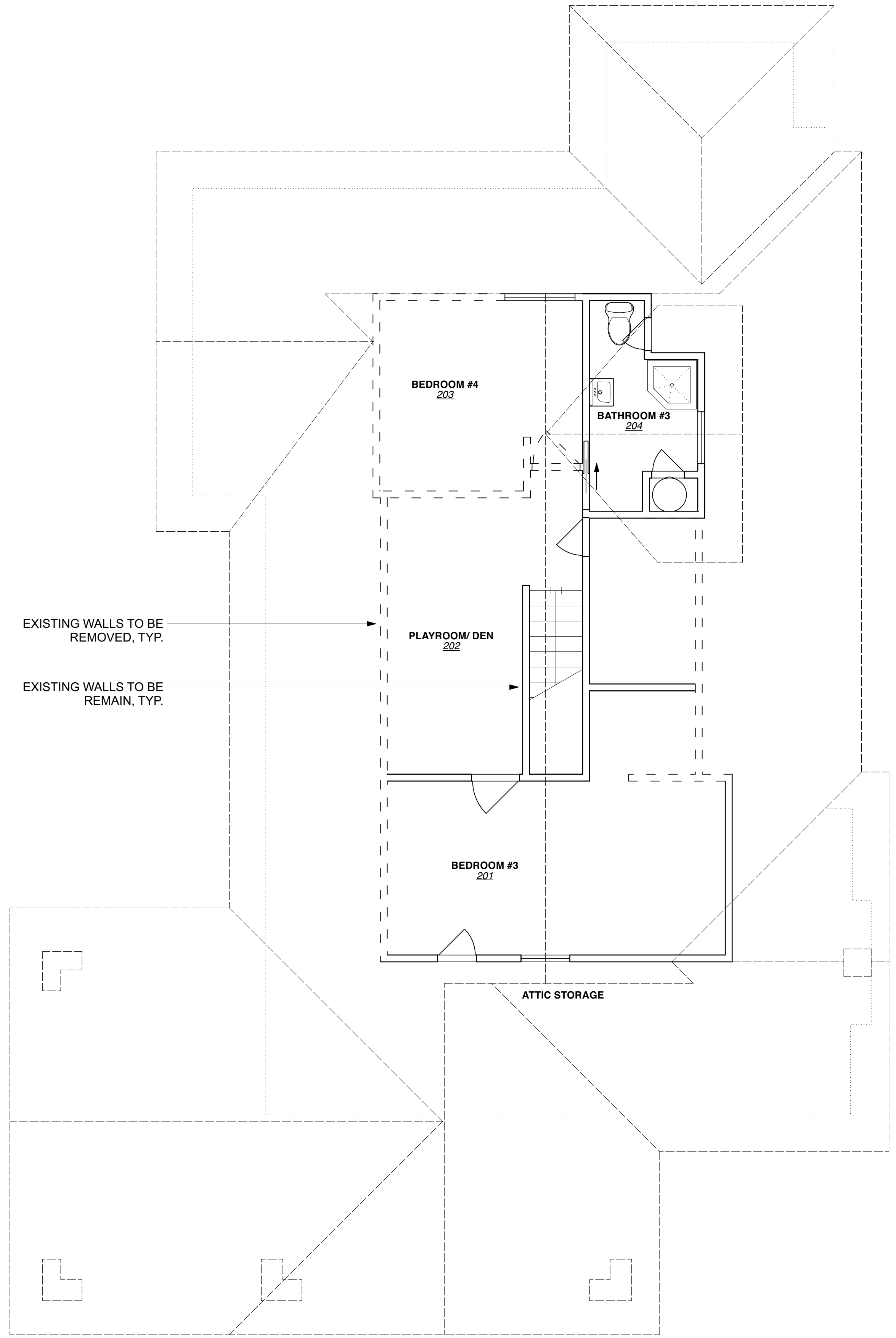


1 Existing First Floor + Demo Plan  
Scale: 1/4" = 1'-0"



2 Existing Attic + Demo Plan  
Scale: 1/4" = 1'-0"



12/10/21

CLIENT:  
Paul Carapelyan

BUILDER:  
Paul Carapelyan

STRUCTURAL ENGINEER:

