



ITEM FOR ENVIRONMENTAL COMMISSION AGENDA

COMMISSION MEETING DATE:	February 16, 2022
NAME & NUMBER OF PROJECT:	Iglesia Pentecostal Emanuel, Inc. SP-2020-0324C
NAME OF APPLICANT OR ORGANIZATION:	Bill Graham IT Gonzalez Engineers
LOCATION:	6300 Moonglow Dr., Austin, TX 78724
COUNCIL DISTRICT:	District 1
ENVIRONMENTAL REVIEW STAFF:	Pamela Abee-Taulli, Environmental Program Coordinator Pamela.abee-taulli@austintexas.gov 512.974.1879
WATERSHED:	Walnut Creek Watershed, Suburban Classification, Desired Development Zone
REQUEST:	Variance request is as follows: Request to vary from LDC 25-8-261 to allow development of a portion of a driveway in the Critical water Quality Zone.
STAFF RECOMMENDATION:	Staff recommends this variance, having determined the findings of fact to have been met.
STAFF CONDITION:	Staff recommends the following condition: the applicant will provide bollards at appropriate locations adjacent to the drive and parking area to prevent vehicle parking off of the pavement.



Development Services Department
Staff Recommendations Concerning Required Findings

Project Name: Iglesia Pentecostal Emanuel, Inc.
 Ordinance Standard: Watershed Protection Ordinance
 Variance Request: Request to vary from LDC 25-8-261 to allow development of a portion of a driveway in the Critical water Quality Zone.

Include an explanation with each applicable finding of fact.

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes The requirement will deprive the applicant of access to the site.

2. The variance:
 - a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes The variance is not necessitated by a design decision of the applicant. The variance is necessitated by two conditions of the site that leave it without a code compliant access point.

The first site condition is that there is a previously platted open space lot, across which access is prohibited, that fronts Sandshof Dr. and lies between Sandshof Dr. and the subject site. Because of this situation, the site is forced to take its only access from Moonglow Dr.

The second site condition is that Moonglow Dr. is entirely within the Critical Water Quality Zone buffer of the adjacent, unnamed major waterway.

Since a driveway is not a permitted use in the Critical Water Quality Zone buffer per LDC 25-8-261, the project is left without a code-compliant access point.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes The applicant has used buffer averaging per LDC 25-8-92(B)(4) to modify and reshape the Critical Water Quality Zone buffer to remove as much of the development as possible from the buffer zone.

However, buffer averaging may not reduce the CWQZ buffer of a major waterway to less than 150 feet from the creek centerline. Due to this minimum width, it is not possible to completely remove the development from the buffer. What remains is a minimum incursion of 478 square feet of driveway.

- c) Does not create a significant probability of harmful environmental consequences.

Yes The encroachment is very slight and will not have an adverse effect on the environment.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes The project will meet all water quality and detention requirements.

- B. The Land Use Commission may grant a variance from a requirement of Section 25-8-422 (*Water Supply Suburban Water Quality Transition Zone*), Section 25-8-452 (*Water Supply Rural Water Quality Transition Zone*), Section 25-8-482 (*Barton Springs Zone Water Quality Transition Zone*), Section 25-8-368 (*Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long*), or Article 7, Division 1 (*Critical Water Quality Zone Restrictions*), after determining that::

1. The criteria for granting a variance in Subsection (A) are met;

Yes The criteria in Subsection (A) have been met.

2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes A driveway is not a permitted use in the Critical Water Quality Zone buffer per LDC 25-8-261. Without the variance, the project is left without a code-compliant access point, the lack of which prevents reasonable use of the property.

3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

Yes The variance permits the minimum incursion into the Critical Water Quality Zone buffer that will allow reasonable use of the property.

Staff Determination: Staff determines that the findings of fact have been met. Staff recommends the following condition: the applicant will provide bollards at appropriate locations adjacent to the drive and parking area to prevent vehicle parking off of the pavement.

Environmental
Reviewer (DSD)


(Pamela Abee-Taulli)

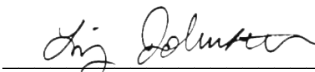
Date 2/4/2022

Environmental Review
Manager (DSD)


(Mike McDougal)

Date 2/8/2022

Environmental Officer
(WPD)


(Liz Johnston)

Date 02/08/2022



ENVIRONMENTAL COMMISSION VARIANCE APPLICATION FORM

PROJECT DESCRIPTION

Applicant Contact Information

Name of Applicant	Bill Graham, P.E., I.T. Gonzalez Engineers
Street Address	3501 Manor Road
City State ZIP Code	Austin, TX 78723
Work Phone	512-573-6264
E-Mail Address	bill@itgonzalezengineers.com

Variance Case Information

Case Name	Iglesia Pentecostal Emanuel, Inc.
Case Number	SP-2020-0324C
Address or Location	6300 Moonglow Drive, Austin, TX 78724
Environmental Reviewer Name	Pamela Abee-Taulli
Environmental Resource Management Reviewer Name	Lindsey Sydow
Applicable Ordinance	25-8-261
Watershed Name	Walnut Creek
Watershed Classification	<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Water Supply Suburban <input type="checkbox"/> Water Supply Rural <input type="checkbox"/> Barton Springs Zone

Edwards Aquifer Recharge Zone	<input type="checkbox"/> Barton Springs Segment <input type="checkbox"/> Northern Edwards Segment <input checked="" type="checkbox"/> Not in Edwards Aquifer Zones
Edwards Aquifer Contributing Zone	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Distance to Nearest Classified Waterway	85 feet to unnamed tributary of Walnut Creek
Water and Waste Water service to be provided by	Austin Water
Request	The variance request is as follows (Cite code references): LDC 25-8-261 CRITICAL WATER QUALITY ZONE DEVELOPMENT

Impervious cover	Existing	Proposed
square footage:	<u>0 s.f.</u>	<u>31,668 s.f.</u>
acreage:	<u>0 acres</u>	<u>0.727 acres</u>
percentage:	<u>0%</u>	<u>16.01%</u>
Provide general description of the property (slope range, elevation range, summary of vegetation / trees, summary of the geology, CWQZ, WQTZ, CEFs, floodplain, heritage trees, any other notable or outstanding characteristics of the property)	1. Slope varies between 6.49% and 9.23%. A small area has a 25% slope. 2. Elevation range is from 470 at east property line to 505 at west property line. 3. There are no heritage trees on site. The existing trees are mostly Elms, 8" to 18" diameter. There are also numerous trees of an invasive species. 4. A creek is located at the east property line and has a FEMA 500-year/COA 100-year Base Floodplain Elevation of approximately 475 5. A wetland pond exists immediately north of the south property line in the western part of the property. It basically resembles a man-made pond for cattle. 6. The proposed construction, except for a small portion of proposed driveway entrance, has been kept outside of the 150 ft from creek C.L., which is considered to be the Half Original CWQZ. 7.CWQZ Buffer Averaging will be used for the site plan.	

Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	The site has only one option for entrance to site, which is from the south end of Moonglow. A very small area of the proposed driveway entrance to the site will be within the Half Original 150 ft CWQZ. An approximately 30' wide open space easement blocks access to Sandshof Drive at the west property line of the lot that is being developed.
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FINDINGS OF FACT

As required in LDC Section 25-8-41, in order to grant a variance the Land Use Commission must make the following findings of fact:

Include an explanation with each applicable finding of fact.

Project: Iglesia Pentecostal Emanuel, Inc.

Ordinance: Chapter 25-8-261

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege available to owners of similarly situated property with approximately contemporaneous development subject to similar code requirements.

Yes / No The site has only one option for entrance to site, which is from the south end of Moonglow Drive. A very small area of the proposed driveway entrance to the site happens to be within the Half Original 150 ft CWQZ. A part of Moonglow Drive and all of the two lots on the east side of Moonglow Dr. and adjacent to 6300 Moonglow Drive is in the CWQZ. The 2007 subdivision called Sendero Hills Phase IV, with lots abutting the south property line of 6300 Moonglow, has several lots with houses located in the CWQZ.

2. The variance:
 - a) Is not necessitated by the scale, layout, construction method, or other design decision made by the applicant, unless the design decision provides greater overall environmental protection than is achievable without the variance;

Yes / No The proposed driveway encroachment into the Half Original 150 ft CWQZ is not being created by the design of the proposed development. Again, be

advised that if access from Moonglow Drive is not permitted, the City is basically land-locking this tract of land. The Owner would have liked to access the property from the west; but, the Owner was unsuccessful in getting an access easement through the existing open space easement lot that parallels Sandshof Drive. Furthermore, be advised that the City had a hand in allowing the creation of said open space easement lot.

- b) Is the minimum deviation from the code requirement necessary to allow a reasonable use of the property;

Yes / No If the Environmental Variance Request is not granted, the Iglesia Pentecostal Emanuel, Inc. church will not be able to develop the land. Be advised that the Moonglow Drive already encroaches into the Half Original 150 foot CWQZ. The encroachment of the drive into the Half Original 150 foot CWQZ has been minimized as much as possible.

- c) Does not create a significant probability of harmful environmental consequences.

Yes / No The small section of driveway that will encroach into the Half Original CWQZ does not have the possibility of significant harmful environmental consequences. Be advised that the south end of Moonglow Drive is already encroaching into the Half Original 150 ft CWQZ. Also, there are at least two residential lots with improvements that encroach into the CWQZ.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes/No Development with the variance will result in water quality that is at least equal to the existing conditions. Again, be advised that the south end of Moonglow Drive and at least 2 residential lots with their improvements are already encroaching into the Half Original 150 ft CWQZ. The proposed development is not introducing a condition that does not already exist. The biofiltration pond will be oversize to account for the area of drive located in the Half Original CWQZ.

- B. Additional Land Use Commission variance determinations for a requirement of Section 25-8-422 (Water Quality Transition Zone), Section 25-8-452 (Water Quality Transition Zone), Article 7, Division 1 (Critical Water Quality Zone Restrictions), or Section 25-8-368 (Restrictions on Development Impacting Lake Austin, Lady Bird Lake, and Lake Walter E. Long):

1. The criteria for granting a variance in Subsection (A) are met;

Yes / No [provide summary of justification for determination]
2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes / No [provide summary of justification for determination]
3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

Yes / No [provide summary of justification for determination]

**Variance approval requires all above affirmative findings.



Exhibits for Commission Variance

- Aerial photos of the site
- Site photos
- Aerial photos of the vicinity
- Context Map—A map illustrating the subject property in relation to developments in the vicinity to include nearby major streets and waterways
- Topographic Map - A topographic map is recommended if a significant grade change on the subject site exists or if there is a significant difference in grade in relation to adjacent properties.
- For cut/fill variances, a plan sheet showing areas and depth of cut/fill with topographic elevations.
- Site plan showing existing conditions if development exists currently on the property
- Proposed Site Plan- full size electronic or at least legible 11x17 showing proposed development, include tree survey if required as part of site or subdivision plan
- Environmental Map – A map that shows pertinent features including Floodplain, CWQZ, WQTZ, CEFs, Setbacks, Recharge Zone, etc.
- An Environmental Resource Inventory pursuant to ECM 1.3.0 (*if required by 25-8-121*)
- Applicant's variance request letter



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January 10, 2022

Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	The site has only one option for entrance to site, which is from the south end of Moonglow. A very small area of the proposed driveway entrance to the site will be within the Half Original 150 ft CWQZ. An approximately 30' wide open space easement blocks access to Sandshof Drive at the west property line of the lot that is being developed.
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Yes / No The proposed driveway encroachment into the Half Original 150 ft CWQZ is not being created by the design of the proposed development. Again, be

advised that if access from Moonglow Drive is not permitted, the City is basically land-locking this tract of land. The Owner would have liked to access the property from the west; but, the Owner was unsuccessful in getting an access easement through the existing open space easement lot that parallels Sandshof Drive. Furthermore, be advised that the City had a hand in allowing the creation of said open space easement lot.

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1. The criteria for granting a variance in Subsection (A) are met;

Yes / No [provide summary of justification for determination]
2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property;

Yes / No [provide summary of justification for determination]
3. The variance is the minimum deviation from the code requirement necessary to allow a reasonable, economic use of the entire property.

