



Historic Review Application

For Office Use Only
Date of Submission: _____

Case #: _____

Historic Preservation Office approval

Date of Approval: _____

Property Address: _____

Historic Landmark

Historic District (Local)

National Register Historic District

Historic Landmark or

Historic District Name: _____

Applicant Name: _____ Phone #: _____ Email: _____

Applicant Address: _____ City: _____ State: _____ Zip: _____

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) _____ _____ _____ _____	_____ _____ _____ _____	Intend to preserve exterior facade as-is in current state with minor modifications and material replacement upon relocation. _____
2) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____
3) _____ _____ _____ _____	_____ _____ _____ _____	_____ _____ _____ _____

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing *and* proposed conditions for alterations and additions.

Site Plan

Elevations

Floor Plan

Roof Plan

2. Color photographs of building and site:

Elevation(s) proposed to be modified

Detailed view of each area proposed to be modified

*Any changes to these plans must be reviewed and approved by the
Historic Preservation Office and/or Historic Landmark Commission.*

Applicant Signature: _____

Date: _____

Submit complete application, drawings, and photos to preservation@austintexas.gov. Call (512) 974-3393 with questions.



Design Standards and Guidelines for Historic Properties

Adopted December 2012

Design Standards and Guidelines for Historic Properties

Landmarks and National Register historic district properties

If you are making changes to a historic landmark, the project *must* comply with these standards to receive a Certificate of Appropriateness. If you are making changes to a contributing property or constructing a new building within a National Register historic district, consider the standards below as advisory guidelines:

1. Use a property for its historic purpose or place it in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. Retain and preserve the historic character of a property shall be retained and preserved. Avoid the removal of historic materials or alteration of features and spaces that characterize a property.
3. Recognize each property as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Local historic district properties

If you are making changes to a contributing property or constructing a new building in a local historic district, the project *must* comply with the design standards established for that district to receive a Certificate of Appropriateness. Visit the Historic Preservation Office website to view your district's design standards: <http://www.austintexas.gov/department/historic-preservation>.

What Type of Work Requires a Certificate of Appropriateness?

Certificates of Appropriateness (COAs) are required for exterior changes or additions to historic landmarks, any property pending designation as a landmark, and contributing buildings in local historic districts; or if you are constructing a new building in a local historic district. Work requiring a COA includes:

1. Additions
2. Construction of new buildings, including outbuildings
3. Window and door replacement
4. Exterior siding replacement
5. Replacement of roof materials with a different material
6. Site changes such as a pool, deck, fence, or back porch enclosure

Ordinary repair and maintenance projects do *not* require a Certificate of Appropriateness. For more information, see the historic review process charts on the [Historic Preservation Office website](#).

