

GENERAL NOTES

- ADDITION TO EXISTING PROPERTY LOCATED AT 3805 RED RIVER STREET, AUSTIN, TEXAS 78751, LOT 3, AND A PORTION OF LOT 4, BLOCK 4, COUNTRY CLUB HEIGHTS
- OCCUPANCY TYPE: SF-3
- CODES AND ORDINANCE:
 - INTERNATIONAL BUILDING CODE - IBC 2021 CODE
 - INTERNATIONAL ONE & TWO DWELLING CODE - IRC 2021 CODE
 - ELECTRICAL TO CONFORM TO NEC 2020 CODE
 - PLUMBING TO CONFORM TO UPC 2021 CODE
 - MECHANICAL TO CONFORM TO UNR 2021 CODE
 - INTERNATIONAL ENERGY CODE 2021
 - INTERNATIONAL FIRE CODE 2021
- ALL WINDOWS AND DOORS TO CONFORM TO APPLICABLE CODE(S).
- COORDINATE WITH OWNER REGARDING SCHEDULING / PHASING UTILITY INTERRUPTIONS.
- NOTIFY OWNER AND ARCHITECT OF CONFLICTS AND UNEXPECTED CONDITIONS PRIOR TO CONSTRUCTION.
- PROTECT ANY OPEN AREAS OF THE HOUSE DURING CONSTRUCTION FROM THE ELEMENTS.
- VERIFY WITH THE OWNER FOR COLORS, STYLES, TRIM, AND MATERIALS UNLESS OTHERWISE NOTED.
- COORDINATE WITH OWNER ON PAINT / WALLPAPER / LAMINATE, AND MISC. FINISH SELECTIONS.
- COORDINATE DOOR HARDWARE WITH OWNER.
- PATCH AND MATCH ADJACENT EXISTING MATERIALS, COLORS AND FINISHES, AND VOIDS / DAMAGES RESULTING FROM DEMOLITION.
- INSTALL ALL HARDWARE, APPLIANCES, ACCESSORIES, AND ASSOCIATED SUPPORTS / BRACING PER MANUFACTURERS' RECOMMENDATIONS.
- DIMENSIONS ARE TO THE FACE OF FRAMING UNLESS NOTED OTHERWISE.
- COORDINATE SECURITY SYSTEM WITH OWNER, IF APPLICABLE.
- PROVIDE ACCESS PANELS AS REQUIRED PER CODE.

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS, ORDINANCES AND ACCEPTED LOCAL PRACTICES, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF LOCAL JURISDICTION, INCLUDING BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
- CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATER-TIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY TIES OR WORK NEEDED TO ACHIEVE THE PROJECT, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, PROCEDURES AND SAFETY PROCEDURES AND MATERIALS.
- CONTRACTOR AND ALL SUBCONTRACTORS / TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, INCLUDING DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER, ARCHITECT OR OWNER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS / RECOMMENDATIONS. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATION, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC.
- SEE ENGINEERING DRAWINGS FOR SLAB, FRAMING, BRACING, DETAILS, ETC.
- VERIFY GUTTERS AND PLACEMENT WITH OWNER.
- ALL WATERPROOFING SHALL BE THE SOLE RESPONSIBILITY OF THE BUILDER AND/OR SUBCONTRACTORS. INSTALL ALL WINDOWS, DOORS, PLUMBING, VENTING, WALL AND ROOF PENETRATIONS, APPLIANCES ETC. ACCORDING TO MANUFACTURER'S SPECIFICATIONS TO ENSURE BUILDING IS WATER-TIGHT.