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****Variance approval requires all above affirmative findings.**



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- Applicant's variance request letter

January 10, 2022

Zoning and Platting Commission
301 W 2nd Street
Austin, Texas 78701

Re: Critical Water Quality Zone (CWQZ) Development Variance
Iglesia Pentecostal Emanuel, Inc. Site Plan
6300 Moonglow Drive
SP-2020-0324C

Dear Commissioners:

On behalf of our client, Iglesia Pentecostal Emanuel, Inc., I. T. Gonzalez Engineers is requesting a variance from the requirements of Land Development Code (LDC) Section 25-8-261, Critical Water Quality Zone Development. LDC Section 25-8-261 prohibits development in a CWQZ.

The Iglesia Pentecostal Emanuel, Inc. wishes develop the undeveloped lot at 6300 Moonglow, with the proposed improvements to include a church building and associated drive and parking. To develop the lot, access must be taken by a drive and ADA access sidewalk that will cross the lower 150' of the 300' CWQZ on the site and connect to the southern end of Moonglow Drive. In the lower 150' of CWQZ, the drive and sidewalk will be constructed to create the minimum change necessary to develop the lot. Water quality buffer averaging will be used for construction of the drive and parking in the upper 150' of the CWQZ. The small section of the drive and sidewalk in the lower 150' of the CWQZ will also be accounted for in the water quality buffer averaging area to be provided.

When the property surrounding the 6300 Moonglow Drive property was subdivided, access to the roads that were constructed was not provided for the 6300 Moonglow Drive property. To the west, the 6300 Moonglow Drive tract was blocked from access to Sandshof Drive by a narrow open space easement lot created as part of Sendero Hills Phase 4 Subdivision that was approved in 2007. The current owner of the open space easement lot will not permit access across the open space easement lot. To the south, access to Lucy Cove was not provided when this property was developed as part of the same 2007 subdivision. The unnamed tributary of Walnut Creek that has a 300' CWQZ that must be crossed to access Moonglow Drive lies to the east. With these constraints to site access, the property cannot be developed without the variance to LDC Section 25-8-261.

As much as possible, stormwater from the drive crossing the CWQZ will be directed to a biofiltration pond to be constructed in the CWQZ, with the pond oversized to include the portion of the drive in the CWQZ that will bypass the pond. The stormwater runoff from the portion of the drive in the CWQZ that will bypass the pond will be discharged to a vegetated area upgradient from the creek. The resulting water quality will not be degraded.

Sincerely,

A handwritten signature in dark ink, appearing to read "Bill Graham", with a stylized, flowing script.

Bill Graham, P.E.

6300 Moonglow Drive

Write a description for your map.

Legend

19 of 54

6300 Moonglow Dr



W97.6464°

6300 Moonglow Dr

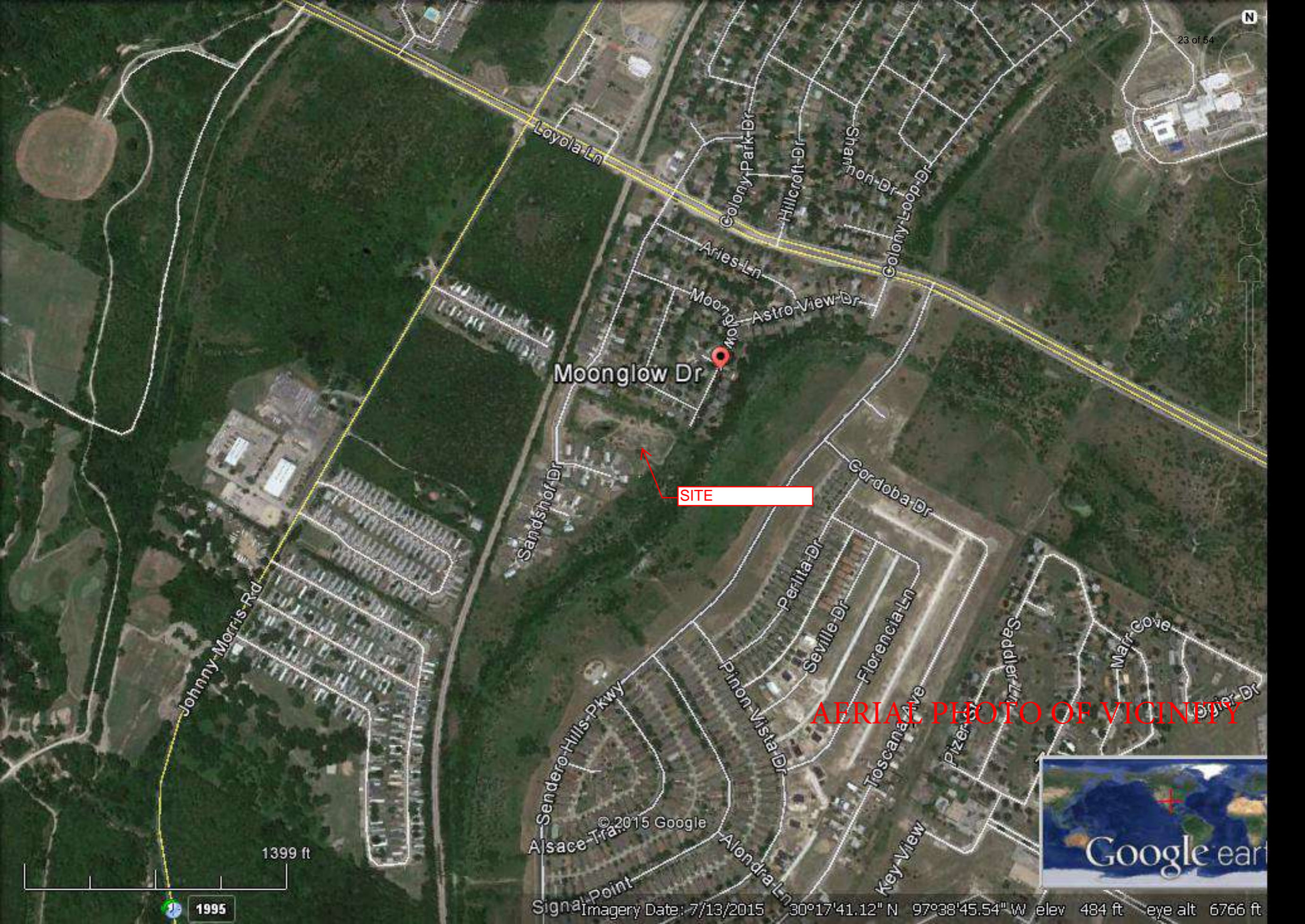
Lucy Cove











Moonglow Dr

SITE

AERIAL PHOTO OF VICINITY



1995

© 2015 Google

Imagery Date: 7/13/2015 30°17'41.12" N 97°38'45.54" W elev 484 ft eye alt 6766 ft



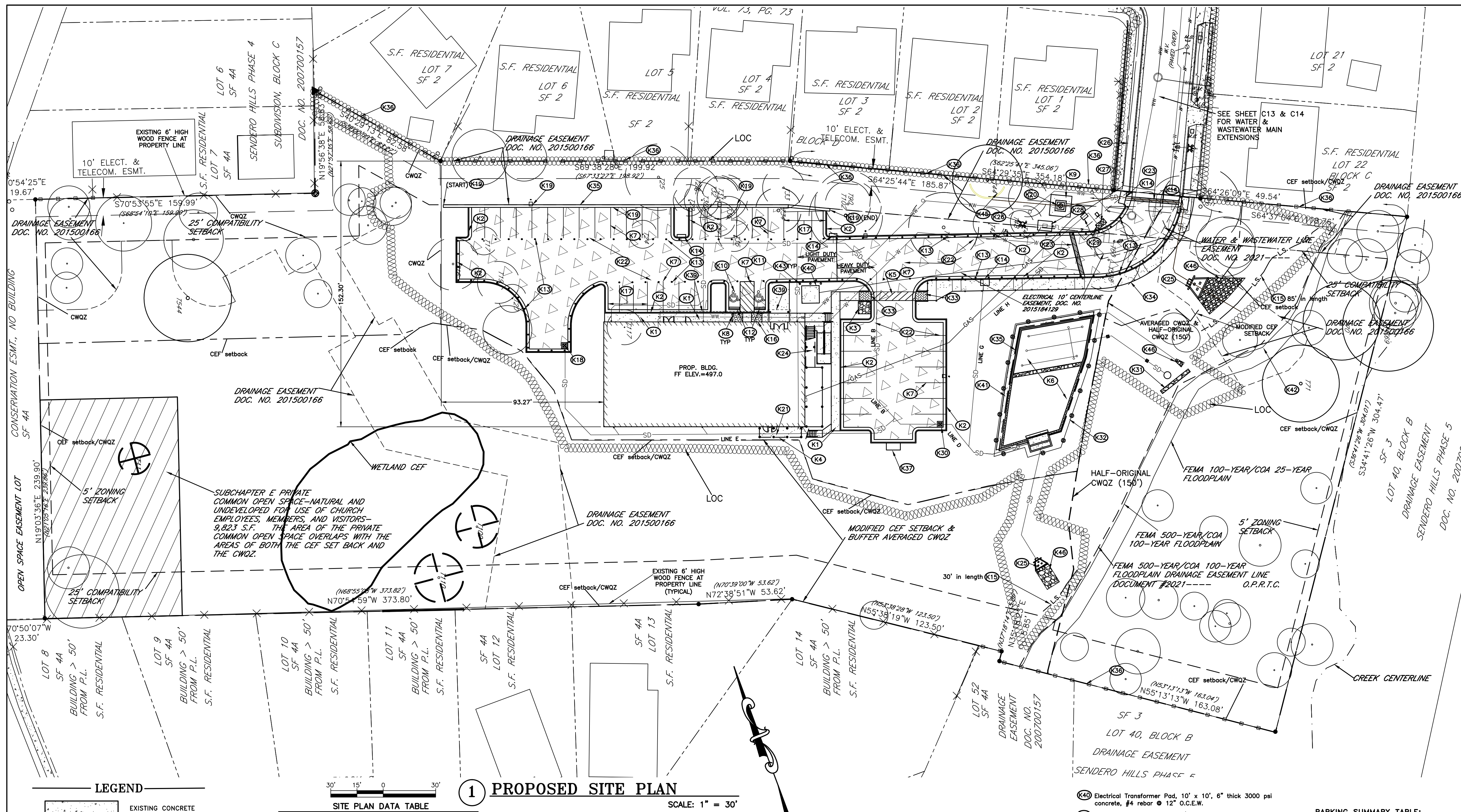
Legend

- Lot Lines
- Streets
- Building Footprints
- Named Creeks
- Lakes and Rivers
- Parks
- County
- Greater Austin FEMA Floodpl
- 100 Year (Detailed-AE)
- 100 year (Shallow-AC)
- 100 Year (Approx-A)
- X Protected by Levee
- 500 Year

CONTEXT MAP

CONTEXT
MAP

THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.



- Ordinance Requirements**
- All improvements shall be made in accordance with the released site plan. Any additional improvements will require a site plan amendment and approval from the Planning and Development Review.
 - Approval of this site plan does not include Building Code and Fire Code approval nor building permit approval.
 - The owner is responsible for all cost of relocation, or damage to, utilities.
 - Additional electric easements may be required at a later date.
 - A Development Permit must be issued prior to an application for building permit, for non-consolidated or Planning Commission approved site plans.