SURVEYOR:  
Waterloo Surveyors  
Thomas Dixon

LEGAL DESCRIPTION:  
N63.36FT OF LOT 59 \* & S16.64FT OF  
LOT 60 SHADOW LAWN

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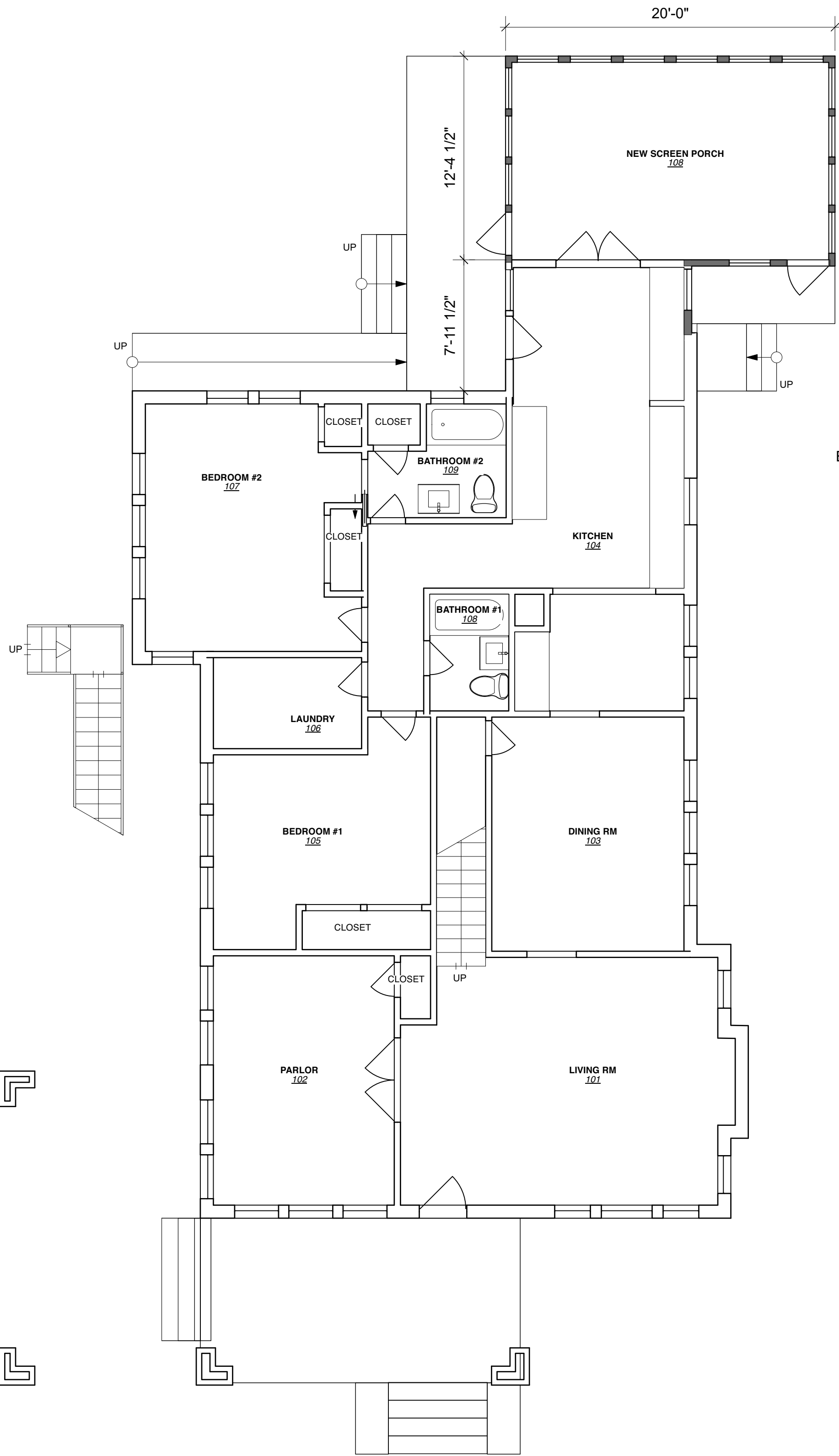
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MEASURES AT 1/2 SCALE SHOWN

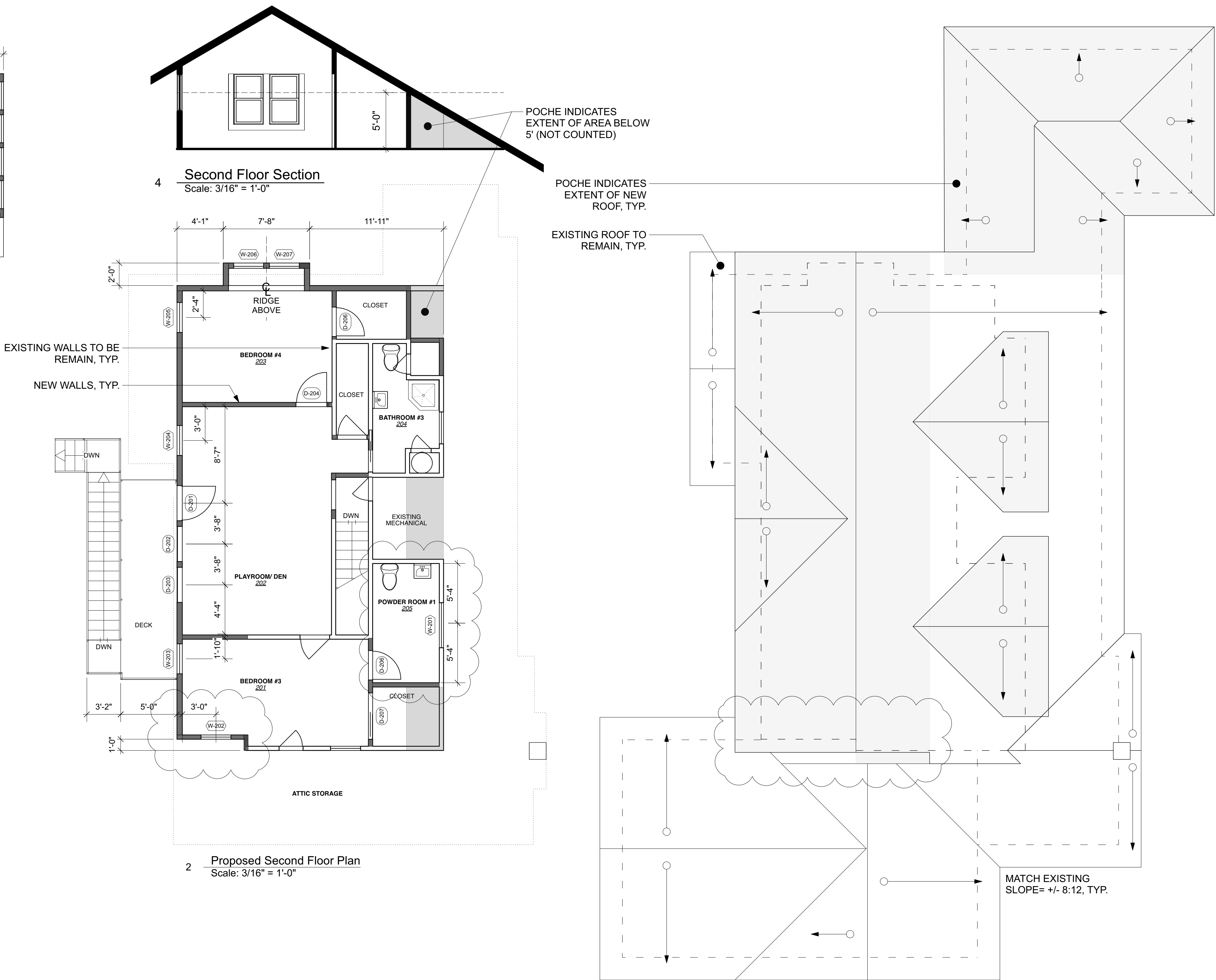
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**A1.0**  
Demolition Plans-  
Main House

