



Front Elevation
1205 W 10TH ST
Austin, TX 78703



North Front Elevation
1205 W 10TH ST
Austin, TX 78703



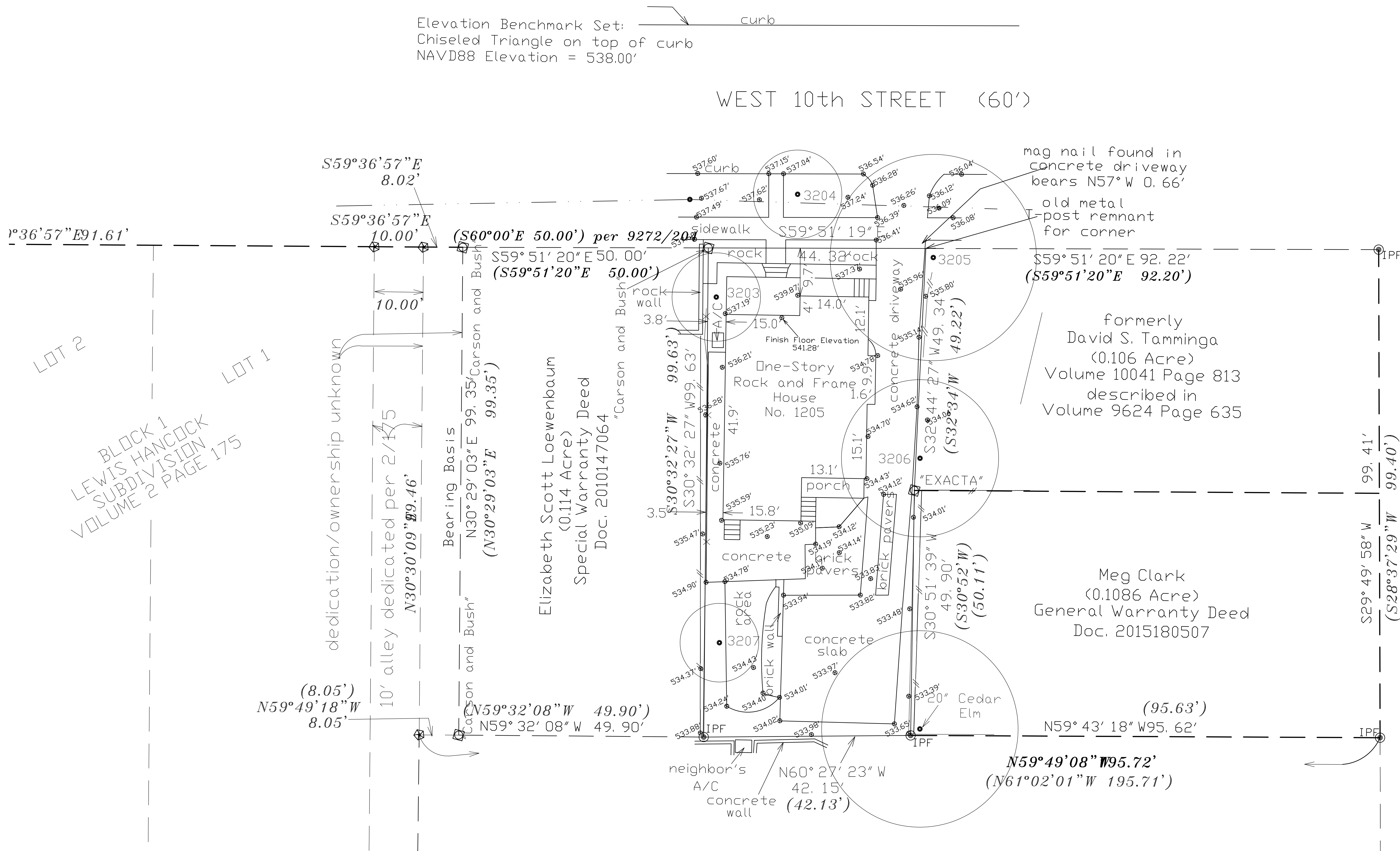
East Side Elevation
1205 W 10TH ST
Austin, TX 78703



South Rear Elevation
1205 W 10TH ST
Austin, TX 78703



West Side Elevation
1205 W 10TH ST
Austin, TX 78703



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2606 Harris Blvd
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512.466.4600

