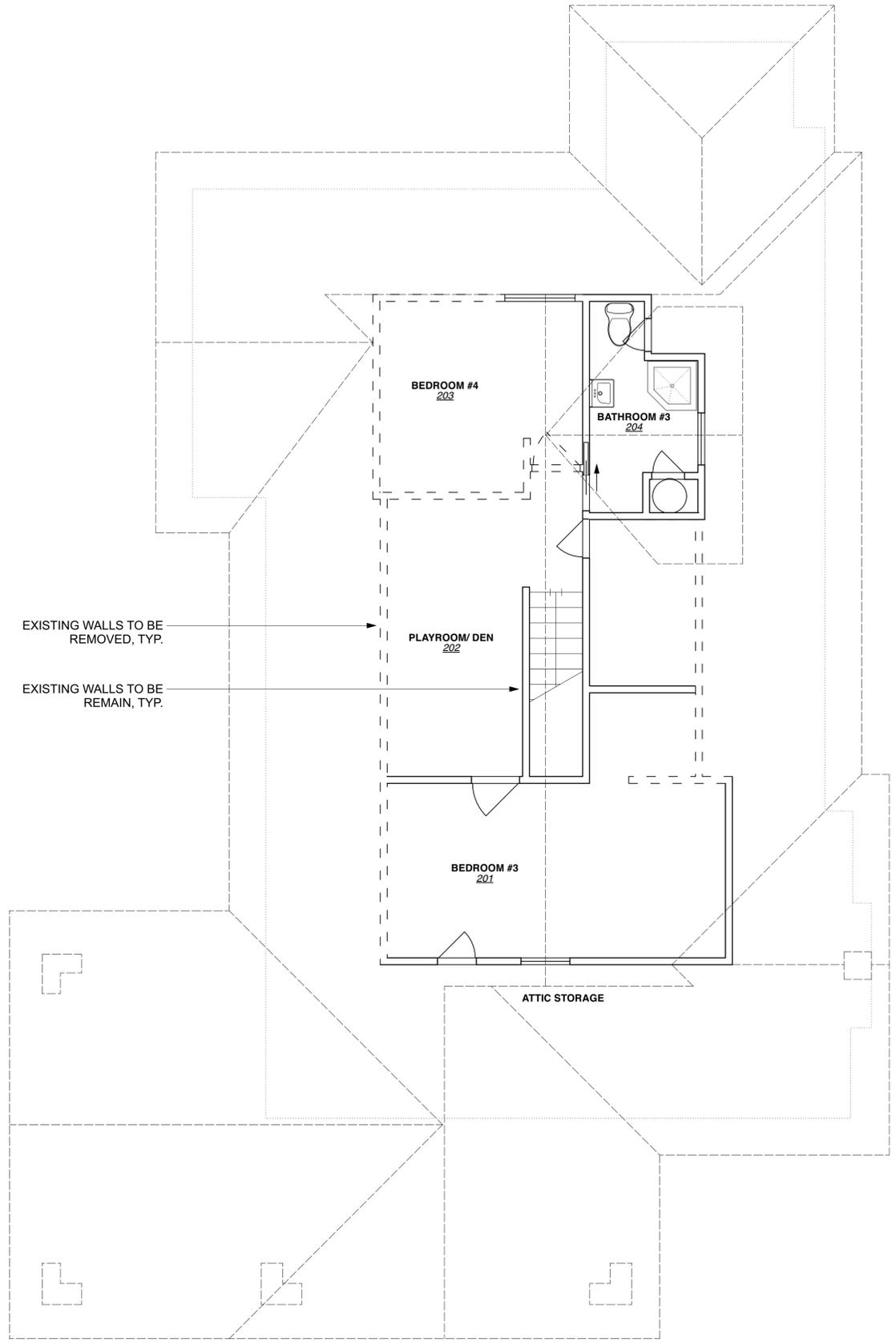
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A1.0
Demolition Plans-
Main House