- FIRE DEPARTMENT**
- The Austin Fire Department requires asphalt or concrete pavement prior to construction as an "all-weather driving surface."
 - Hydrants must be installed with the center of the four-inch opening at least 18 inches above finished grade. The four-inch opening must face during the driveway or street with three- to six-foot setbacks from the curbline(s). No obstruction is allowed within three feet of any hydrant and the four-inch opening must be totally unobstructed from the street.
 - TIMING OF INSTALLATION:** When fire protection facilities are installed by the developer, such facilities shall include all surface access roads which shall be installed and made serviceable prior to and the time of construction. Where alternative methods of protection, as approved by the Fire Chief, are provided, the above may be modified or waived.
 - All previous/decorative paving shall be engineered and installed for 80,000 lb. live-vehicle loads. Any previous/decorative paving within 100 feet of any building must be approved by the Fire Department.
 - Commercial dumpsters and containers with an individual capacity of 1.5 cubic yards or greater shall not be stored or placed within ten feet of openings, combustible walls, or combustible eave lines.
 - Fire lanes designated on site plan shall be registered with City of Austin Fire Marshals office and inspected for final approval.
 - Vertical clearance required for the fire apparatus is 14 feet, full width of access drive.

- SIGNS**
- All signs must comply with requirements of Land Development Code (CHAPTER 25-10).
- CONSTRUCTION IN R.O.W.**
- For construction within the Right-of-Way, a concrete permit is required.

- SITE PLAN RELEASE NOTES:**
- All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval of the Planning and Development Review Department.
 - Approval of this Site Plan does not include Building and Fire Code approval nor building permit approval.
 - All signs must comply with requirements of the Land Development Code (Chapter 25-10).
 - Additional electric easements may be required at a later date.
 - Water and wastewater service will be provided by the City of Austin.
 - All existing structures shown to be removed will require a demolition permit from the City of Austin Planning and Development Review Department.
 - A development permit must be issued prior to an application for building permit for non-consolidated or Planning Commission approved site plans.
 - No certificate of occupancy may be issued for the proposed residential condominium project until the owner or owners of the property have complied with Chapter 81 and 82 of the Property Code of the State of Texas or any other statutes enacted by the State concerning condominiums.
 - For driveway construction: The owner is responsible for all costs for relocation of, or damage to utilities.
 - For construction within the right-of-way, a ROW excavation permit is required.

- ACCESSIBILITY NOTES:**
- Approval of these plans by the City of Austin indicates compliance with applicable City regulations only. Compliance with accessibility standards such as the 2010 Standards for Accessible Design or the 2012 Texas Accessibility Standards was not verified. The applicant is responsible for compliance with all applicable accessibility standards.
 - Accessible routes must have a cross-slope no greater than 1:50. [ANSI 403.3]
 - Accessible parking spaces must be located on a surface with a slope not exceeding 1:50. [ANSI 502.5]
 - Slopes on accessible routes may not exceed 1:20 unless designed as a ramp. [ANSI 403.3]
 - The maximum slope of a ramp in new construction is 1:12. The maximum rise for any ramp run is 30 in. The maximum horizontal projection is 30 feet for a ramp with a slope between 1:12 and 1:15, and 40 feet for a ramp with a slope between 1:16 and 1:20. [ANSI 405.2 - 405.6]

- EXTERIOR LIGHTING NOTES:**
1. Exterior lighting above the second floor is prohibited.
 2. All exterior lighting will be full cut-off and fully shielded in compliance with Subchapter E 2.5 and will be reviewed during building plan review. Any change or substitution of lamp/light fixtures shall be submitted to the Director for approval in accordance with Section 2.5.2.E See figure below.

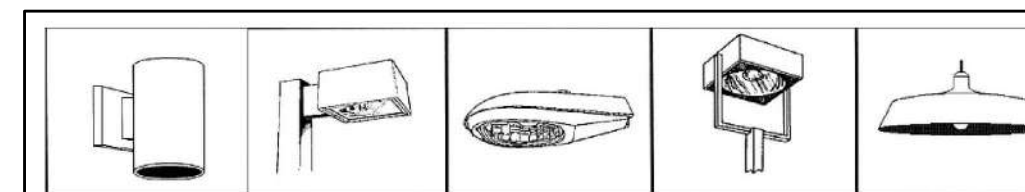


Figure 34:
Examples of fully-shielded light fixtures.

SITE PLAN APPROVAL SHEET 5 OF 32
FILE NUMBER **SP-2020-0324C** APPLICATION DATE **08/27/2020**
APPROVED BY COMMISSION ON _____ UNDER SECTION **112** OF CHAPTER **25-5** OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5.81 LDC) CASE MANAGER **R. Johns**
PROJECT EXPIRATION DATE (ORD. #979005-A) DWTPZ DDZ _____

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING **SF-4A**

Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

I.T.G. ENGINEERS PROJECT: E19.12.09.01 CASE NUMBER: SP-2020-0324C

DATE: 01-07-2022

PROJECT NO: E19.12.09.01

ITG IT Gonzalez
Engineers

FIRM REGISTRATION NO. F-3216
3501 MANOR RD.
AUSTIN, TEXAS 78723
(512) 447-7400 (512) 447-6389

PROPOSED SITE PLAN

SCALE AS SHOWN

IGLESIA PENTECOSTAL EMANUEL, INC.

6300 MOONGLOW DRIVE
AUSTIN, TX 78724

DRAWN BY:

DATE:

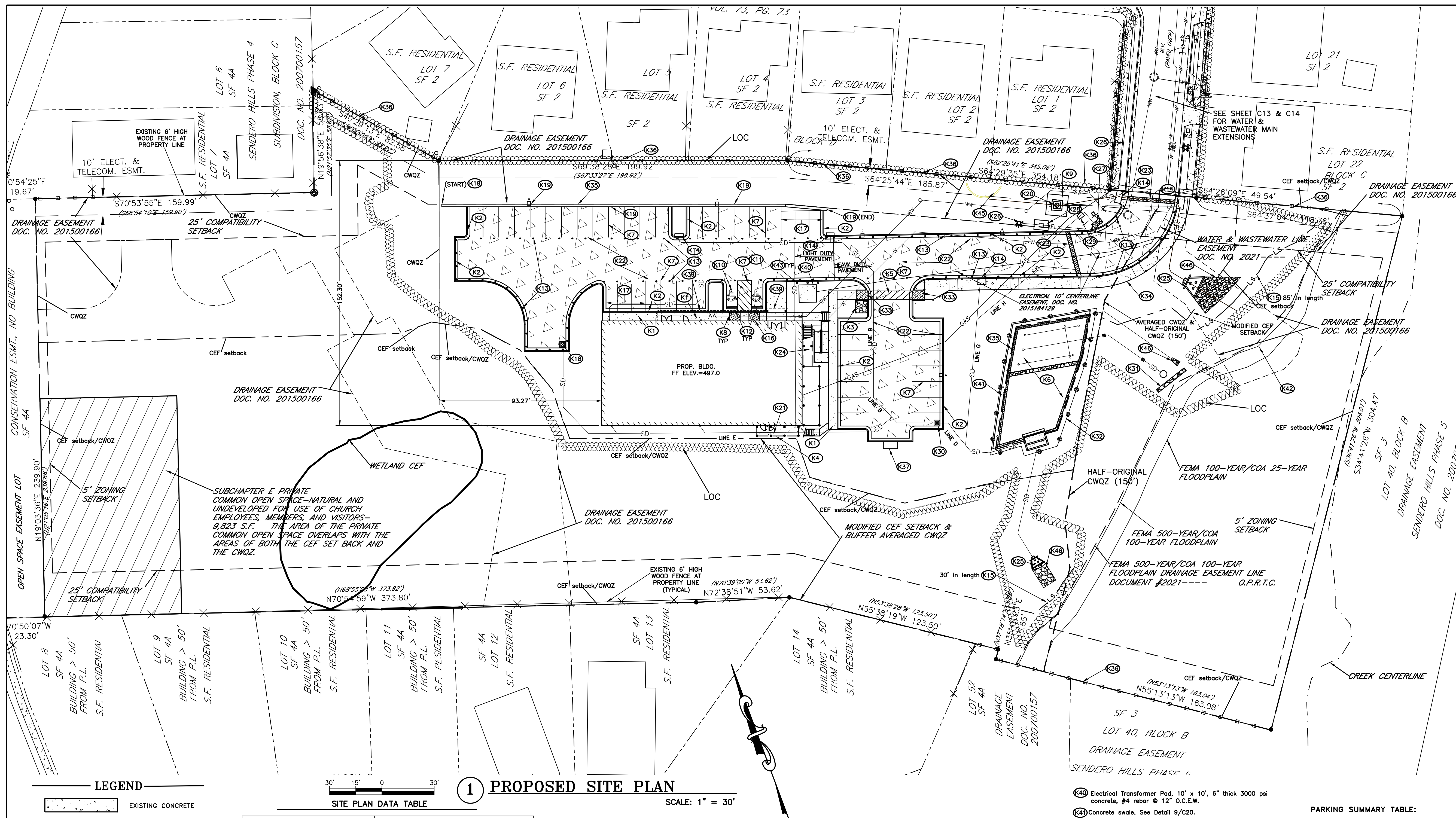
JOB NO:

REVISIONS:

SHEET

C3

5 OF 32



- Ordinance Requirements**
- All improvements shall be made in accordance with the released site plan. Any additional improvements will require a site plan amendment and approval from the Planning and Development Review.
 - Approval of this site plan does not include Building Code and Fire Code approval nor building permit approval.
 - The owner is responsible for all cost of relocation, or damage to, utilities.
 - Additional electric easements may be required at a later date.
 - A Development Permit must be issued prior to an application for building permit, for non-consolidated or Planning Commission approved site plans.

FIRE DEPARTMENT

- The Austin Fire Department requires asphalt or concrete pavement prior to construction as an "all-weather driving surface."
- Hydrants must be installed with the center of the four-inch opening at least 18 inches above finished grade. The four-inch opening must face down the driveway or street with three- to six-foot setbacks from the curbline(s). No obstruction is allowed within three feet of any hydrant and the four-inch opening must be totally unobstructed from the street.
- TIMING OF INSTALLATION:** When fire protection facilities are installed by the developer, such facilities shall include all surface access roads which shall be installed and made serviceable prior to and the time of construction. Where alternative methods of protection, as approved by the Fire Chief, are provided, the above may be modified or waived.
- All previous/decorative paving shall be engineered and installed for 80,000 lb. live-vehicle loads. Any previous/decorative paving within 100 feet of any building must be approved by the Fire Department.
- Commercial dumpsters and containers with an individual capacity of 1.5 cubic yards or greater shall not be stored or placed within ten feet of openings, combustible walls, or combustible eave lines.
- Fire lanes designated on site plan shall be registered with City of Austin Fire Marshals office and inspected for final approval.
- Vertical clearance required for the fire apparatus is 14 feet, full width of access drive.

SIGNS

- All signs must comply with requirements of Land Development Code (CHAPTER 25-10).

CONSTRUCTION IN R.O.W.

- For construction within the Right-of-Way, a concrete permit is required.

SITE PLAN RELEASE NOTES:

- All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval of the Planning and Development Review Department.
- Approval of this Site Plan does not include Building and Fire Code approval nor building permit approval.
- All signs must comply with requirements of the Land Development Code (Chapter 25-10).
- Additional electric easements may be required at a later date.
- Water and wastewater service will be provided by the City of Austin.
- All existing structures shown to be removed will require a demolition permit from the City of Austin Planning and Development Review Department.
- A development permit must be issued prior to an application for building permit for non-consolidated or Planning Commission approved site plans.
- No certificate of occupancy may be issued for the proposed residential condominium project until the owner or owners of the property have complied with Chapter 81 and 82 of the Property Code of the State of Texas or any other statutes enacted by the State concerning condominiums.
- For driveway construction: The owner is responsible for all costs for relocation of, or damage to, utilities.
- For construction within the right-of-way, a ROW excavation permit is required.