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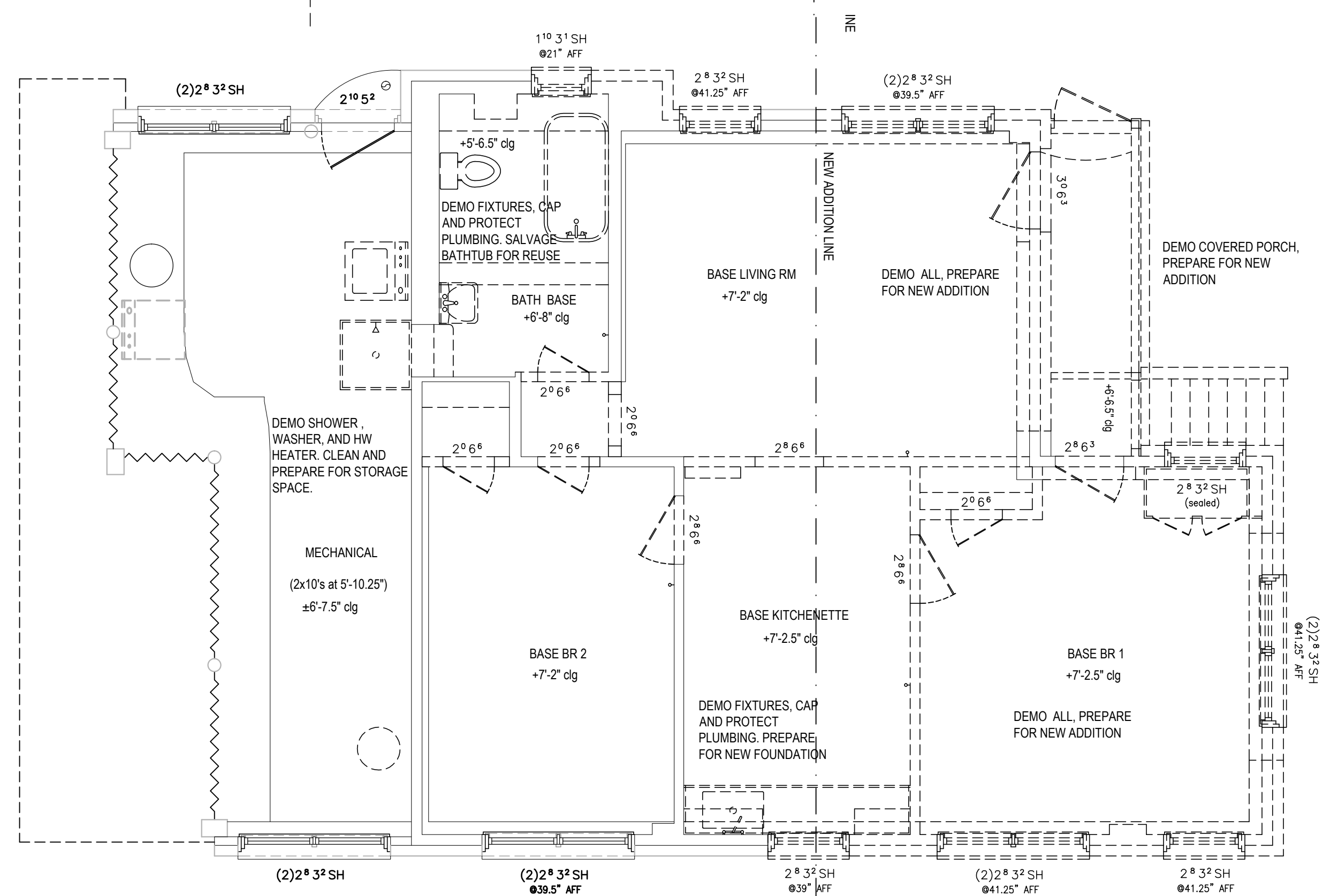