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1 Proposed First Floor Plan  
Scale: 3/16" = 1'-0"



2 Proposed Second Floor Plan  
Scale: 3/16" = 1'-0"

3 Proposed Roof Plan  
Scale: 3/16" = 1'-0"

Door Schedule									
Nominal Size			Dopr Style		Door Frame				
Mark	Width	Height	Thickness	Configuration	Slab Style	Jamb Thick	Jamb Depth	Comments	
D. 201	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D. 202	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D. 203	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Glass	3/4"	4 1/2"	
D. 204	2'8"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D. 206	2'6"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D. 206	2'6"	6'8"	1 3/4"	Swing Simple	N/A	Solid	3/4"	4 1/2"	
D. 207	4'0"	6'8"	1 3/4"	Slider	XO	Solid	3/4"	4 1/2"	

Window Schedule					
Nominal Size			Window Style	Window Data	
Mark	O.A. Width	O.A. Height	Configuration	Head Height	Comments
W. 201	4'0"	4'0"	Bi-parting Casement	N/A	7'5"
W. 202	2'8"	3'4"	Casement	N/A	7'5"
W. 203	2'8"	6'0"	Casement	N/A	6'8" EGRESS
W. 204	2'8"	3'4"	Casement	N/A	6'8"
W. 205	2'8"	3'4"	Casement	N/A	6'8"
W. 206	2'8"	4'6"	Double Hung	N/A	6'8" EGRESS
W. 207	2'8"	4'6"	Double Hung	N/A	6'8" EGRESS



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Proposed Plans-  
Main House