ACCESSIBILITY NOTES:

- Approval of these plans by the City of Austin indicates compliance with applicable City regulations only. Compliance with accessibility standards such as the 2010 Standards for Accessible Design or the 2012 Texas Accessibility Standards was not verified. The applicant is responsible for compliance with all applicable accessibility standards.
- Accessible routes must have a cross-slope no greater than 1:50. [ANSI 403.3]
- Accessible parking spaces must be located on a surface with a slope not exceeding 1:50. [ANSI 502.5]
- Slopes on accessible routes may not exceed 1:20 unless designed as a ramp. [ANSI 403.3]
- The maximum slope of a ramp in new construction is 1:12. The maximum rise for any ramp run is 30 in. The maximum horizontal projection is 30 feet for a ramp with a slope between 1:12 and 1:15, and 40 feet for a ramp with a slope between 1:16 and 1:20. [ANSI 405.2 - 405.6]

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SITE PLAN APPROVAL SHEET 5 OF 32
FILE NUMBER SP-2020-0324C APPLICATION DATE 08/27/2020
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5.81 LDC) CASE MANAGER R. Johns
PROJECT EXPIRATION DATE (ORD. #979005-A) DWTFZ DDZ

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: ZONING SF-4A

Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

I.T.G. ENGINEERS PROJECT: E19.12.09.01 CASE NUMBER: SP-2020-0324C

DATE: 01-07-2022

PROJECT NO: E19.12.09.01

ITG IT Gonzalez
Engineers

FIRM REGISTRATION NO. F-3216
3501 MANOR RD.
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(512) 447-7400 FAX (512) 447-6389

PROPOSED SITE PLAN
SCALE AS SHOWN

IGLESIA PENTECOSTAL EMANUEL, INC.

6300 MOONGLOW DRIVE
AUSTIN, TX 78724

DRAWN BY:

DATE:

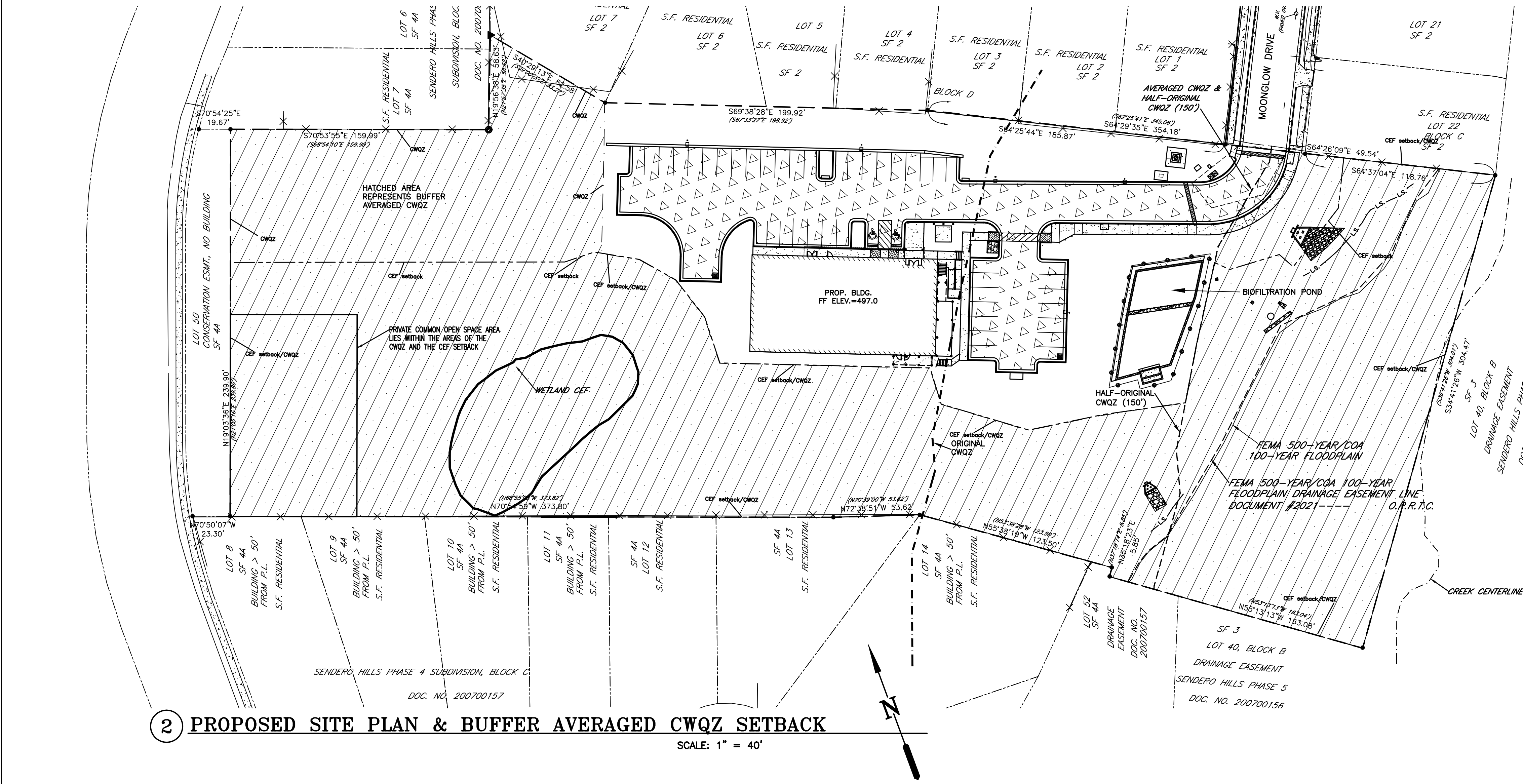
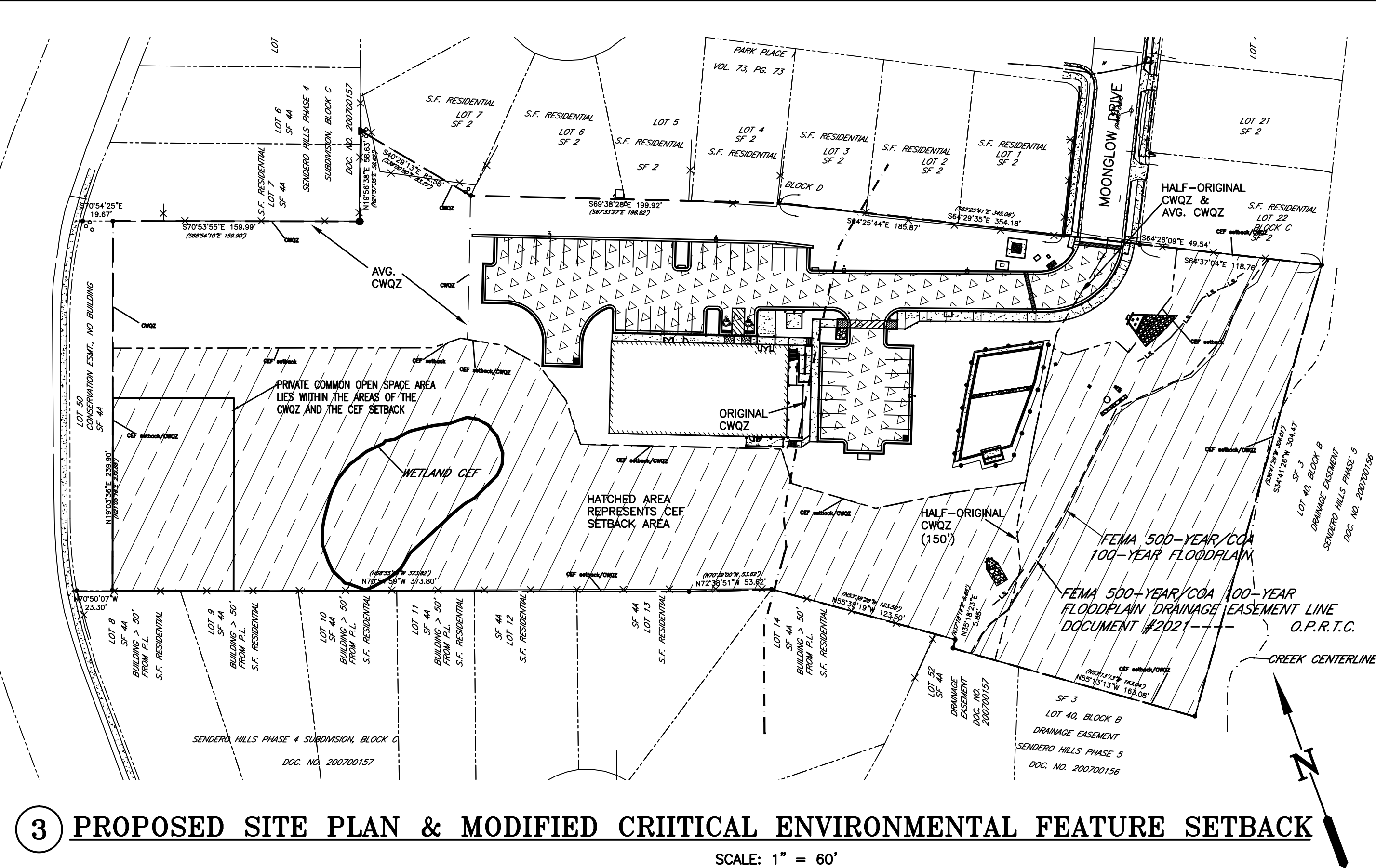
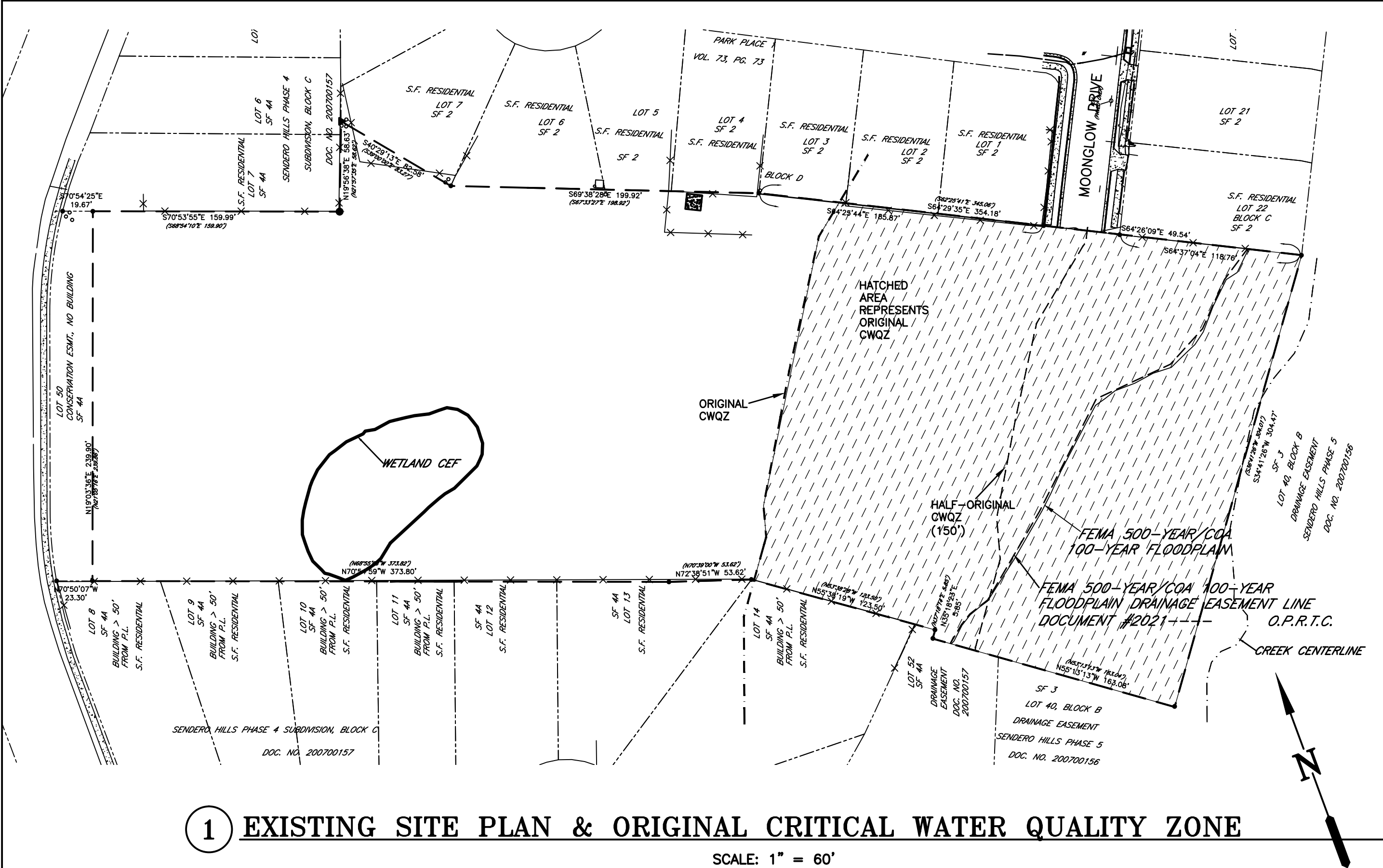
JOB NO:

REVISIONS:

SHEET

C3

5 OF 32



CRITICAL WATER QUALITY ZONE AREAS
ORIGINAL CWQZ AREA: 82,449 S.F.
BUFFER AVERAGED CWQZ AREA SHOWN ON PLANS: 135,950 S.F.
AREA OF 150' SETBACK FROM CEF ON SUBJECT TRACT BUT EXCLUDING 150' SETBACK IN DEVELOPED AREA OF SITE: 70,622 S.F.
BUFFER AVERAGED CWQZ AREA FOR CREDIT: 135,950 - 70,622 S.F. = 65,328 S.F.
BUFFER AVERAGING BALANCE: 65,328 S.F. - 82,449 S.F. = -17,121 S.F.
BUFFER AVERAGING BALANCE DEFICIT TO BE MADE UP WITH EXTRA PLANTINGS: 17,121 S.F.
MODIFIED CEF SETBACK AREA= 107,611 S.F.

