

1712 WEST 11TH

REMODEL & ADDITION

GENERAL NOTES

- CONTRACTOR TO COORDINATE STAGING AREAS.
- ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING WORK UNDER THIS CONTRACT.
- COORDINATE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.
- NO CHANGES IN CONSTRUCTION METHODS, MATERIALS, DETAILS, SPECIFICATIONS, GENERAL NOTES AND SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THESE PLANS WILL BE ACCEPTABLE WITHOUT FIRST OBTAINING PERMISSION FROM THE ARCHITECT AND CLIENT. TO OBTAIN PERMISSION WHEN PRICING, RELEVANT DRAWINGS AND DOCUMENTS SHALL BE PROVIDED TO ARCHITECT AND CLIENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP AND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS. ALL CONSTRUCTION AND RELATED BUILDING COMPONENTS TO COMPLY WITH THE LATEST AND APPLICABLE IRC, NEC AND LOCAL BUILDING CODES, ETC.
- THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUANTITY/QUALITY IS TO BE PERFORMED OR FURNISHED.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL MATERIALS STORED OR INSTALLED ON THE SITE LEFT SUBJECT TO DAMAGE OR THEFT.
- PROVIDE AND PAY FOR ALL COST FOR TEMPORARY FACILITIES AND SERVICES REQUIRED FOR THE PROPER AND EXPEDITIOUS EXECUTION OF THE CONTRACT WORK. MAKE ALL TEMPORARY CONNECTIONS TO EXISTING UTILITIES IN LOCATIONS ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION THEREOF. PAY ALL COSTS FOR TEMPORARY ELECTRICAL POWER, WATER AND HEATING.
- PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA.
- A COMPLETE SET OF AS-BUILTS SHALL BE FURNISHED TO THE ARCHITECT AT COMPLETION OF THE PROJECT. THE CLOSE OUT PACKAGE IN THE FORM OF A HARD BINDER, INDEXED, LABELED AND DIVIDERS FOR WHICH INCLUDES COPIES OF PERMITS AND THE CERTIFICATE OF OCCUPANCY, A LIST OF SUB-CONTRACTORS AND PHONE NUMBERS, ALL WARRANTIES AND MANUALS. ONE COPY SHOULD GO DIRECTLY TO THE OWNER AND ONE COPY TO THE ARCHITECT. PROVIDE PAINT COLORS AND FORMULAS OF ALL PAINTS.
- GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED WITH A COMPLETE SET OF DOCUMENTS. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE BUT GENERAL CONTRACTOR SHALL SUBMIT HIS BID PER A FULL AND COMPLETE SET OF PLANS AND SPECIFICATIONS FIRST AND THEN SUBMIT ANY VALUE ENGINEERING ITEMS SEPARATELY AS A LINE ITEM SUBSTITUTE.
- PROVIDE BLOCKING IN WALLS AS REQUIRED FOR RESTROOM ACCESSORIES, WALL SHELVES, HAND SINKS, ETC.... COORDINATE WITH REQUIRED ADA AND KITCHEN EQUIPMENT HEIGHTS AND DIMENSIONS, WHERE APPLICABLE.
- ALL PAINT COLORS TO BE SELECTED AT A LATER DATE, BY OWNER AND ARCHITECT.
- PROVIDE ARCHITECT W/SHOP DWGS. OF ALL MILLWORK
- PROVIDE ARCHITECT & ENGINEER W/ SHOP DWGS. OF ALL STRUCT. STEEL WORK
- ALL NEW & ORIGINAL CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR & INTERIOR PRIOR TO OWNER'S OCCUPANCY.
- LAYOUT TILE PATTERNS PRIOR TO INSTALLATION FOR ARCH. APPROVAL
- SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISHES AND FIXTURES; PAINT COLORS TO BE SELECTED AT A LATER DATE
- CONTRACTOR SHALL PROVIDE APPROPRIATE WRITTEN DOCUMENTS THAT REFLECT ANY CHANGES TO ORIGINAL DRAWINGS, FINISH AND MATERIAL SPECIFICATIONS OR LAYOUT
- ALL SUBCONTRACTORS SHALL REVIEW AND STUDY THE COMPLETE SET OF DRAWINGS TO PROVIDE PRICING PROPOSAL AND PRODUCE AND CONSTRUCT THEIR WORK
- ALL WATER PROOFING, ROOFING, FLASHING AND SCUPPERS TO BE CONSTRUCTED ACCORDING TO INDUSTRY, CODE AND MANUFACTURER'S STANDARDS.
- ALL WINDOWS AND GLASS DOORS TO COMPLY WITH I.R.C. AND APPLICABLE CODES.
- CONTRACTOR TO COORDINATE EQUIPMENT AND/OR FURNITURE INSTALLATION WITH CONSTRUCTION SEQUENCING AND ACCESS. INFORM OWNER IN INITIAL CONSTRUCTION SCHEDULE OR MEETING OF ANY MILESTONE DATES OR CRITICAL POINTS.

DIGITAL PDFS OF THE DRAWINGS ARE AVAILABLE FROM DICK CLARK + ASSOCIATES, PROJECT NAME "1712 WEST 11TH", PHONE: 512-472-4980

PROJECT DATA

SITE INFORMATION

8,978 LOT SIZE
4,040 MAX ALLOWED IMPERVIOUS COVER (45%)

EXISTING SQUARE FOOTAGES

1,650 HVAC (HOUSE)
194 EXISTING CONCRETE DRIVE ON PROPERTY
92 EXISTING FRONT ENTRY (COVERED)
51 EXISTING CONCRETE PAD BENEATH DECK
165 EXISTING FRONT ENTRY WALK /UNCOVERED (DEMOLISH)
160 EXISTING REAR DECK (DEMOLISH)
14 EXISTING REAR DECK STEPS (DEMOLISH)
286 EXISTING STONE PATIO (DEMOLISH)
7 AC PAD(S)

1,994 EXISTING IMPERVIOUS COVER (TO REMAIN)

PROPOSED SQUARE FOOTAGES

609 HVAC (FIRST FLOOR ADDITION)
270 CARPORT

98 GARDEN SHED
157 SCREEN PORCH
82 REAR DECK (COVERED)
418 REAR DECK (UNCOVERED)
85 POOL WATER AREA
41 POOL COPING AREA
82 PAVED PARKING STRIPS
4.5 A/C PAD (50%)
9 POOL EQUIPMENT PAD (50%)

3,849.5 IMPERVIOUS COVER
42.8% IMPERVIOUS COVER %

3,200 BUILDING COVERAGE
35.6% BUILDING COVERAGE %

OFF STREET PARKING REQUIREMENTS

2 SPACES PER CHAPTER 25, APPENDIX A

CONTACTS

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ARCHITECTURE

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STRUCTURAL ENGINEER

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E-MAIL: Contact-E-mail

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Street-Address
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STRUCTURAL

ISSUES & REVISIONS

ARCHITECTURAL SYMBOLS

- DRAWING NUMBER
DRAWING TITLE
SCALE: 1/4" = 1'-0"
- NORTH ARROW
- DOOR DESIGNATION NUMBER (PLAN)
- WINDOW DESIGNATION LETTER (PLAN)
- PARTITION TYPE
- CENTERLINE
- ROOM IDENTIFICATION
- FINISH CEILING & HEIGHT
- ELEVATION CHANGE (PLAN)
- INTERIOR ELEVATION KEY
- VIEW NUMBER
- SHEET NUMBER
- VIEW DIRECTION / ELEVATION NUMBER
- DETAIL KEY
- DRAWING NUMBER
- SHEET NUMBER
- SECTION DETAIL
- WALL SECTION
- ELEVATION TAG
- SHEET NUMBER
- DRAWING NUMBER
- PLATELINE OR FLOOR ELEVATION (ELEVATIONS & SECTIONS)
- DETAIL SECTION
- DRAWING NUMBER / SHEET NUMBER
- REVISION NUMBER AND AFFECTED AREA

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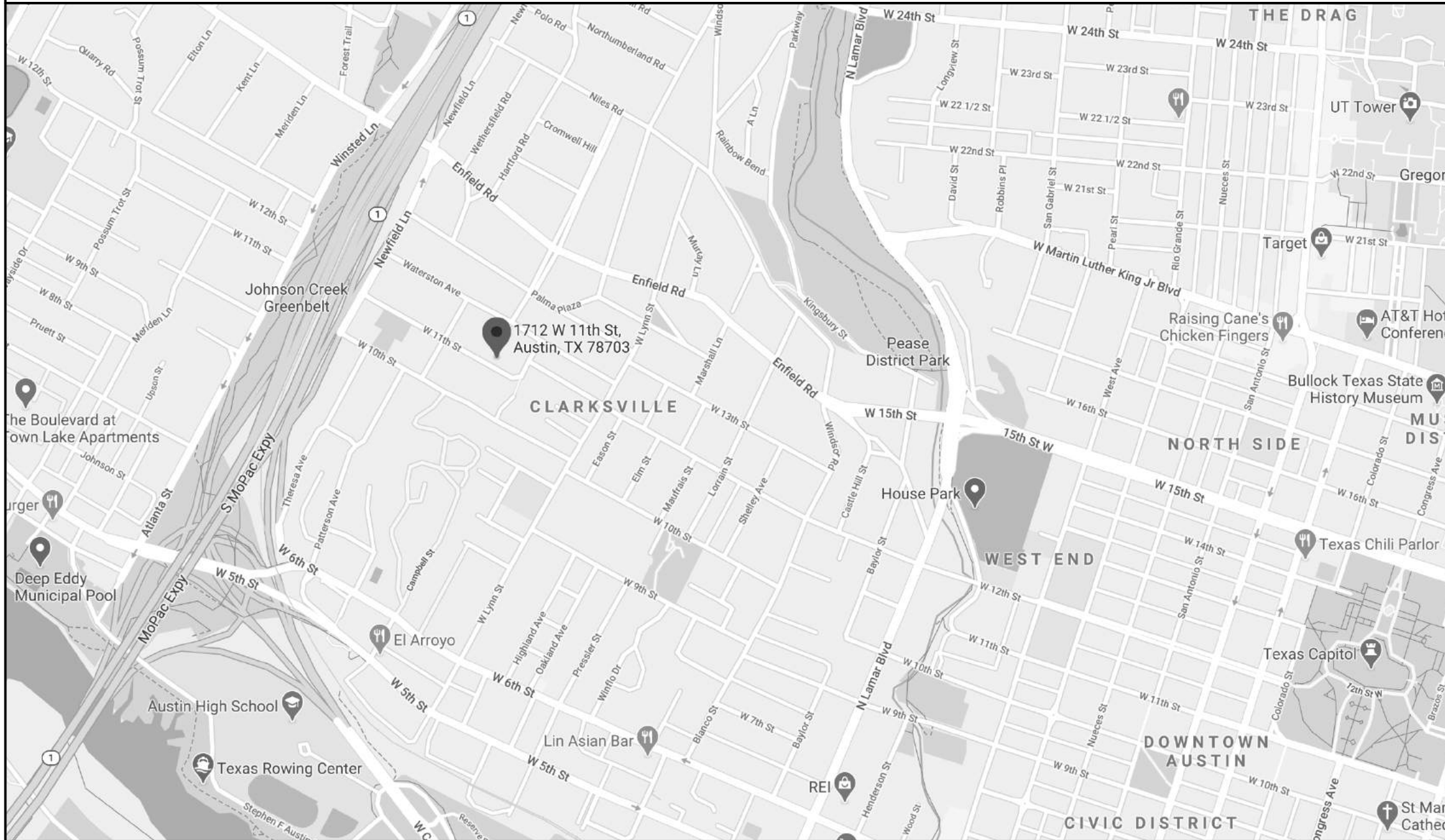
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SCHEMATIC RENDERING



VICINITY MAP



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COVER SHEET

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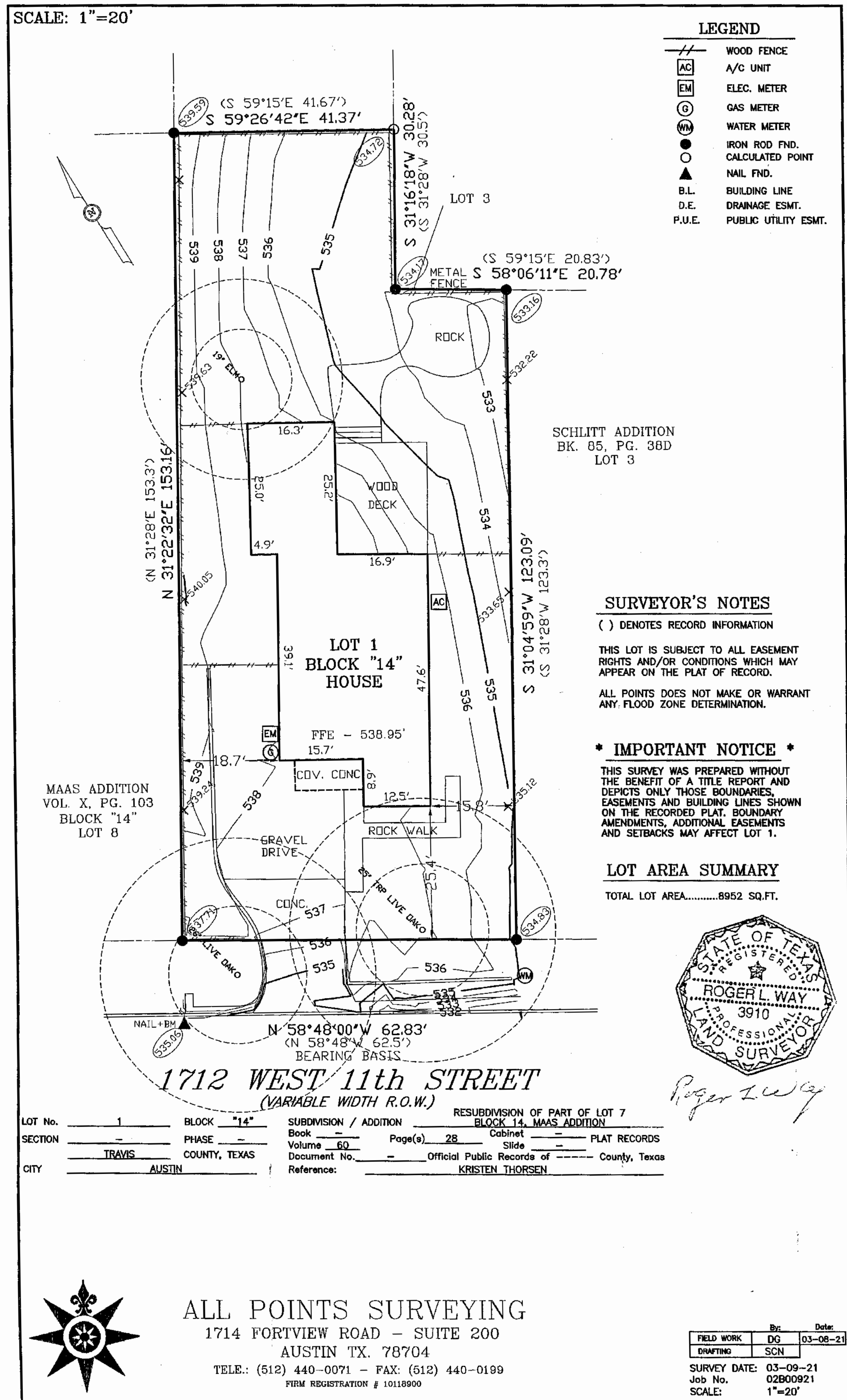
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SITE SURVEY