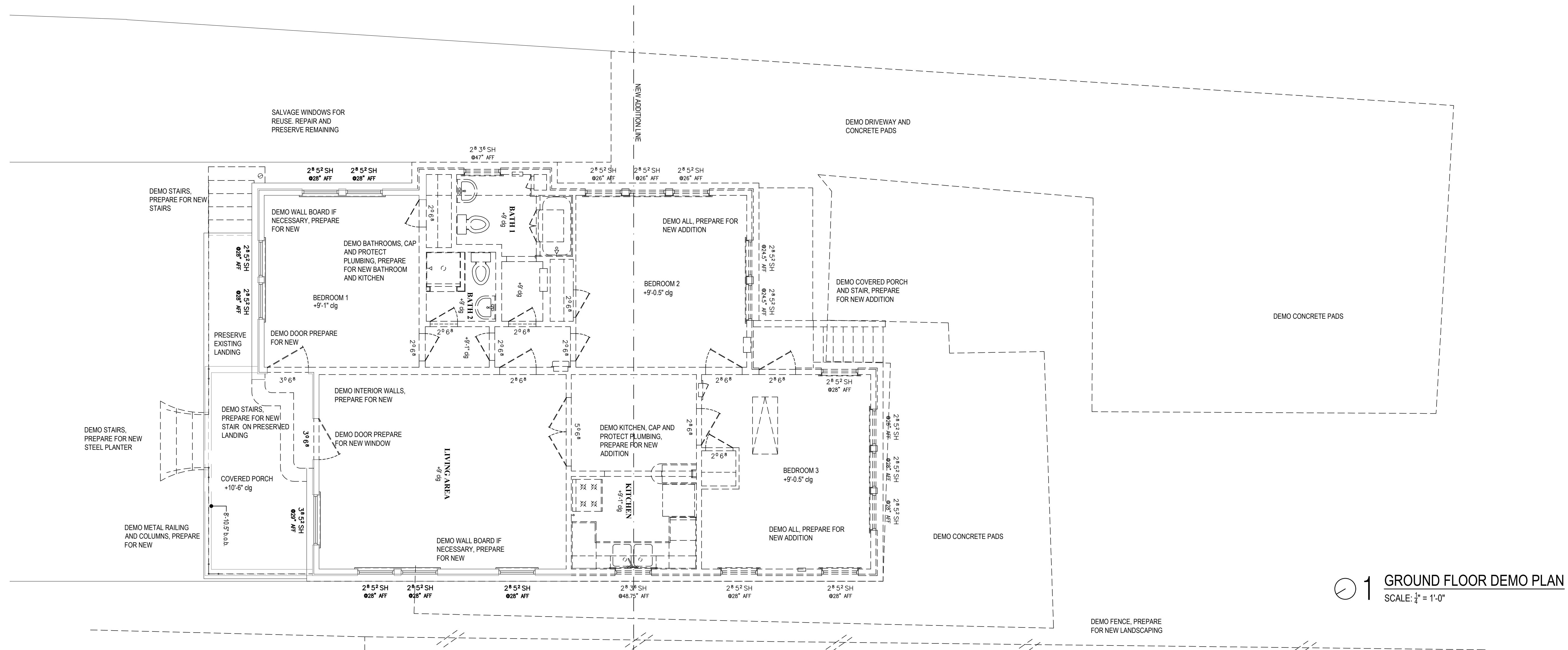
BESS HOUSE
1205 W 10th St
Austin, TX 78703