- LEGEND
- PROPERTY LINE
 - EXISTING FENCE
 - IRON ROD FOUND (IRF)
 - IRON PIPE FOUND (IPF)
 - RECORD DATA
 - MODIFIED CRITICAL ENVIRONMENTAL FEATURE SETBACK
 - BUFFER AVERAGED CRITICAL WATER QUALITY ZONE
 - MODIFIED CRITICAL ENVIRONMENTAL FEATURE SETBACK
 - BUFFER AVERAGED CRITICAL WATER QUALITY ZONE
 - ORIGINAL CRITICAL WATER QUALITY ZONE

SITE PLAN APPROVAL SHEET 11 OF 32
FILE NUMBER SP-2020-0324C APPLICATION DATE 08/27/2020
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81 LDC) CASE MANAGER R. Johns
PROJECT EXPIRATION DATE (ORD. #970905-A) DWPZ DDZ
Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: ZONING SF-4A
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

ORIGINAL CWQZ, AVERAGED CWQZ, AND CEF SETBACK MAPS

DATE: 01-07-2022
PROJECT NO.: E19.12.09.01
ITG IT Gonzalez Engineers
FIRM REGISTRATION NO. F-3216
3501 MANOR RD.
AUSTIN, TEXAS 78723
(512) 447-7400 FAX (512) 447-6389

IGLESIA PENTECOSTAL EMANUEL, INC.
6300 MOONGLOW DRIVE
AUSTIN, TX 78724

DRAWN BY:
DATE:
JOB NO.:
REVISIONS:

SHEET
C9

Environmental Resource Inventory

Restoration Temple Subdivision

6301 Moonglow Drive

Austin, Texas

August 24, 2014

Prepared By:

I. T. Gonzalez Engineers

3501 Manor Road

Austin, Texas 78723



I. T. Gonzalez 8-24-14

Environmental Resource Inventory

For the City of Austin
Relating to the Land Development Code (LDC) Section 25-8, Title 30-5, ECM 1.3.0 & 1.10.0
Effective October 28, 2013

The ERI is required for projects that meet one or more of the criteria listed in (LDC) Section 25-8-121(A), Title 30-5-121(A).

1. SITE/PROJECT NAME: Restoration Temple Subdivision
2. COUNTY APPRAISAL DISTRICT PROPERTY ID (#'s): 214126
3. ADDRESS/LOCATION OF PROJECT: 6301 Moonglow Drive, Austin, TX 78724
4. WATERSHED: Walnut Creek
5. THIS SITE IS WITHIN THE (Check all that apply)

Edwards Aquifer Recharge Zone* (See note below)	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Edwards Aquifer Contributing Zone*	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Edwards Aquifer 1500 ft Verification Zone*	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Barton Spring Zone*	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

*(as defined by the City of Austin – LDC 25-8-2 or LDC 30-5-2)

Note: If the property is over the Edwards Aquifer Recharge zone, the Hydrogeologic Report and karst surveys must be completed and signed by a Professional Geoscientist Licensed in the State of Texas.

6. DOES THIS PROJECT PROPOSE FLOODPLAIN MODIFICATION?.....☐ YES** ☒ NO
If yes, then check all that apply:
 - ☐ (1) The floodplain modifications proposed are necessary to protect the public health and safety;
 - ☐ (2) The floodplain modifications proposed would provide a significant, demonstrable environmental benefit, as determined by a **functional assessment** of floodplain health as prescribed by the Environmental Criteria Manual, or
 - ☐ (3) The floodplain modifications proposed are necessary for development allowed in the critical water **quality zone under LDC 25-8-261 or 25-8-262, LDC 30-5-261 or 30-5-262.**
 - ☐ (4) The floodplain modifications proposed are outside of the Critical Water Quality Zone in an area determined to be in poor or fair condition by a **functional assessment** of floodplain health.

**** If yes, then a functional assessment must be completed and attached to the ERI (see Section 1.7 and Appendix X in the Environmental Criteria Manual for forms and guidance) unless conditions 1 or 3 above apply.**

7. IF THE SITE IS WITHIN AN URBAN OR SUBURBAN WATERSHED, DOES THIS PROJECT PROPOSE A UTILITY LINE PARALLEL TO AND WITHIN THE CRITICAL WATER QUALITY ZONE? ☐ YES*** ☒ NO

*****If yes, then riparian restoration is required by Section 25-8-261(E) of the LDC and a functional assessment must be completed and attached to the ERI (see Section 1.5 and Appendix X in the Environmental Criteria Manual for forms and guidance).**

8. There is a total of 1 (#'s) Critical Environmental Feature(s)(CEFs) on or within 150 feet of the project site. If CEF(s) are present, attach a detailed **DESCRIPTION** of the CEF(s), color **PHOTOGRAPHS**, the **CEF WORKSHEET** and provide **DESCRIPTIONS** of the proposed CEF buffer(s) and/or wetland mitigation. Provide the number of each type of CEFs on or within 150 feet of the site (Please provide the number of CEFs):

____ (#s) Spring(s)/Seep(s) ____ (#s) Point Recharge Feature(s) ____ (#s) Bluff(s)
 ____ (#s) Canyon Rimrock(s) 1 (#s) Wetland(s)

Note: Standard buffers for CEFs are 150 feet, with a maximum of 300 feet for point recharge features. Except for wetlands, if the standard buffer is not provided, you must provide a written request for an administrative variance from Section 25-8-281(C)(1) and provide written findings of fact to support your request. Request forms for administrative variances from requirements stated in LDC 25-8-281 are available from Watershed Protection Department.

9. The following site maps are attached at the end of this report (Check all that apply and provide):

All ERI reports must include:

- ☒ **Site Specific Geologic Map with 2-ft Topography**
- ☒ **Historic Aerial Photo of the Site**
- ☒ **Site Soil Map**
- ☒ **Critical Environmental Features and Well Location Map on current Aerial Photo with 2-ft Topography**

Only if present on site (Maps can be combined):

- ☐ **Edwards Aquifer Recharge Zone with the 1500-ft Verification Zone**
(Only if site is over or within 1500 feet the recharge zone)
- ☐ **Edwards Aquifer Contributing Zone**
- ☐ **Water Quality Transition Zone (WQTZ)**
- ☒ **Critical Water Quality Zone (CWQZ)**
- ☒ **City of Austin Fully Developed Floodplains for all water courses with up to 64-acres of drainage**

10. **HYDROGEOLOGIC REPORT** – Provide a description of site soils, topography, and site specific geology below (Attach additional sheets if needed):

Surface Soils on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups*. If there is more than one soil unit on the project site, show each soil unit on the site soils map.

Soil Series Unit Names, Infiltration Characteristics & Thickness		
Soil Series Unit Name & Subgroup**	Group*	Thickness (feet)
FhF3, Ferris Heiden	D	36"-60"
HeC2, Heiden Clay 3-5%	D	>80"
LcB, Lewisville Silty Clay	B	>80"
Tw, Tin Clay	D	>80"

*Soil Hydrologic Groups Definitions (Abbreviated)

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

**Subgroup Classification – See Classification of Soil Series Table in County Soil Survey.

Description of Site Topography and Drainage *(Attach additional sheets if needed):*

The contributing offsite area that surface flows onto the site is 2.71 acres. At the northern third of the site, the offsite area drains to an old stock pond. The pond receives stormwater runoff from three sides. From the westerly direction, it receives runoff from a strip of land between the pond and Sandshof Drive. From the northerly and southerly directions, it receives runoff from a small catchment made up of single family residences. For the remainder of the tract, stormwater from a strip of land located in the abutting residential subdivision to the north flows across the tract in a southeasterly direction, crossing onto a residential subdivision to eventually end up in the creek. This unnamed creek abuts the northeast property line of the subject tract. The 100-year floodplain of creek extends onto the subject tract, with the floodplain boundary varying from approximately 25' to 125' onto the subject tract. In general, the slope on the site varies from approximately 5% to 10%.

List surface geologic units below:

Geologic Units Exposed at Surface		
Group	Formation	Member
none exposed		

Brief description of site geology *(Attach additional sheets if needed):*

The site is not in any of the the Edwards Aquifer Zones. On the site there are no rock outcrops, no point recharge features, no bluffs, no karst features, and no canyon rimrocks. There are no visible springs, but City of Austin environmental staff has speculated that the wetland pond may be partially fed by water from a perched water table.

Wells – Identify all recorded and unrecorded wells on site (test holes, monitoring, water, oil, unplugged, capped and/or abandoned wells, etc.):

There are 0 (#) wells present on the project site and the locations are shown and labeled
0 (#s) The wells are not in use and have been properly abandoned.
0 (#s) The wells are not in use and will be properly abandoned.
0 (#s) The wells are in use and comply with 16 TAC Chapter 76.
 There are 0 (#s) wells that are off-site and within 150 feet of this site.

11. THE VEGETATION REPORT – Provide the information requested below:

Brief description of site plant communities *(Attach additional sheets if needed):*

Western two-thirds of site is more wooded with mainly invasive trees, including ligustrum, hackberry, cedar and mesquite. This portion of site has very little grass cover, with significant areas covered with cleavers, areas with a mix of weedy plants, briars, and stands of prickly pear cactus. In the upper portion of the bottom third of the tract is more open with areas of bunch grass, ragweed and Johnson grass. The lower portion of the bottom third of the tract abutting the creek is wooded with larger trees including some elm and oaks, and covered with ragweed in more open areas.

There is woodland community on site☒ YES ☐ NO *(Check one).*

If yes, list the dominant species below:

Woodland species	
Common Name	Scientific Name
hackberry	celtic occidentalis
mesquite	prosopis glandulosa
cedar	juniperis ashei
elm	ulmus americana
oak	quercus stellata

There is grassland/prairie/savanna on site.....☒ YES ☐ NO *(Check one).*

If yes, list the dominant species below:

Grassland/prairie/savanna species	
Common Name	Scientific Name
texas grama	boutela rigidisetta
arizona cottontop	digitar californicum
johnson grass	sorghum halapanese
virginia wildrye	elymus virginicum

There is hydrophytic vegetation on site☒ YES ☐ NO *(Check one).*

If yes, list the dominant species in table below *(next page):*

Hydrophytic plant species		
Common Name	Scientific Name	Wetland Indicator Status
Soft stem bulrush	Shoenoplectus tabermontani	OBL
Chairmaker's bulrush	Shoenoplectus pungens	OBL
Rush	Juncus sp	OBL ?
Spikerush	Eleocharis sp	FACW
Celery Buttercup	Ranunculus celeratus	OBL
Golden Rod	Solidago sp	FAC ?
Frog fruit	Phyla incisa	FAC

A tree survey of all trees with a diameter of at least eight inches measured four and one-half feet above natural grade level has been completed on the site.