IMP. COVERAGE

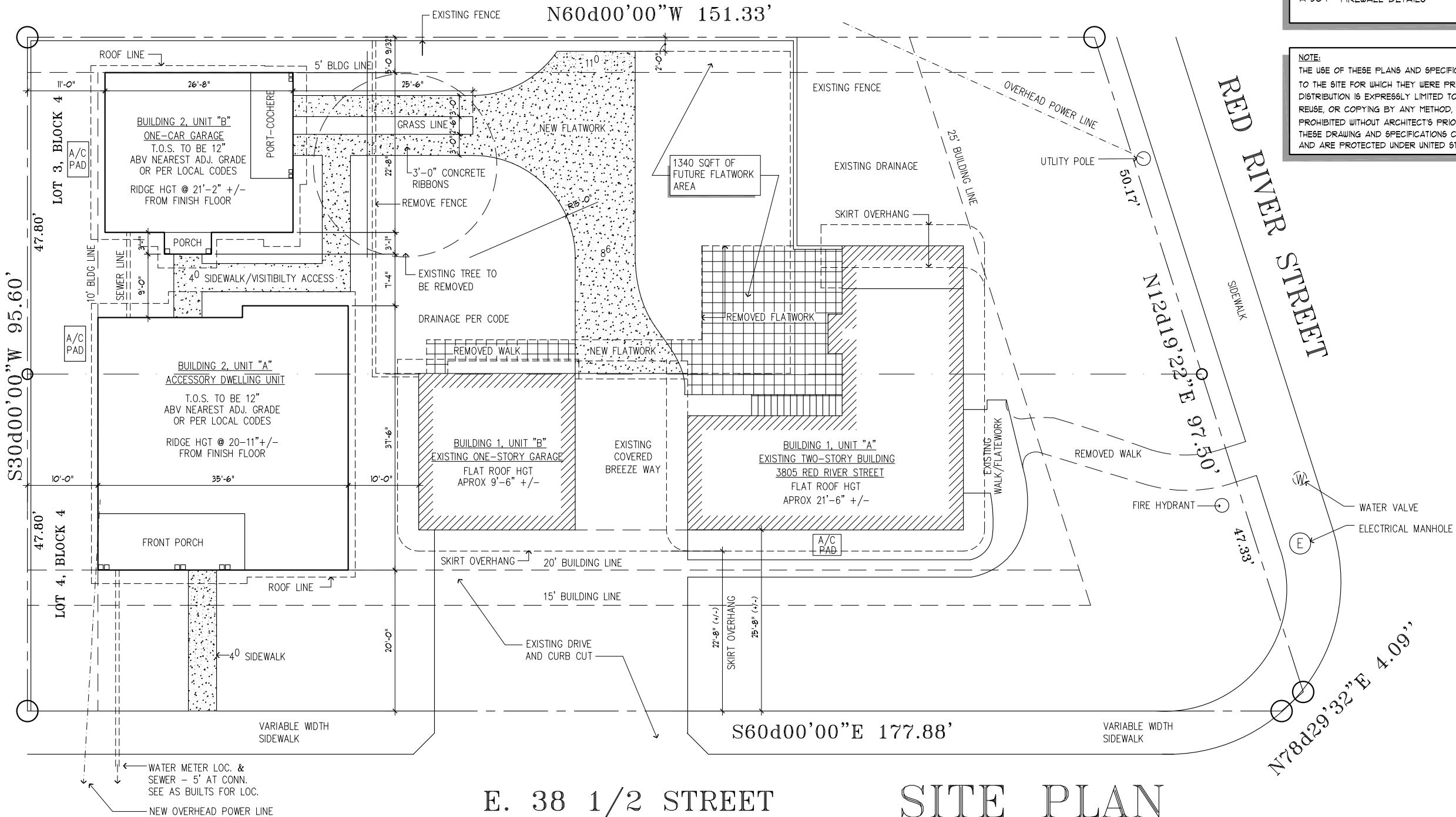
	EXISTING	REMOVED	ADDITION	TOTAL
EXISTING BUILDING 1, UNIT "A"	1059 SF			1059 SF
EXISTING BUILDING 1, UNIT "B"	493 SF			493 SF
EXISTING WALKS/DRIVE/FLATWORK	2025 SF	-163 SF		1262 SF
EXISTING A/C PAD AREA	12 SF			12 SF
NEW BUILDING 2, UNIT "A" - "ADU"			1291 SF	1291 SF
NEW BUILDING 2, UNIT "B" - "DET GAR."			625 SF	625 SF
NEW WALKS/DRIVE-FLATWORK			1048 SF	1048 SF
NEW A/C PAD AREA			24 SF	24 SF
FUTURE ADDED FLATWORK			1340 SF	1340 SF
IMPERVIOUS LOT AREA	3589 SF	-163 SF	4334 SF	7160 SF (44.98%)
TOTAL LOT SIZE = 15919 SF	MAXIMUM IMPERVIOUS AREA = 15919 x .45 = 7163.55 SF			
TOTAL BUILDING COVERAGE				3474 SF (21.82%)