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NOT IN SCOPE:

ORIGINAL SURVEY DONE BY ALL
POINTS SURVEYING

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SITE PLAN: DEMOLITION

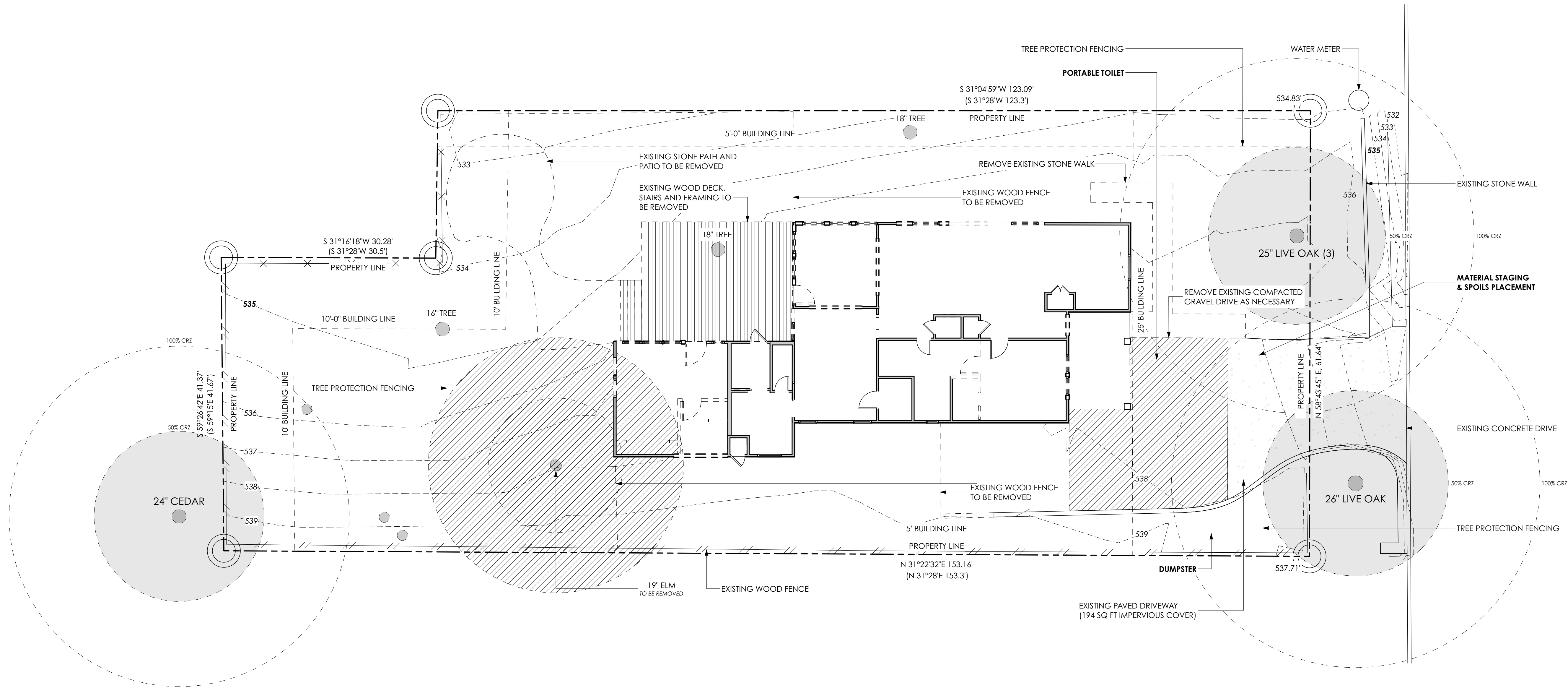
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TREE MITIGATION NOTE:

103" EXISTING CALIPER INCHES TO BE MITIGATED
19" EXISTING CALIPER INCHES TO BE REMOVED

* ALL EXISTING TREES TO BE MITIGATED ARE TO BE PROTECTED WITH
FENCING THROUGHOUT CONSTRUCTION



TRUE NORTH

1 SITE PLAN: DEMOLITION
SCALE: 1/8" = 1'-0"

SITE CALCULATIONS

IMPERVIOUS COVER CALCULATIONS

ALLOWABLE I.C. (@45%)	= 4,040 SQ FT
EXISTING I.C.	= 1,994 SQ FT
MINUS EXIST WOOD DECK	= 160 SQ FT
MINUS EXIST WOOD STEPS	= 14 SQ FT
MINUS EXIST STONE PATIO	= 286 SQ FT
MINUS EXIST STONE WALK	= 165 SQ FT
AVAILABLE I.C.	= 2,671 SQ FT

PROPOSED IMPERVIOUS COVER

PRIMARY ADDITION	= 609 SQ FT
CARPORT	= 270 SQ FT
GARDEN SHED	= 98 SQ FT
SCREEN PORCH	= 157 SQ FT
REAR DECK (COVERED) (50%)	= 82 SQ FT
REAR DECK (UNCOVERED) (50%)	= 418 SQ FT
POOL WATER AREA	= 85 SQ FT
POOL COPING	= 41 SQ FT
PAVED PARKING STRIPS	= 82 SQ FT
A/C PAD (50%)	= 4.5 SQ FT
POOL EQUIPMENT PAD (50%)	= 9 SQ FT
TOTAL	= 1,757 SQ FT

REMAINING I.C. = 914 SQ FT

FLOOR TO AREA RATIO (FAR) CALCULATIONS

ALLOWABLE FAR (@40%)	= 3,591 SQ FT
EXISTING FAR	= 1,623 SQ FT

AVAILABLE FAR = 1,968 SQ FT

PROPOSED FAR

PRIMARY ADDITION	= 609 SQ FT
L2 ADDITION	= 875 SQ FT
TOTAL	= 1,484 SQ FT

REMAINING FAR = 484 SQ FT

AVAILABLE FOR HOME RENOVATION & ADDITION

AVAILABLE FOR ADDITIONAL SITE IMPROVEMENTS,
HOME RENOVATION & ADDITION

TREE NOTES

THE FOLLOWING MAY NOT BE PLACED WITHIN THE 1/2 CRZs:

- ACCESS ROUTES
- MATERIAL STAGING
- DUMPSTER
- SPOILS PLACEMENT

THE FOLLOWING MAY NOT BE PLACED WITHIN THE FULL CRZs:

- PORTABLE TOILET
- CONCRETE WASHOUT
- PAINT WASHOUT

NOTE

REFER TO ORIGINAL SURVEY "02B00921" DONE BY ALL POINTS SURVEYING ON MARCH 9TH OF 2021 OF EXISTING SITE FOR EXACT MEASUREMENTS AND LOCATIONS OF PROPERTY LINES, UTILITIES, CONTOURS, LANDSCAPING AND ELEVATIONS



DICK CLARK + ASSOCIATES
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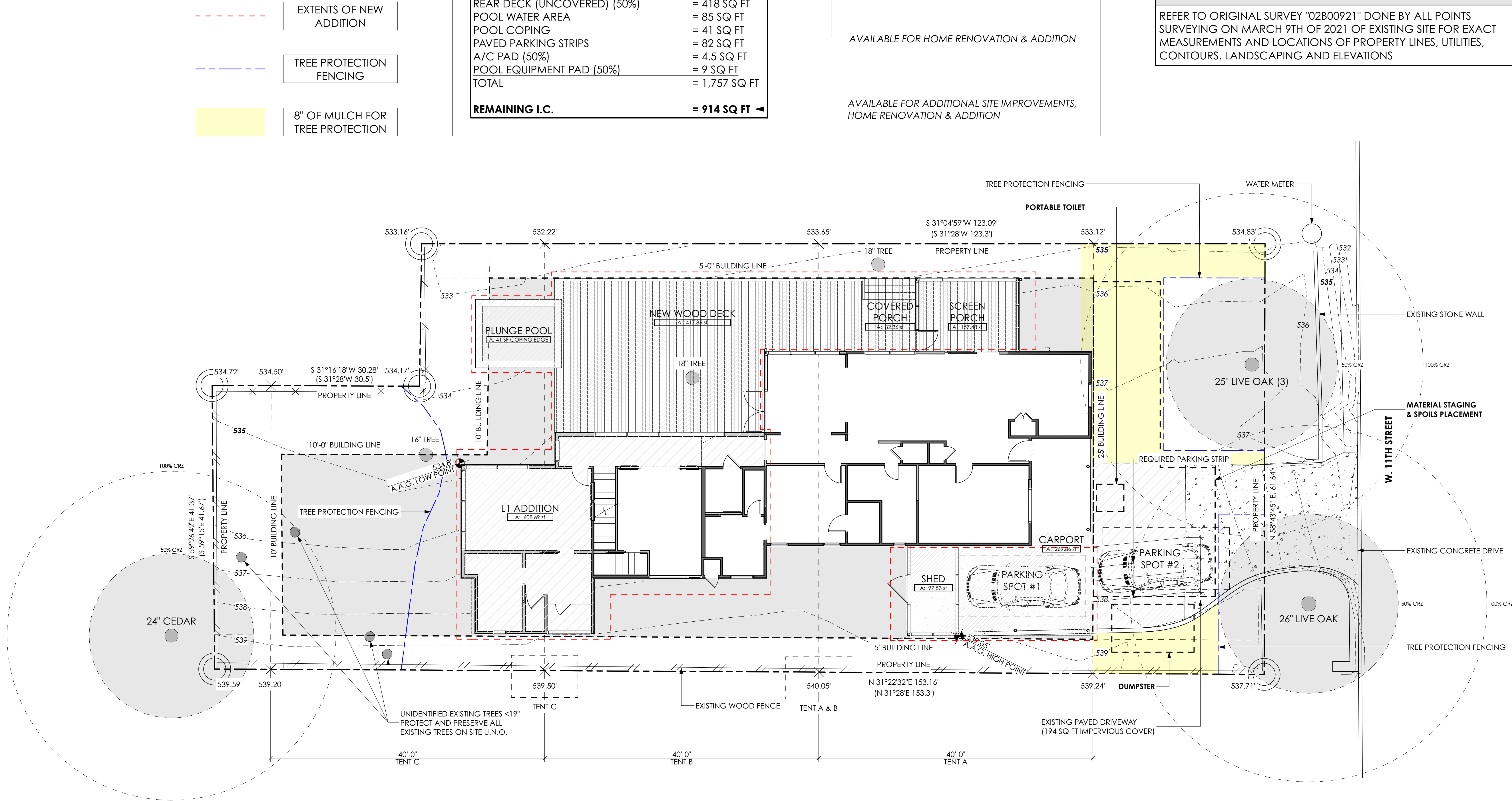
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SITE PLAN:
ARCHITECTURAL