OCTOBER 29, 2021

SURVEY

A0.1

1 SURVEY
SCALE: 1" = 10'-0"
SCALE: 1" = 20'-0"
WHEN PRINTED AT HALF SIZE



KEY

-  = NEW ADDITION
-  = PEA GRAVEL (PERVIOUS)
-  = CONCRETE FLATWORK (IMPERVIOUS)
-  = CONSTRUCTION STAGING
-  = 8"-12" CRZ PROTECTION ORGANIC MULCH

NOTES CONCERNING TREE PROTECTION:
SEE CQA ENVIRONMENTAL CRITERIA MANUAL SECTION 3.5.2

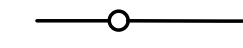
- 5' MIN CHAIN LINK MESH TREE FENCING IS REQUIRED ALONG ALL FULL CRITICAL ROOT ZONES. WHERE UNACHIEVABLE, FENCE AS MUCH OF THE CRZ AS PRACTICAL. WHERE THE TREE PROTECTION FENCING CANNOT INCORPORATE ALL OF THE 1/2" CRZ 8 INCHES OF MULCH IS REQUIRED IN THE FULL CRZ.

- NO MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT, AND ACCESS ROUTE IN THE 1/2 CRZ. WHEN NOT POSSIBLE, MINIMIZE IMPACT AND PROTECT WITH, 8 INCHES OF MULCH IN THE FULL CRZ OF IMPACTED TREE.

- WHEN HEAVY MACHINERY IS ANTICIPATED TO ENCR OACH INTO THE ROOT ZONES OF PROTECTED TREES, COVER THESE AREAS WITH A MINIMUM OF 12" OF ORGANIC MULCH, 2X4 PLANKS AND 3/4" PLYWOOD ON TOP TO BRIDGE OVER THE ROOT ZONE AND MINIMIZE ROOT COMPACTION.

- PLEASE AVOID THE 1/4 CRZ OF ALL OF THE PROTECTED TREES. TRENCHES HAVE TO BE AIR SPADED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" OR MORE IN DIAMETER. PAID RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.