RED RIVER STREET

SHORE CONDOMINIUMS

HOTEL VAN ZANDT

Paseo Connection to MACC

BACK ALLEY

LOC

Property line

Car share pick-up

Austin Energy Vault

Bar

UNBARLIEVABLE

Bar

F&B Space A

F&B Space B

F&B Space C

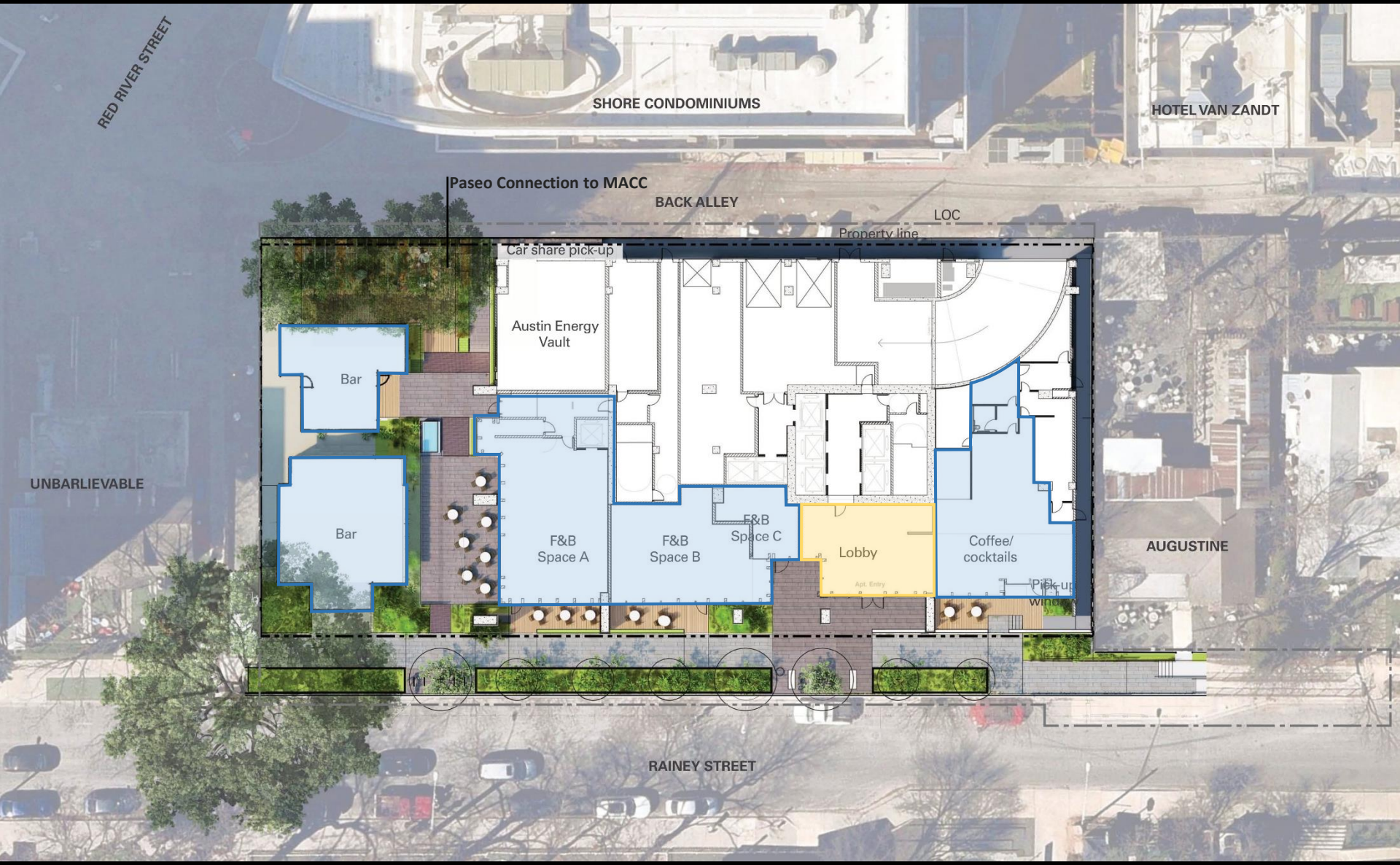
Lobby

Coffee/cocktails

AUGUSTINE

Pick up window

RAINEY STREET



1 East Elevation
SCALE: 1" = 30'

1 North Elevation
SCALE: 1" = 30'

1. No Height Limitation to Rainey Street Subdistrict of the Waterfront overlay.
2. Please refer to building plans for FFE of all doors

[illegible]

project number #P

date 10/21/2

sheet number SPC-2021-0129C

Screened Mechanical Roof Equipment

Parking garage screened through use of landscaping masonry, corrugated metal panels & parking crash wall.

Parking garage screened through use of landscaping masonry, corrugated metal panels & parking crash wall.

All entries along west elevation are service entries covered by floor above.