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TRUE NORTH
1 SITE PLAN: ARCHITECTURAL
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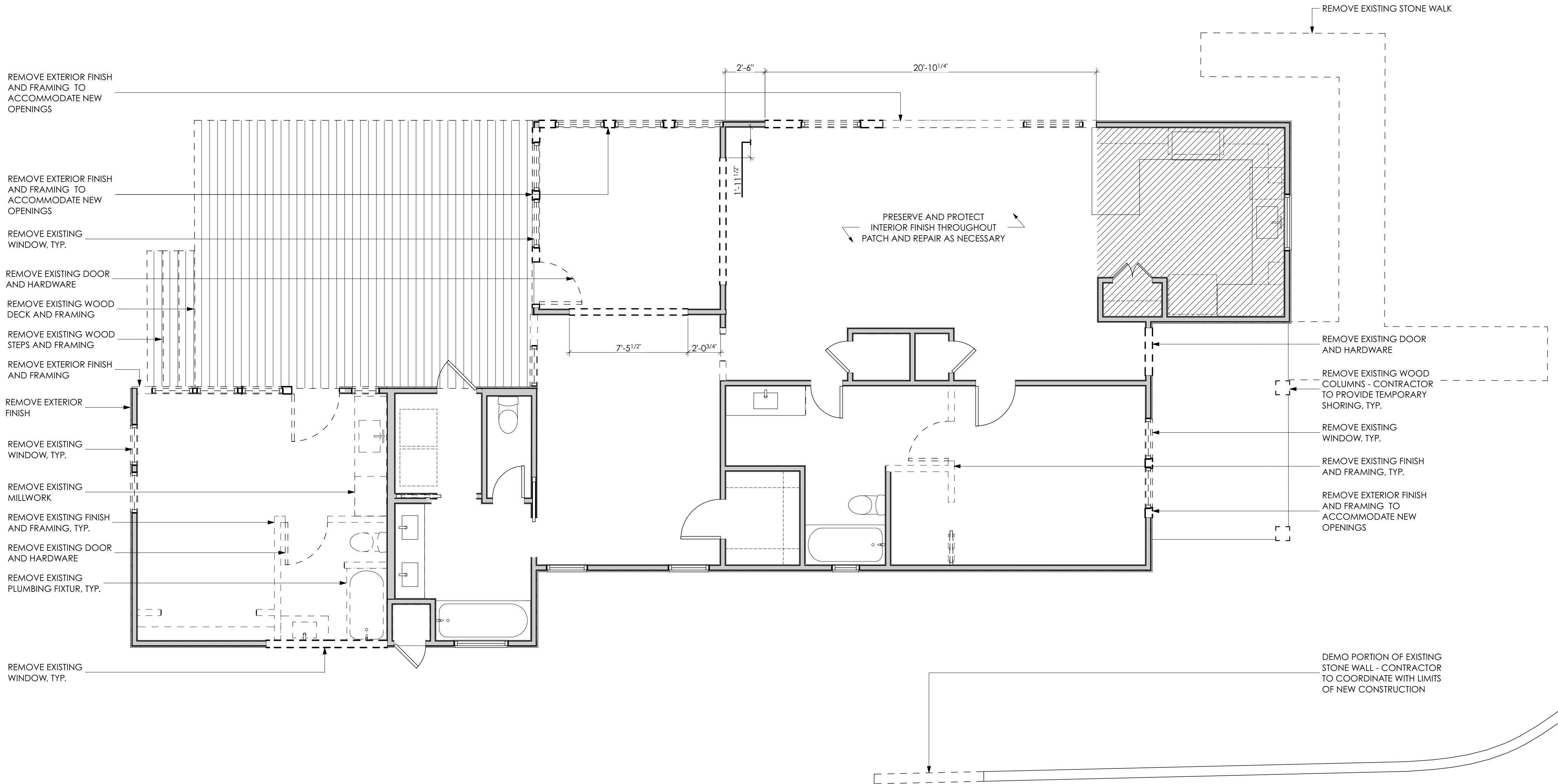
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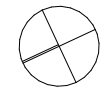
DEMOLITION PLAN:
FIRST FLOOR

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NORTH



1 DEMOLITION PLAN: FIRST FLOOR
SCALE: 1/4" = 1'-0"

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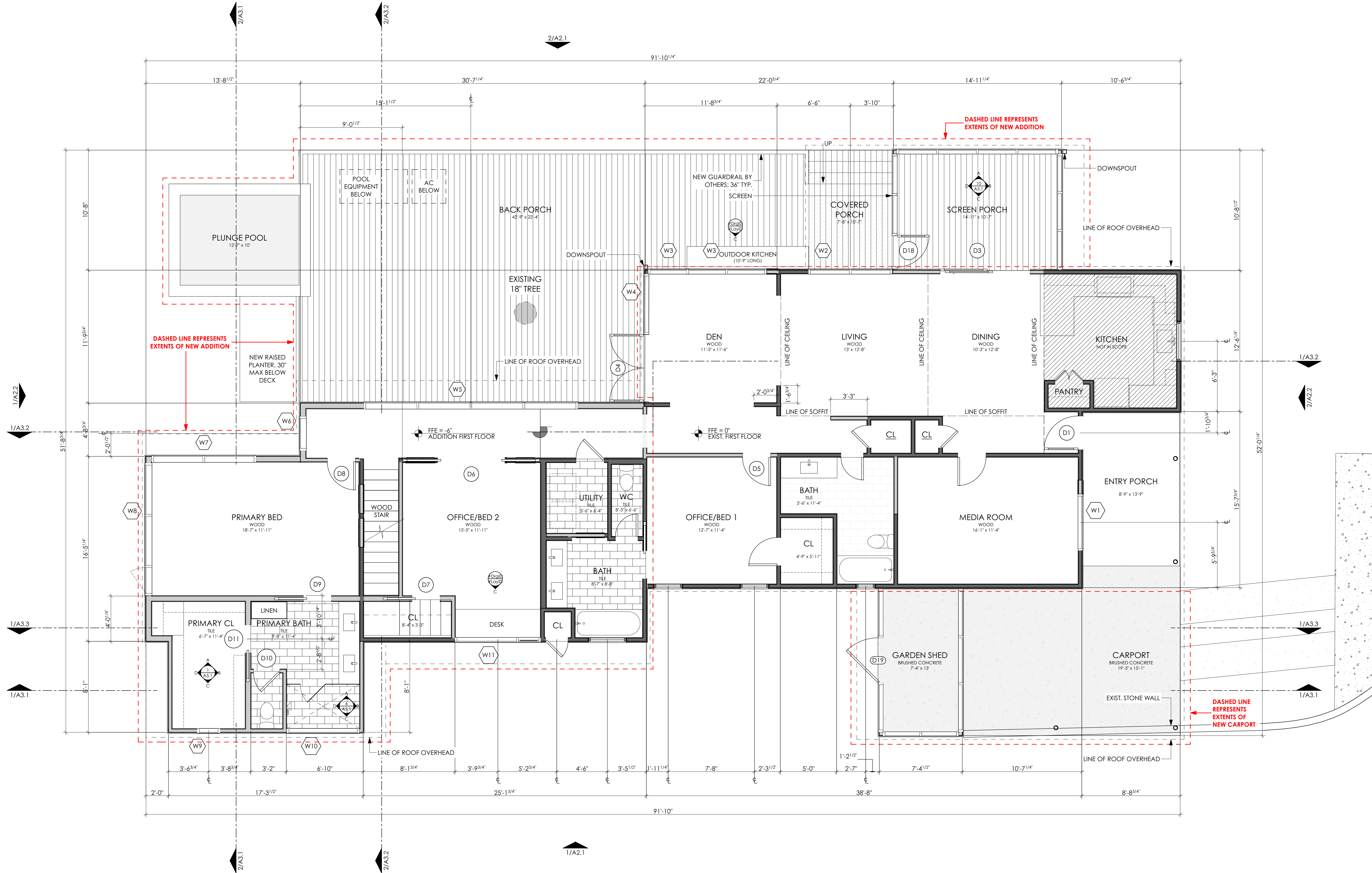
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PLAN: FIRST FLOOR

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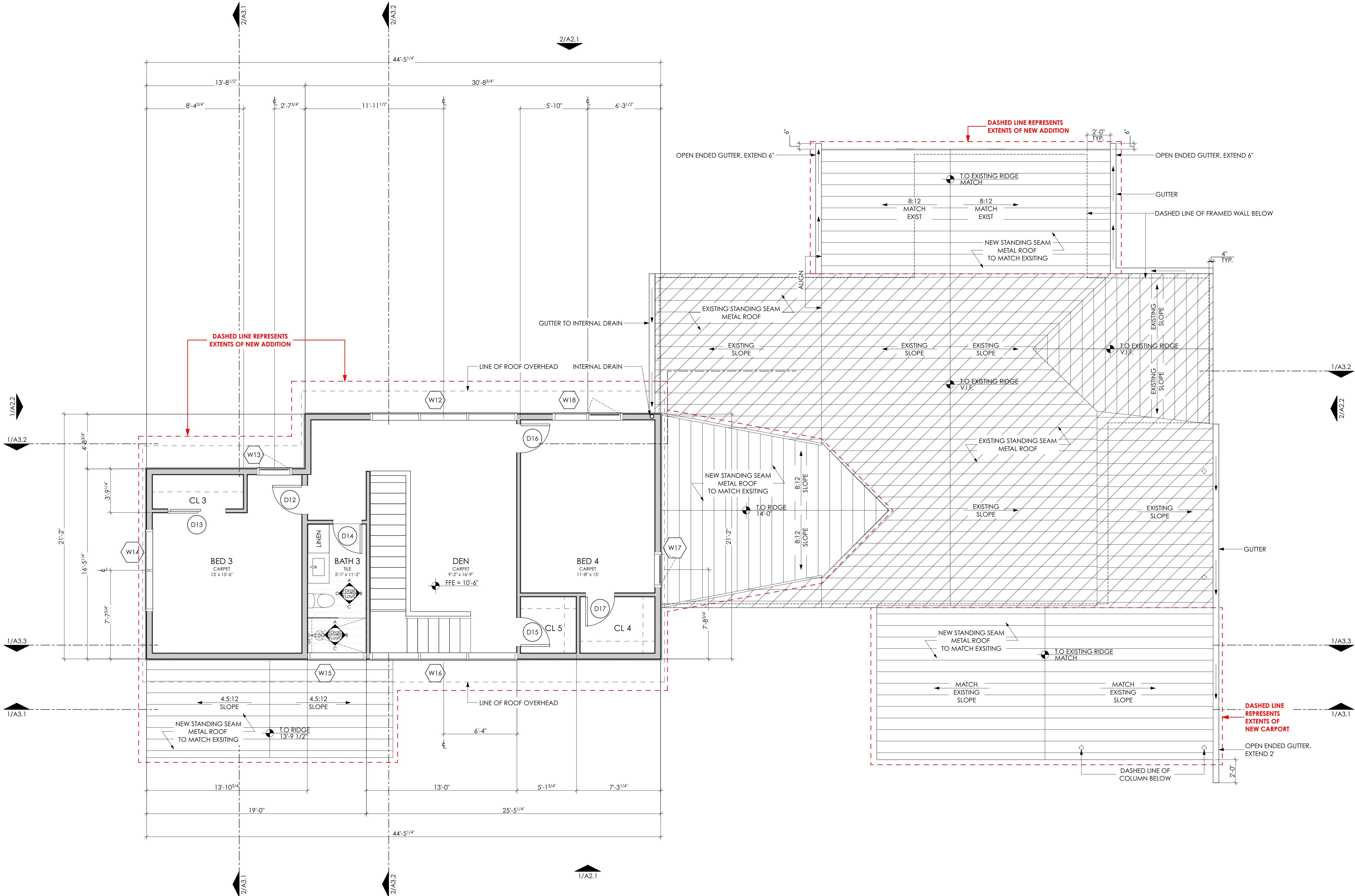
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PLAN: SECOND FLOOR