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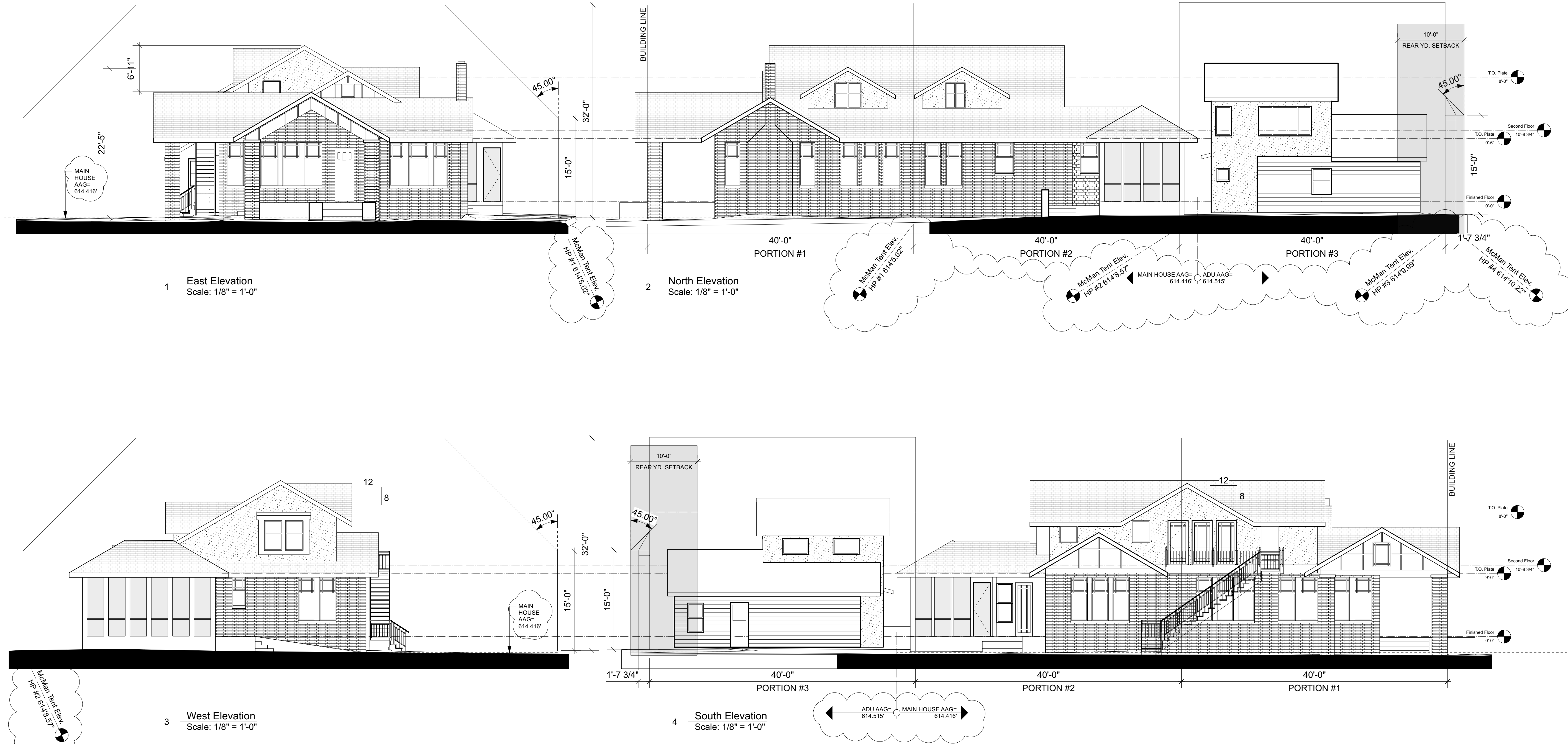
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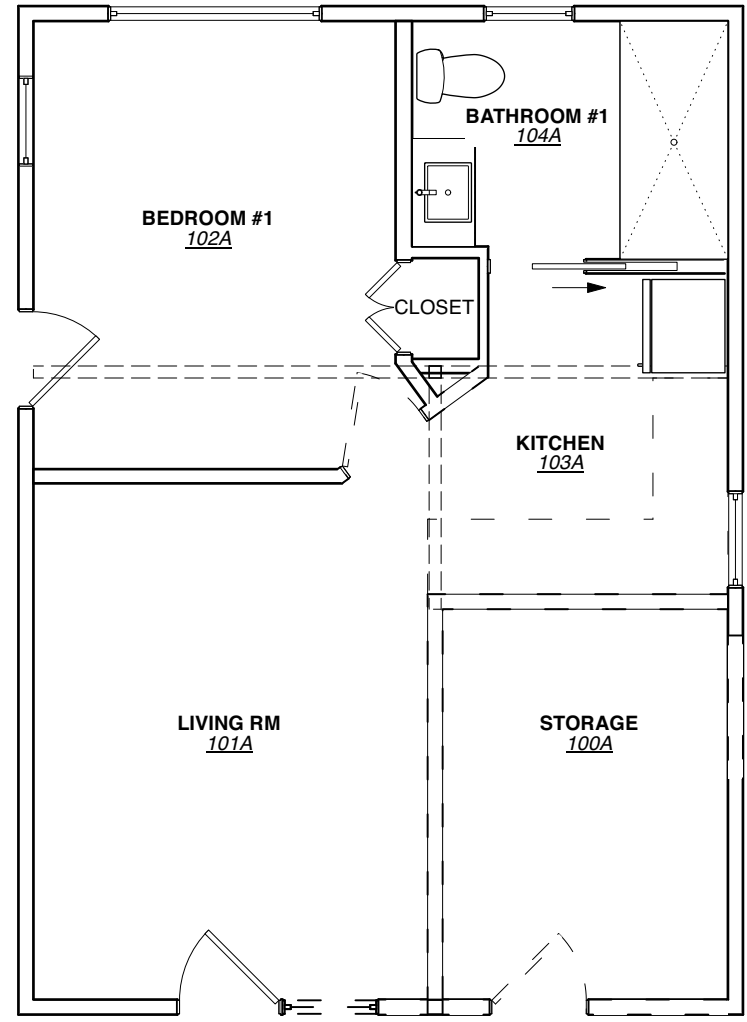
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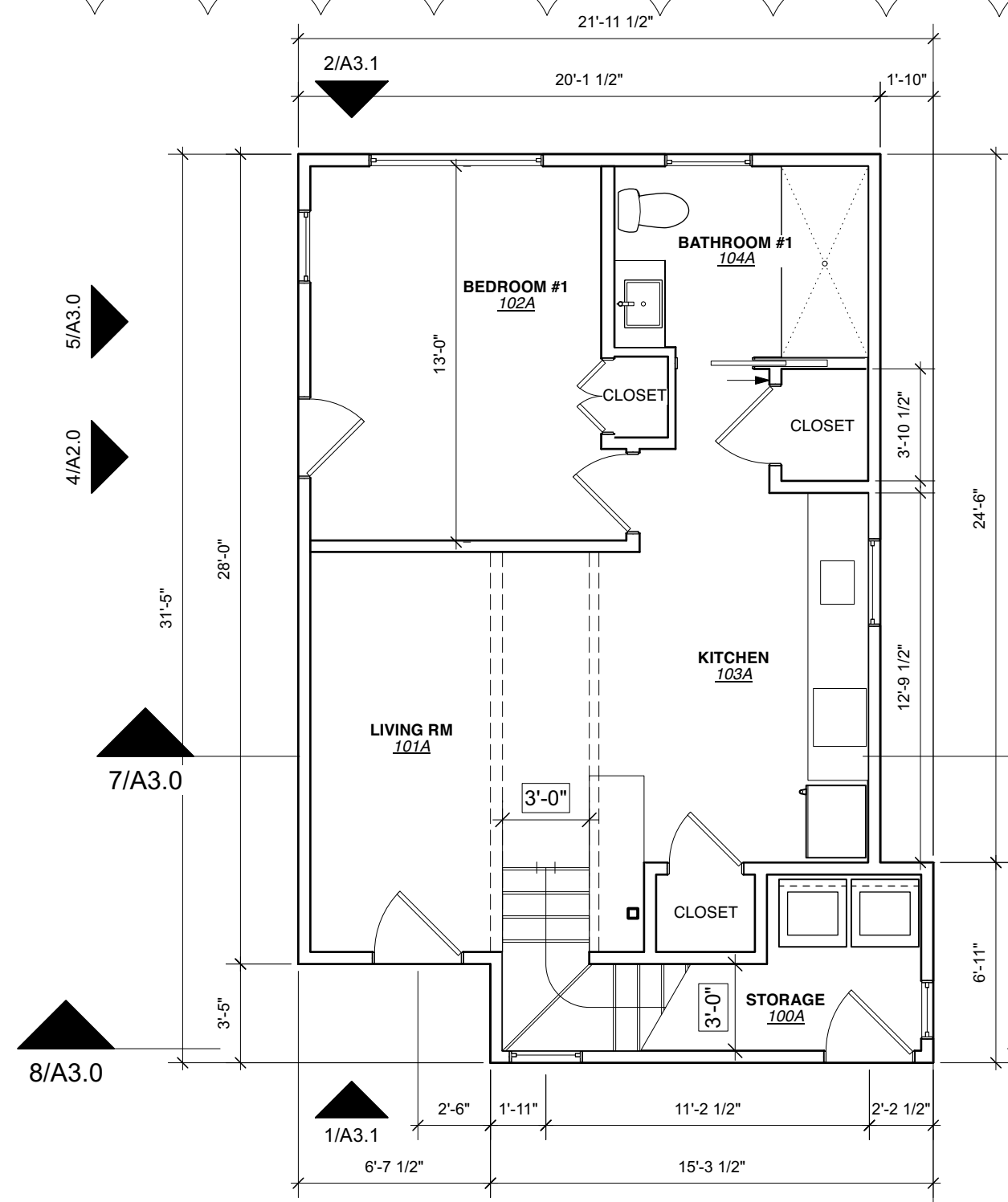
Exterior Elevations