PRINTED 8/27/21



1 Existing First Floor + Demo Plan
Scale: 1/4" = 1'-0"



2 Existing Attic + Demo Plan
Scale: 1/4" = 1'-0"



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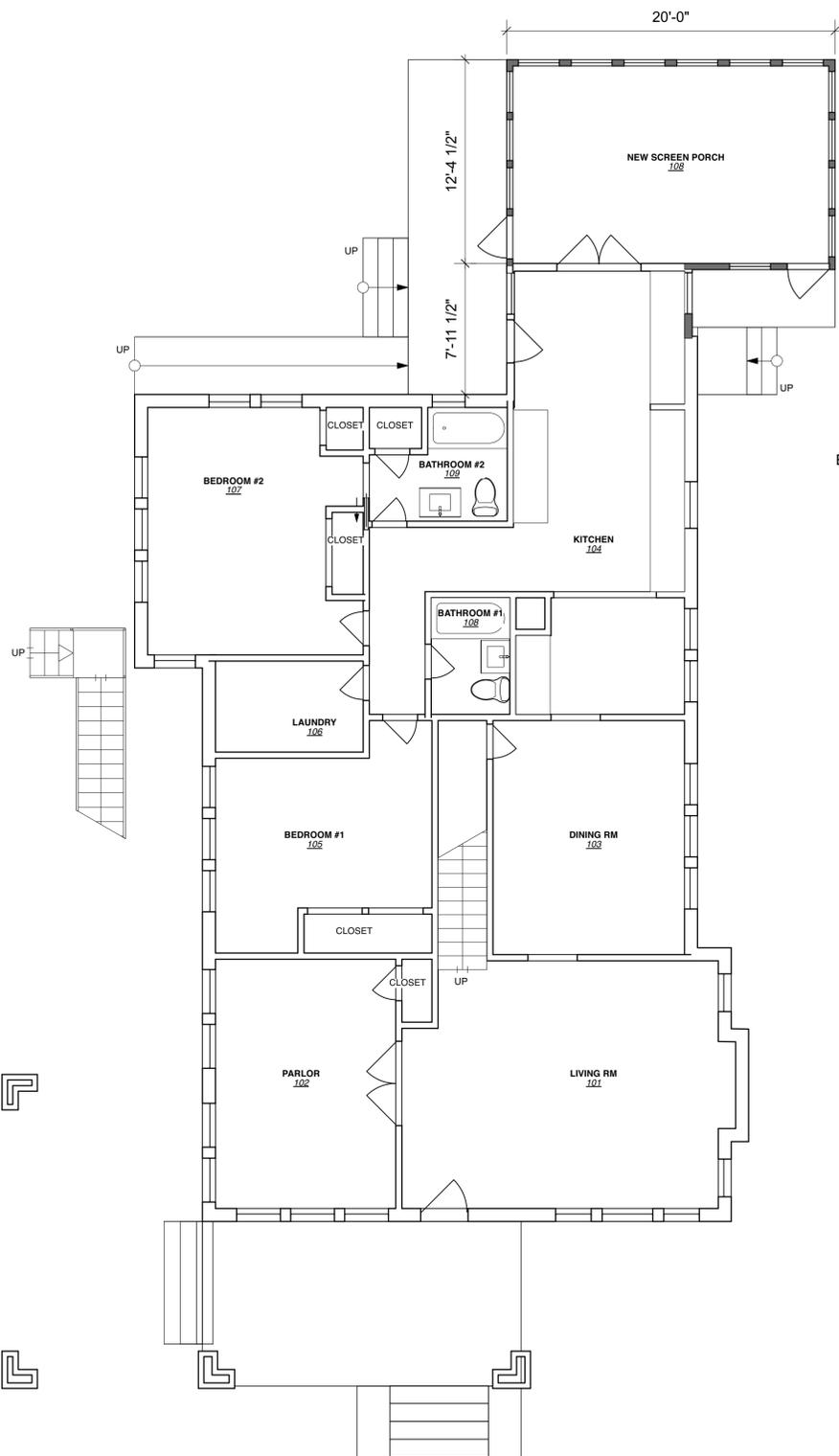