☒ YES ☐ NO (Check one).

12. WASTEWATER REPORT – Provide the information requested below.

Wastewater for the site will be treated by (Check of that Apply):

- ☐ On-site system(s)
☒ City of Austin Centralized sewage collection system
☐ Other Centralized collection system

Note: All sites that receive water or wastewater service from the Austin Water Utility must comply with Chapter 15-12 of Austin City Code and wells must be registered with the City of Austin

The site sewage collection system is designed and will be constructed to in accordance to all State, County and City standard specifications.

☒ YES ☐ NO (Check one).

Calculations of the size of the drainfield or wastewater irrigation area(s) are attached at the end of this report or shown on the site plan.

☐ YES ☐ NO ☒ Not Applicable (Check one).

Wastewater lines are proposed within the Critical Water Quality Zone?

☒ YES ☐ NO (Check one). If yes, then provide justification below:

They wastewater yard line will have to run through a portion of the Critical Water Quality Zone in order to tie to the wastewater main located in Moonglow Drive. The wastewater main located in Sandshof Drive cannot be used. Between the subject tract and the Sandshof Drive right-of-way there is a narrow open space easement lot whose owner will not grant an easement to cross.

Is the project site is over the Edwards Aquifer?

☐ YES ☒ NO (Check one).

If yes, then describe the wastewater disposal systems proposed for the site, its treatment level and effects on receiving watercourses or the Edwards Aquifer.

13. One (1) hard copy and one (1) electronic copy of the completed assessment have been provided.

Date(s) ERI Field Assessment was performed: 8-21-14

Date(s)

My signature certifies that to the best of my knowledge, the responses on this form accurately reflect all information requested.

I. T. Gonzalez

512-447-7400 #14

Print Name

Telephone

Signature

billgr@swbell.net

Email Address

I. T. Gonzalez Engineers

8-24-14

Name of Company

Date

For project sites within the Edwards Aquifer Recharge Zone, my signature and seal also certifies that I am a licensed Professional Geoscientist in the State of Texas as defined by ECM 1.12.3(A).

P.G.
Seal

Print Form

Critical Environmental Feature at Restoration Temple Subdivision Site

The Restoration Temple Subdivision site has only one critical environmental feature located on it or within 150' of the site. The site has a wetland pond located on it that has been recorded by the City of Austin Biological Resource Geodatabase as a critical environmental feature. The pond, which likely served as a stock pond in the past, is located in the western third of the tract, i.e. towards Sandshof Drive, and has an area of approximately 7,700 s.f., per City of Austin delineation

The pond receives stormwater runoff from three sides. From the westerly direction, it receives runoff from a strip of land between the pond and Sandshof Drive. From the northerly and southerly directions, it receives runoff from a small catchment made up of single family residences. In addition, due to the ponds small catchment and presence of wetland plants that must remain permanently inundated, City of Austin environmental scientists speculate that an additional water source might be a perched water table that maintains water in the pond through periods of drought.

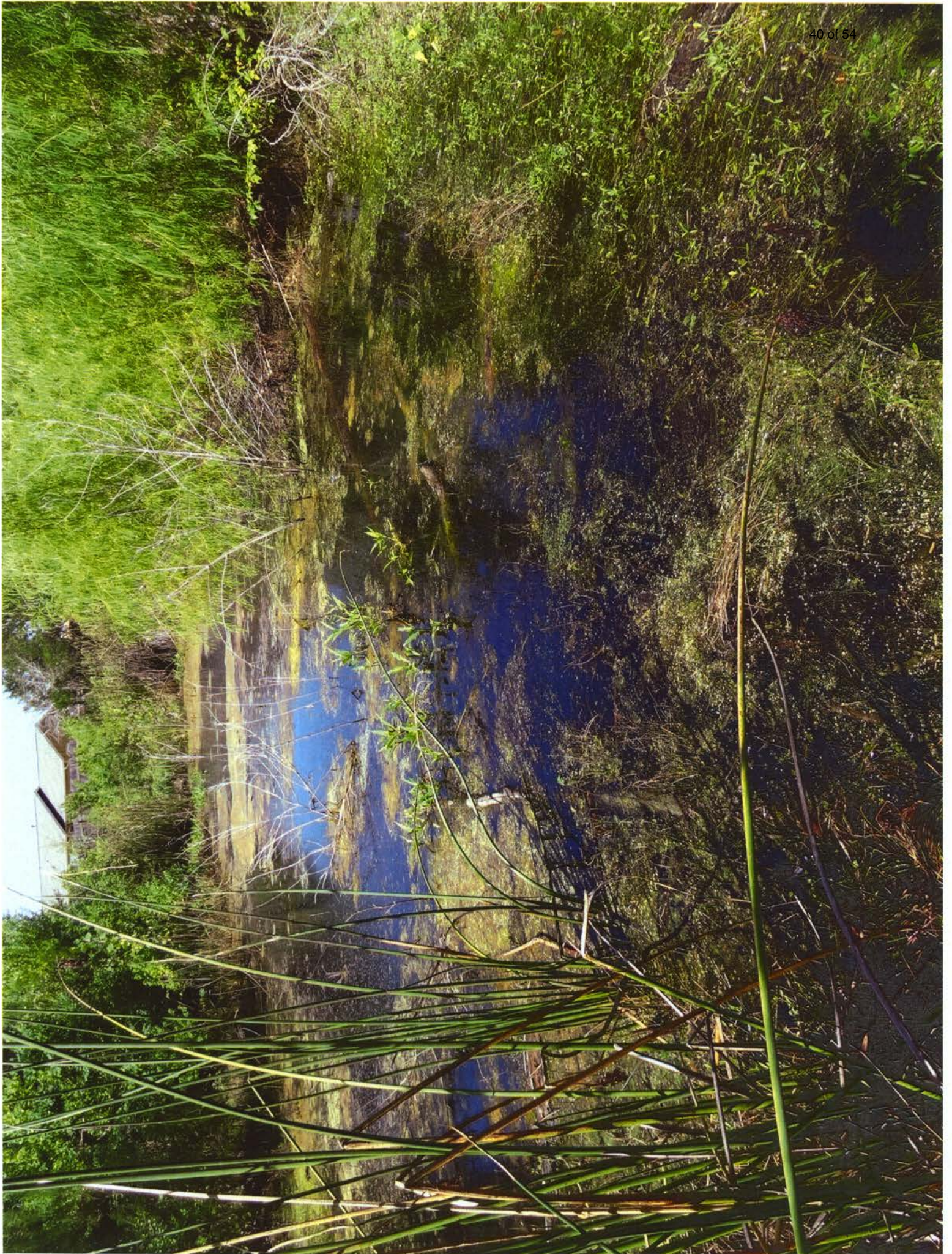
The following wetland species have been listed by the City environmental scientists as having been observed at the pond: Soft stem bulrush (*Schoenoplectus tabermontani*), Chairmaker's bulrush (*Schoenoplectus pungens*), Rush (*Juncus* sp), Spikerush (*Eleocharis* sp, probably *compressa*), Cattails (*Typha* sp), Celery buttercup (*Ranunculus celeratus*), Golden rod (*Solidago* sp), Black willow (*Salix nigra*), Green ash (*Fraxinus pennsylvanica*), Frog fruit (*Phyla incisa*), Southern dewberry (*Rubus trivialis*) and more

We are proposing that the CEF buffer for the pond be administratively reduced from the standard 150' offset buffer boundary to a 50' offset buffer boundary. Wetland mitigation, as suggested by COA, will consist of enhancing the wetland vegetation at the pond through the addition of more diversity or desirable woody wetland vegetation. Other possible mitigation methods that may be used include the use of demonstrated superior water quality management or natural enhancement/restoration such as using biofiltration instead of the standard sedimentation /filtration, or restoring a degraded area to a native bunch grass prairie that would treat runoff. The exact combination of mitigation methods to be used will be worked out in the site plan approval process.









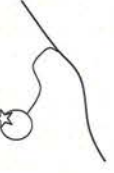


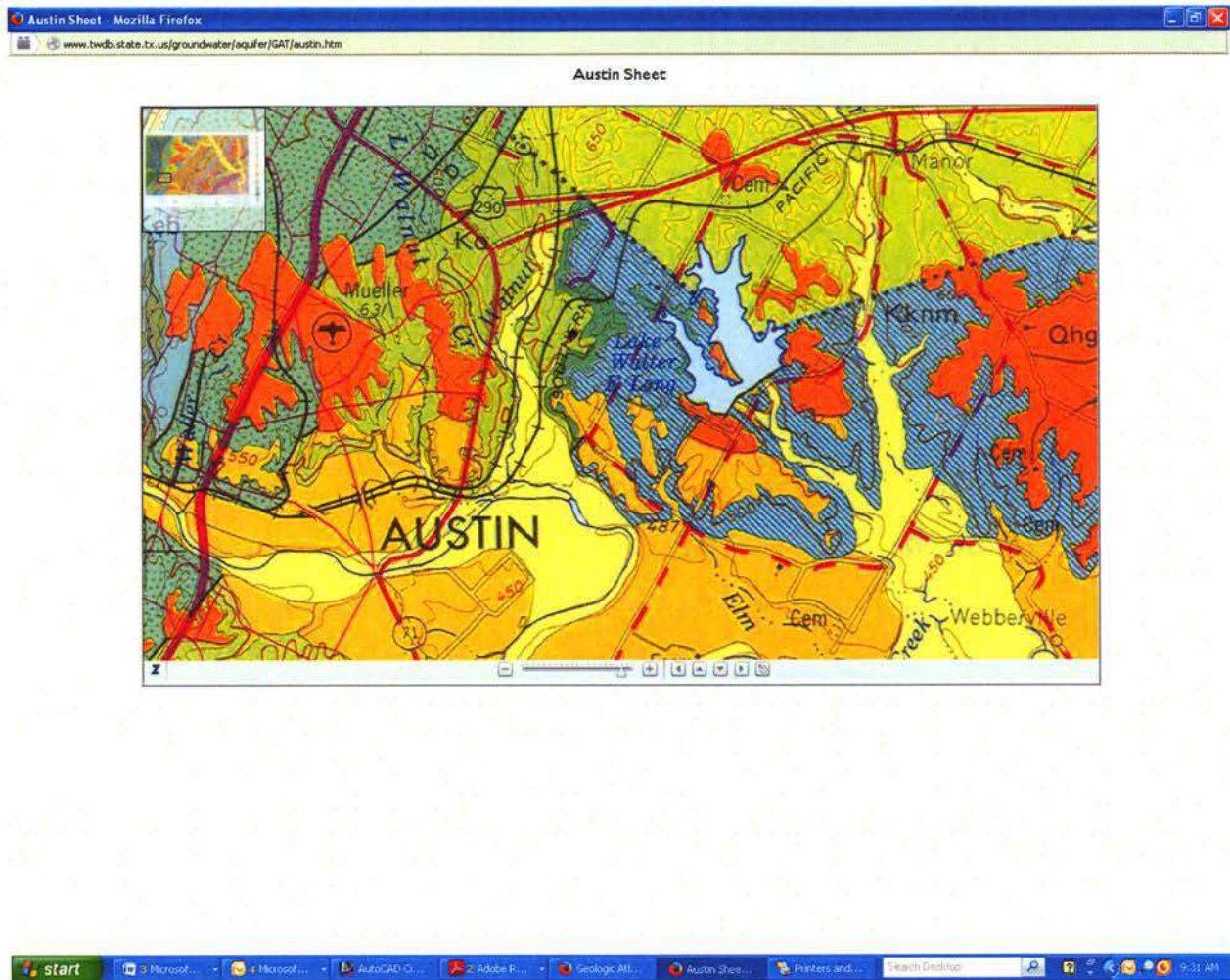
City of Austin Site Review Critical Environmental Feature Worksheet