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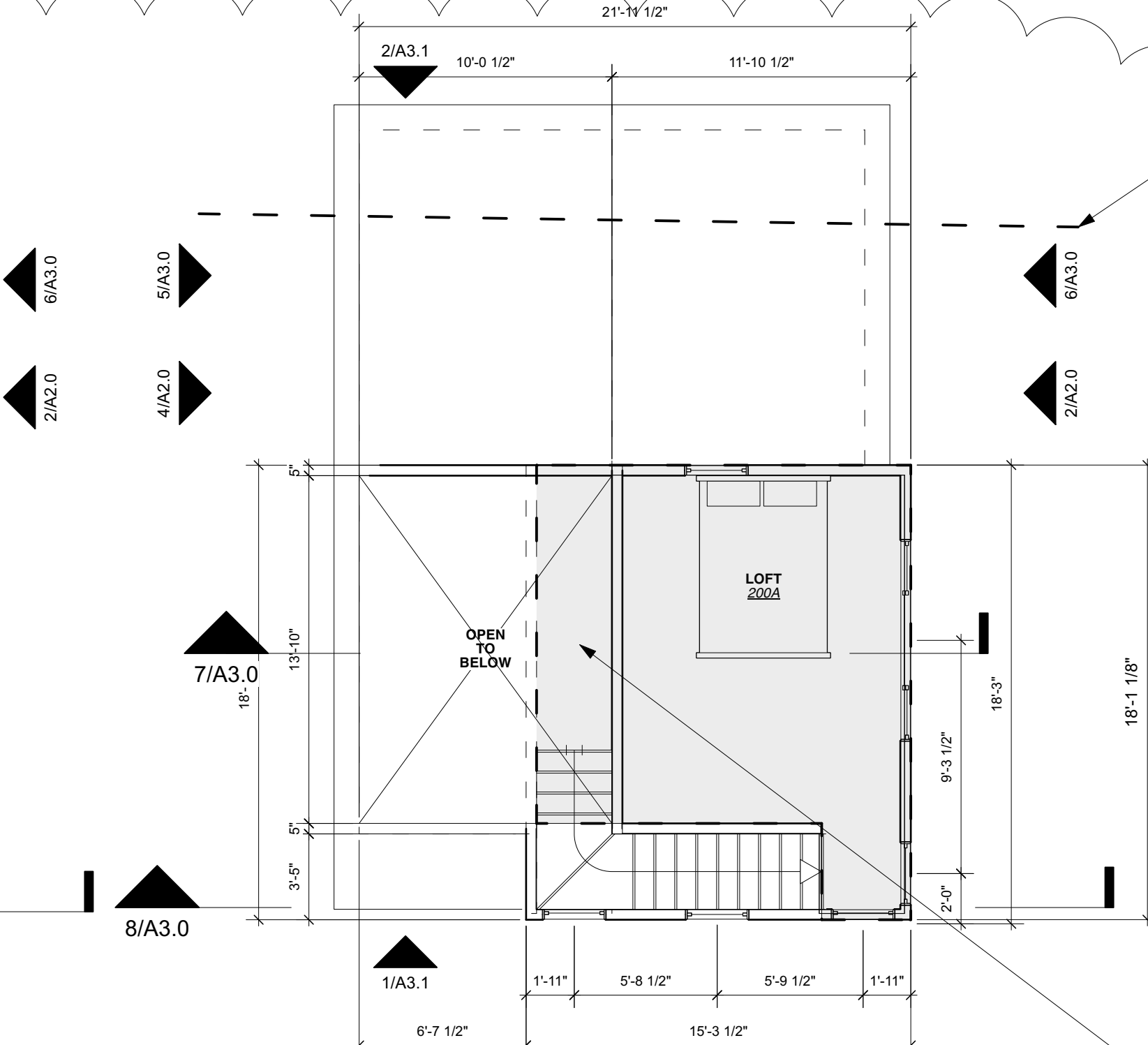