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PLAN: ROOF

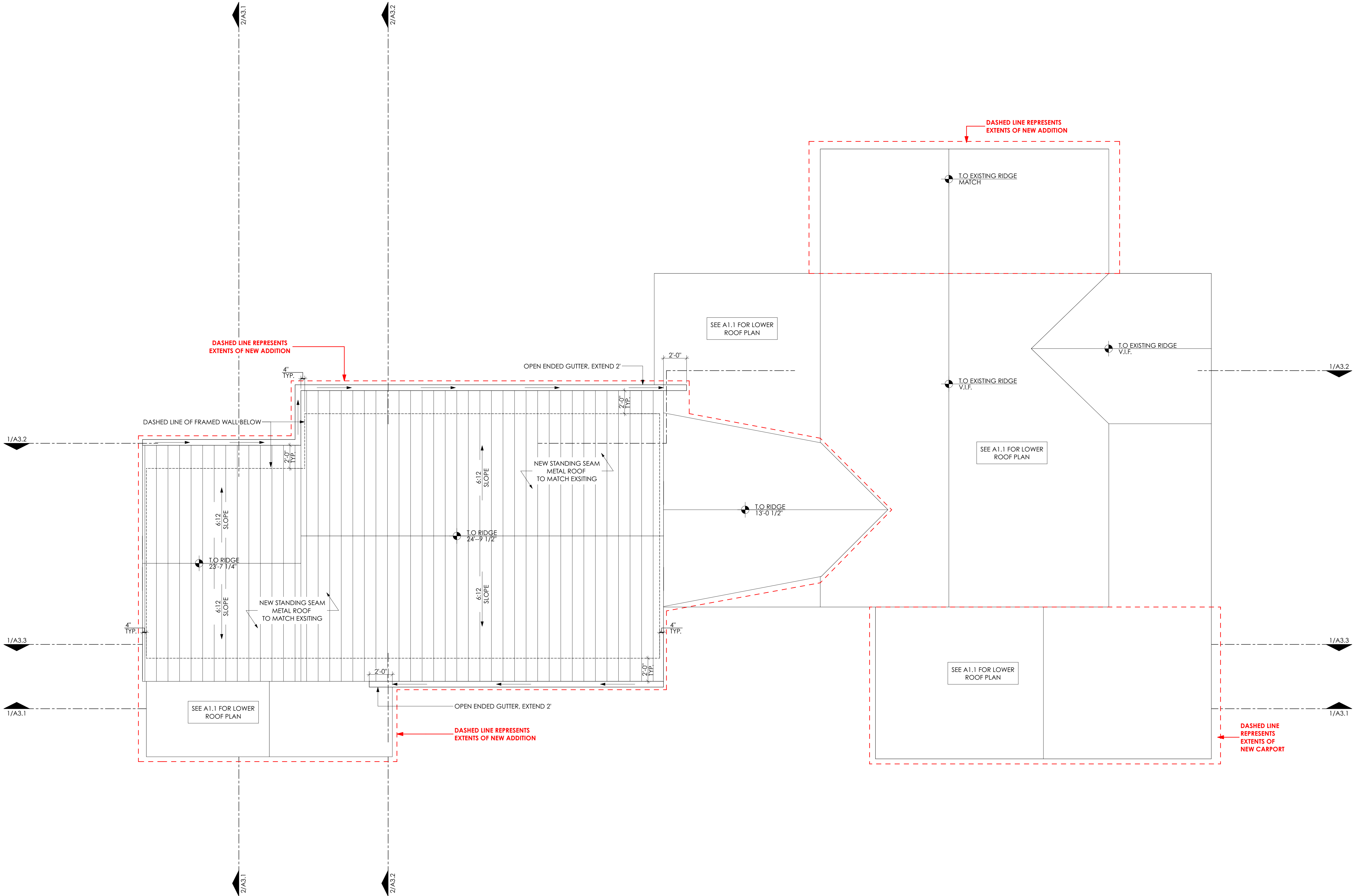
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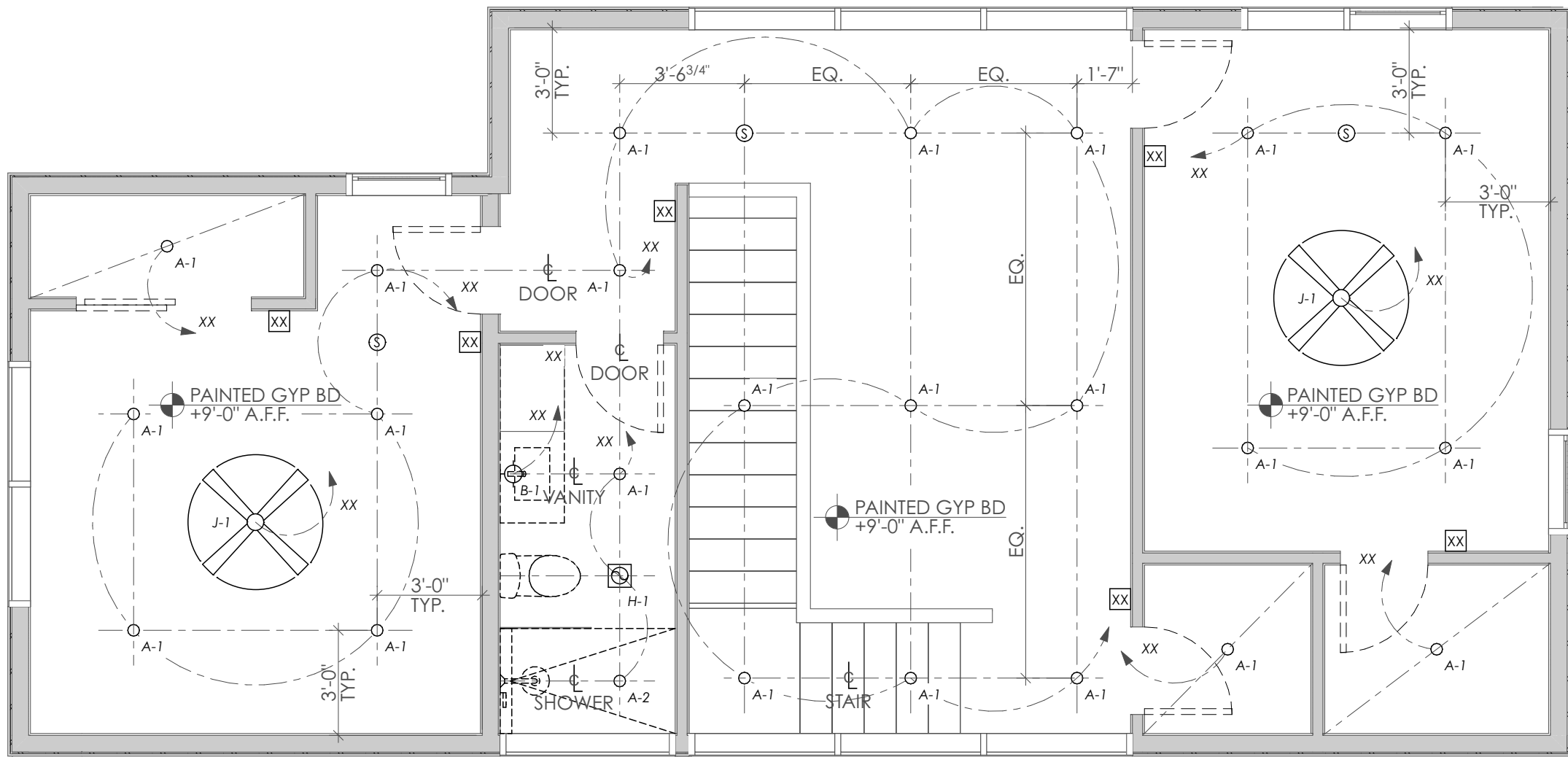
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1 PLAN: ROOF
SCALE: 1/4" = 1'-0"

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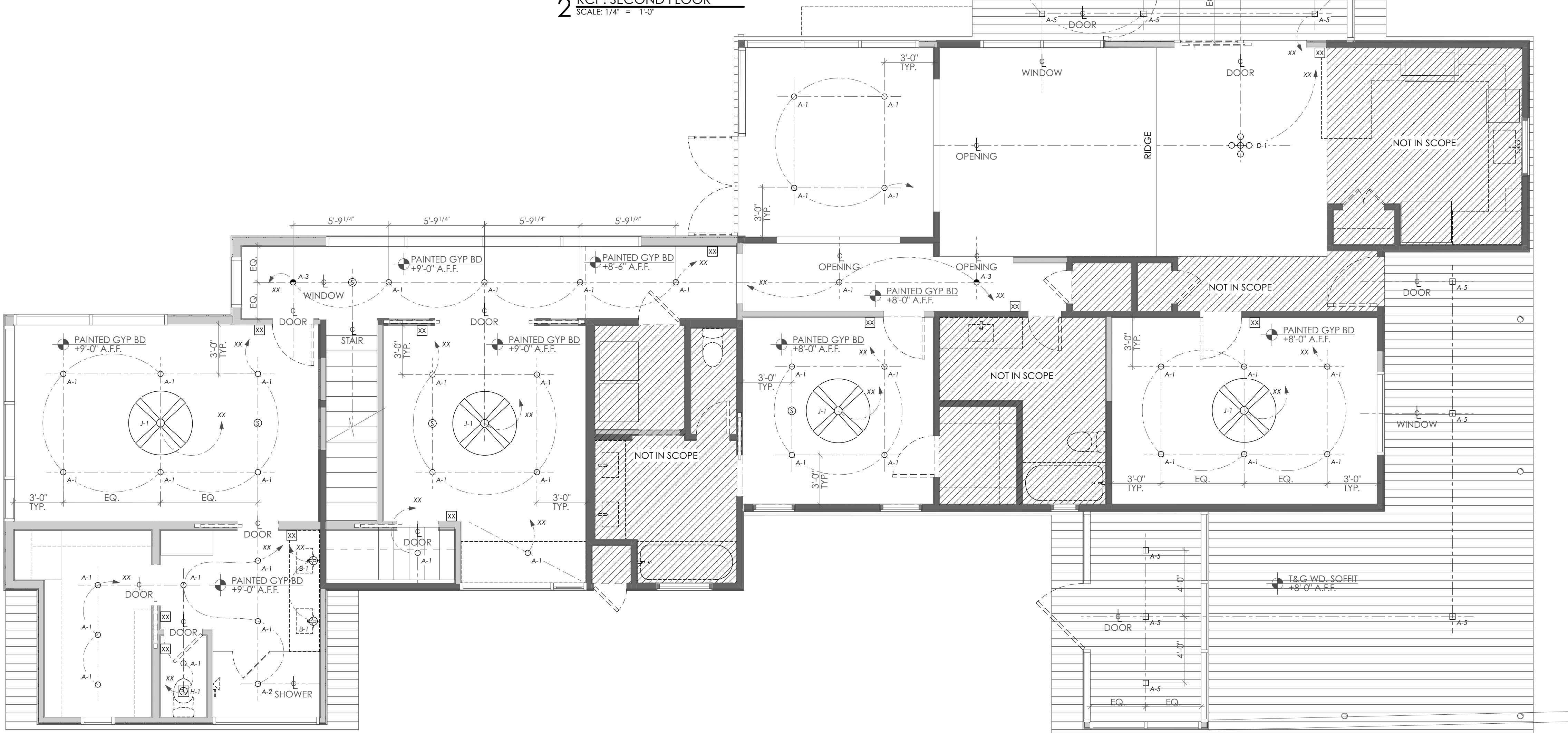
2 RCP: SECOND FLOOR
SCALE: 1/4" = 1'-0"

ALL SWITCHES AND OUTLETS MUST BE IN COMPLIANCE WITH CITY OF AUSTIN VISIBILITY CODE ORDINANCE NO 20140130-021 - 320.4

R320.4 Visible light switches, receptacles, and environmental controls. The first floor of a visible dwelling must meet the following requirements:

1. Light switches and environmental controls must be no higher than 48 inches above the interior floor level.

2. Outlets and receptacles must be a minimum of 15 inches above interior floor level, except for floor outlets and receptacles.



LIGHTING SCHEDULE								
KEY	TYPE	LOCATION	DESCRIPTION	SIZE	MANUFACTURER	MODEL / MODEL #	TRIM / FINISH	NOTES / REMARKS
A-1	RECESSED CAN	GENERAL DOWNLIGHT, THROUGHOUT	3000K, 800LM, ROUND REFLECTOR W/ ROUND APERTURE	4" (ROUND)	NORA LIGHTING	IOLITE/NIO-4RND-30X-WW	WHITE	
A-2	RECESSED CAN: WET RATED	GENERAL DOWNLIGHT, THROUGHOUT	3000K, 800LM, ROUND REFLECTOR W/ ROUND APERTURE	4" (ROUND)	NORA LIGHTING	IOLITE/NIO-4RND-30X-WW	WHITE	
A-3	RECESSED CAN: DIRECTIONAL	GENERAL DOWNLIGHT, DIRECTIONAL	3000K, 800LM, ROUND ADJUSTABLE CONE	2" (ROUND)	NORA LIGHTING	IOLITE/NIOB-2RC-30X-WW	WHITE	
A-5	RECESSED CAN: SQUARE	WOOD CEILING - EXTERIOR	3000K, 800LM, SQUARE REFLECTOR W/ SQUARE APERTURE	4" (SQUARE)	NORA LIGHTING	IOLITE/NIO-4SND-30X-BZ	BRONZE	
B-1	WALL SCONCE: INTERIOR RATED	WALL MOUNTED - BATHS	LED BULB NOT INCLUDED, 60 WATT	22.5"H X 5"W	WORLEY'S LIGHTING	PEBBLE DOUBLE SCONCE 18"	CORN SILK OAK/MATTE BLACK/FROSTED BULB	VERIFY HEIGHT W/ ARCHITECT IN FIELD
D-1	DECORATIVE PENDANT FIXTURE	CEILING MOUNTED - DINING	3000K, 95+ CRI, REMOTE, DIRECT CEILING MOUNT	75" L	JUNIPER	THIN MULTIPLES DYAD HORIZONTAL	BLACK OXIDE	SEGMENT LENGTH: 36"; 2 CONNECTED SECTIONS
H-1	EXHAUST FAN	WC EXHAUST FANS			PANASONIC	WHISPER GREEN FAN ONLY	WHITE	
J-1	CEILING FAN	CEILING FAN - INTERIOR		52"	THE MODERN FAN CO	CIRRUS DC/#CIR-BA-50-AL-355	BRUSHED ALUMINUM	

LIGHTING SCHEDULE

LIGHTING LEGEND	
	SWITCH #
	WALL WASHER
	SQUARE WALL WASHER
	SURFACE MOUNTED FIXTURE
	PENDANT
	WALL SCONCE
	IN-GROUND UPLIGHT
	RECESSED CAN LIGHT
	RECESSED SQUARE CAN LIGHT (LINE UP W/ T&G CEILING)
	PIN HOLE RECESSED LIGHT FIXTURE
	STEP LIGHT
	FAN/LIGHT COMBO
	CHANDELIER PENDANT
	TRACK LIGHTING SYSTEM
	CEILING MOUNTED FLUORESCENT
	EXTERIOR SPOT LIGHT
	CONTINUOUS LINEAR LIGHTING
	LANDSCAPE LIGHT CIRCUIT
	RECESSED CEILING EXHAUST FAN
	CEILING FAN
	GARAGE DOOR OPENER
	RECESSED WALL MOUNTED SPEAKERS
	CEILING MOUNTED SPEAKERS
	DOOR BELL
	SMOKE, HEAT OR IONIZATION DETECTOR
	CARBON MONOXIDE DETECTOR
	THERMOSTAT
	CEILING HEIGHT AND MATERIAL CALL OUT
	SOFFIT-MOUNTED CAMERA

RCP NOTES	
1. CEILING DEVICES AND LIGHTS SHOWN FOR LOCATION AND COORDINATION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR INFORMATION ON ACTUAL CEILING DEVICES AND LIGHTS.	
2. COORDINATE ALL WORK WITH OTHER TRADES. REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS AS REQUIRED.	
3. DIMENSIONS INDICATED ON THE REFLECTED CEILING PLAN ARE TO THE FACE OF STUD AND TO THE GRIDLINE OR CENTERLINE OF THE GRID TEE OR LIGHT FIXTURE, ETC.	
4. VERIFY & COORDINATE ALL OUTLETS & SWITCHES WITH CASEWORK.	
5. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLARIFICATION WITH ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.	
6. LIGHT FIXTURES TO BE CENTERED IN SOFFITS AND CEILING TILES UNLESS NOTED OTHERWISE.	
7. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE AND ADDITIONAL INFORMATION.	
8. SCHEDULE WALK THRU & VERIFY LOCATIONS OF ALL ELECT. FIXTURE, OUTLET, PANEL, CABLE DATA, SMOKE DETECTOR SWITCH, ETC. W/ OWNER & ARCH. IN FIELD FOR FINAL APPROVAL.	
9. ALL FIXTURES TO BE ALIGNED & SPACED AS SHOWN, PLAN FRAMING AS REQ'D.	
10. ALL SWITCH PLATES & WALL PLATES TO BE SELECTED BY OWNER & ARCH.	
11. ALL SWITCHES, EXCEPT IN MECH. AREAS TO BE DIMMABLE.	
12. ALL SWITCH PLATES TO BE MOUNTED AT 42" A.F.F. U.N.O. VERIFY WITH CONTRACTOR & OWNER.	
13. PROVIDE OWNER WITH ALL MANUF. INSTRUCTIONS.	
14. CONTRACTOR TO PROVIDE GFI OUTLETS AT ALL WET AREAS AS REQUIRED BY CODE.	
15. SWITCHES TO BE GANGED.	
16. FOR EACH FIXTURE PROVIDE ALL NECESSARY PARTS (I.E. TRANSFORMERS, TRIM, LEADS, LAMPS, FITTINGS).	
17. CONTRACTOR TO COORDINATE SECURITY/MEDIA/SOUND & COMPUTER SYSTEMS W/ OWNER. CONTRACTOR TO PROVIDE NECESSARY ELECTRICAL CONNECTIONS PER OWNER'S CONSULTANT.	
18. EACH FIXTURE TO BE SUITABLE FOR INTENDED LOC. & INSTALLATION CONDITION. I.E. INSULATED CEILING, ADJUSTABLE CAN IN SLOPED CEILING, SAME TRIM SIZE/STYLE IN EACH SPACE OR CIRCUIT ETC.	
19. ELECTRICIAN TO USE I.C. OR NON I.C. FIXTURE KITS AS REQUIRED.	
20. ALL LIGHT FIXTURES LOCATED IN WET LOC. & CLOSETS SHALL HAVE WET-RATED LENS COVER & COMPLY W/ CODE REQUIREMENTS.	
21. PROVIDE CORRECT HOUSING/PLATFORM FOR EACH RECESSED FIXTURE ACCORDING TO MANUF.	
22. ALL FLUORESCENT LIGHTS TO BE WARM WHITE UNLESS OTHERWISE NOTED.	