- WHEN POURING THE FOUNDATION, PLEASE MAKE SURE THAT NO BATTER BOARD OR FOUNDATION FORMWORK STAKES ARE PLACED WITHIN THE 1/4 CRZ EXCEPT FOR #5 REBAR W/ POINTED TIP. USE A STRONG-BACK DESIGN TO GET ANY LARGER STAKES OUT OF THE 1/4 CRZ.

-  = CHAIN LINK MESH TREE FENCING
-  = 2X4 PLANKS WTH 3/4" PLYWOOD FOR BRIDGING CRZ

- IF PRUNING IS EXPECTED, HAVE A CERTIFIED ARBORIST ASSESS THE PRUNING NEEDS FOR THE PROJECT AND PROVIDE A WRITTEN ASSESSMENT WITH THE UPDATE SUBMITTALS OF THE ESTIMATED PERCENTAGE OF CANOPY THAT THE PRUNING IS PROPOSED TO REMOVE - THIS CANNOT EXCEED 25% PER PROTECTED TREE. A "PAID IN FULL" RECEIPT FOR THE WORK WILL BE REQUIRED FROM THIS CERTIFIED ARBORIST TO THE FINAL TREE INSPECTOR. IF 25% OR MORE OF THE CANOPY IS DESIRED TO BE REMOVED (FOR ANY PROTECTED TREE), A CERTIFIED ARBORIST MUST PROVIDE A WRITTEN REPORT TO US BEFORE PERFORMING THIS WORK IN ORDER FOR US TO CONSIDER THE PERMIT REQUIRED TO DO SO.

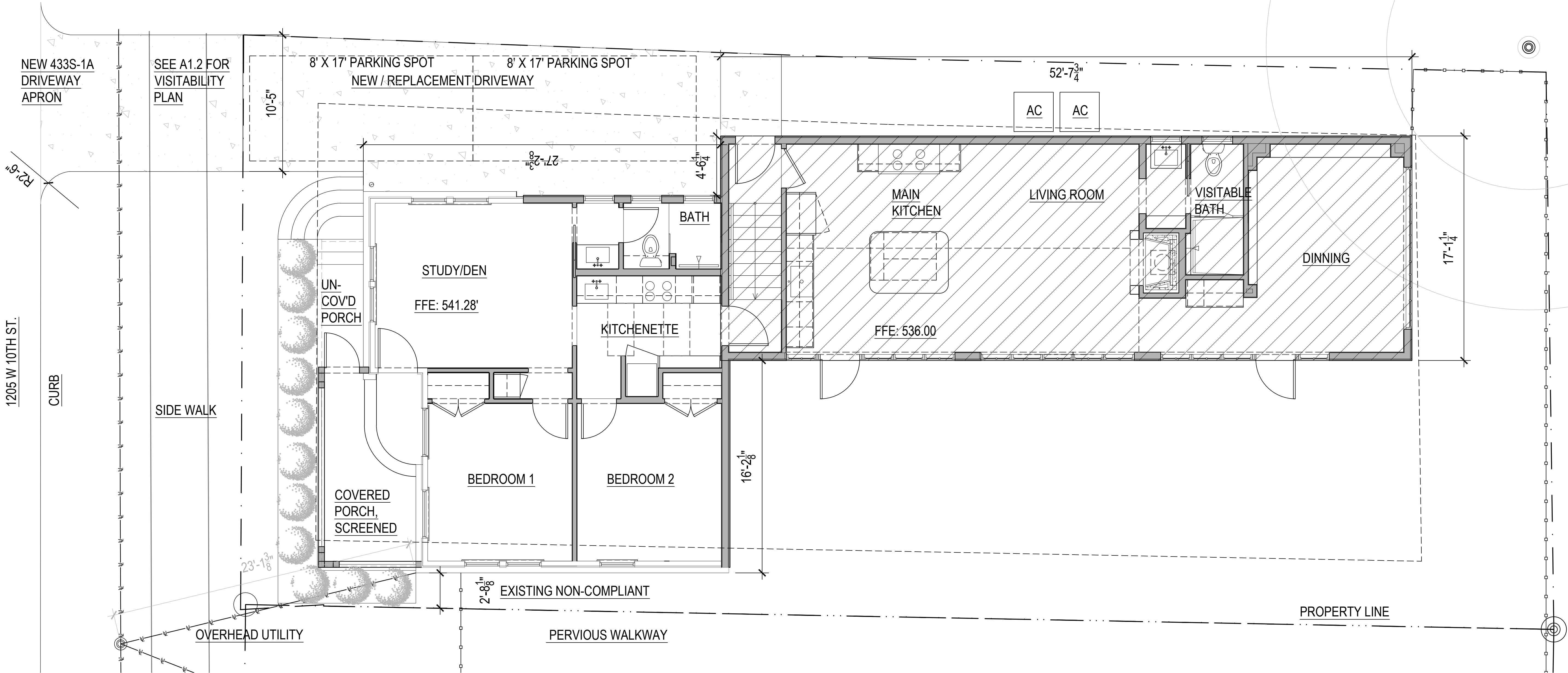
- IF A CONCRETE LINE PUMP WILL BE USED TO POUR FOUNDATION, PLEASE WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.