TABLE OF CONTENTS

A-101	SITE PLAN / SURVEY AND COVER SHEET
A-102	BUILDING 2, UNIT "A" - ADU FLOOR PLAN
A-102.1	BUILDING 2, UNIT "A" - "ADU" VISIBILITY LAYOUT
A-103	BUILDING 2, UNIT "B" - DET. GAR FLOOR LAN
A-201	BUILDING 2, UNIT "A" - "ADU" EXTERIOR ELEVATIONS
A-202	BUILDING 2, UNIT "B" - DET. GAR. EXTERIOR ELEVATIONS
A-203	BUILDING 2, UNIT "A" - "ADU" INTERIOR ELEVATIONS
A-203.1	BUILDING 2, UNIT "A" - "ADU". CROSS SECTIONS & ROOF LAYOUT
A-204	BUILDING 2, UNIT "B" - DET. GAR. CROSS SECTION & ROOF LAYOUT/INTERIOR ELEVATIONS
E-101	BUILDING 2, UNIT "A" - "ADU". ELECTRICAL LAYOUT
E-102	BUILDING 2, UNIT "B" - DET. GAR. ELECTRICAL LAYOUT
A-501	TYPICAL DETAIL SHEET
A-502	TYPICAL DETAIL SHEET
A-503	TYPICAL DETAIL SHEET
A-504	FIREWALL DETAILS

NOTE:

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PRESERVATION OF AUSTIN
3805 RED RIVER STREET
AUSTIN, TX 78751
TRAVIS

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★★★★
Architecture
Interiors
Landscaping
Graphics

DATE/REVISIONS

PRELIM	ISSUED	REVISIONS
23 JUN 21	06 OCT 21	28 OCT 21
15 JUL 21		19 NOV 21
03 SEP 21		09 DEC 21

Subdivision
COUNTY CLUB
HEIGHTS

City/Jurisdiction
AUSTIN, TX

Title
SITE PLAN
& CONTENTS

Plan Number
R-1100

Sheet Number
A-101
1 OF 15



SURVEY BY:
PREMIER SURVEYING, INC
5800 W PLANO PARKWAY
SUITE 1200
PLANO, TX 75093
FIRMS REG. NO. 1014620
972-612-3601

LEGEND

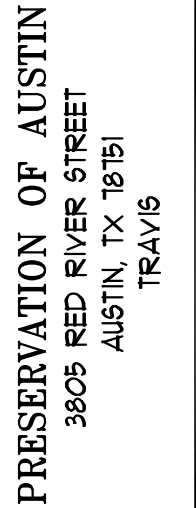
NOTE:
VERIFY DIMENSIONS WITH
BUILDER & AS BUILTS

NOTE:
METER LOCATIONS & DRAINAGE
AS PER CITY OF AUSTIN CODES

DRAINAGE FLOW ARROWS
() RECORDED

SCALE:

1/8" = 1'-0" (22"x34" SHEET, UNO.)
1/8" = 1'-0" (11"x17" SHEET, UNO.)



