



CONTEXT PLAN

NOT TO SCALE



FRONT YARD - STREET SIDE



SIDE YARD - STREET SIDE

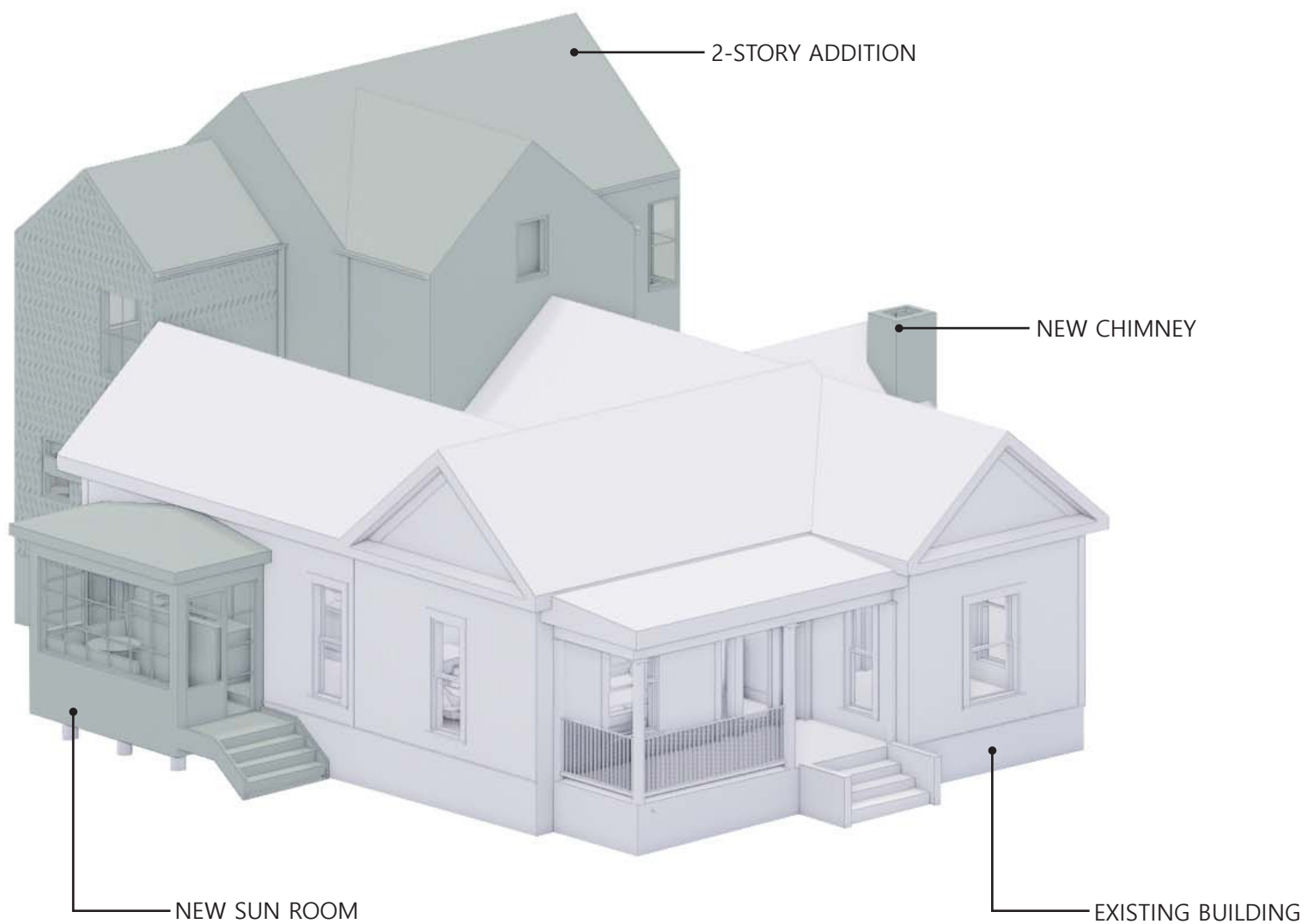


REAR YARD

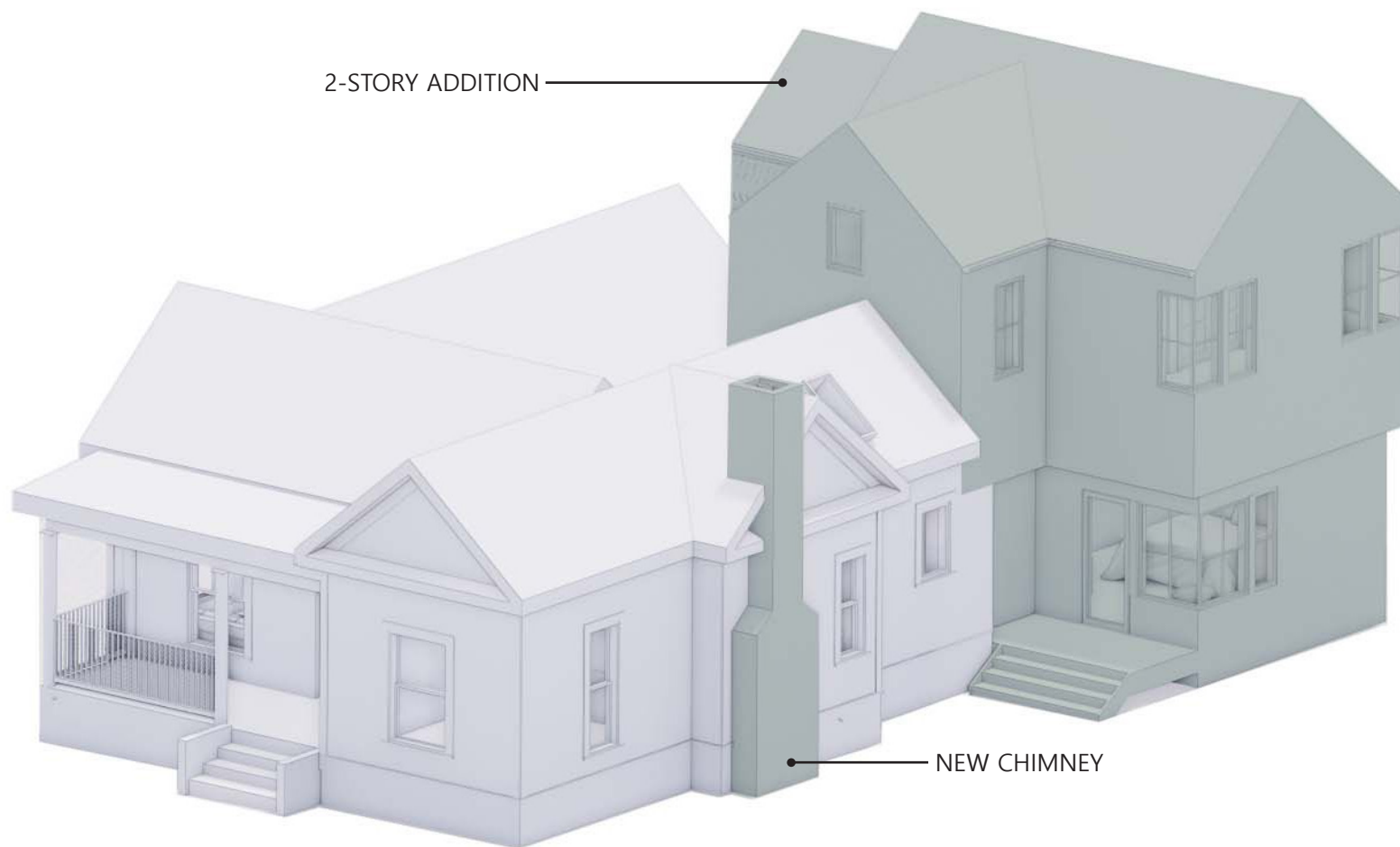


SIDE YARD

EXISTING BUILDING



NORTHEAST VIEW - STREET SIDE



NORTHWEST VIEW - SIDE YARD

STANDARD 1.4
FOR CORNER PROPERTIES, SET BACK THE
ADDITION TO ALIGN WITH OR BEHIND THE
FRONT SETBACK OF THE ADJACENT BUILDING
FRONTING ON THAT STREET.