SITE CALCS

SITE AREA: 4,255 SQFT
EXISTING UPPER FLOOR: 1,112 SQFT
EXISTING LOWER FLOOR: 889 SQFT
EXISTING COVERED PORCH: 113 SQFT
EXISTING UNCOVERED FRONT PORCH: 72 SQFT
BUILDING FOOTPRINT: 1,340 SQFT
DRIVEWAY: 334 SQFT

REMODELED UNCOVERED FRONT PORCH: 60 SQFT
REMODELED UPPER FLOOR RENTAL UNIT: 740 SQFT
NEW STAIR ADDITION: 85 SQFT
NEW ADDITION: 820 SQFT

POOL AREA: 290 SQFT
POOL COPING: 70 SQFT
POOL PAD: 36 SQFT
AC PAD: 18 SQFT
DRIVEWAY: 428 SQFT NEW
ALLOWABLE FAR: 1,702 SQFT
PROPOSED FAR: 1560 SQFT (1,560 SQFT / 4,225 SQFT)100 = 37%
ALLOWABLE IMPERVIOUS COVER: 2,765 SQFT OR 65%
EXISTING IMPERVIOUS COVER: 3,475 SQFT OR 82%
PROPOSED IMPERVIOUS COVER: 2,460 SQFT (2,460 SQFT/ 4,225 SQFT)100 = 58 %



1 SITE PLAN
SCALE: 1/4" = 1'-0"
SCALE: 1/8" = 1'-0"
WHEN PRINTED AT HALF SIZE

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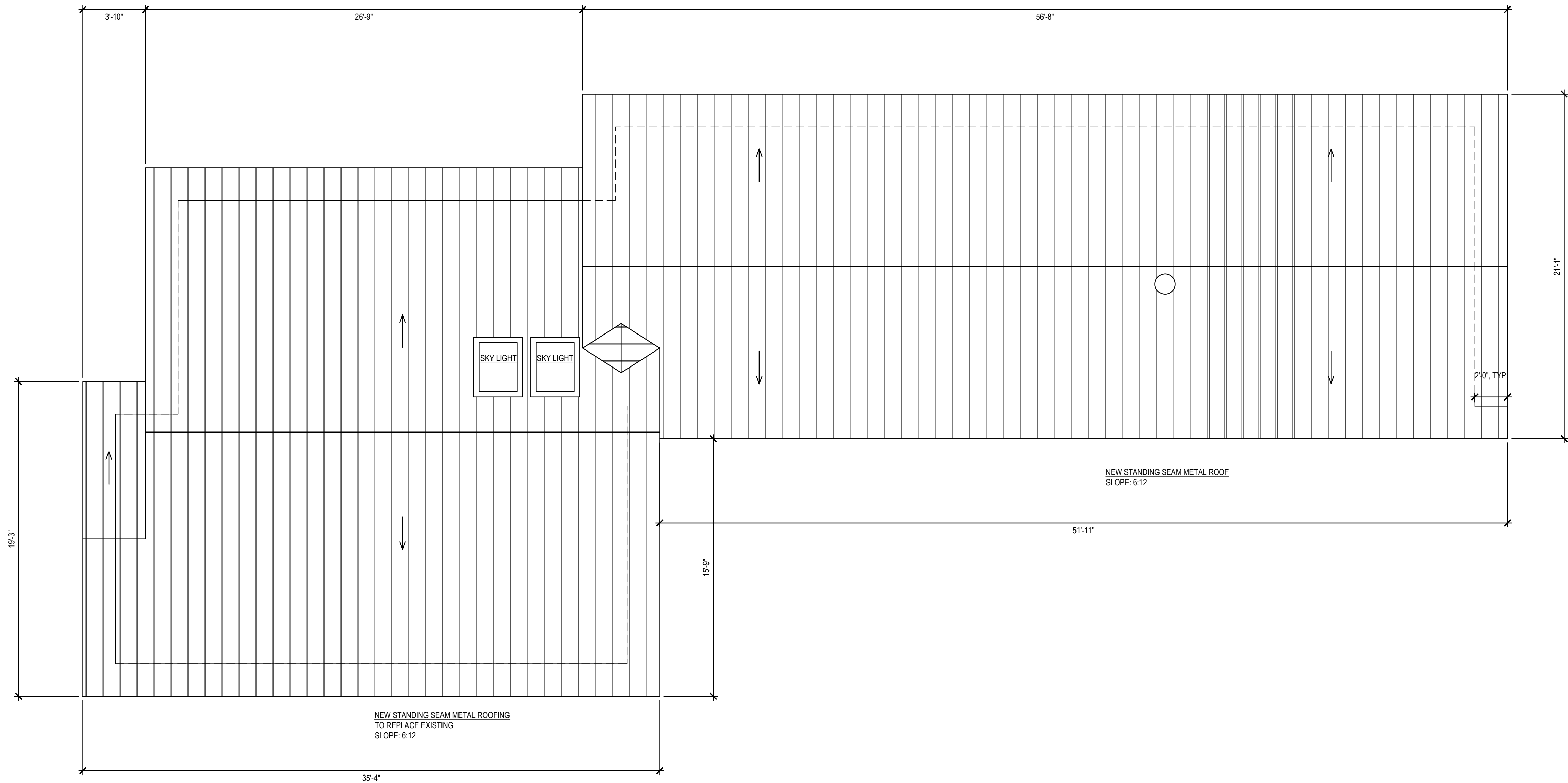
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SITE PLAN