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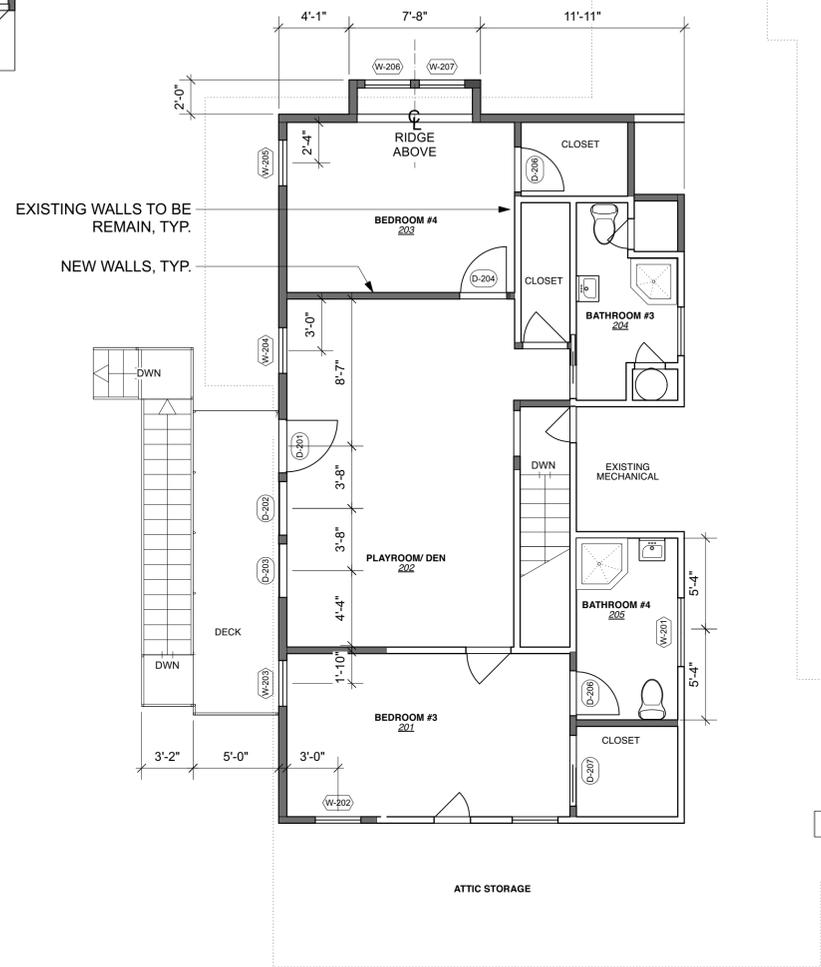
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A1.1
Proposed Plans-
Main House