SCALE: 1" = 30'

SCALE: 1" = 30'

SITE PLAN RELEASE
SITE PLAN APPROVAL SHEET 55 OF 56
FILE NUMBER SPC-2021-0129C APPLICATION DATE APRIL 20, 2021
APPROVED BY COMMISSION ON _____ UNDER SECTION 112 OF
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER RENEE JOHNS
PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ DDZ

DEVELOPMENT SERVICES DEPARTMENT
RELEASE FOR GENERAL COMPLIANCE: _____ ZONING _____ CBD _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

[illegible]orientation

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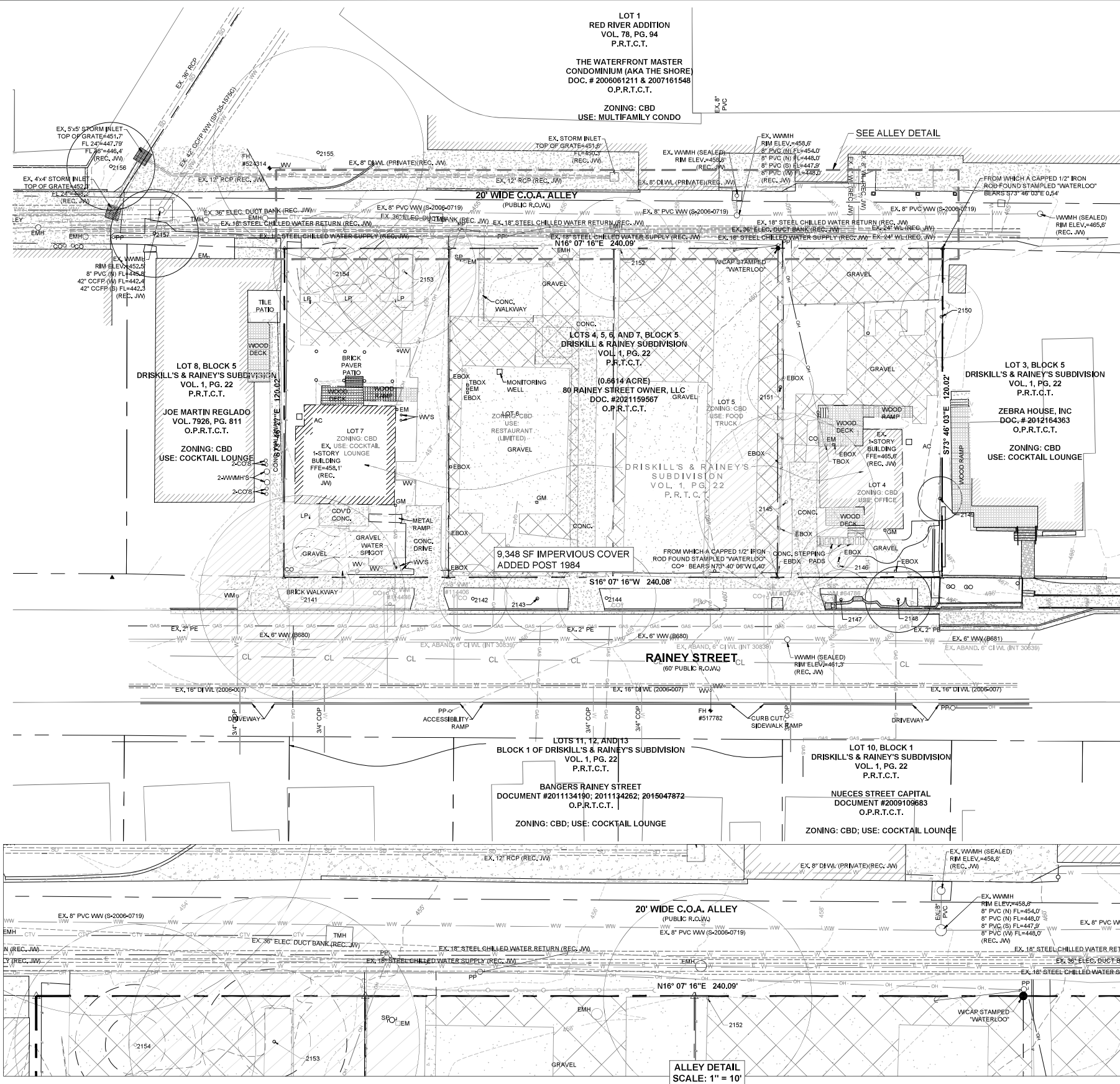
scale As Note

date 10/21/2

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sheet number SPC-2021-0129C

Drawing: G:\0108\kanna\027\7564\Rainey Street\CAD\Existing Conditions.dwg Last Plotted: Thu Oct 21, 2021 1:58pm By: cockert