A1.0



1 ROOF PLAN
SCALE: $\frac{1}{4}" = 1'-0"$
SCALE: $\frac{1}{8}" = 1'-0"$
WHEN PRINTED AT HALF SIZE

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ROOF PLAN

A2.2



1 FRONT NORTH EXISTING ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



2 BACK SOUTH EXISTING ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



2 SIDE EAST ELEVATION
SCALE: $\frac{1}{8}" = 1'-0"$
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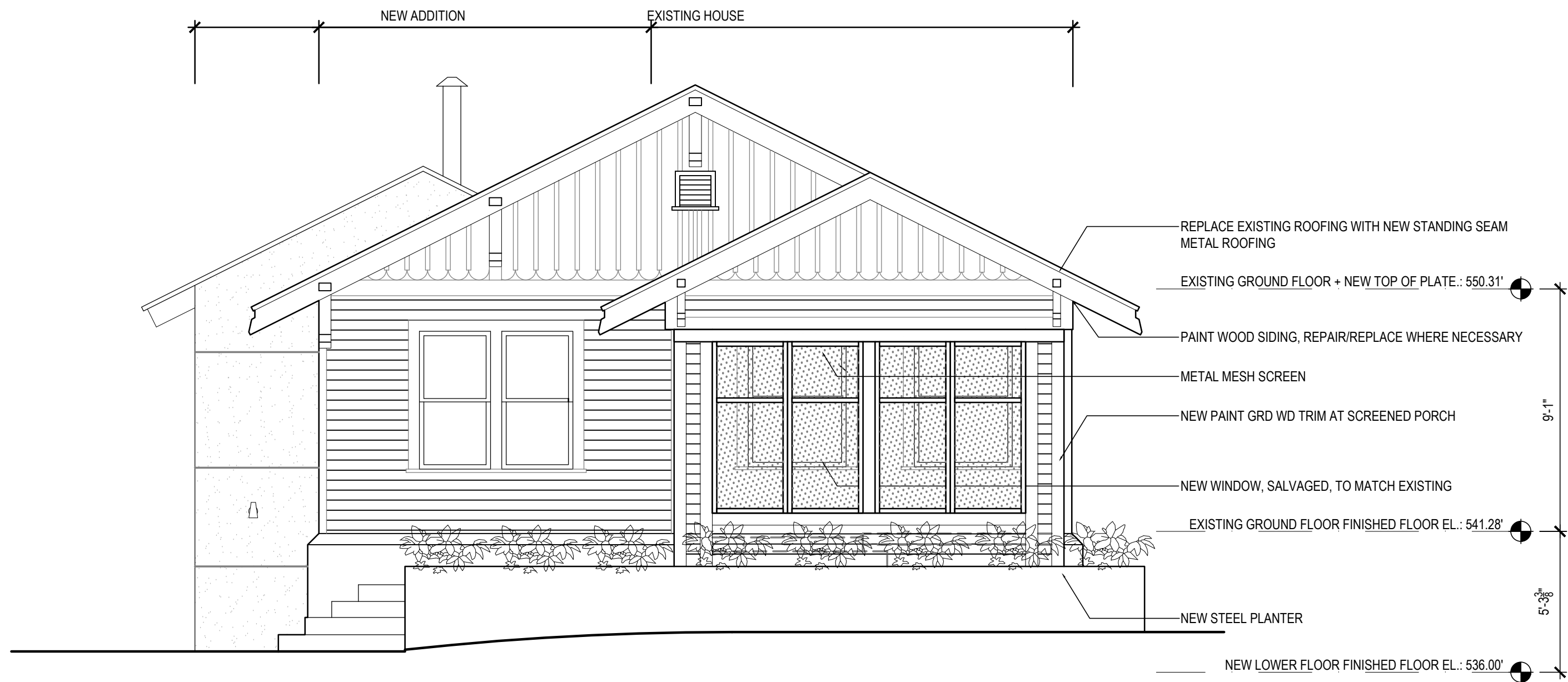
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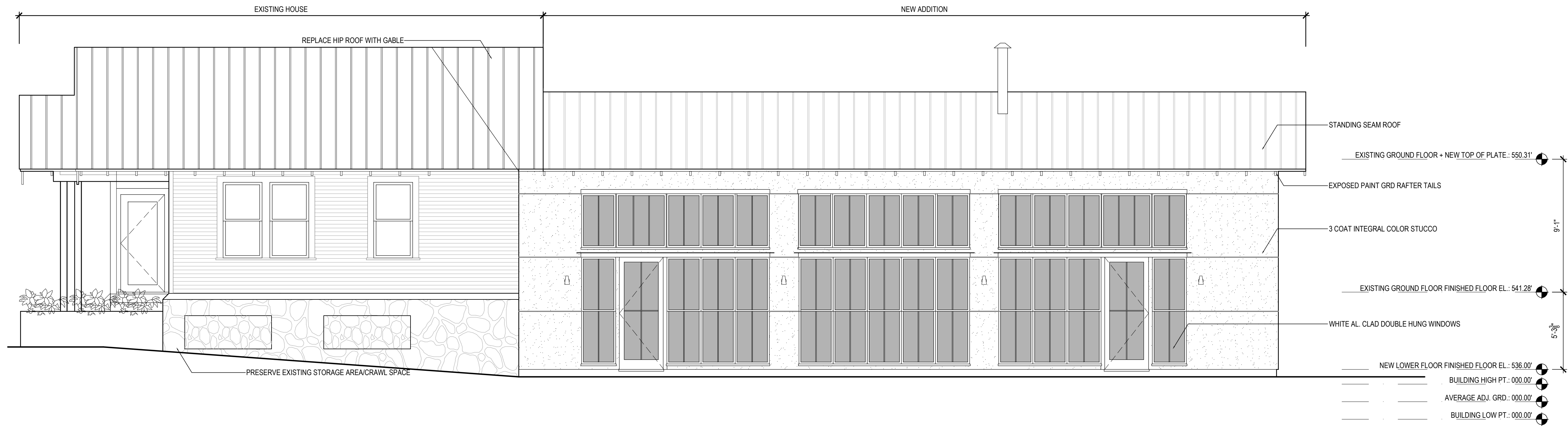
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EXTERIOR ELEVATIONS