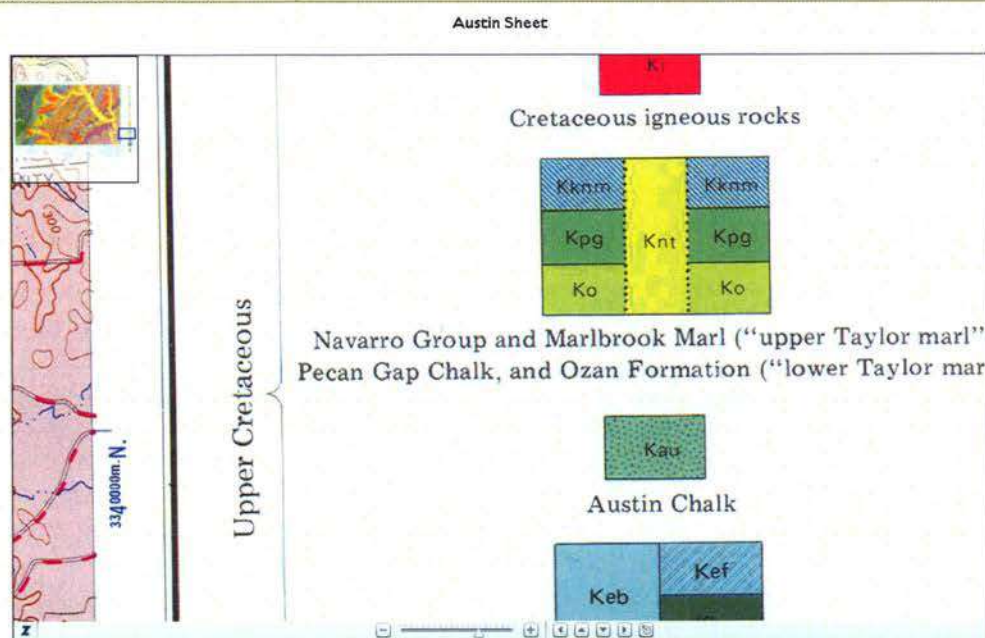
1	Project Name:	5	Primary Contact Name:	Bill Graham
2	Project Address:	6	Phone Number:	512-447-7400 # 14
3	Date:	7	Prepared By:	Bill Graham
4	Environmental Assessment Date:	8	CEFS Located? (yes/no) :	yes

[illegible]

City of Austin Use Only WPRD CASE NUMBER:	
--	--

For rimrock, locate the midpoint of the segment that describes the feature.	
For wetlands, locate the approximate centroid of the feature and the estimated area.	
For a spring or seep, locate the source of groundwater that feeds a pool or stream.	

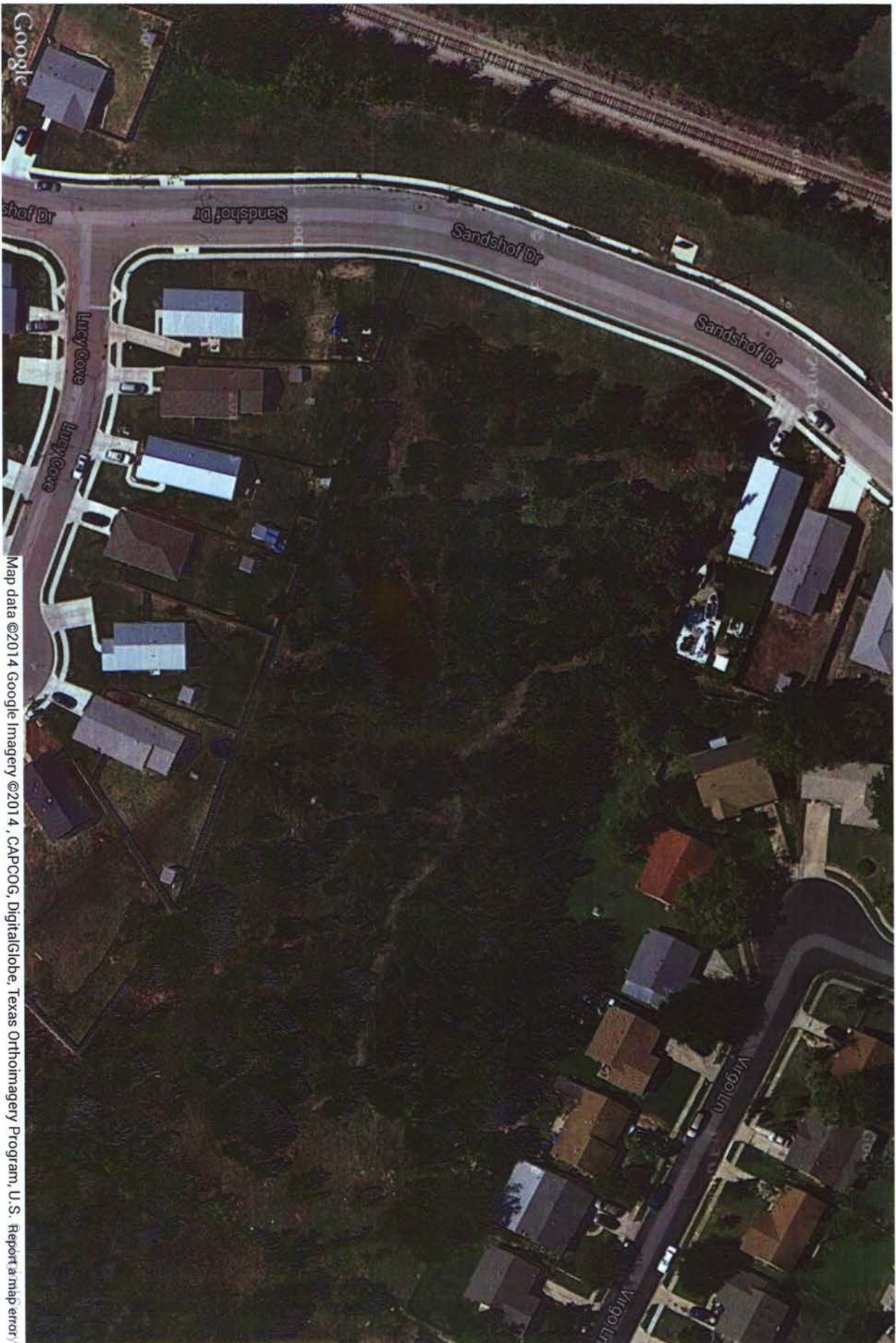






2009 GeoMap
6 Inch Orthorectified Digital Imagery

[Download Information](#)



Map data ©2014 Google Imagery ©2014, CAPCOG, DigitalGlobe, Texas Orthoimagery Program, U.S. Report a map error/



Google earth

feet
meters

100

500



1995

1987 COA



1987 COA

N-24

Soil Map—Travis County, Texas
(Restoration Temple Of Deliverance)

48 of 54

97° 38' 52" W

97° 38' 41" W

17 51" N

30° 17' 51" N



30° 17' 39" N

30° 17' 39" N

97° 38' 52" W

97° 38' 41" W



Map Scale: 1:1,780 if printed on A portrait (8.5" x 11") sheet.

0 25 50 100 150 Meters

0 50 100 200 300 Feet

Map projection: Web Mercator Corner coordinates: WGS84



Natural Resources
Conservation Service

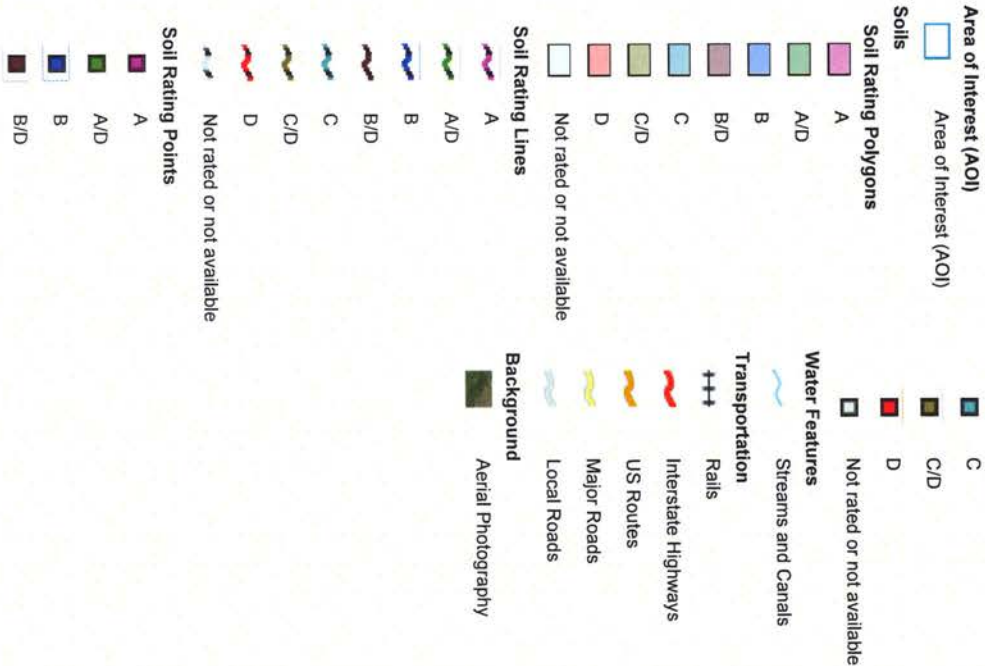
Web Soil Survey
National Cooperative Soil Survey

7/15/2014
Page 1 of 3

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Travis County, Texas (TX453)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
FhF3	Ferris-Heiden complex, 8 to 20 percent slopes, severely eroded	D	3.7	52.3%
HeB	Heiden clay, 1 to 3 percent slopes	D	0.7	10.6%
HeC2	Heiden clay, 3 to 5 percent slopes, moderately eroded	D	0.0	0.7%
HnA	Houston Black clay, 0 to 1 percent slopes	D	0.1	0.9%
LcB	Lewisville silty clay, 1 to 2 percent slopes	B	2.1	30.1%
Tw	Tinn clay, 0 to 1 percent slopes, frequently flooded	D	0.4	5.4%
Totals for Area of Interest			7.0	100.0%

MAP LEGEND



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

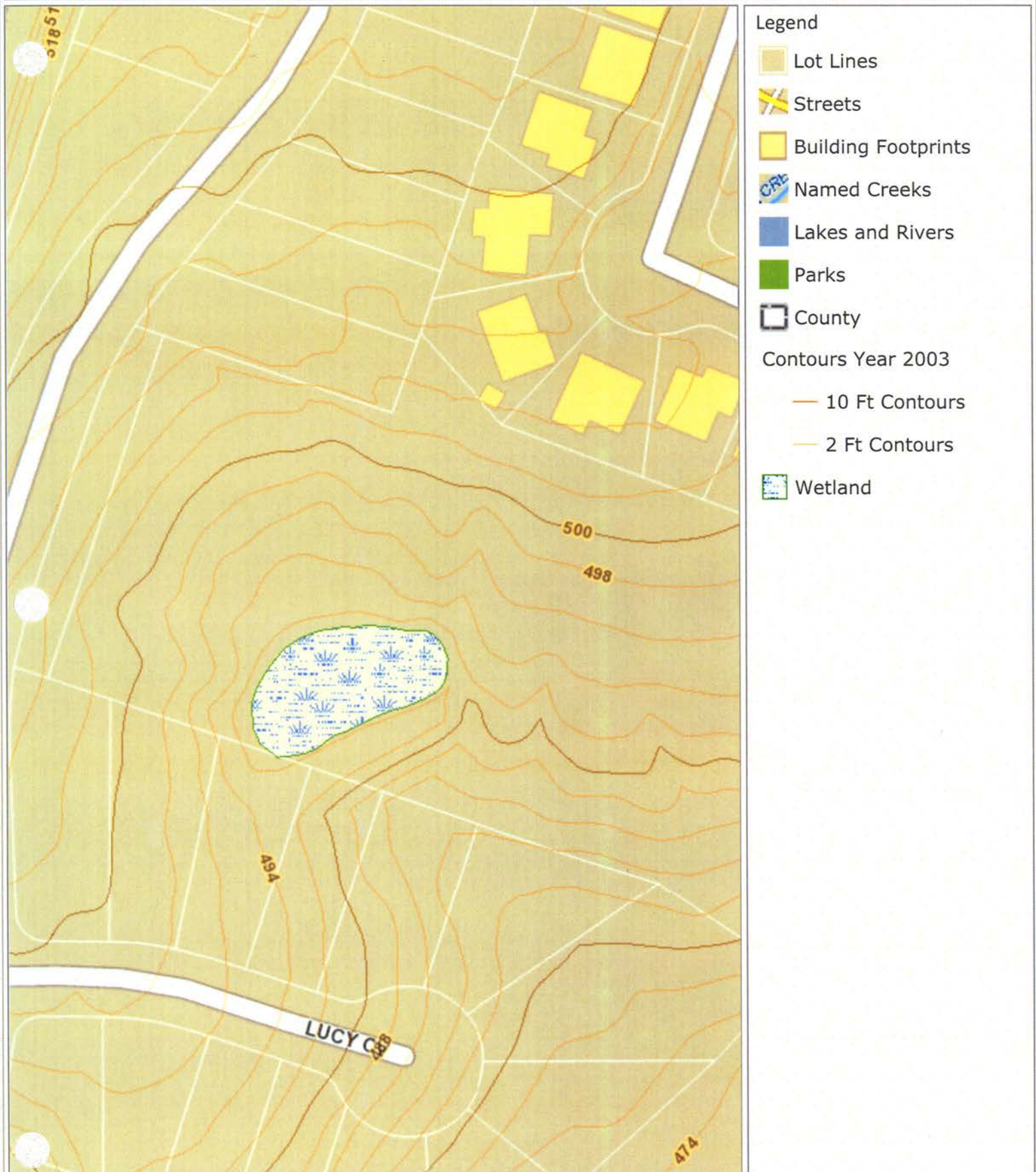
This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Travis County, Texas
Survey Area Data: Version 14, Dec 12, 2013