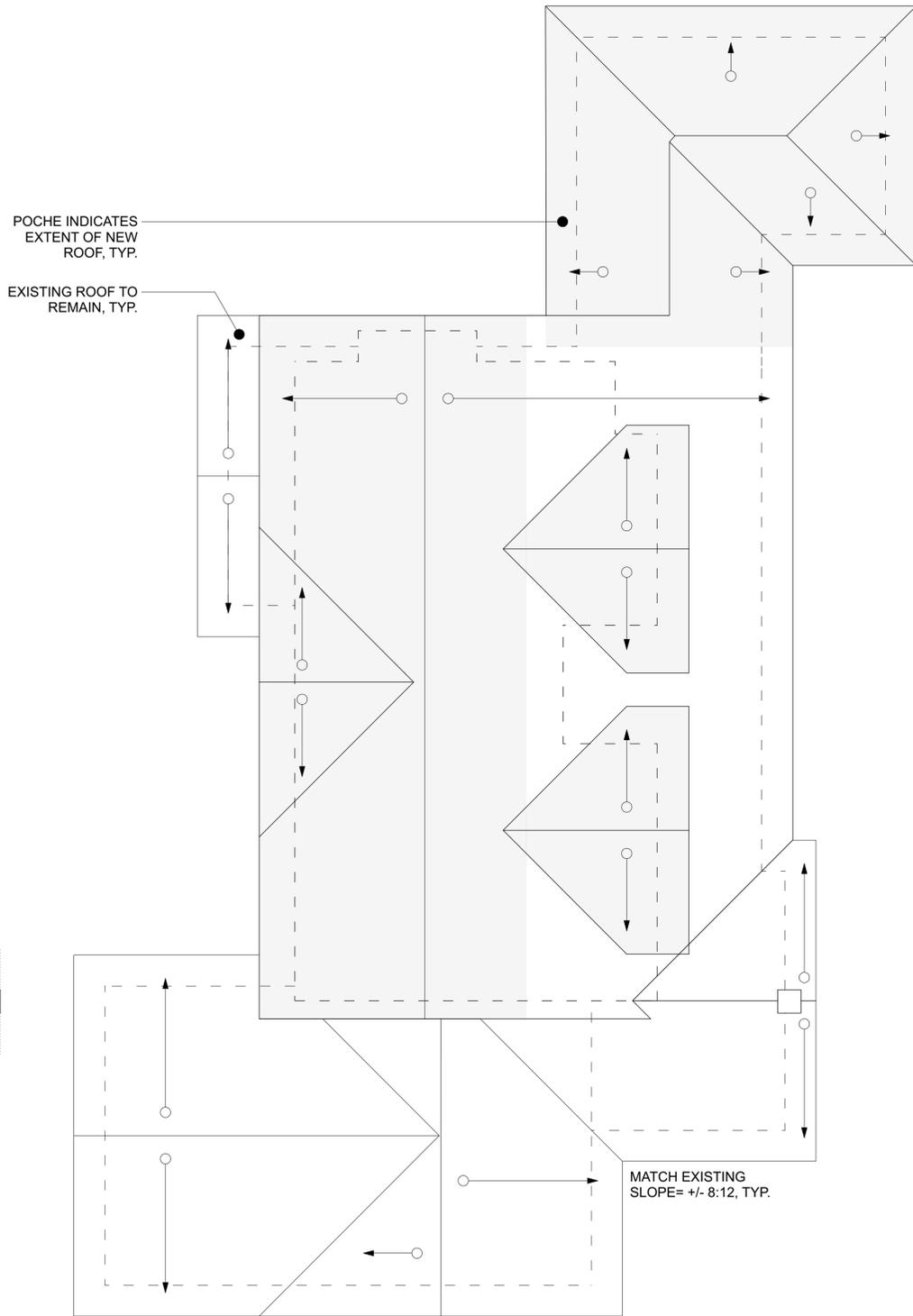
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1 Proposed First Floor Plan
Scale: 3/16" = 1'-0"



