

4303 and 4307 Speedway

Architectural Review Committee

February 14, 2022





Project Overview

Current:

- SF-3-NCCD-HD-NP (4303) & MF-3-NCCD-HD-NP (4307)
- 4303: Single Family Residence
- 4307: Parking Lot

Proposed:

- LR-MU-NCCD-HD-NP
- 4303: Convert use to commercial/retail – No exterior changes proposed.
- 4307: Construct two new commercial/retail structures and respective ADU-like structures with intent to design under Hyde Park NCCD residential design standards in order to keep the character of the adjacent residential character.
- “-MU”: Allows for inclusion of residential in the future.



8560 SF shown
 8590 SF max for 25 spaces
 (80% at 1 space per 275 sf)









THOUGHTBARN | 4307 Speedway
SPEEDWAY DEVELOPMENT 09/17/21 PREDESIGN



THOUGHTBARN | 4307 Speedway
PREDESIGN
SPEEDWAY DEVELOPMENT 09/17/21



Project Data

4307 SPEEDWAY - SITE DATA										
ITEM			REQUIRED		EXISTING		(%)	PROPOSED	(%)	NOTES
SITE AREA:	22,750	SF								
IMPERVIOUS COVER					19017		83.59%	17100	75.16%	80% commercial
BUILDING COVER					1960	SF	8.62%	5710	25.10%	50% max
G. FLOOR AREA / FAR								8560	0.38	0.5 to 1
PARKING SPACES				26				25		includes 2 accessible
USE					Parking / Residential			LR - NEIGHBORHOOD RESIDENTIAL		

4307 SPEEDWAY - PARKING CALCULATION									
USE			RATIO		SIZE		REQUIRED		NOTES
RETAIL			1 PER 275 SF		4,280 SF		15.6		
OFFICE			1 PER 275 SF		4,280 SF		15.6		
		TOTALS			8,560 SF		31.1		
							x 0.8		NCCD 80% REDUCTION
					TOTAL PARKING REQUIRED		24.9		

Request