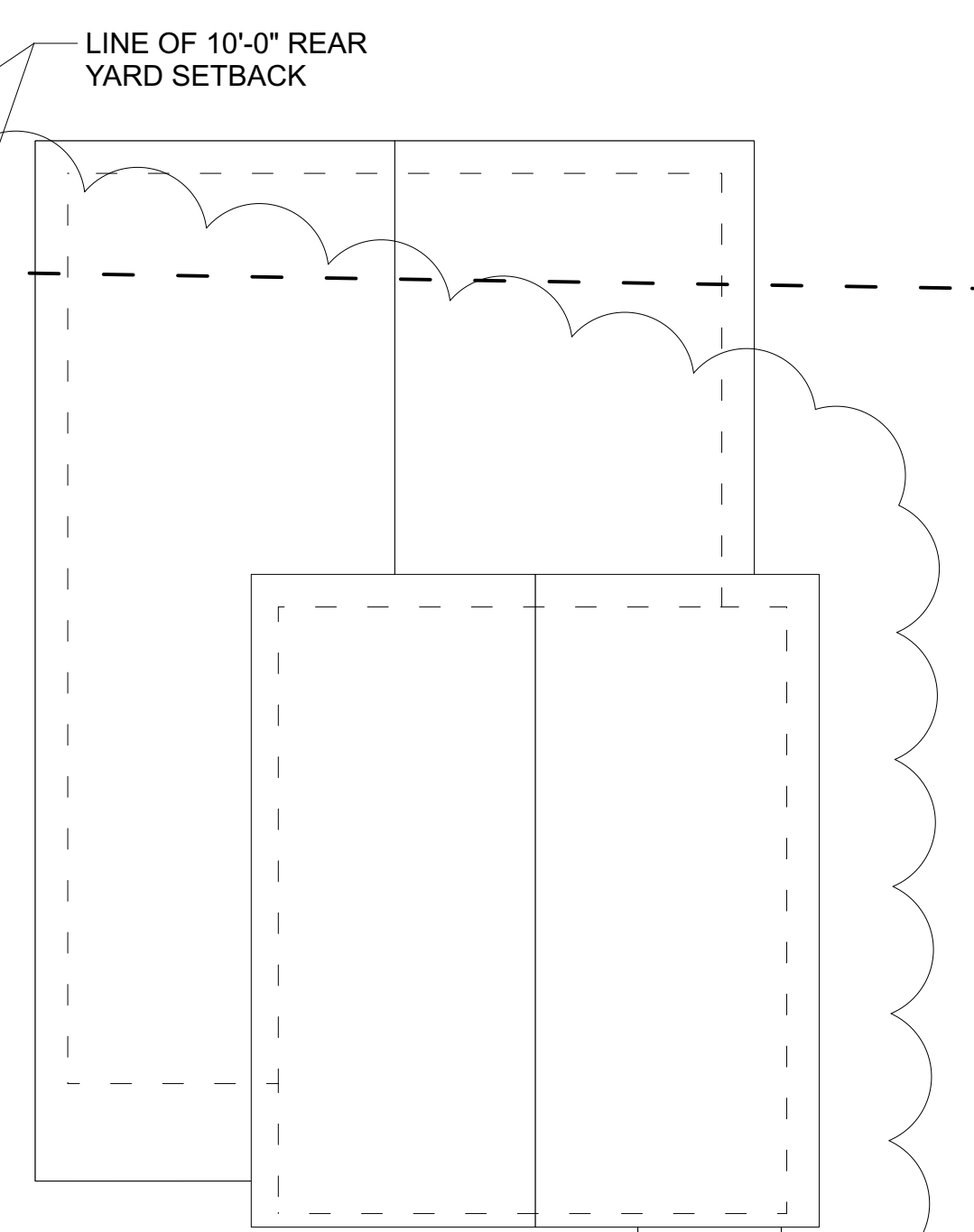
1 ADU- Proposed Demo Plan  
Scale: 3/16" = 1'-0"