ON SITE BENCHMARK:

BM#1 - SQUARE CUT ON TOP OF CONCRETE CURB ON THE EAST SIDE OF RAINEY STREET BEING ±40 FEET SOUTHWEST OF THE NORTHEAST CORNER OF LOT 4, AND BEING ±17 FEET SOUTH OF A POWER POLE

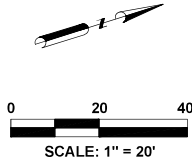
ELEVATION = 463.28'

THE TOPOGRAPHIC SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON ON 03-23-2021 BY CARA L. WILLIAMS, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6336, FIRM NO. 10194507.

NOTES:

1. A PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.

TREE TABLE SURVEYED 03/22/2021			
TREE #	SIZE	SPECIES	NOTES
2141 (AKA 5001)	37.5"	PECAN	R.O.W.; HERITAGE
*2142 (AKA 5002)	12.5"	RED OAK	R.O.W.
*2143 (AKA 5003)	12"	RED OAK	R.O.W.
*2144 (AKA 5004)	18"	CRAPE MYRTLE	M.S.; R.O.W.
*2145 (AKA 5011)	32.5"	PECAN	HERITAGE; POOR CONDITION
*2146 (AKA 5010)	14"	CHINESE TALLOW	INVASIVE
*2147 (AKA 5005)	11"	RED OAK	R.O.W.; POOR CONDITION
*2148 (AKA 5006)	12"	RED OAK	R.O.W.
*2149 (AKA 2)	8"	HACKBERRY	
*2150 (AKA 1)	15"	CHINABERRY	INVASIVE
*2151 (AKA 5013)	12"	HACKBERRY	POOR CONDITION
*2152 (AKA 5009)	19"	PECAN	
2153 (AKA 5007)	26.5"	PECAN	HERITAGE
2154 (AKA 5008)	22"	PECAN	
2155	38.5"	PECAN	NEIGHBOR; HERITAGE
2156	16"	PECAN	NEIGHBOR
2157	16"	PECAN	R.O.W.
*TREES TO BE REMOVED			



LEGEND	
●	1/2" IRON ROD FOUND
▲	MAG NAIL FOUND
△	CALCULATED POINT
▨	CONCRETE
▩	GRAVEL
▧	STONE
▦	BRICK
▤	WOOD DECK
—	WOOD FENCE
—	CHAIN LINK FENCE
—	R.O.W. RIGHT-OF-WAY
—	P.R.T.C.T. PLAT RECORDS, TRAVIS COUNTY, TEXAS
○	EXISTING TREE
○	EX. HERITAGE TREE
▨	EX. IMPERVIOUS COVER - ADDED POST 1984

INTERIM REVIEW ONLY
Document incomplete, not intended for regulatory approval, permit, or construction.
SCOTT WUEST
98412
10/21/21
DW