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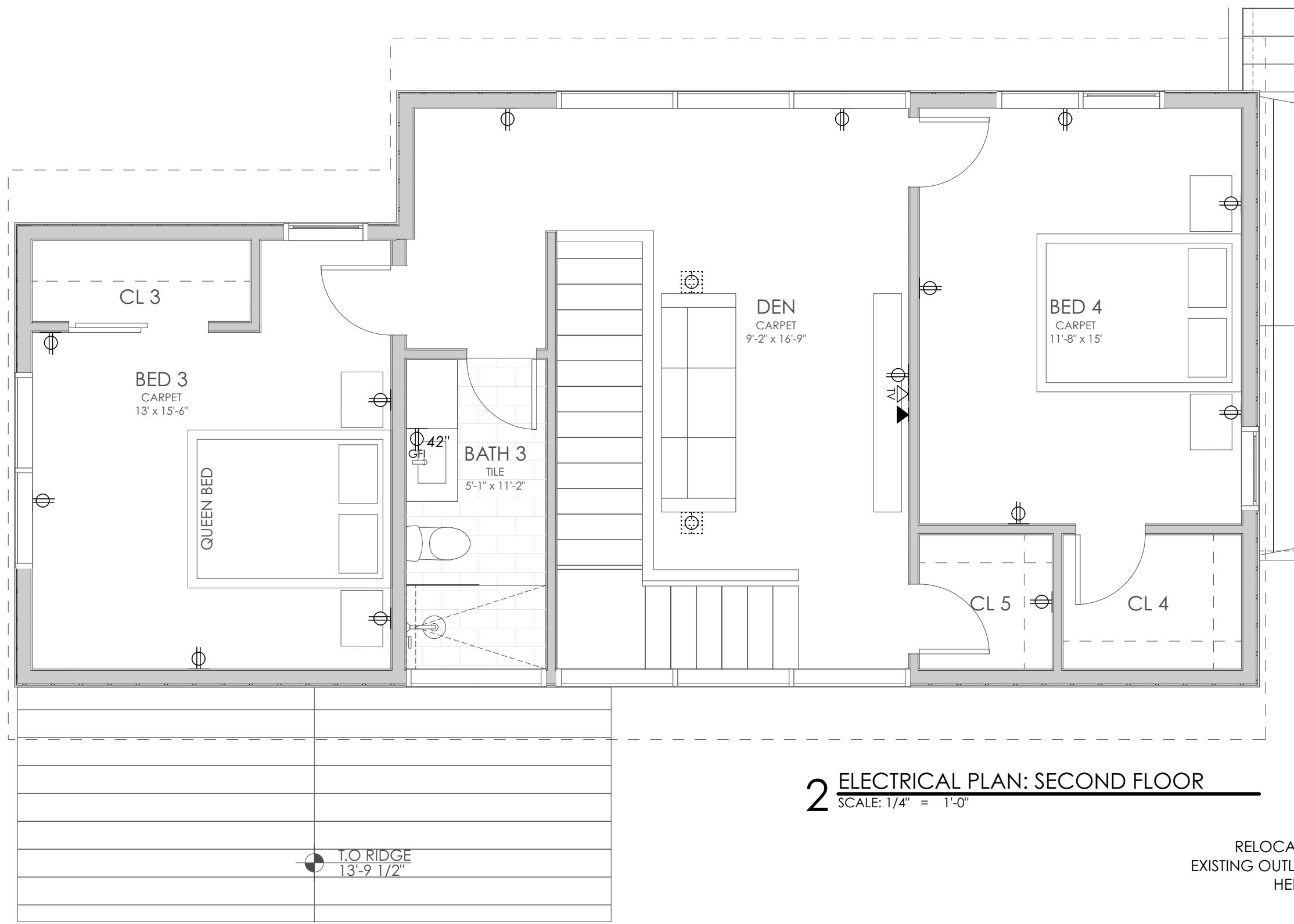
SHEET TITLE

RCP: FIRST & SECOND FLOORS

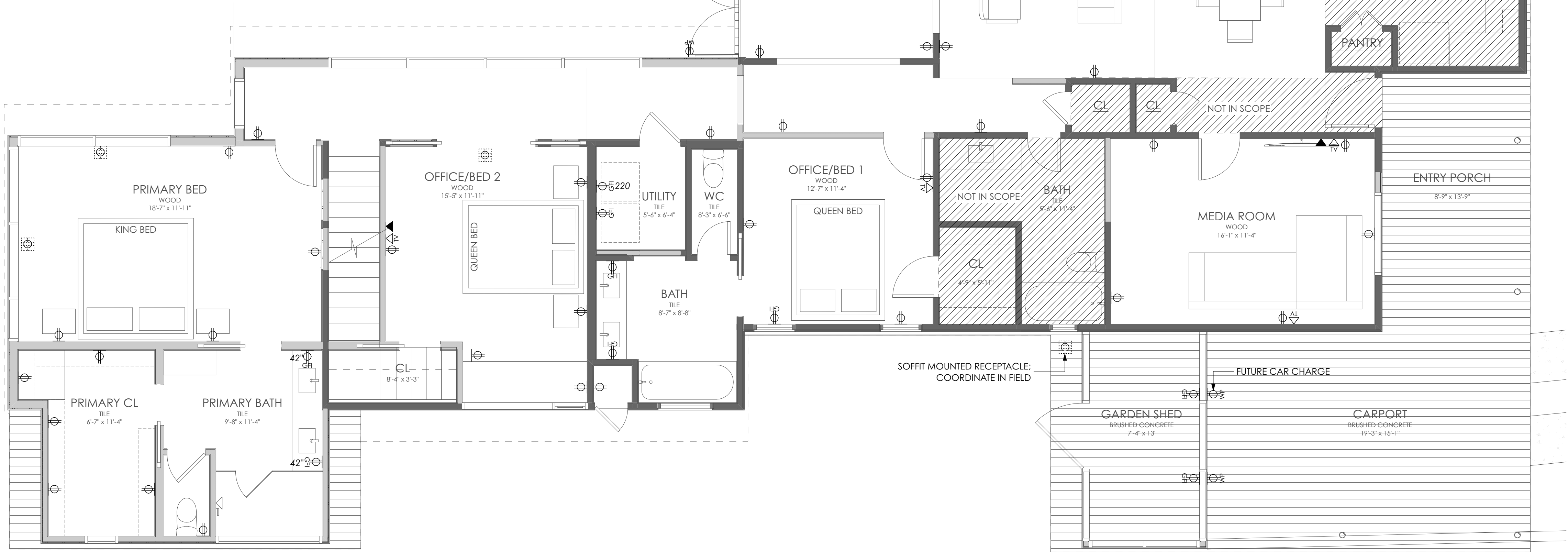
A1.4

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1 RCP: FIRST FLOOR
SCALE: 1/4" = 1'-0"



2 ELECTRICAL PLAN: SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 ELECTRICAL PLAN: FIRST FLOOR
SCALE: 1/4" = 1'-0"

ALL SWITCHES AND OUTLETS MUST BE IN COMPLIANCE WITH CITY OF AUSTIN VISIBILITY CODE ORDINANCE NO 20140130-021 - 320.4:

R320.4 Visible light switches, receptacles, and environmental controls. The first floor of a visitable dwelling must meet the following requirements:

1. Light switches and environmental controls must be no higher than 48 inches above the interior floor level.

2. Outlets and receptacles must be a minimum of 15 inches above interior floor level, except for floor outlets and receptacles.

CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES AND RELOCATE AS REQUIRED

ELECTRICAL LEGEND	
	DUPLEX CEILING RECEPTACLE
	DUPLEX RECEPTACLE
	QUADPLEX RECEPTACLE
	UNDERCOUNTER RECEPTACLE
	APPLIANCE RECEPTACLE
	GROUND FAULT INTERRUPTER
	GROUND FAULT INTERRUPTER IN CABINET
	WATER PROOF
	220 VOLT RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	TELEPHONE OUTLET
	DATA OUTLET
	TELEPHONE/DATA OUTLET
	TELEVISION OUTLET
	SURFACE MOUNTED PANELBOARD
	ELECTRICAL MAIN

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ELECTRICAL PLAN:
FIRST FLOOR

A1.8

NOTE

GRAY FILL INDICATES EXISTING TO REMAIN

MATERIALS LEGEND

M-1 12" WIDE VERTICAL METAL PANEL, FLAT PANEL; REF. SPEC (A0.01)

S-1 HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)

VE OPTION: S-2 VERTICAL HARDIE PANEL; REF. SPEC (A0.01)

COORDINATE PAINT COLORS W/ OWNER AND ARCHITECT



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2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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SHEET TITLE

EXTERIOR ELEVATIONS

A2.1

1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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NOTE

GRAY FILL INDICATES EXISTING TO REMAIN

MATERIALS LEGEND

M-1 12" WIDE VERTICAL METAL PANEL, FLAT PANEL; REF. SPEC (A0.01)

S-1 HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)

VE OPTION: S-2 VERTICAL HARDIE PANEL; REF. SPEC (A0.01)