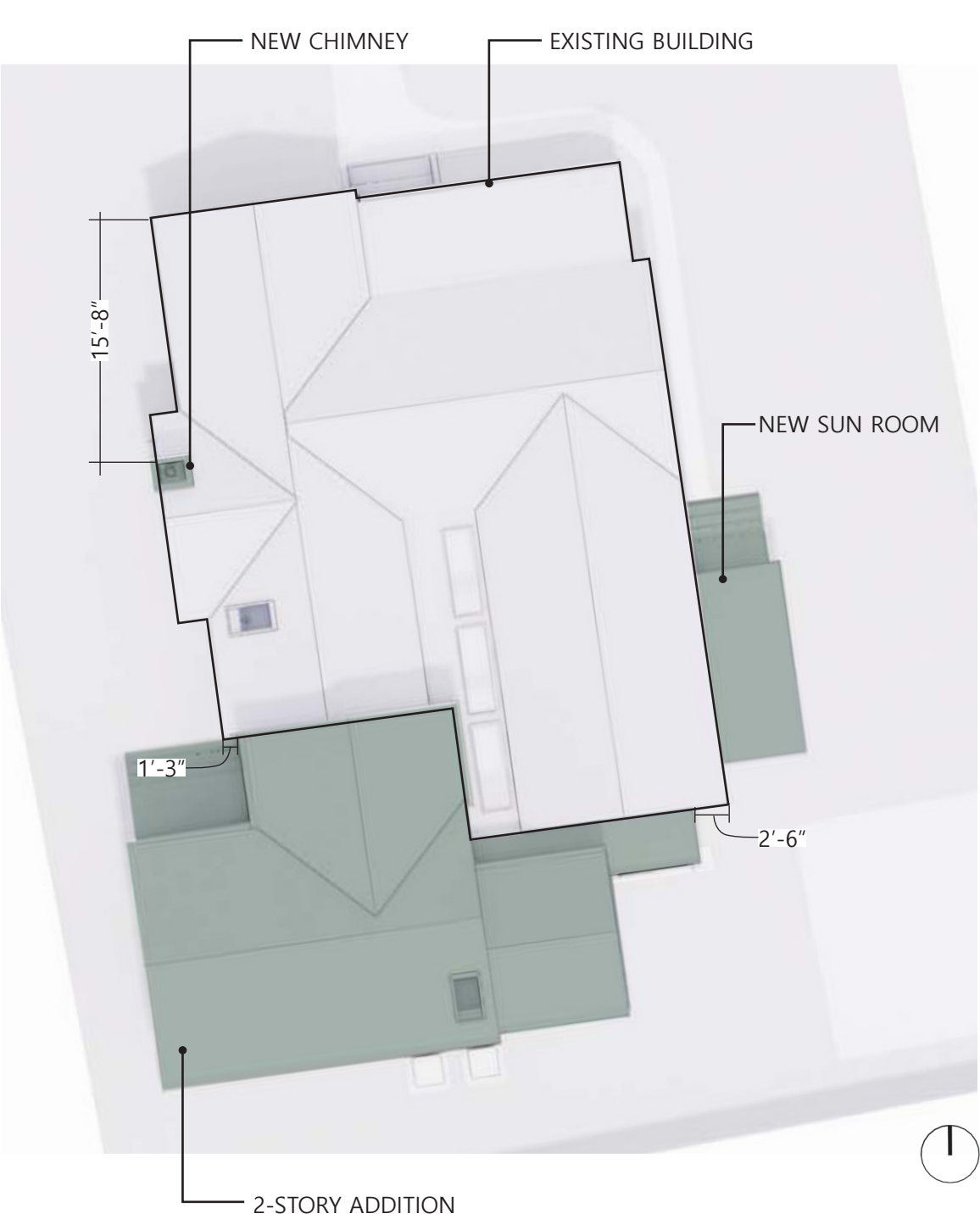


EXISTING CONDITIONS



PERSPECTIVE FROM STREET SIDE AT FRONT

STANDARD 2.2
MINIMIZE THE APPEARANCE OF THE ADDITION FROM THE STREET FACED BY THE HISTORIC BUILDING'S FRONT WALL.
A. IF THE ADDITION CONNECTS TO THE HISTORIC BUILDING'S REAR WALL, STEP IN THE ADDITION'S SIDE WALLS AT LEAST ONE FOOT FROM THE SIDE WALLS OF THE EXISTING BUILDING.



ROOF PLAN



PERSPECTIVE FROM STREET SIDE AT FRONT

STANDARD 3.1
DESIGN ADDITIONS TO BE COMPATIBLE WITH AND DIFFERENTIATED FROM THE HISTORIC BUILDING, IF THEY ARE VISIBLE FROM THE STREET. THE ADDITION TAKES ITS CUES FROM THE HISTORIC BUILDING.

EXISTING MATERIALS



1. BRICK IS BEING USED TO CLAD NEW CHIMNEY

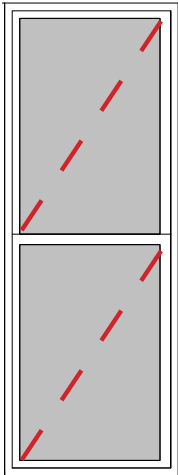


2. STUCCO IS BEING USED FOR LOWER PORTION OF ADDITION

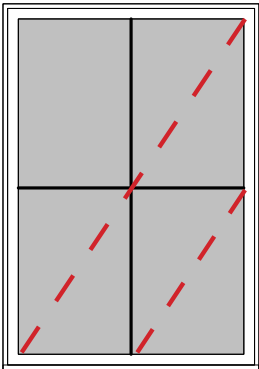


3. EXTERIOR OF ADDITION IS TAKING CUES FROM EXISTING SHINGLE TYPES

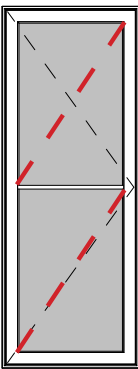
STANDARD 6.1
IF AN ADDITION WILL BE VISIBLE FROM A STREET ON THE FRONT OR SIDE, USE WINDOWS THAT ARE COMPATIBLE WITH THOSE ON THE EXISTING BUILDING IN TERMS OF MATERIAL, FENESTRATION PATTERN, SIZE, PROPORTION, CONFIGUDATION, AND PATTERN.



EXISTING WINDOW PROPORTION + STYLE



NEW WINDOWS USE EXISTING PROPORTIONS



STANDARD 4.1
IF AN ADDITION WILL BE VISIBLE FROM A STREET ON THE FRONT OR SIDE, DESIGN ITS ROOF FORM AND SLOPE TO COMPLEMENT THE ROOF ON THE HISTORIC BUILDING.