EXISTING CONDITIONS

RAINEY TOWER
80 RAINEY STREET



ENGINEERING & SURVEYING

FIRM # F-15324
5207 AIRPORT BOULEVARD
AUSTIN, TEXAS 78751
(512) 394-1900

SHEET

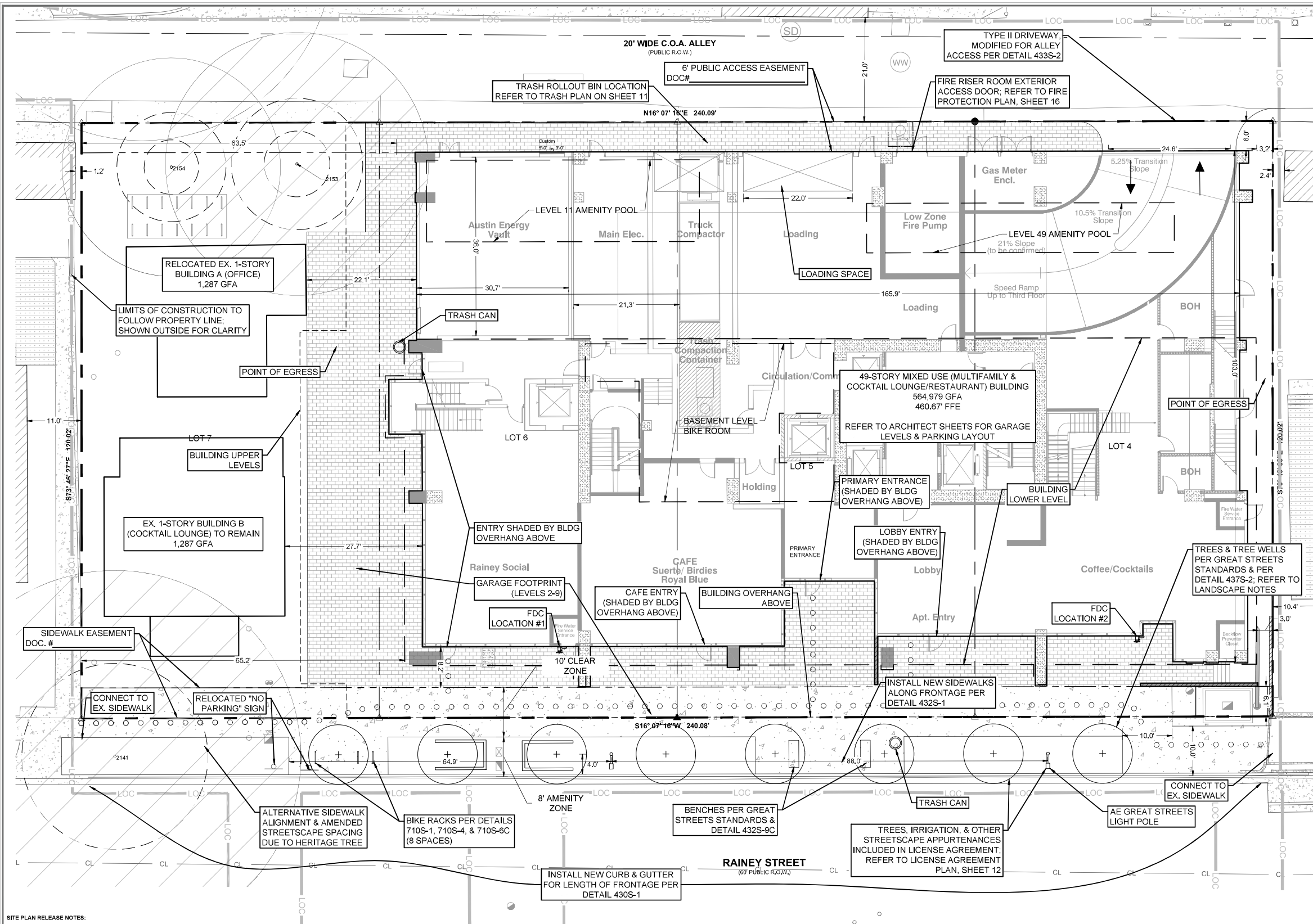
3 OF 56

SPC-2021-0129C



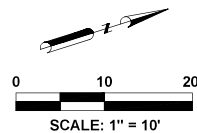
SITE PLAN RELEASE
SITE PLAN APPROVAL SHEET 3 OF 56
FILE NUMBER SPC-2021-0129C APPLICATION DATE APRIL 20, 2021
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LEGEND