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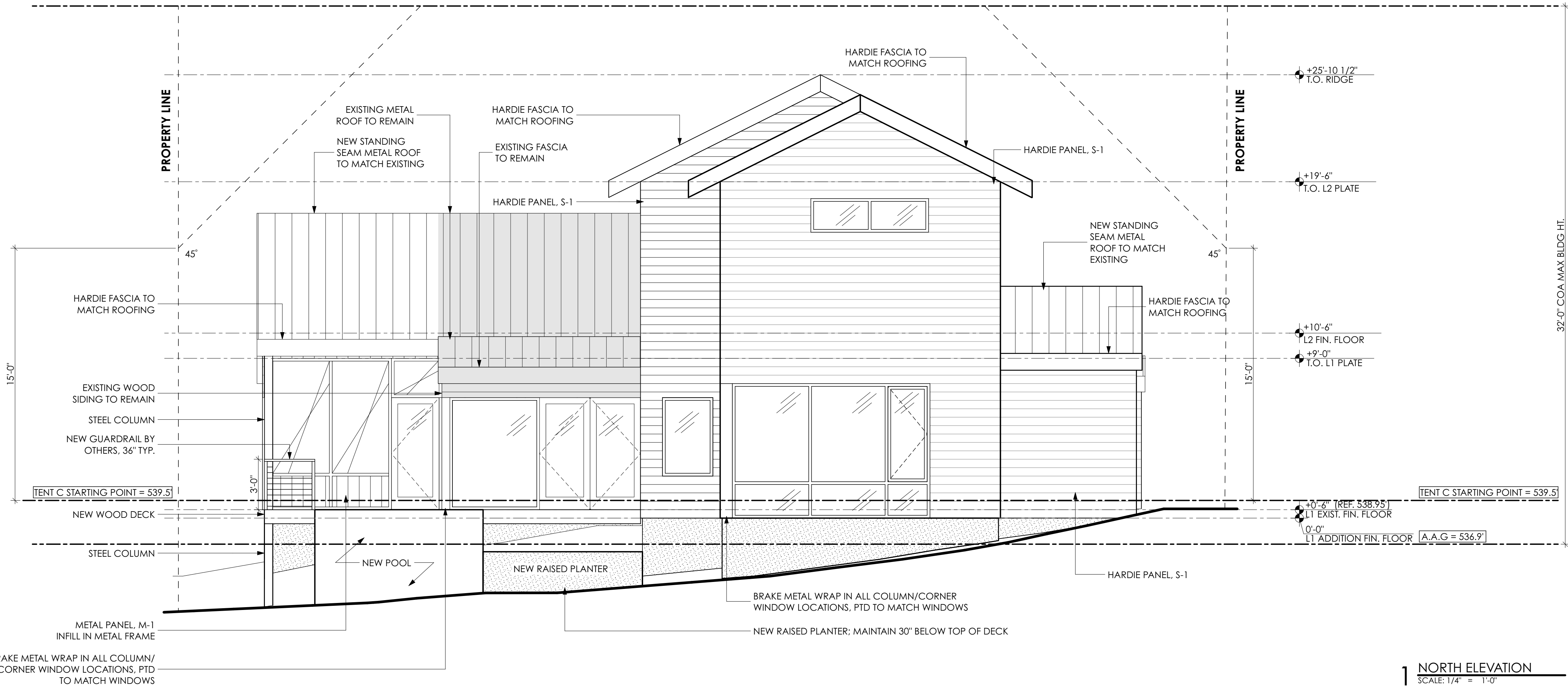
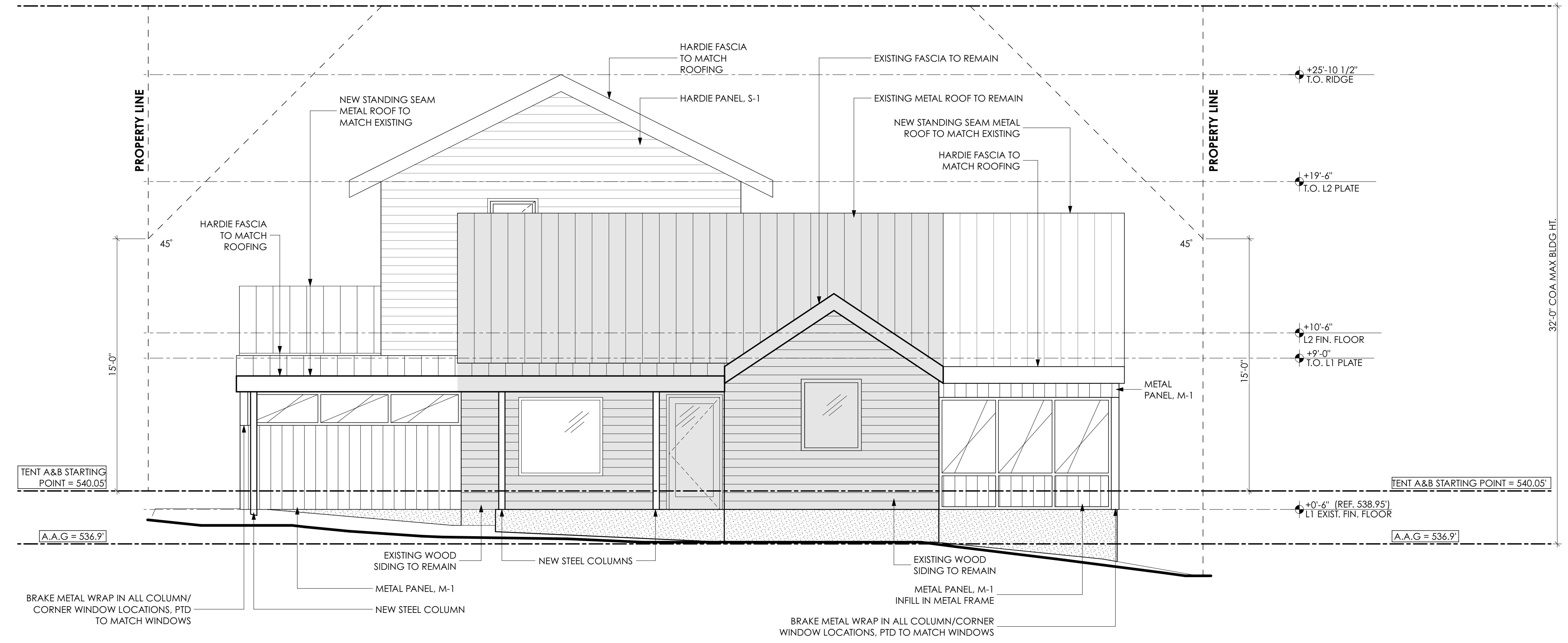
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SHEET TITLE

EXTERIOR ELEVATIONS

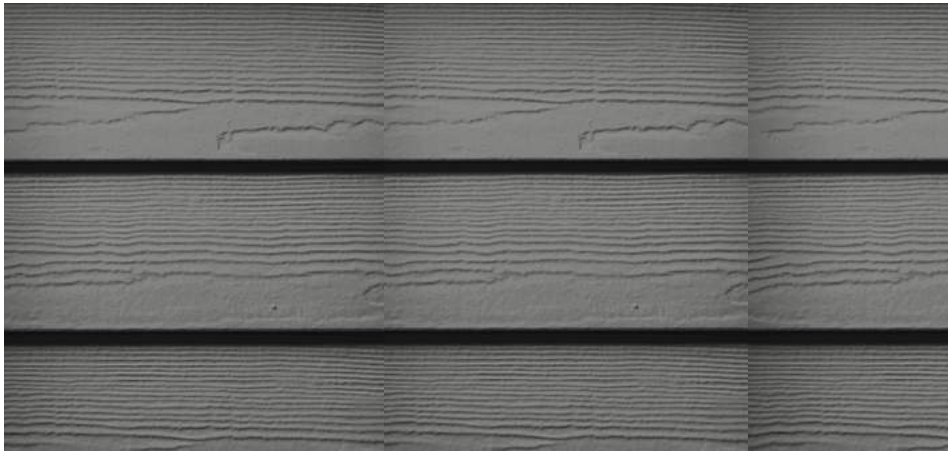
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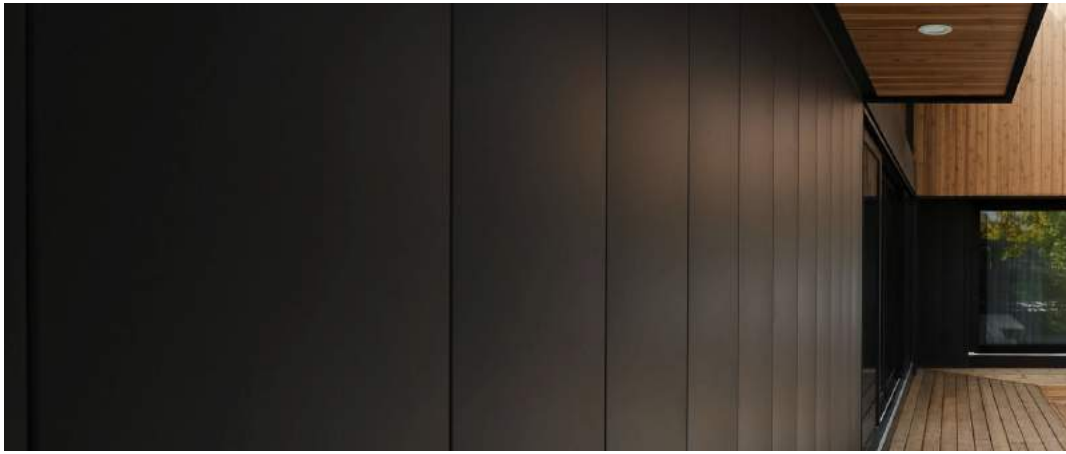




STAINED WOOD SOFFIT



S-1: HARDIE PLANK LAP SIDING - GRAY SLATE

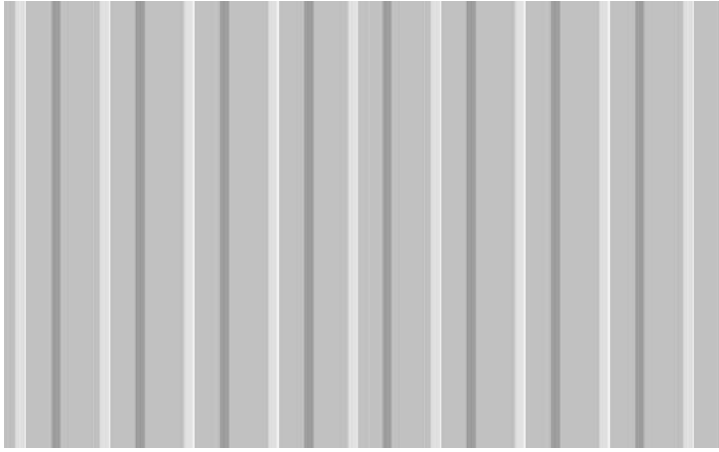


M-1: MAC METAL VERSA SIDING - TITANIUM BLACK

MATERIALS LEGEND	
M-1	12" WIDE VERTICAL METAL PANEL, FLAT PANEL; REF. SPEC (A0.01)
S-1	HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)
VE OPTION: S-2	VERTICAL HARDIE PANEL; REF. SPEC (A0.01)
COORDINATE PAINT COLORS W/ OWNER AND ARCHITECT	



EXISTING SIDING: PTD WOOD SHIPLAP



METAL ROOF TO MATCH EXISTING



1 WEST ELEVATION - RENDERED
SCALE: 1/2"=1'-0"

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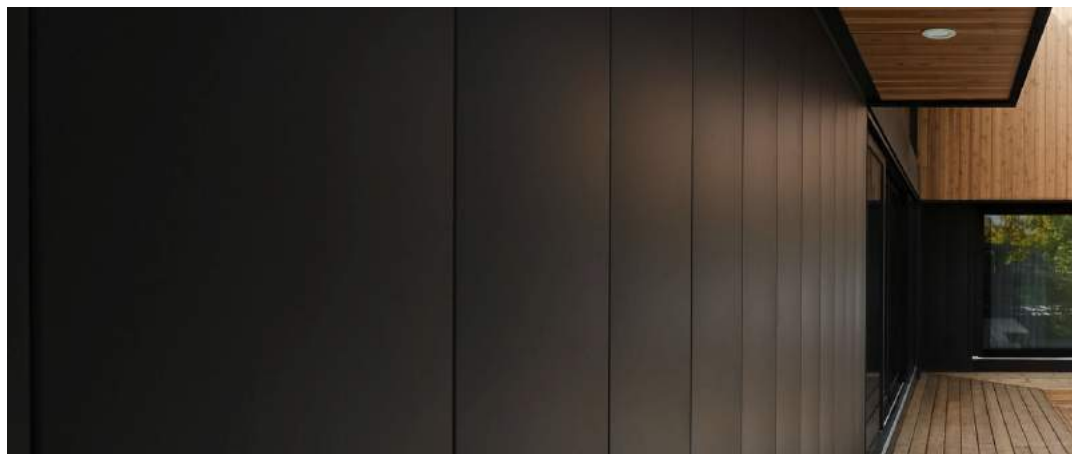
A2.3



STAINED WOOD SOFFIT



S-1: HARDIE PLANK LAP SIDING - GRAY SLATE



M-1: MAC METAL VERSA SIDING - TITANIUM BLACK

MATERIALS LEGEND

- M-1 12" WIDE VERTICAL METAL PANEL, FLAT PANEL; REF. SPEC (A0.01)
- S-1 HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)
- VE OPTION: S-2 VERTICAL HARDIE PANEL; REF. SPEC (A0.01)

COORDINATE PAINT COLORS W/ OWNER AND ARCHITECT

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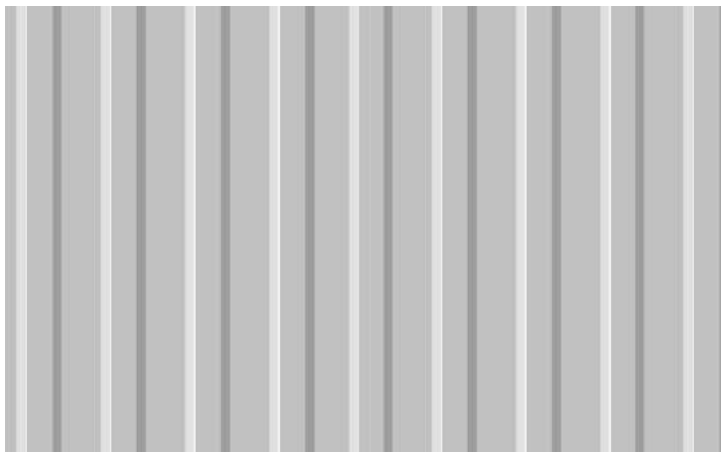
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EXISTING SIDING: PTD WOOD SHIPLAP



METAL ROOF TO MATCH EXISTING



2 EAST ELEVATION - RENDERED
SCALE: 1:2.50



1 WEST ELEVATION - RENDERED
SCALE: 1:2.50

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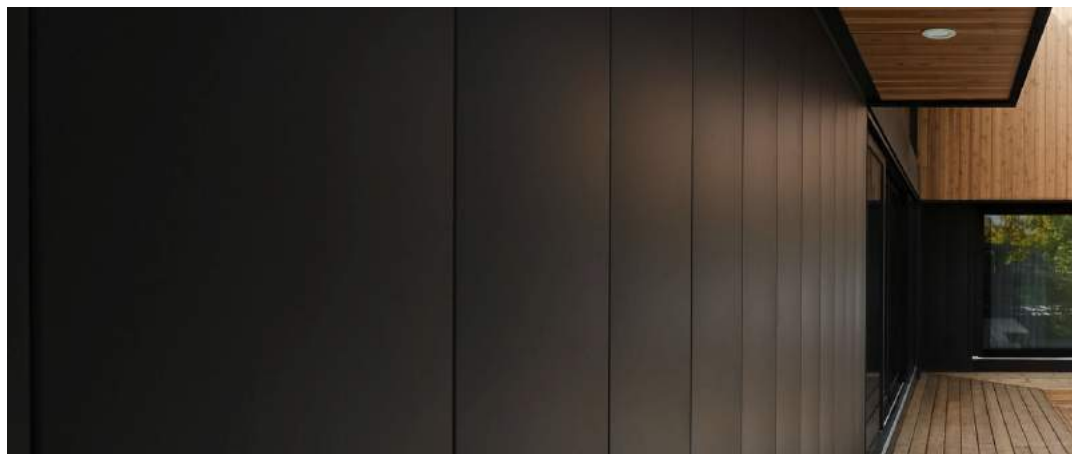
SHEET TITLE
EXTERIOR ELEVATIONS - HISTORIC REVIEW



