4303 and 4307 Speedway

Architectural Review Committee February 14, 2022





Project Overview

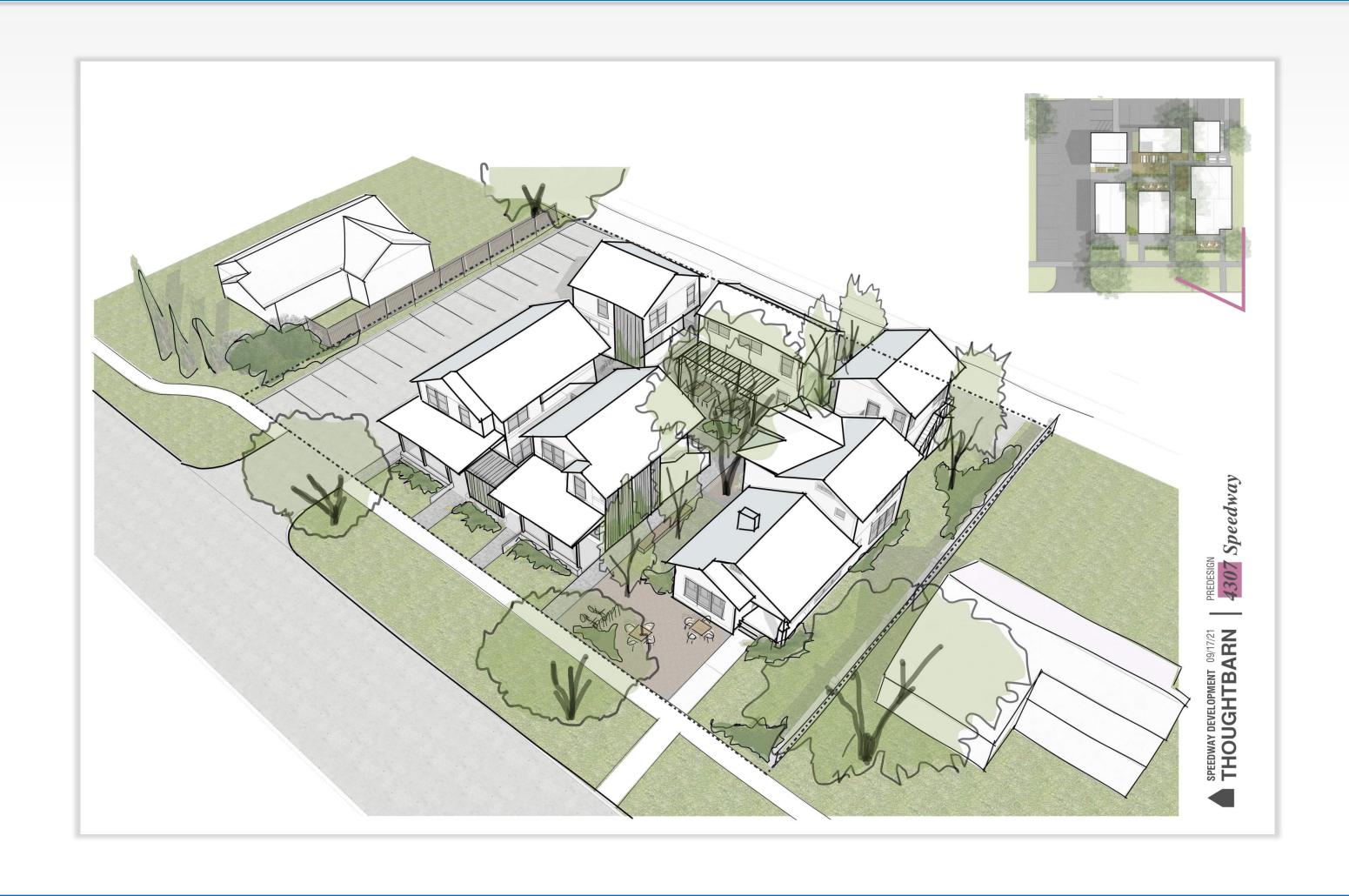
Current:

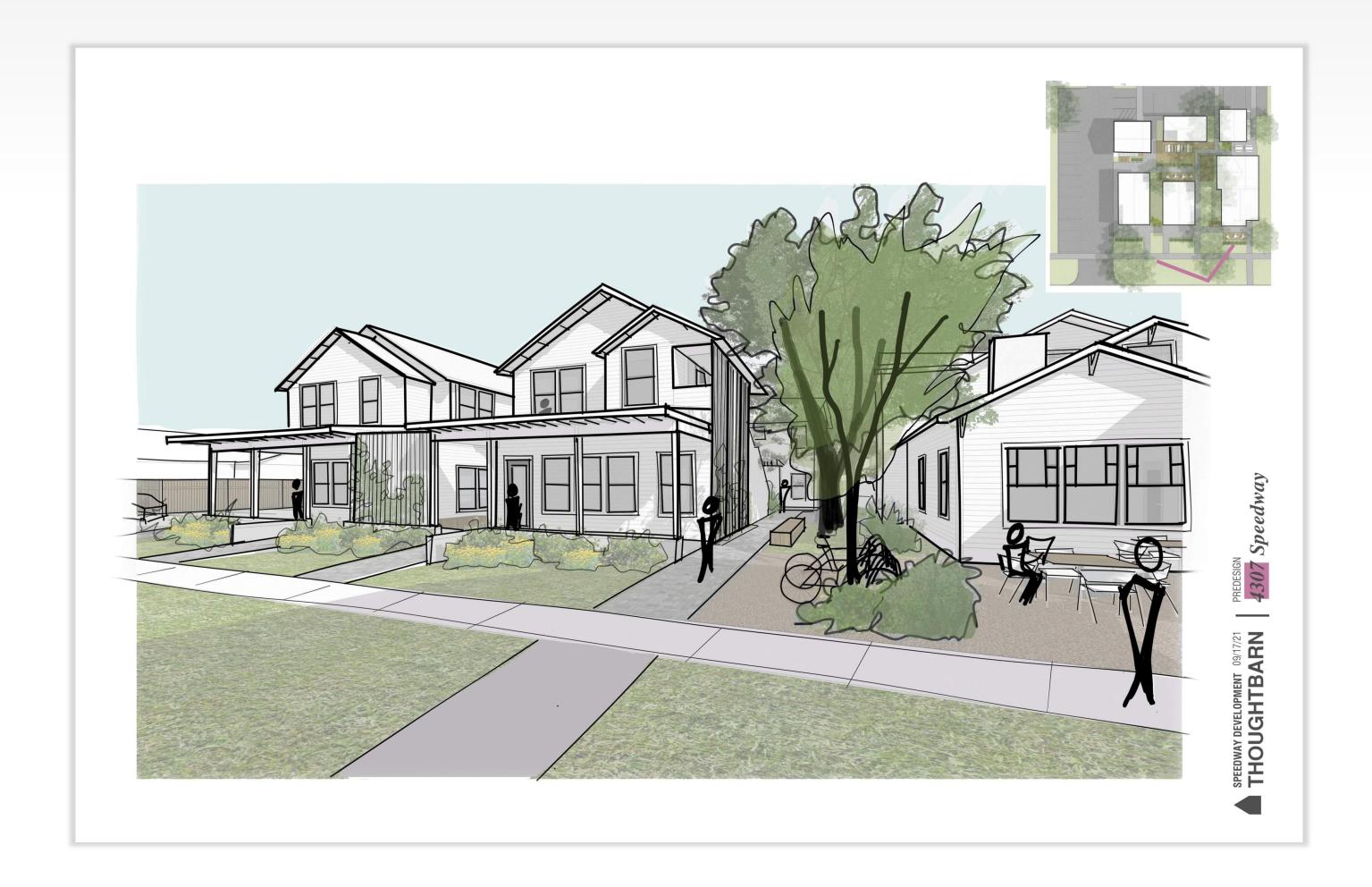
- SF-3-NCCD-HD-NP (4303) & MF-3-NCCD-HD-NP (4307)
- 4303: Single Family Residence
- 4307: Parking Lot