2 Proposed Second Floor Plan
Scale: 3/16" = 1'-0"



3 Proposed Roof Plan
Scale: 3/16" = 1'-0"

Door Schedule									
Mark	Nominal Size			Dopr Style	Door Frame			Comments	
	Width	Height	Thickness		Slab Style	Jamb Thick	Jamb Depth		
D. 201	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D. 202	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D. 203	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D. 204	2'8"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D. 206	2'6"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D. 206	2'6"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D. 207	4'0"	6'8"	1 3/4"	Slider	XO	Solid	3/4"	4 1/2"	

Window Schedule					
Mark	Nominal Size		Window Style	Window Data	
	O.A. Width	O.A. Height		Configuration	Head Height
W. 201	4'0"	4'0"	B-partina Casement	N/A	7'5"
W. 202	2'8"	3'4"	Casement	N/A	6'8"
W. 203	2'8"	6'0"	Casement	N/A	6'8" EGRESS
W. 204	2'8"	3'4"	Casement	N/A	6'8"
W. 205	2'8"	3'4"	Casement	N/A	6'8"
W. 206	2'8"	4'6"	Double Hung	N/A	6'8" EGRESS
W. 207	2'8"	4'6"	Double Hung	N/A	6'8" EGRESS



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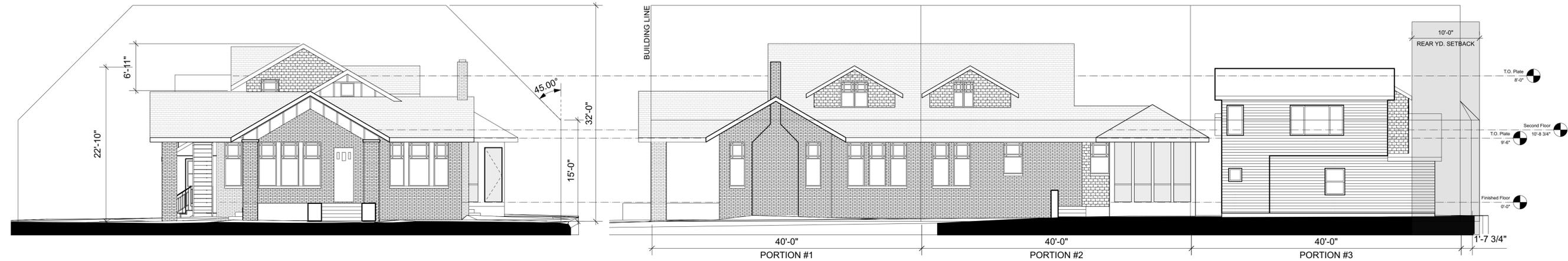
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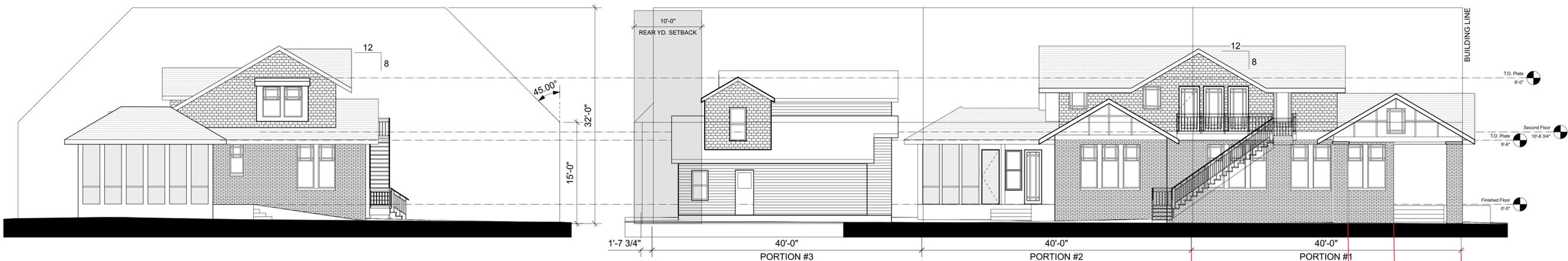
Exterior Elevations

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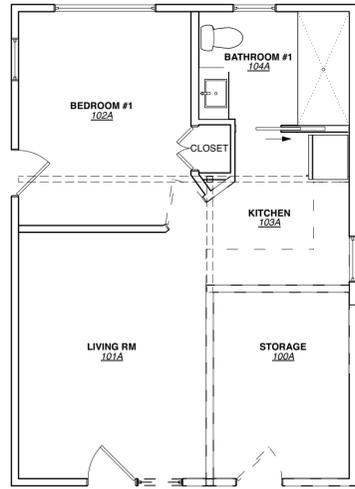
1 East Elevation
Scale: 1/8" = 1'-0"