STAINED WOOD SOFFIT



S-1: HARDIE PLANK LAP SIDING - GRAY SLATE



M-1: MAC METAL VERSA SIDING - TITANIUM BLACK

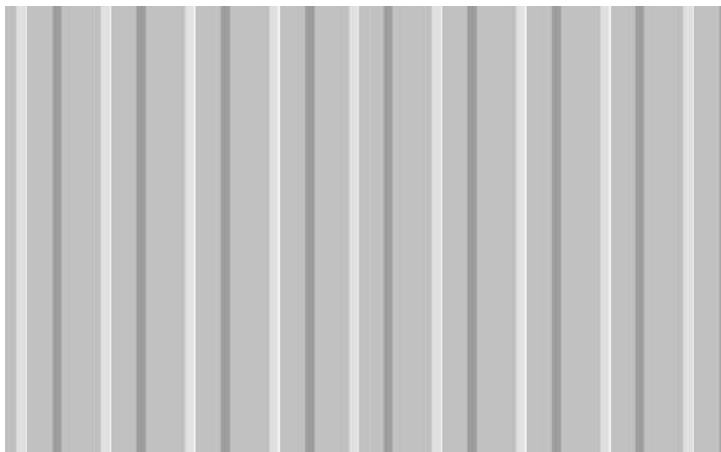
MATERIALS LEGEND

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- S-1 HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)
- VE OPTION: S-2 VERTICAL HARDIE PANEL; REF. SPEC (A0.01)

COORDINATE PAINT COLORS W/ OWNER AND ARCHITECT



EXISTING SIDING: PTD WOOD SHIPLAP



METAL ROOF TO MATCH EXISTING



2 SOUTH ELEVATION - RENDERED
NOT TO SCALE



1 NORTH ELEVATION - RENDERED
NOT TO SCALE

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SHEET TITLE

EXTERIOR ELEVATIONS -
HISTORIC REVIEW

A2.5

MATERIALS LEGEND	
M-1	12" WIDE VERTICAL METAL PANEL, FLAT PANEL; REF. SPEC (A0.01)
S-1	HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)
VE OPTION: S-2	VERTICAL HARDIE PANEL; REF. SPEC (A0.01)
COORDINATE PAINT COLORS W/ OWNER AND ARCHITECT	

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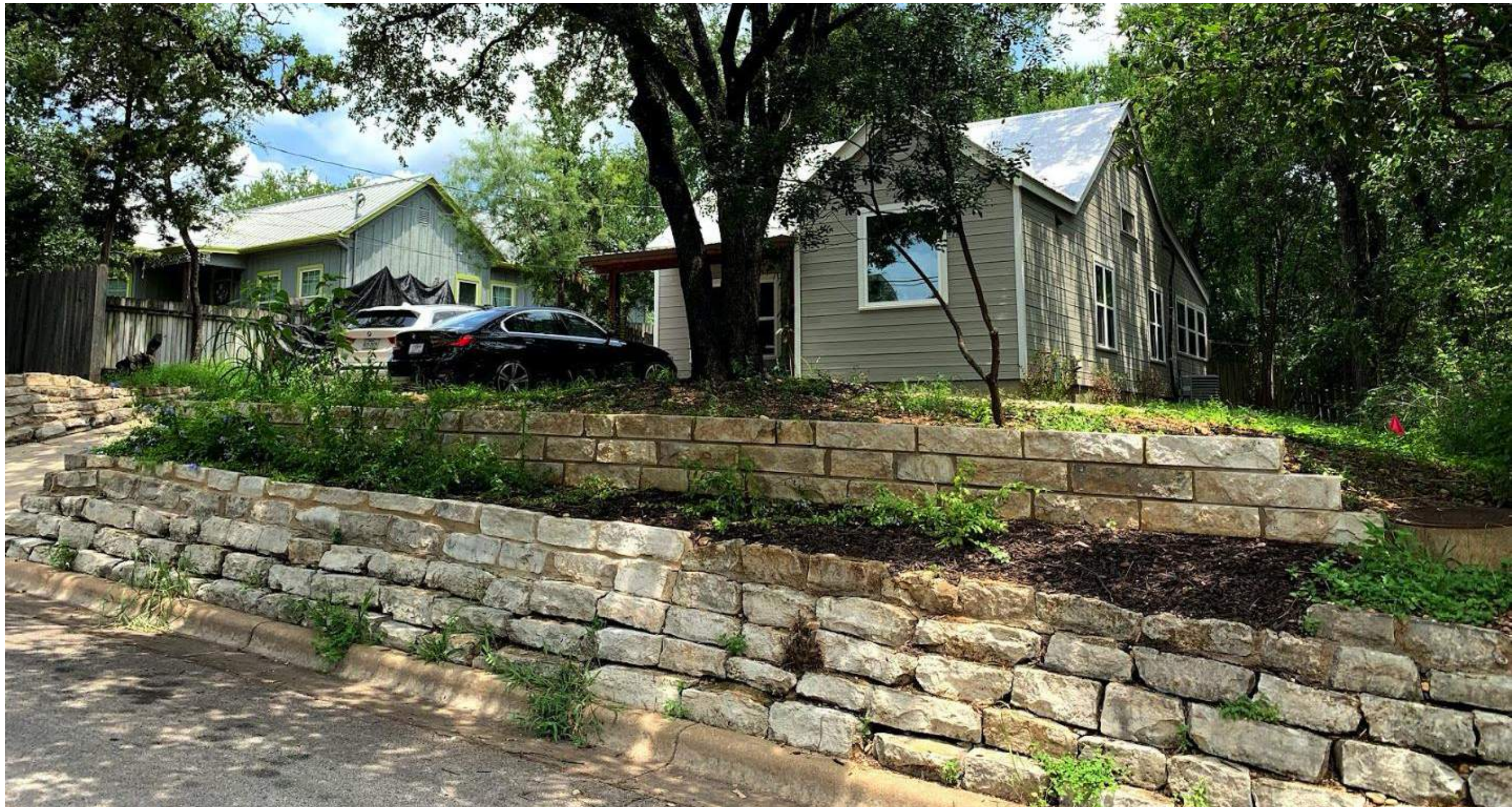
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EXTERIOR ELEVATIONS -
HISTORIC REVIEW

A2.6



EXISTING



PROPOSED



EXISTING



PROPOSED

MATERIALS LEGEND	
M-1	12" WIDE VERTICAL METAL PANEL, FLAT PANEL; REF. SPEC (A0.01)
S-1	HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)
VE OPTION: S-2	VERTICAL HARDIE PANEL; REF. SPEC (A0.01)
COORDINATE PAINT COLORS W/ OWNER AND ARCHITECT	

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A2.7

MATERIALS LEGEND	
M-1	12" WIDE VERTICAL METAL PANEL, FLAT PANEL; REF. SPEC (A0.01)
S-1	HORIZONTAL HARDIE PANEL; REF. SPEC (A0.01)
VE OPTION: S-2	VERTICAL HARDIE PANEL; REF. SPEC (A0.01)
COORDINATE PAINT COLORS W/ OWNER AND ARCHITECT	

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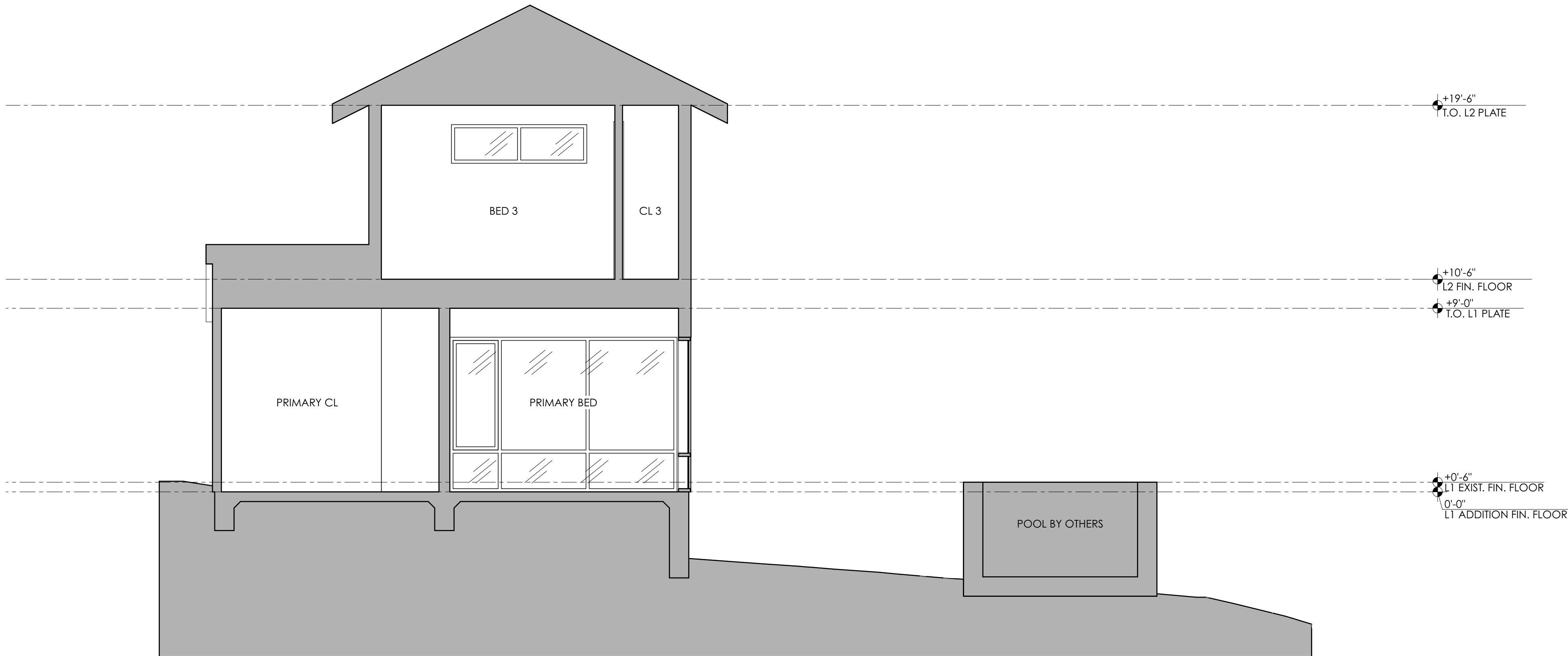
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EXISTING



PROPOSED



2 BUILDING SECTION B
SCALE: 1/4" = 1'-0"

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1 BUILDING SECTION A
SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

A3.1

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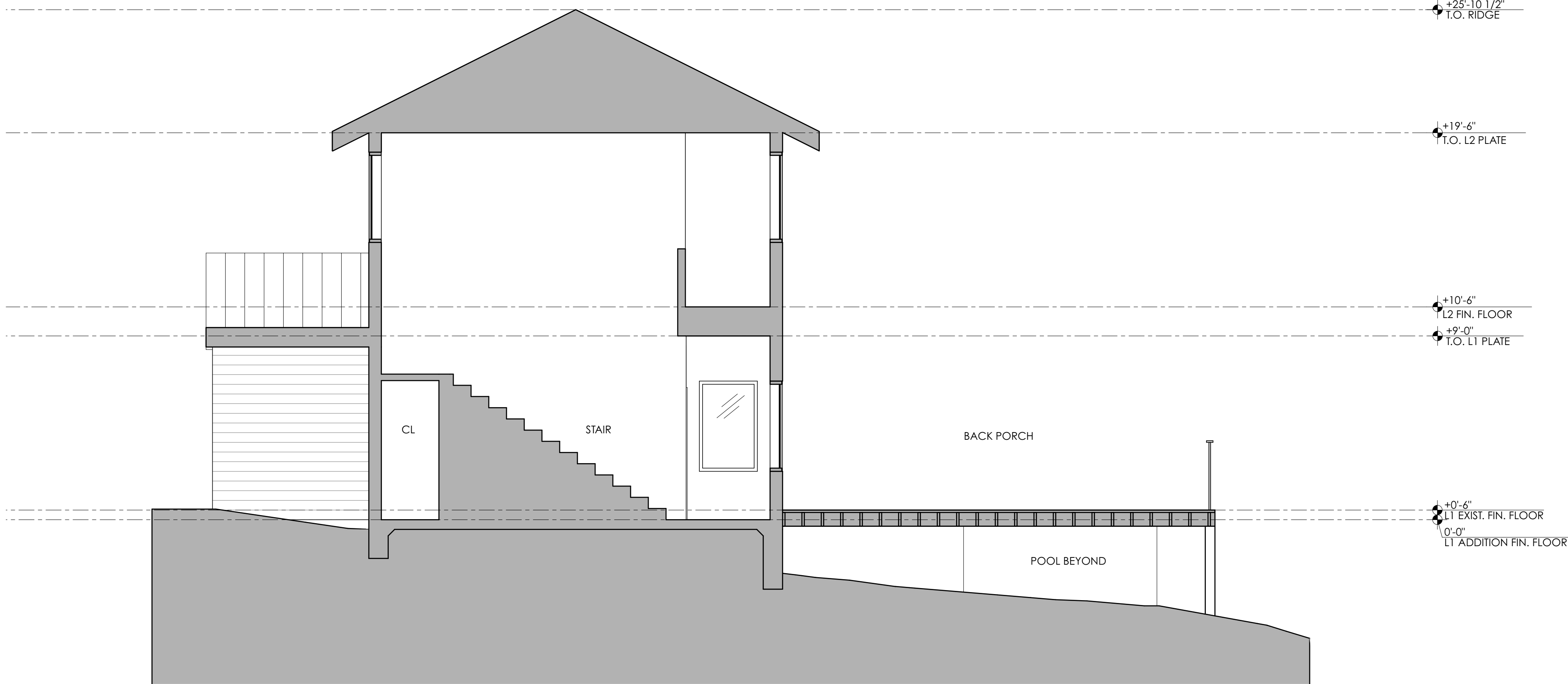
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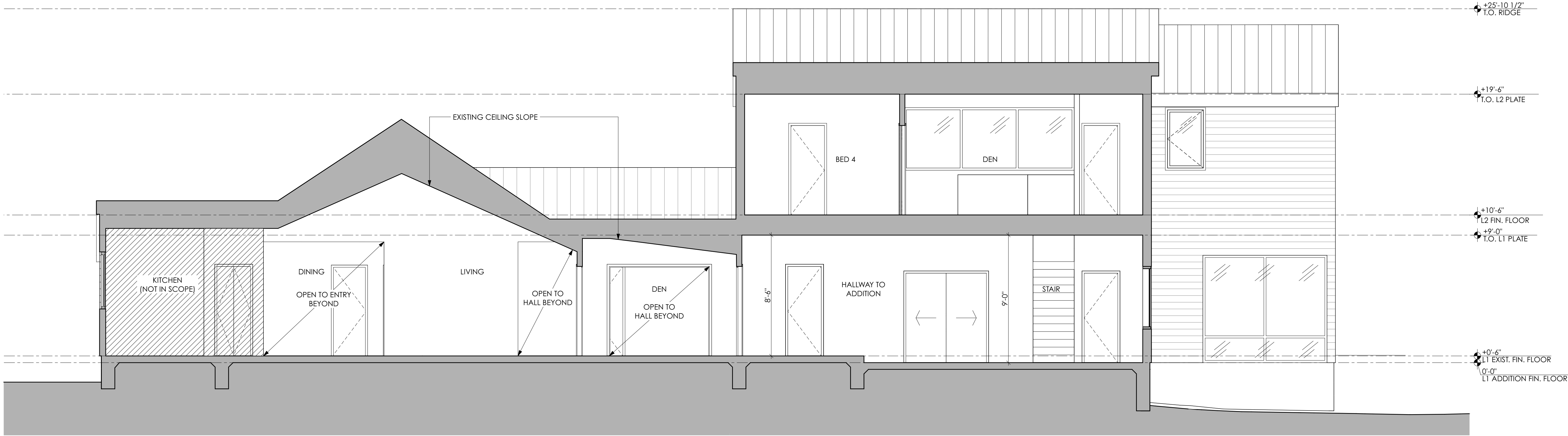
SHEET TITLE