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Subdivision
COUNTY CLUB
HEIGHTS

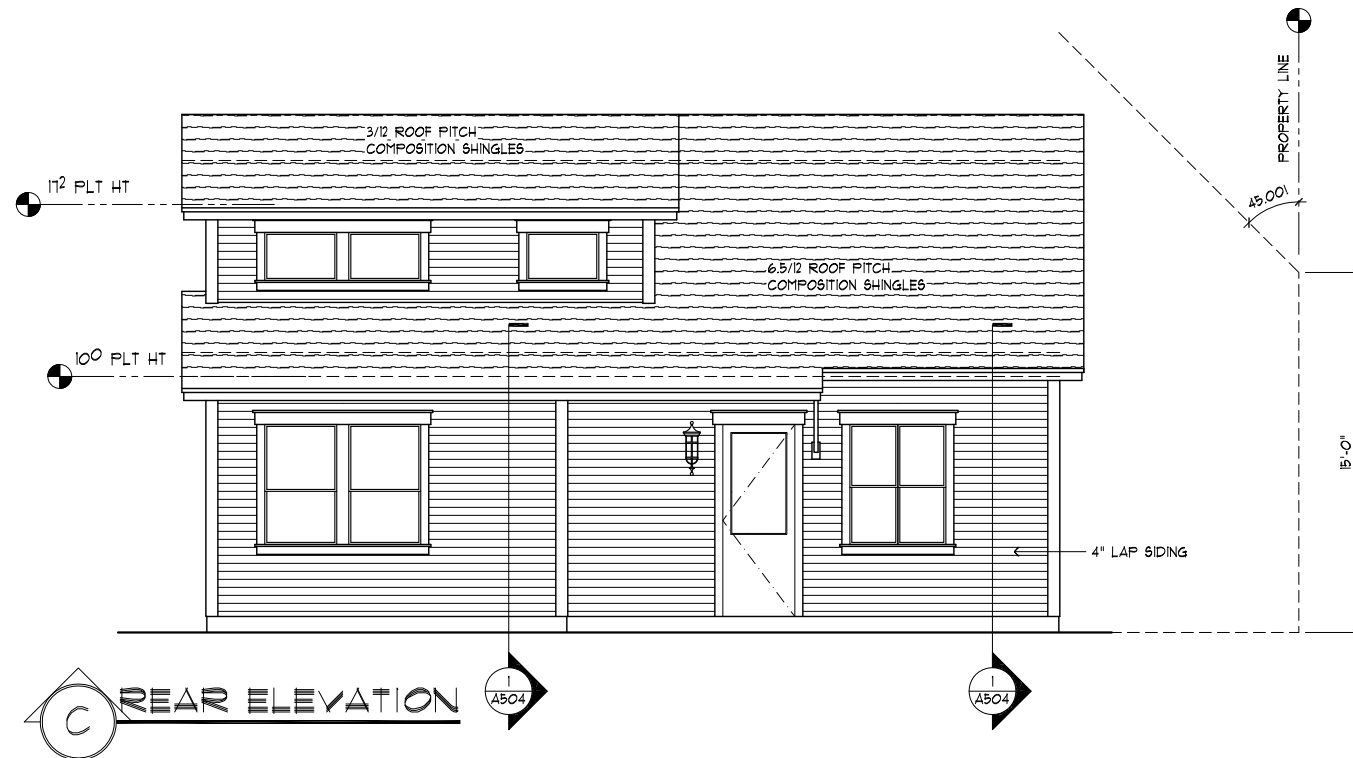