A3.0



1 **NEW FRONT NORTH ELEVATION**
SCALE: $\frac{1}{4}" = 1'-0"$



2 **NEW SIDE EAST ELEVATION**
SCALE: $\frac{1}{4}" = 1'-0"$

SCALE: $\frac{1}{8}" = 1'-0"$
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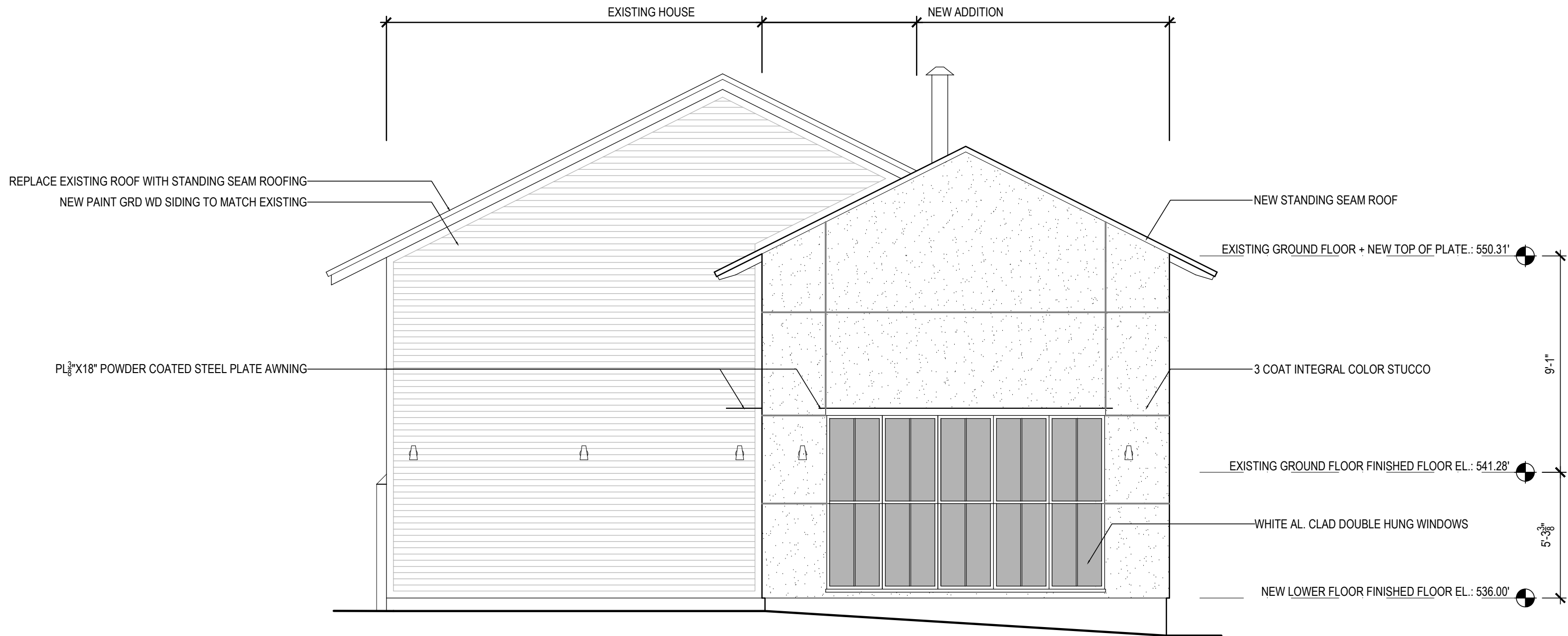
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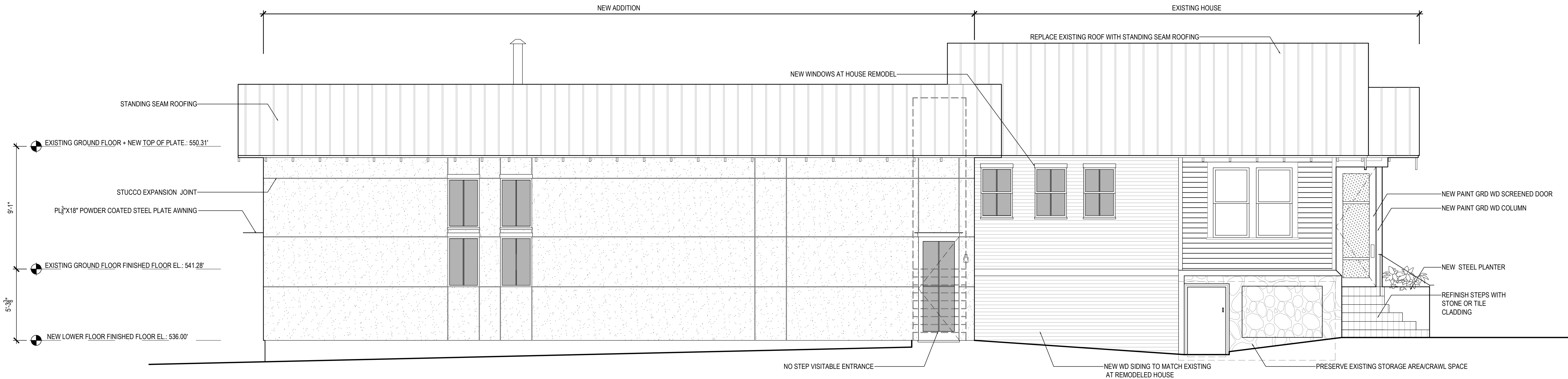
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EXTERIOR ELEVATIONS

A3.1



1 **NEW BACK SOUTH ELEVATION**
SCALE: $\frac{1}{4}" = 1'-0"$



2 **NEW SIDE WEST ELEVATION**
SCALE: $\frac{1}{4}" = 1'-0"$

SCALE: $\frac{1}{8}" = 1'-0"$
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EXTERIOR ELEVATIONS

A3.2