BUILDING SECTIONS

A3.2



2 BUILDING SECTION D
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION C
SCALE: 1/4" = 1'-0"



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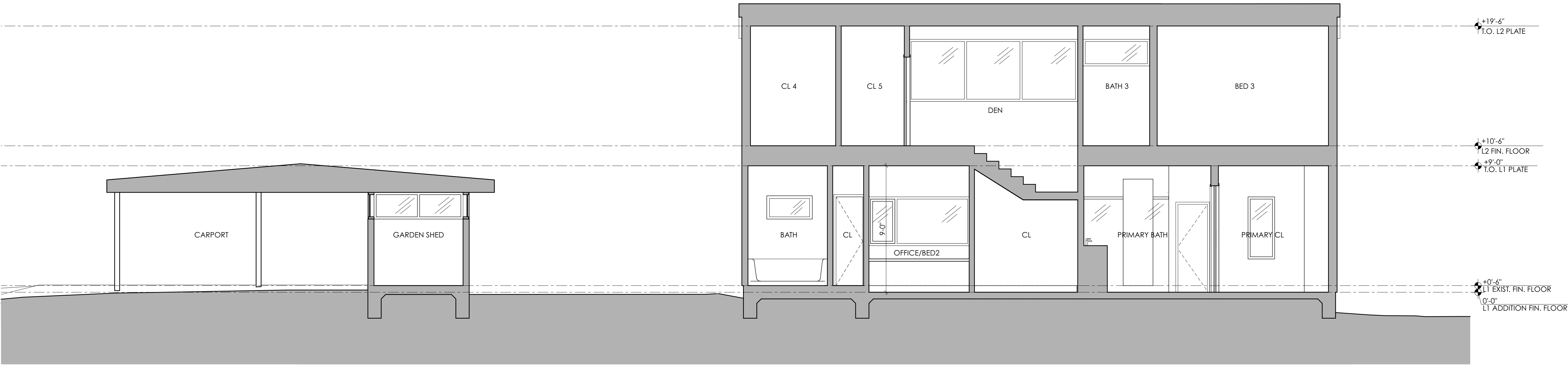
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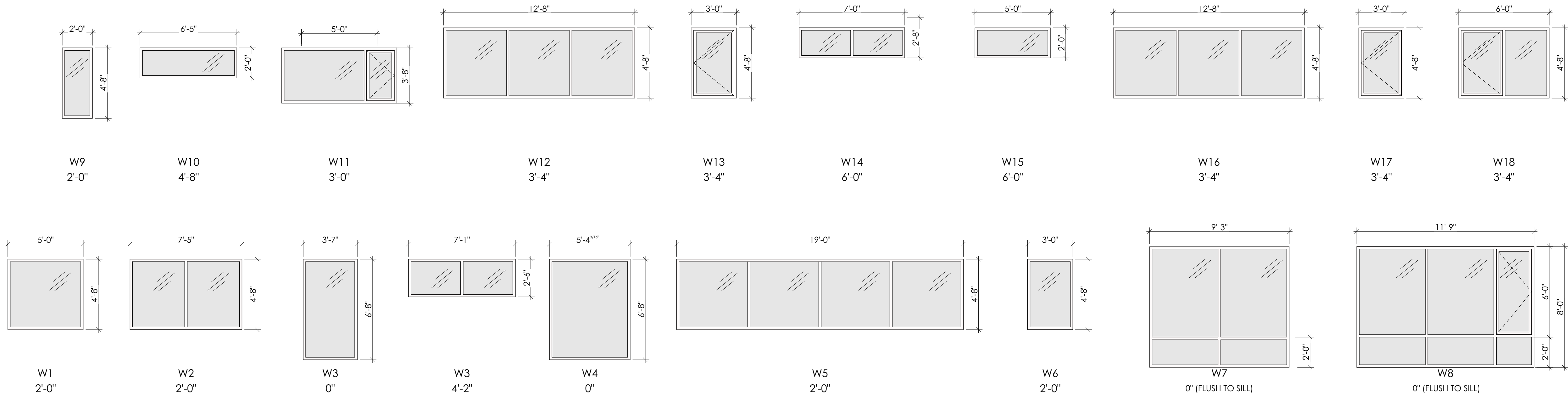
SHEET TITLE

BUILDING SECTIONS

1 BUILDING SECTION E
SCALE: 1/4" = 1'-0"

A3.3





GLAZING NOTES :

1. WINDOWS #, # & # SHALL PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN COMPLIANCE WITH IRC 2012 SECTION R310.1

2. GLAZING IN HAZARDOUS LOCATIONS TO BE TEMPERED SAFETY GLASS AS REQUIRED BY IRC 2012 SECTION R308.4

3. VERIFY ALL WINDOW DIMENSIONS IN FIELD PRIOR TO ORDERING, WITH PARTICULAR ATTENTION TO FLOOR-TO-CEILING, WALL-TO-WALL AND CORNER WINDOW CONFIGURATIONS.

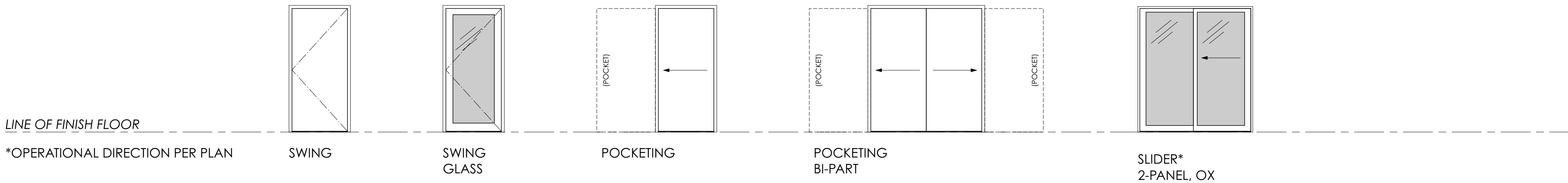
GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL REQUIRED EGRESS WINDOWS.

2. CONTRACTOR TO VERIFY W/ MANUFACTURER EXACT SIZING OF CORNER WINDOWS REQUIRED FOR ROUGH OPENING.

3. CONTRACTOR TO VERIFY QUANTITY OF WINDOWS.

ID	SIZE (WxH)	TYPE	PROVIDE SAFETY GLASS IN ALL DOORS AND WHERE REQUIRED PER IRC R308.4						
			MATERIAL	FINISH	JAMB	HEAD	SILL	GLAZING	NOTES
W1	5'-0"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W2	7'-5"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W3	3'-7"×6'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W3	7'-1"×2'-6"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W4	5'-4 ^{3/16} "×6'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W5	19'-0"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W6	3'-0"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W7	9'-3"×8'-0"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W8	11'-9"×8'-0"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	EGRESS WINDOW FOR PRIMARY BED
W9	2'-0"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W10	6'-5"×2'-0"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W11	7'-7 ^{33/64} "×3'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	EGRESS WINDOW FOR OFFICE/BED 2
W12	12'-8"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W13	3'-0"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	EGRESS WINDOW FOR BED 3
W14	7'-0"×2'-0"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W15	5'-0"×2'-0"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W16	12'-8"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	
W17	3'-0"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	EGRESS WINDOW FOR BED 4
W18	6'-0"×4'-8"	FIXED	ALUMINUM	DARK BRONZE ANODIZED	[X / AX.X]	[X / AX.X]	[X / AX.X]	CLEAR 1" INSUL.	EGRESS WINDOW FOR BED 4



DOOR TYPES

DOOR SCHEDULE										
ID	SIZE (WxH)	LOCATION	MATERIAL	FINISH	OPERATION	DOOR TYPE	HARDWARE		DETAILS	NOTES
							LOCK	HANDLE		
D1	3'-0"×6'-8"	ENTRY PORCH	ALUMINUM + GLASS	FLUSH, PTD.	SWING	-	DEADBOLT	LEVER	-	
D3	8'-0"×6'-8"	SCREEN PORCH	ALUMINUM + GLASS	PREFINISHED	SLIDER	2 PANEL, OX	PER MANUFACTURER	-	-	
D4	6'-0"×6'-8"	-	-	FLUSH, PTD.	DBL SWING	-	-	-	-	
D5	2'-6"×6'-8"	OFFICE/BED 1	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	PRIVACY	LEVER	-	
D6	6'-0"×6'-8"	OFFICE/BED 2	SC WOOD INTERIOR	FLUSH, PTD.	POCKET, BI-PART	-	PRIVACY	LEVER	-	
D7	2'-6"×6'-8"	CL 2	SC WOOD INTERIOR	FLUSH, PTD.	POCKET	-	-	-	-	
D8	2'-6"×6'-8"	PRIMARY BED	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	PRIVACY	LEVER	-	
D9	2'-6"×6'-8"	PRIMARY BATH	SC WOOD INTERIOR	FLUSH, PTD.	POCKET	-	PRIVACY	FACE+JAMB PULL	-	
D10	2'-4"×6'-8"	PRIMARY WC	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	PRIVACY	LEVER	-	
D11	2'-6"×8'-0"	PRIMARY CLOSET	SC WOOD INTERIOR	FLUSH, PTD.	POCKET	-	-	FACE+JAMB PULL	-	
D12	2'-6"×6'-8"	BED 3	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	PRIVACY	LEVER	-	
D13	5'-0"×8'-0"	CL 3	SC WOOD INTERIOR	FLUSH, PTD.	POCKET, BI-PART	-	-	FACE+JAMB PULL	-	
D14	2'-6"×6'-8"	BATH 3	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	PRIVACY	LEVER	-	
D15	2'-6"×6'-8"	CL 5	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	-	LEVER	-	
D16	2'-6"×6'-8"	BED 4	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	PRIVACY	LEVER	-	
D17	2'-6"×6'-8"	CL 4	SC WOOD INTERIOR	FLUSH, PTD.	SWING	-	-	LEVER	-	
D18	9'-10 ^{1/2} "×6'-8"	SCREEN PORCH	-	PREFINISHED	SWING	-	-	FACE PULL	-	SCREEN DOOR INTEGRAL WITH ADJACENT FRAMED SCREENS
D19	4'-0"×7'-0"	GARDEN SHED	HOLLOW METAL	PREFINISHED	SWING	-	DEADBOLT	LEVER	-	

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL REQUIRED EGRESS DOORS.

2. CONTRACTOR TO VERIFY QUANTITY OF DOORS.

GLAZING NOTES:

1. GLAZING IN HAZARDOUS LOCATIONS TO BE TEMPERED SAFETY GLASS AS REQUIRED BY IRC 2015 SECTION R308.4.

2. VERIFY ALL WINDOW & DOOR DIMENSIONS IN FIELD PRIOR TO ORDERING & FABRICATION WITH PARTICULAR ATTENTION TO FLOOR-TO-CEILING & WALL-TO-WALL CONFIGURATIONS.

3. PROVIDE EMERGENCY ESCAPE & RESCUE OPENINGS IN COMPLIANCE WITH IRC 2015 SECTION R310.1 WHERE REQUIRED.

CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY ONLY BE USED IN CONJUNCTION WITH THIS PROJECT

SEAL

MARK VORNBERG - TEXAS ARCHITECT
REGISTRATION #17707
This document is incomplete and may not be used for regulatory approval, permitting, or construction.

PROJECT

1712 WEST 11TH

1712 WEST 11TH STREET
Austin, TX 78703

DRAWN BY
CP, MB, LK

SET ISSUE
12.10.2021: HISTORIC REVIEW

REVISIONS
REV ID REV NAME DATE

SHEET TITLE

DOOR & WINDOW
SCHEDULES

A7.1