	CURB AND GUTTER
	PROPOSED BUILDING FOOTPRINT
	PROPOSED GARAGE LEVELS OVERHEAD
	PROPOSED RESIDENTIAL LEVELS OVERHEAD
	EXISTING BUILDING
	CONCRETE
	PROPERTY LINE
	LIMITS OF CONSTRUCTION
	ACCESSIBLE ROUTE
	TRASH CAN
	TREE WELL
	BENCHES
	GREAT STREETS LIGHT POLE
	BIKE RACKS
	EXISTING TREE TO REMAIN
	HERITAGE TREE TO REMAIN



INTERIM REVIEW ONLY
Document incomplete: not intended for
regulatory approval, permit or construction.
SCOTT WUEST
Engineer
98412
Registration Number
10/21/21

SITE PLAN

RAINEY TOWER
80 RAINEY STREET



ENGINEERING & SURVEYING

FIRM # F-15324
5207 AIRPORT BOULEVARD
AUSTIN, TEXAS 78751
(512) 394-1900

OF 56

SPC-2021-0129C

RAINEY TOWER

UPDATE 0

REVISION

DATE _____

No.

1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN, ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE CITY OF AUSTIN DEVELOPMENT SERVICES DEPARTMENT.
2. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
3. THE OWNER SHALL COMPLY WITH REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-01).
4. ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
5. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
6. EXISTING STRUCTURES SHOWING EVIDENCE OF COLLAPSE WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY OF AUSTIN DEVELOPMENT SERVICES DEPARTMENT.
7. A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR ALL EXISTING EXTERIOR STRUCTURES.
8. THE OWNER SHALL BE RESPONSIBLE FOR ALL COSTS FOR RELOCATION OR FOR DAMAGE TO UTILITIES.
9. THE CONSTRUCTION SHALL BE WITHIN THE RIGHT-OF-WAY. A ROW EXCAVATION PERMIT IS REQUIRED.
10. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP, [ANSI 403.3]
11. ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50, [ANSI 501.5]
12. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50, [ANSI 403.3]
13. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF

ADDITIONAL NOTES:

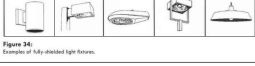
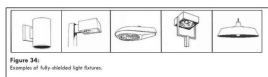
1. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
 2. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP IS 30 IN. THE MAXIMUM HORIZONTAL PROJECTION IS 30 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:12 AND 1:15, AND 40 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:16 AND 1:20. (ANSI A117.1-2003)
 3. ALL EXTERIOR LIGHTING SHALL BE FULLY CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E.25 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.
- 

Figure 3-6:
Examples of fully-shielded light fixtures.
4. SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
 5. A RESTRICTIVE COVENANT FOR THIS SITE TO ENSURE COMPLIANCE WITH THE DOWNTOWN DENSITY BONUS PROGRAM WAS RECORDED IN DOCUMENT #



6. COMPLIANCE WITH GREEN BUILDING STANDARDS OF ONE STAR IS REQUIRED FOR ALL BUILDINGS CONSTRUCTED ON THIS SITE.
7. THE SITE IS COMPOSED OF 4 LOTS/TRACTS. IT HAS BEEN APPROVED AS ONE COHESIVE DEVELOPMENT IN DOCUMENT # _____ OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS. IF THE LOTS OR PORTIONS OF THE LOTS/TRACTS ARE SOLD, APPLICATION FOR SUBDIVISION AND SITE PLAN APPROVAL MAY BE REQUIRED.
8. EACH COMPACT PARKING SPACE/ABLE WILL BE SIGNED "SMALL CAR ONLY". (LDC §25-6-475)
9. REFER TO FIRE PROTECTION PLAN FOR OFFSITE HYDRANT LOCATIONS.