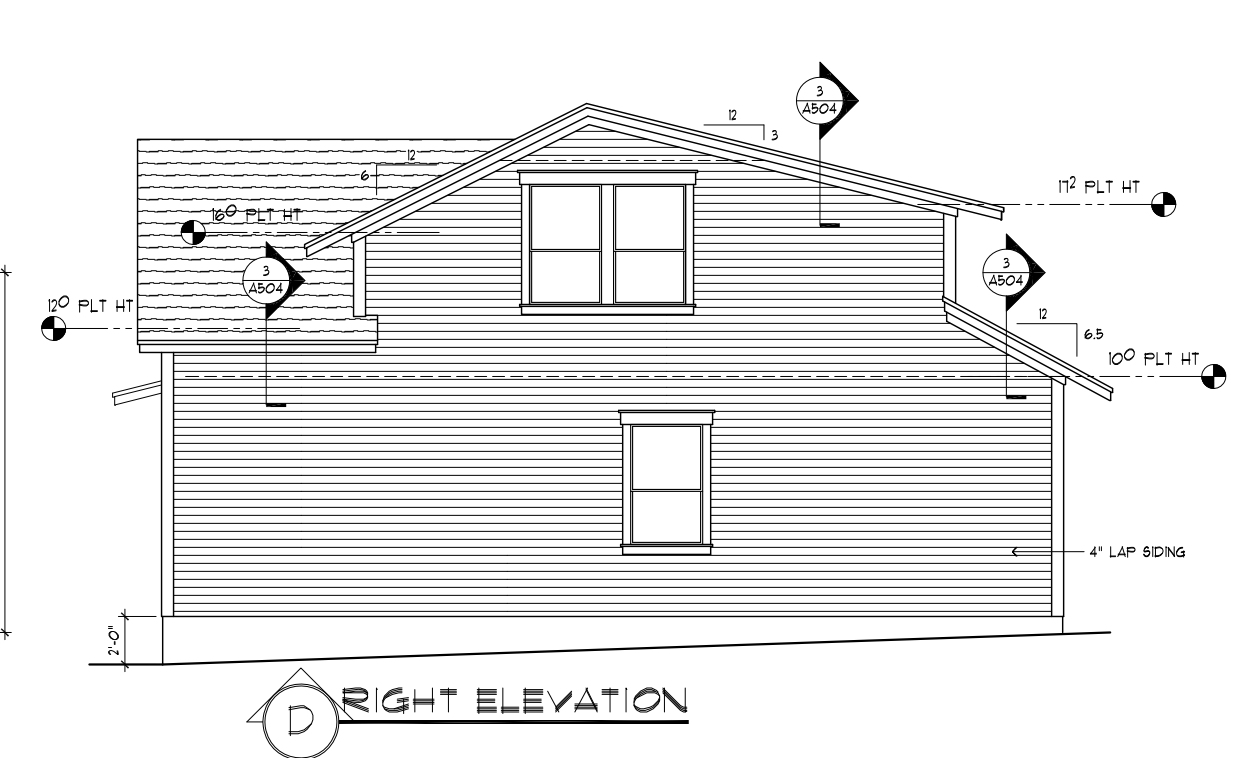
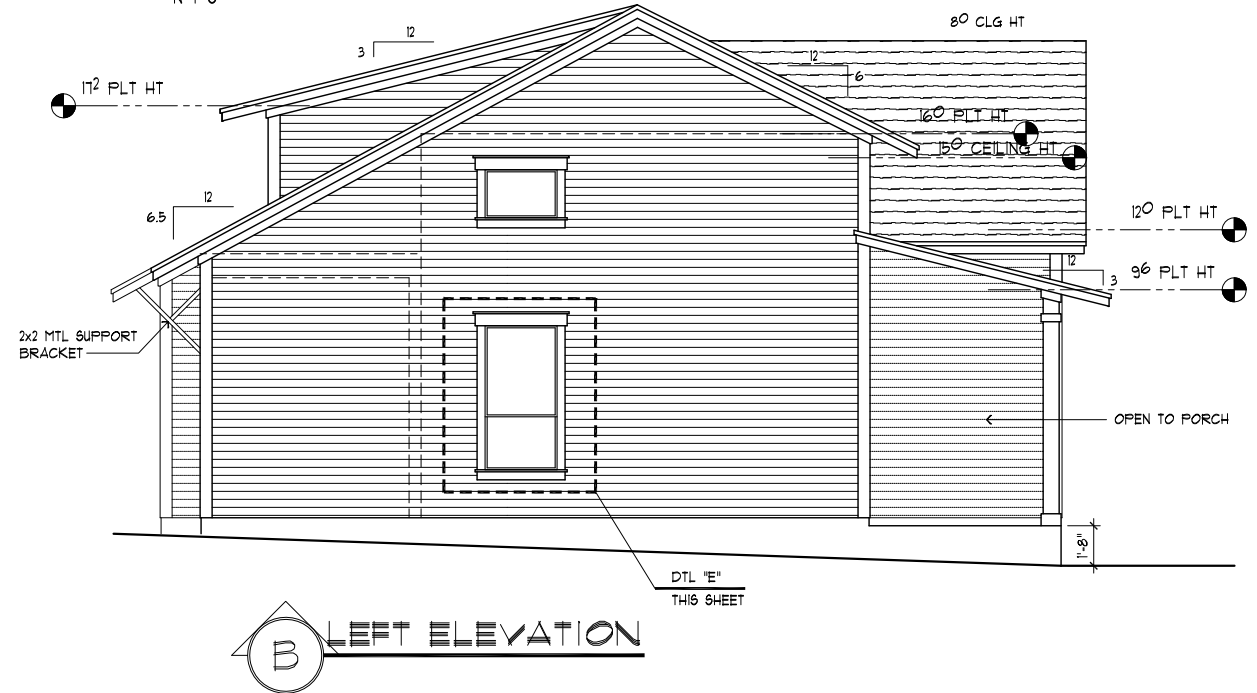
City/Jurisdiction
AUSTIN, TX