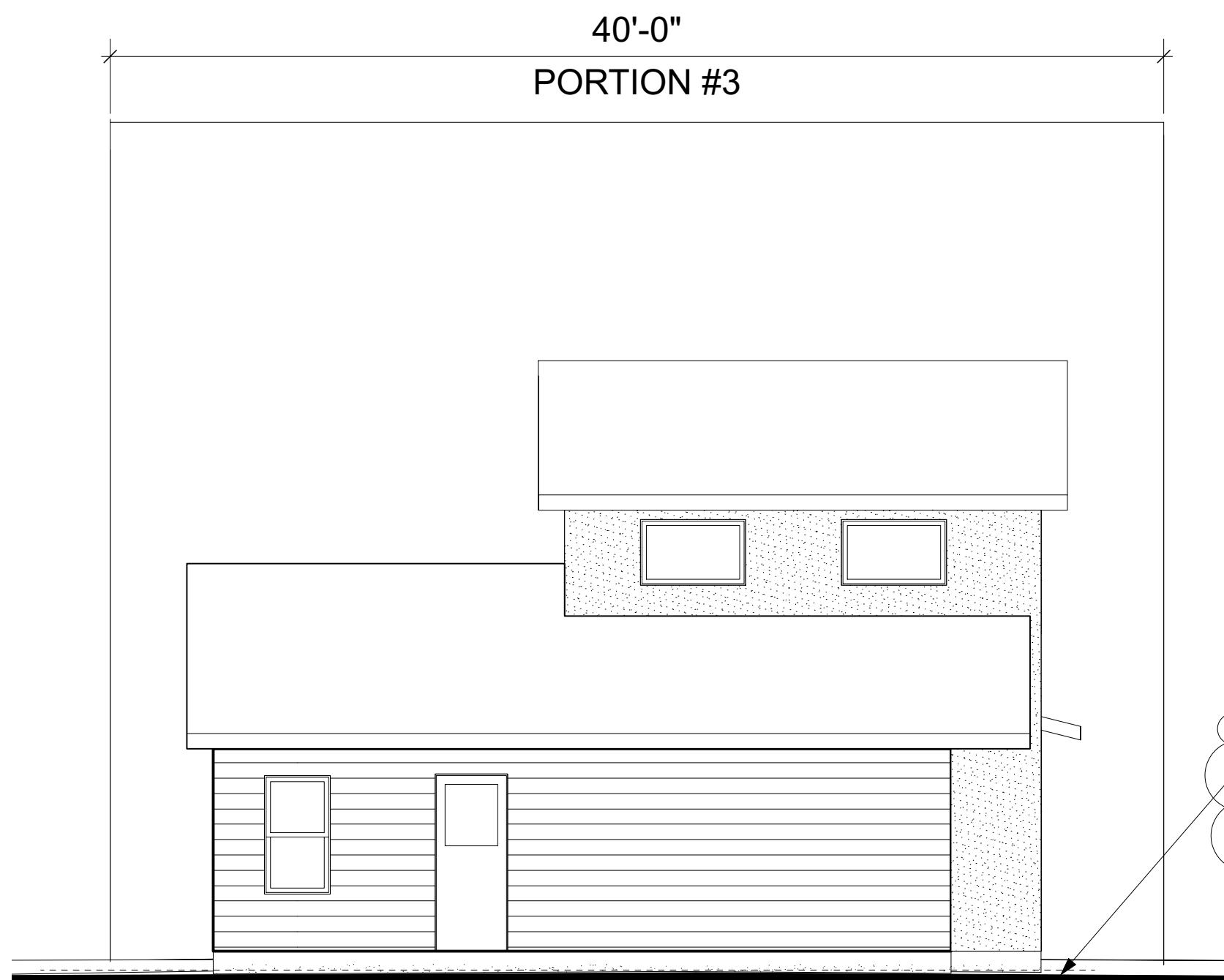
2 ADU- Proposed First Floor Plan  
Scale: 3/16" = 1'-0"



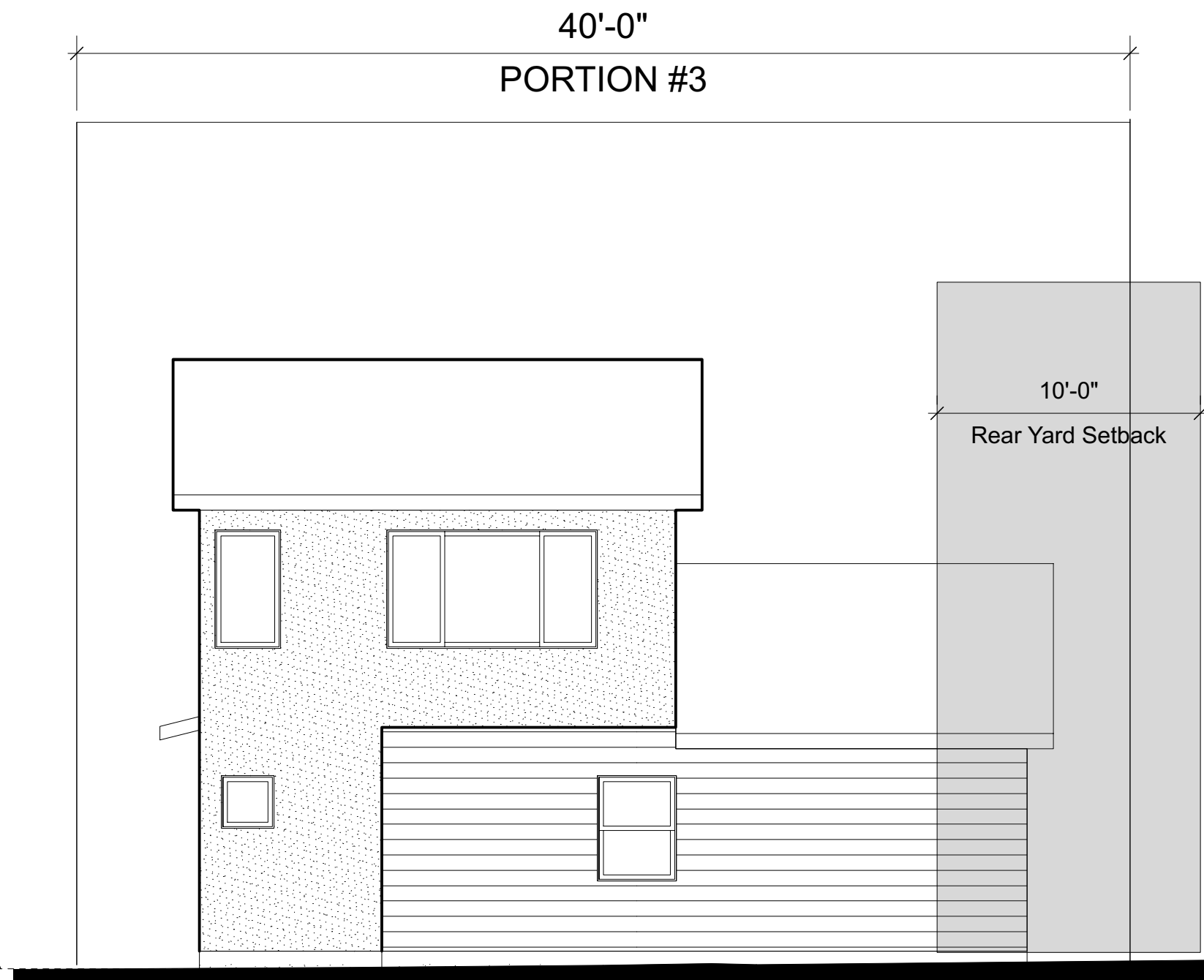
3 ADU- Proposed Second Floor Plan  
Scale: 3/16" = 1'-0"