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

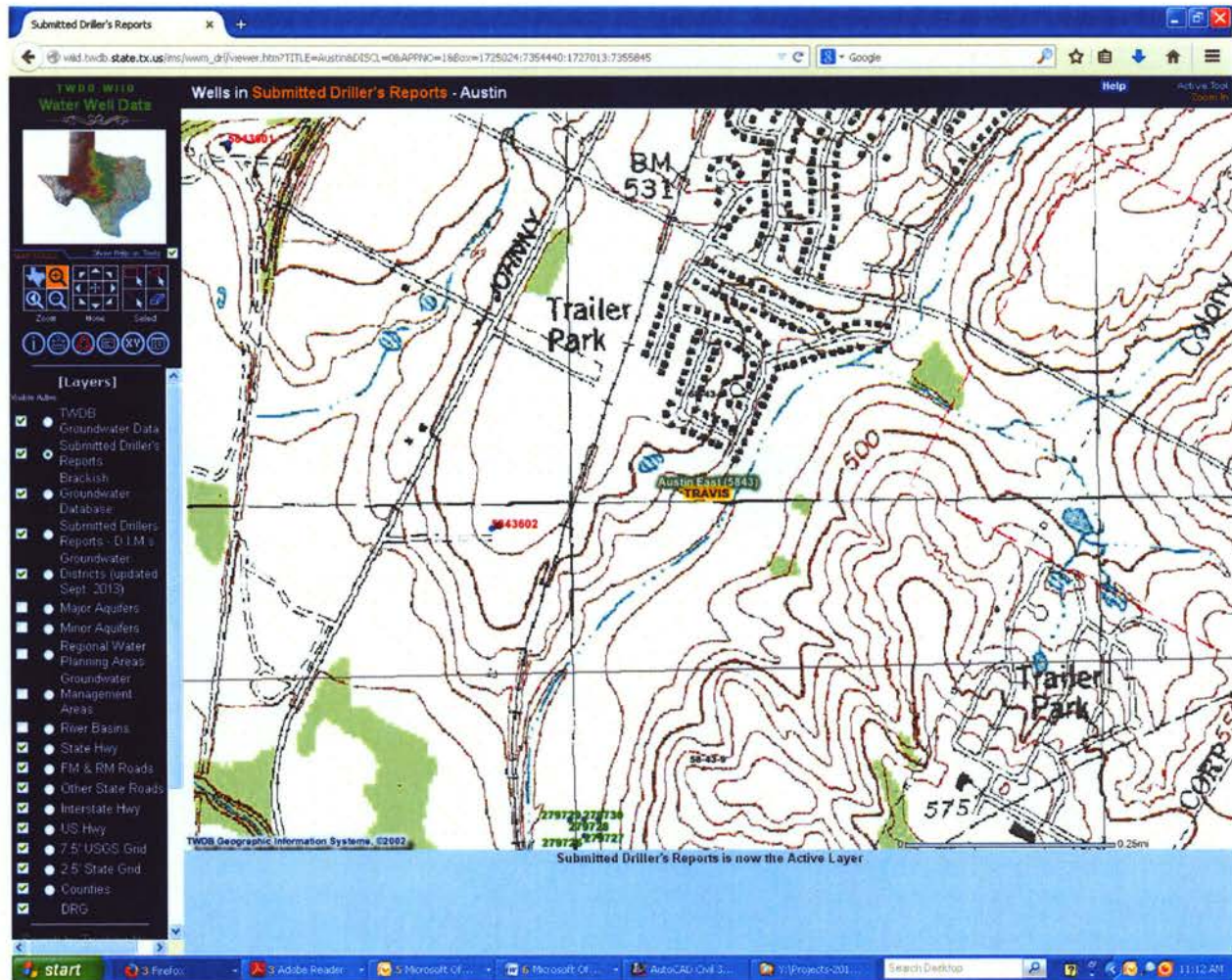
Date(s) aerial images were photographed: Feb 18, 2010—Feb 13, 2011

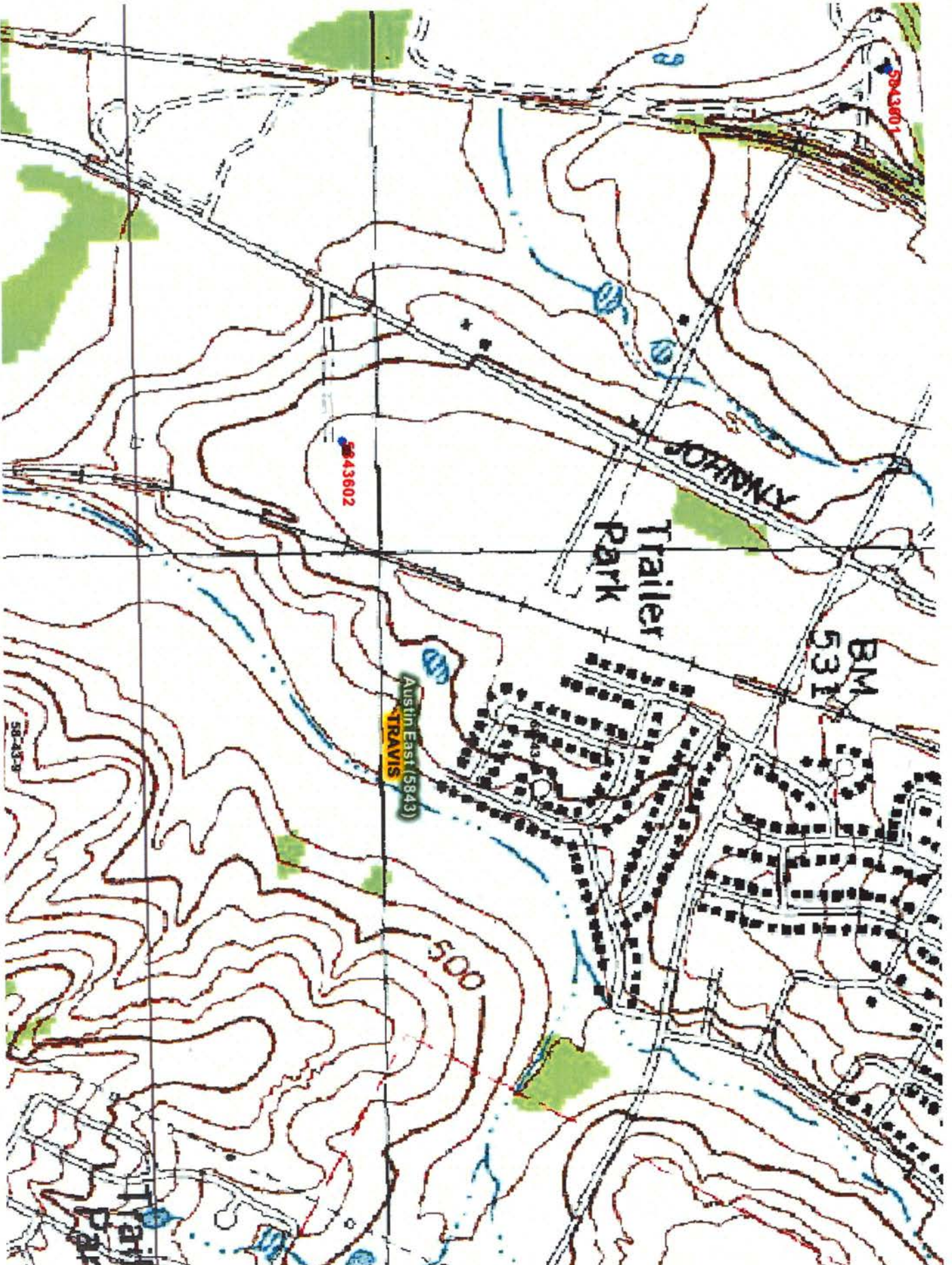
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



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52 of 54





TREE LIST (TREES WITH X TO BE REMOVED)		
TREE#	DIAMETER	TREE TYPE
1	8"	HACKBERRY
4	8"	HACKBERRY
5	9"	HACKBERRY
7	9"	HACKBERRY
11	9"	M.S. MESQUITE
12	11"	MESQUITE
14	8"	M.S. HACKBERRY
16	12"	M.S. ELM
19	12"	M.S. DOGWOOD
20	8"	MESQUITE
21	13"	M.S. MESQUITE
25	15"	M.S. HACKBERRY
26	12"	M.S. SYCAMORE
27	14"	SYCAMORE
28	16"	M.S. HACKBERRY
29	8"	HACKBERRY
30	8"	HACKBERRY
31	12"	HACKBERRY
32	13"	HACKBERRY
33	10"	HACKBERRY
34	20"	HACKBERRY
36	10"	HACKBERRY
37	10"	HACKBERRY
39	8"	HACKBERRY
41	20"	M.S. MESQUITE
42	8"	HACKBERRY
44	20"	M.S. HACKBERRY
45	10"	HACKBERRY
47	9"	M.S. HACKBERRY
50	10"	HACKBERRY
51	14"	ELM
52	11"	ELM
54	8"	HACKBERRY
55	8"	HACKBERRY
56	10"	HACKBERRY
60	9"	HACKBERRY
61	9"	HACKBERRY
62	15"	M.S. HACKBERRY
63	10"	HACKBERRY
64	11"	HACKBERRY
65	8"	OAK
66	8"	OAK
67	13"	OAK
68	11"	M.S. OAK
69	26"	M.S. COTTONWOOD
70	21"	M.S. COTTONWOOD
71	19"	ELM
73	8"	HACKBERRY
76	12"	M.S. HACKBERRY
79	8"	HACKBERRY
83	9"	M.S. HACKBERRY
84	13"	M.S. HACKBERRY
85	11"	HACKBERRY
88	8"	M.S. HACKBERRY
89	8"	HACKBERRY
90	16"	M.S. HACKBERRY
92	8"	HACKBERRY
93	9"	OAK
98	21"	M.S. MESQUITE
99	12"	HACKBERRY
100	8"	HACKBERRY
102	13"	HACKBERRY
104	8"	M.S. HACKBERRY
106	10"	OAK
109	12"	M.S. MESQUITE
110	14"	MESQUITE
544	22"	COTTONWOOD
545	17"	M.S. OAK
546	9"	HACKBERRY
547	11"	HACKBERRY
548	9"	HACKBERRY