Title
BUILDING 2, UNIT "A"
ADU+ EXT. ELEVATIONS

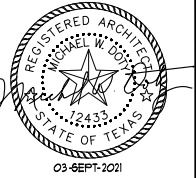
Plan Number
R-1100

Sheet Number
A-201

5 OF 15



SCALE:
 1/4" = 1'-0" (22"x34" SHEET, U.N.O.)
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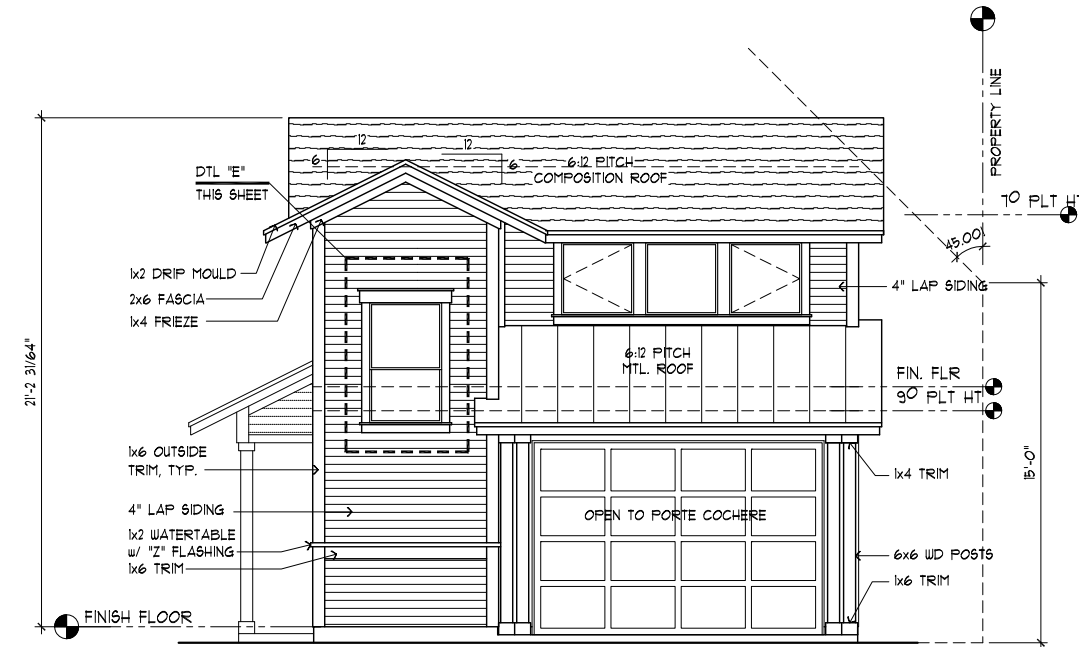
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DATE/REVISIONS