REFER TO SITE PLAN DATA TABLES, SHEET 9, FOR SITE DATA TABLES
INCLUDING IMPERVIOUS COVER, PARKING, AND BUILDING SUMMARY



SITE PLAN RELEASE

SITE PLAN APPROVAL SHEET 8 OF 56
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DEVELOPMENT SERVICES DEPARTMENT
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Rev. 1	Correction 1
Rev. 2	Correction 2
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House Party

84



HOTEL VAN 7

House Party











Perspective Rendering



paseo gateway art by local artist



PAPPAGEORGE
HAYMES

DRENNER
GROUP

80 rainy

density bonus
package

The information shown is based on
the best information available and is
subject to change without notice.

Perspective Rendering



PAPPAGEORGE
HAYMES

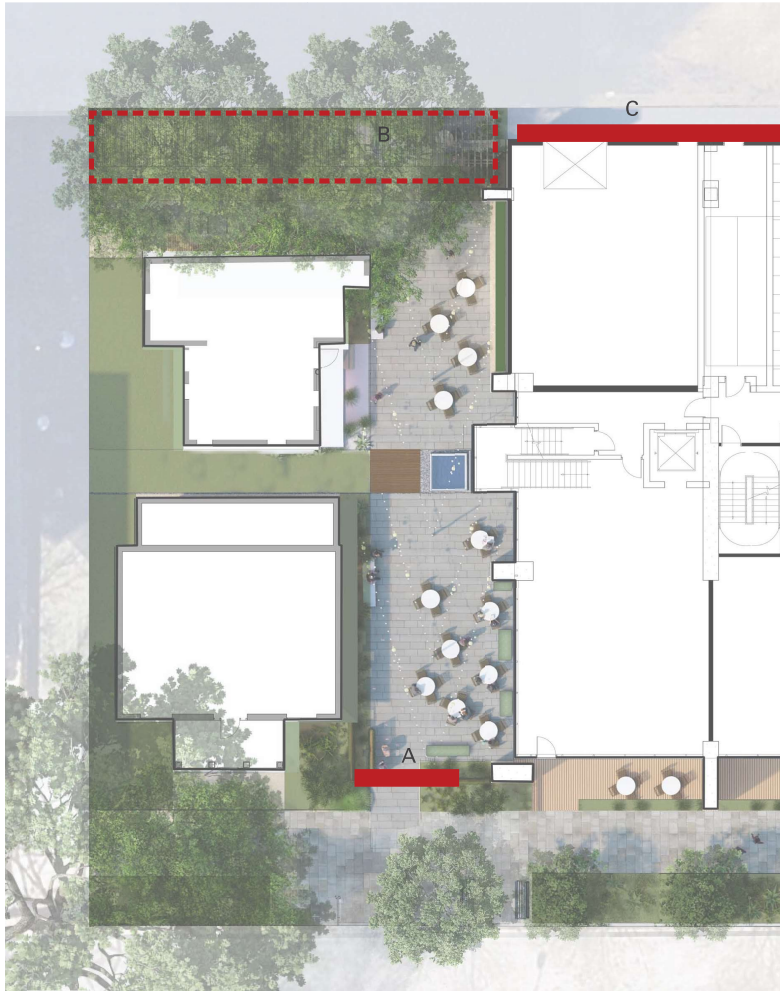
DRENNER
GROUP

80 rainy

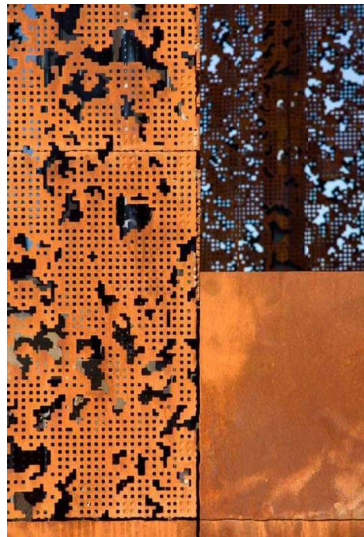
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package

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Art Features



A - interactive gateway feature



B - art feature wall & trellis



C - mural wall