2 North Elevation
Scale: 1/8" = 1'-0"

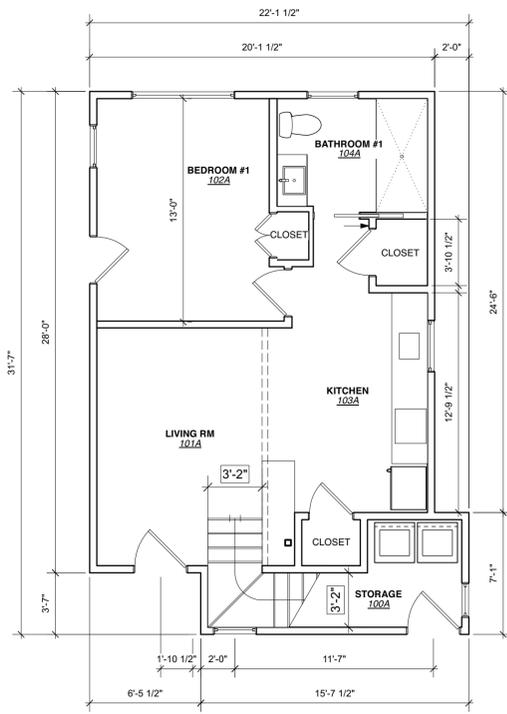


3 West Elevation
Scale: 1/8" = 1'-0"

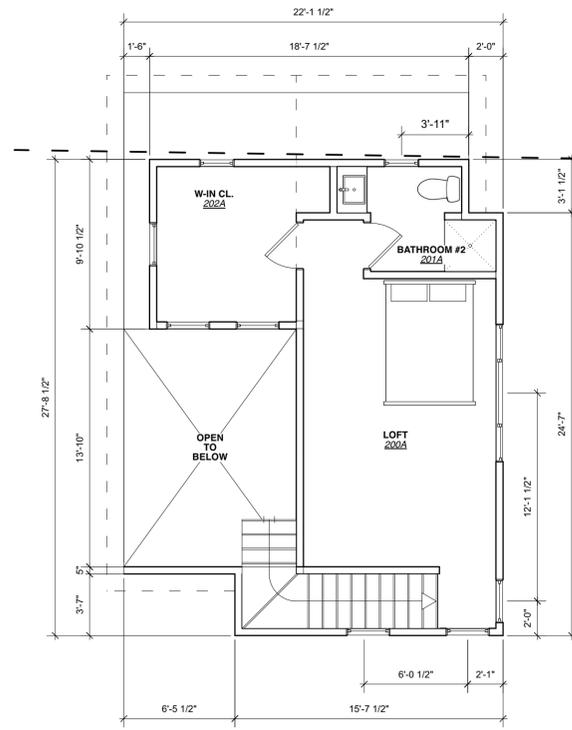
4 South Elevation
Scale: 1/8" = 1'-0"



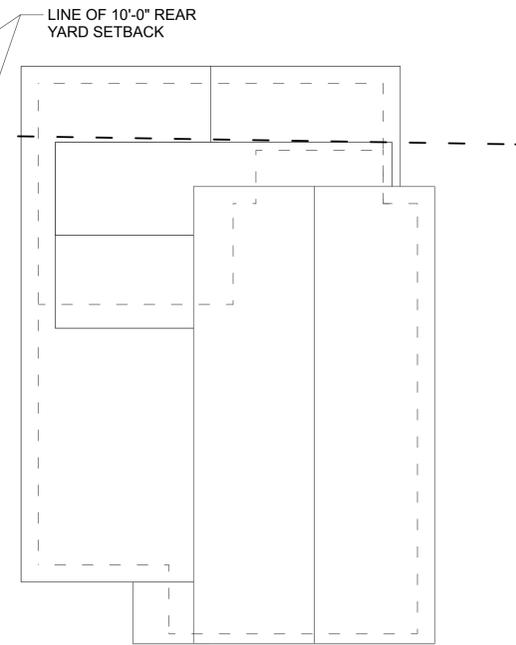
1 ADU- Proposed Demo Plan
Scale: 3/16" = 1'-0"



2 ADU- Proposed First Floor Plan
Scale: 3/16" = 1'-0"



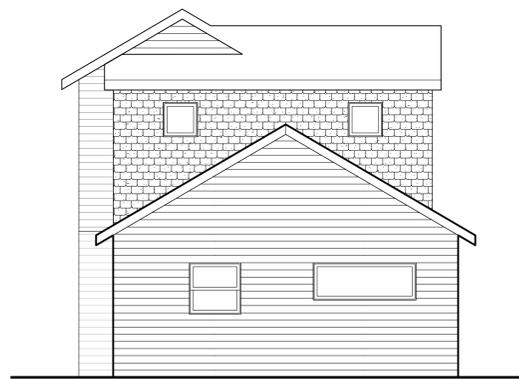
3 ADU- Proposed Second Flr Plan
Scale: 3/16" = 1'-0"



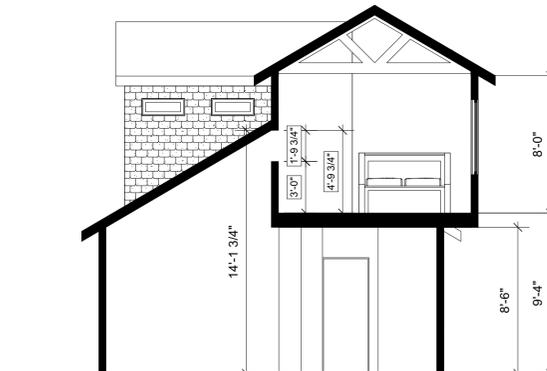
4 ADU- Proposed Roof Plan
Scale: 3/16" = 1'-0"



5 ADU- Exterior Elevation
Scale: 3/16" = 1'-0"



6 ADU- Exterior Elevation
Scale: 3/16" = 1'-0"



9 ADU- Building Section
Scale: 3/16" = 1'-0"



10 ADU- Building Section
Scale: 3/16" = 1'-0"



7 ADU- Exterior Elevation
Scale: 3/16" = 1'-0"



8 ADU- Exterior Elevation
Scale: 3/16" = 1'-0"



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ADU Details

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