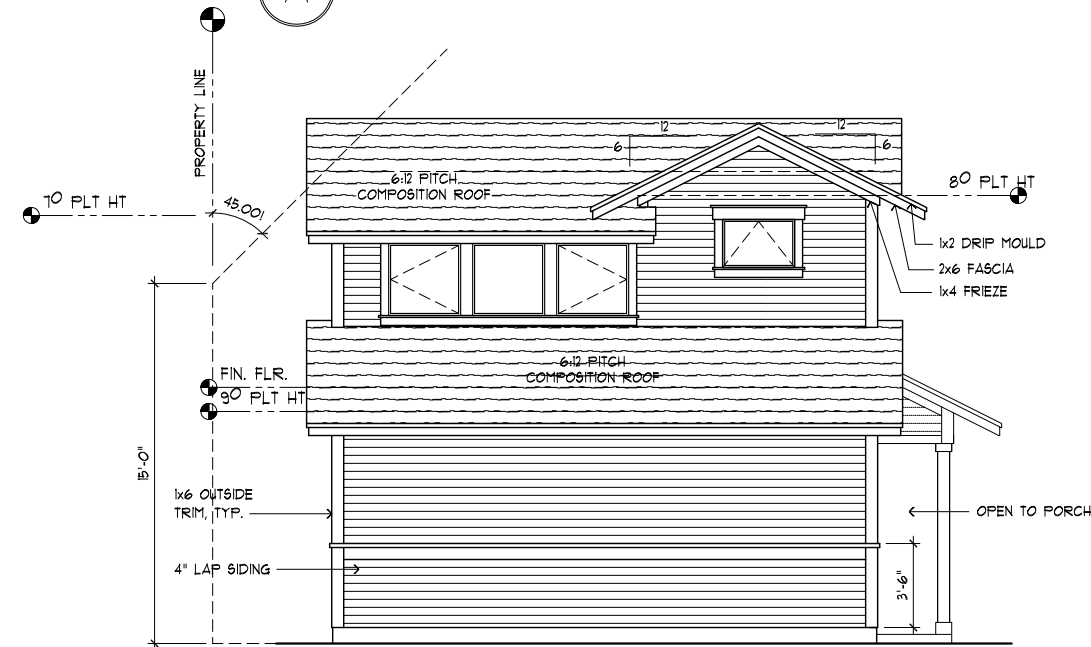
PRELIM	ISSUED	REVISIONS
15 JUL 21	06 OCT 21	28 OCT 21
03 SEP 21		09 DEC 21

Subdivision
COUNTY CLUB
HEIGHTS
City/Jurisdiction
AUSTIN, TX
Title
BUILDING 2, UNIT "B"
DET. GAR. EXT. ELEV'S.
Plan Number
R-625