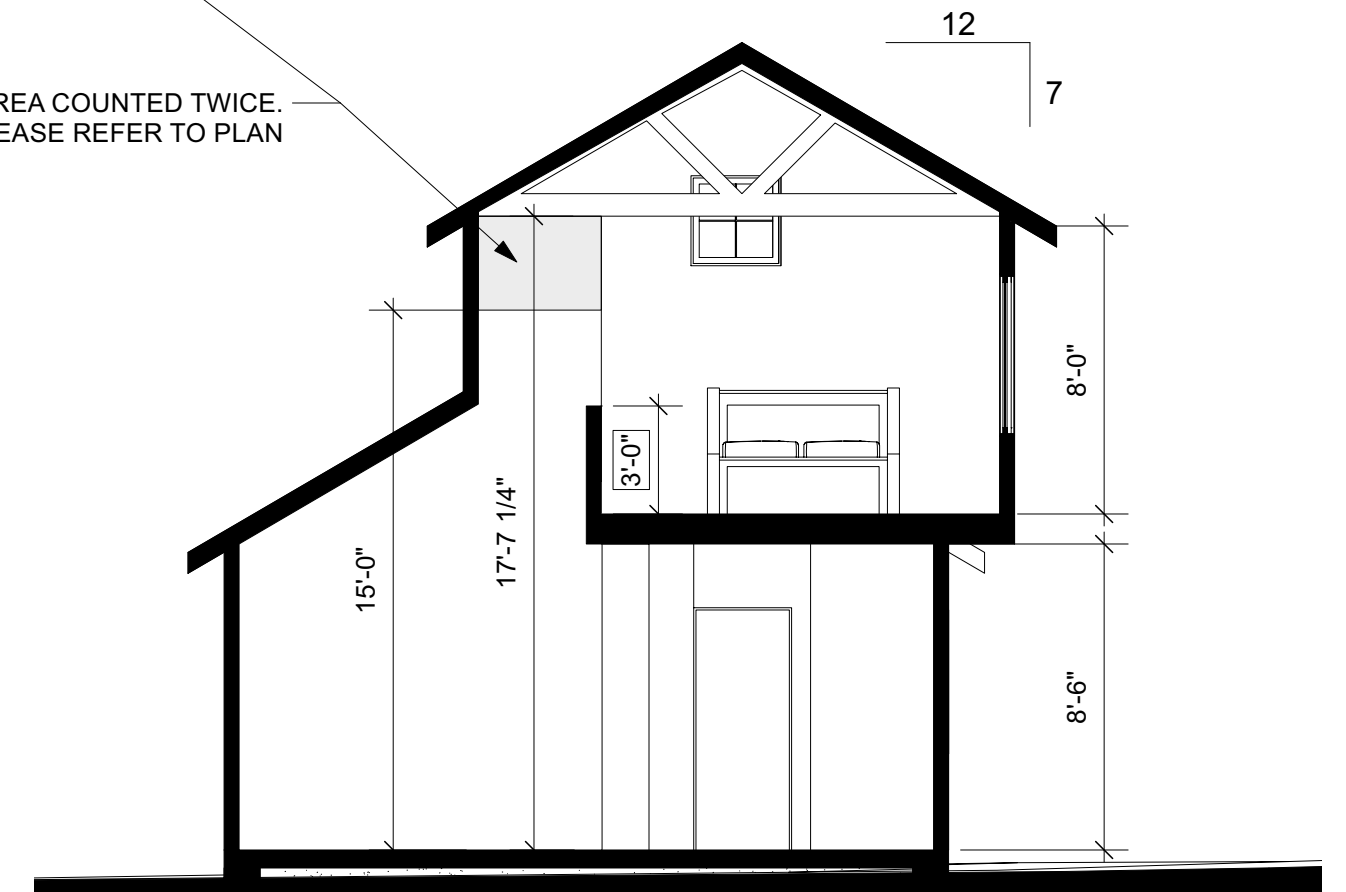
4 ADU- Proposed Roof Plan  
Scale: 3/16" = 1'-0"



5 ADU- Exterior Elevation  
Scale: 3/16" = 1'-0"



6 ADU- Exterior Elevation  
Scale: 3/16" = 1'-0"



7 ADU- Building Section  
Scale: 3/16" = 1'-0"



8 ADU- Building Section  
Scale: 3/16" = 1'-0"



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