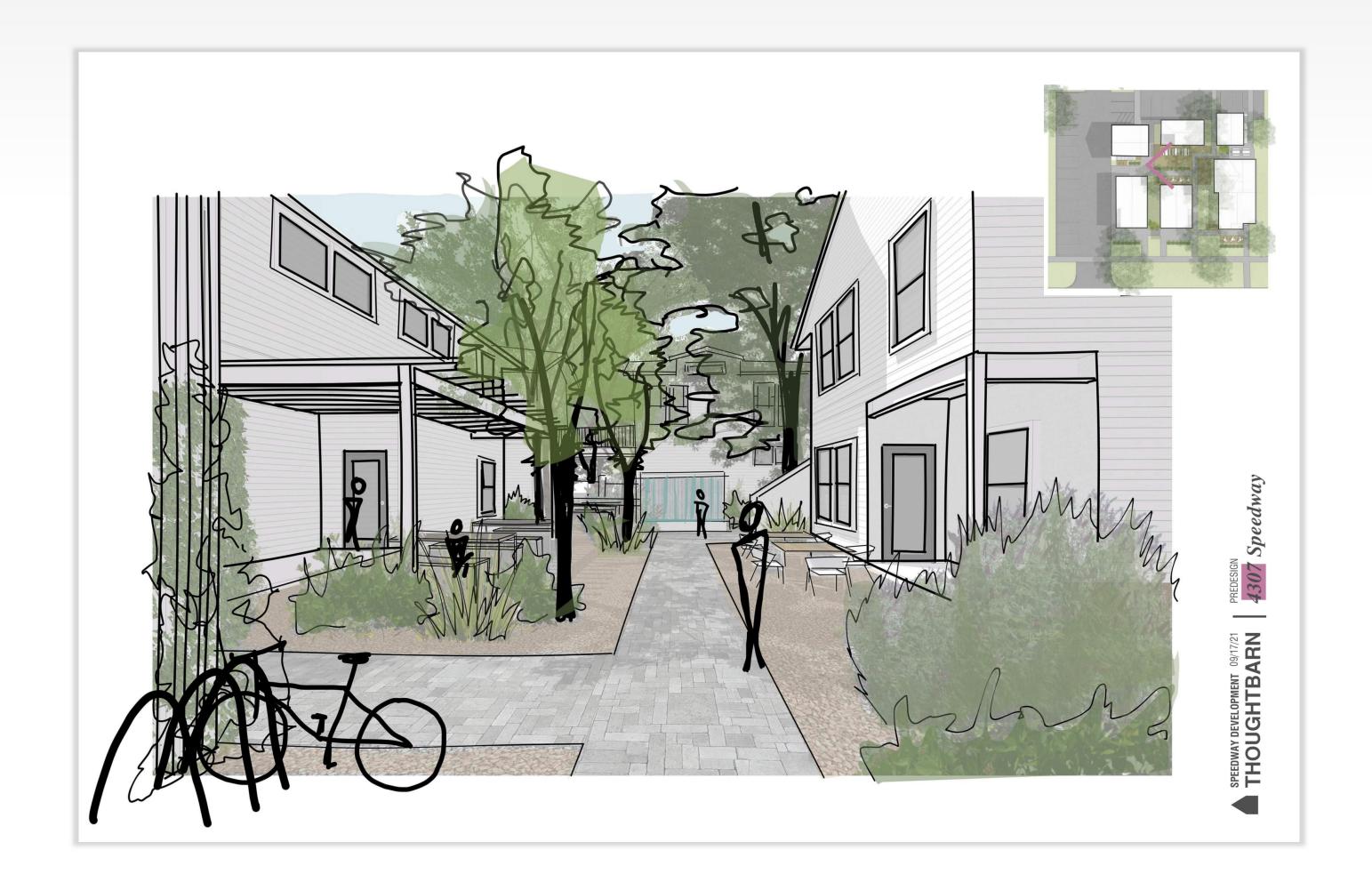
Proposed:

- LR-MU-NCCD-HD-NP
- 4303: Convert use to commercial/retail No exterior changes proposed.
- 4307: Construct two new commercial/retail structures and respective ADU-like structures with intent to design under Hyde Park NCCD residential design standards in order to keep the character of the adjacent residential character.
- "-MU": Allows for inclusion of residential in the future.















Project Data

| 4307 SPEEDW | | | | | | | | | |
|---------------------|--------|----|----------|-----------------------|----|--------|-------------------------------|--------|-----------------------|
| ITEM | | | REQUIRED | EXISTING | | | PROPOSED | | NOTES |
| SITE AREA: | 22,750 | SF | | | | | | | |
| IMPERVIOUS COVER | | | | 19017 | | 83.59% | 17100 | 75.16% | 80% commercial |
| BUILDING COVER | | | | 1960 | SF | 8.62% | 5710 | 25.10% | 50% max |
| G. FLOOR AREA / FAR | | | | | | | 8560 | 0.38 | 0.5 to 1 |
| PARKING SPACES | | | 26 | | | | 25 | | includes 2 accessible |
| USE | | | | Parking / Residential | | | LR - NEIGHBORHOOD RESIDENTIAL | | |

| 4307 SPEEDWAY | Y - PARKIN | IG CALCULATIO | N | | | | |
|---------------|------------|---------------|-------------------|------|----------|--------------------|--|
| USE | | RATIO | SIZE | | REQUIRED | NOTES | |
| | | | | | | | |
| RETAIL | | 1 PER 275 SF | 4,280 | SF | 15.6 | | |
| OFFICE | | 1 PER 275 SF | 4,280 | SF | 15.6 | | |
| | TOTALS | | 8,560 | SF | 31.1 | | |
| | | | | | x 0.8 | NCCD 80% REDUCTION | |
| | | T | OTAL PARKING REQU | IRED | 24.9 | | |



SPEEDWAY DEVELOPMENT 09/17/21

THOUGHTBARN

Request