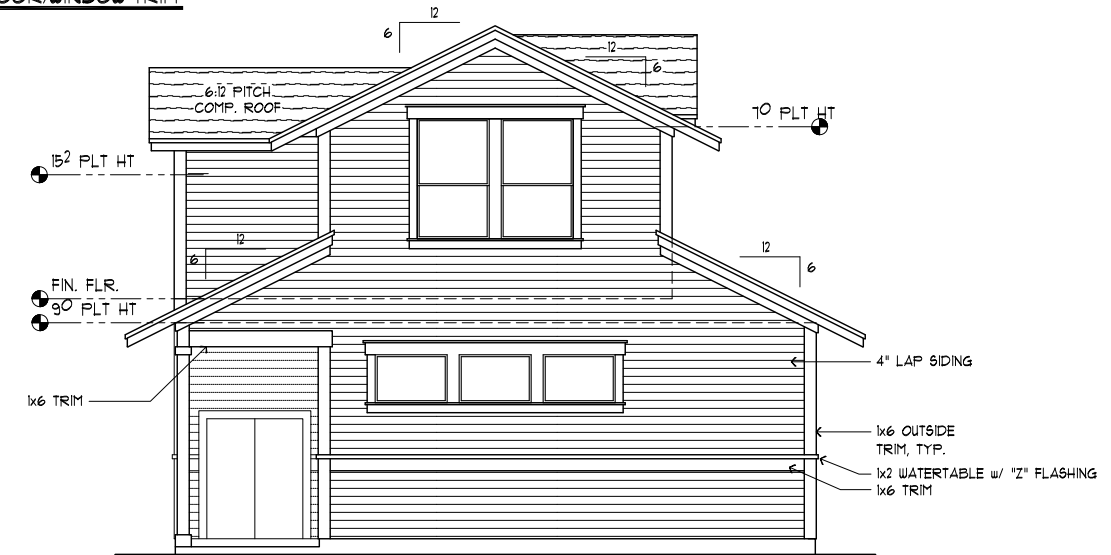
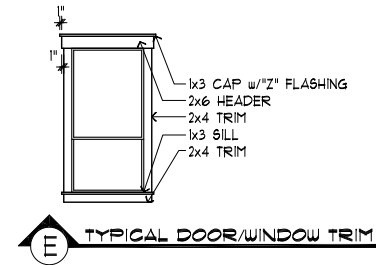
Sheet Number
A-202
6 OF 15



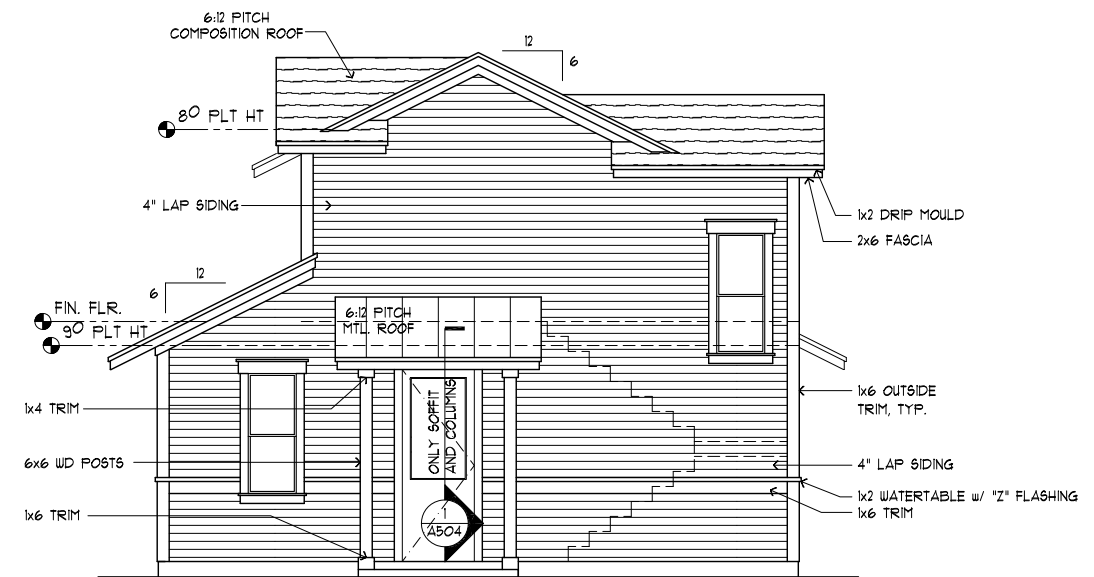
A FRONT ELEVATION



B REAR ELEVATION



D RIGHT ELEVATION



C LEFT ELEVATION

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