

**HISTORIC LANDMARK COMMISSION**  
**PERMITS IN NATIONAL REGISTER HISTORIC DISTRICTS**  
**FEBRUARY 28<sup>TH</sup>, 2022**  
**HR-2021-202873**  
**TRAVIS HEIGHTS-FAIRVIEW PARK**  
**1410 ALAMEDA DR.**

## **PROPOSAL**

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Replace existing wood windows and wood siding on the front and left side of the house on contributing residence built circa 1936 in the Travis Heights Fairview Park National Register District.

## **PROJECT SPECIFICATIONS**

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- 1) Replace existing wood windows, and wood siding on the front and left side of contributing residence built circa 1936 in the Travis Heights Fairview Park National Register District.
- 2) Windows: Design proposal includes replacing original wood windows with Andersen 100 Series fiberglass windows: single-hung, equal sash, no flange, with a white exterior frame, white sash/panel, and white interior frame, with interior sash/panel. The replacement windows will also have dual-pane, low-E argon fill, and ¾" white muntins, between-the-glass, of a 3 wide x 2 high, colonial pattern. Replacement of windows is needed due to: "energy efficiency (existing windows are leaky and have single-pane glass). Windows don't open and close properly." (applicant) Replacements will be the 5 front facade windows and the seven windows along the south elevation (left side viewed from the street) as demonstrated in the plan photos.
- 3) Siding: The design proposal includes replacing all original wood siding from the original part (front façade and sides) with Hardie board to match Hardie siding on later additions to the property. Replacement is needed due to "rot and water damage, flaking and missing siding." (applicant)

## **ARCHITECTURE**

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Wood construction residence of Minimal Traditional style with asymmetrical cross-gabled roof and horizontal wood siding, with significant alterations and additions including 6:6 replacement windows, and additions of entry bay on the front side and rear two-story construction.

## **RESEARCH**

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The home appears to have been built in 1936 by A.R. McTee a journalist for the Austin American Statesman in the early 1930s. The house was then purchased and sold by several owners including Hurley and Alice E. Griffith, owners and manager of the Griffith Wallpaper & Paint Co. circa 1941-1944; Girvin H. and Ethel M. Sanderson, circa 1947-1949, a Professor at the University of Texas; and Charles G. and Vivian Puryear from 1952-1957, owners of Bradshaw & Puryear. Mr. Puryear was a Master Plumber and helped to organize the Mechanical Contractors Association of Austin and the Mechanical Contractor's Association of Texas which he was a member of for 25 years till his death in 1979.

## **DESIGN STANDARDS**

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The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects in National Register districts. The following standards apply to the proposed project:

### *Repair and alterations*

#### 1. General standards

Select materials for new construction that are the same as or similar to those found on contributing buildings existing in the district.

#### 4. Exterior walls and trim

In accordance with Design Guidelines and Secretary of Interior Standards, historic siding should be repaired rather than replaced where possible. Per the applicant, the siding requires replacement due to extensive wood rot. The replacement with a horizontal, smooth, Hardie board of a similar profile and width to the historic wood siding is appropriate if replacement must be done because repairs are not an option.

- 4.1 Repair, rather than replace, historic material, unless it is deteriorated beyond the point of stabilization or

restoration. Replace only those portions of an exterior wall or trim that are deteriorated beyond repair, leaving the rest of the wall or trim intact.

4.2 When replacement or patching is required, use a compatible material that has a matching profile

4.6 Removal and replacement of exterior cladding and trim for additional insulation is discouraged but allowed in historic districts. The reinstalled cladding and trim should reflect the historic dimensions and location to the greatest degree possible.

Wholesale replacement of wood siding without repairing is not in accordance with Design guidelines.

## 5. Windows, doors, and screens

Standards in this section emphasize retaining intact historic windows and pursuing selective replacement only when necessary due to deterioration. Per the applicant, the windows merit replacement based on concerns for energy efficiency and lack of function. Per Design Guidelines, windows are often replaced out of concern for energy efficiency, however, equivalent energy can be saved—often with a better return on investment—by weather-stripping, sealing joints and cracks, installing more efficient heating and cooling equipment, insulating the roof, installing solar screens in existing frames, and adding interior storm windows. The design standards recommend making these high-impact, high-return improvements before replacing historic windows

If the windows must be replaced the proposed window design is generally compatible with the character of the building and district. Minimal Traditional style buildings usually have true multi-pane and simple pane styles and the proposed replacement windows are maintaining this historical style with one exception. The replacement windows have their muntins or grilles between the glass. If window replacement must be done, Staff recommends window replacements with exterior grille or muntins as more historically appropriate in accordance with the recommended design guidelines:

5.1 Repair, rather than replace, historic windows, doors, and screens; and their trim, surrounds, sidelights, transoms, and shutters, unless they are deteriorated beyond the point of stabilization or restoration. Retain windows if 50% or more of the wood or metal sash members are intact.

5.3 If historic windows must be replaced, match the size and details of the existing window, including configuration, profile, and finish. Take into account elements such as frames, sashes, muntins, sills, heads, moldings, surrounds, hardware, and shutters

a. If a window has divided lites, replacement windows must have true divided lites or simulated divided lites with dimensional muntins placed on the outside of the glass and corresponding spacers of an appropriate color, material, and thickness on the inside of the glass, so that the window appears to have true divided lites.

b. Never use a replacement window with false muntins inserted inside the glass.

5.8 If a historic window or door is missing, replace it with a new unit based on documentation of the historic feature. If no documentation exists, use a new design compatible with the historic opening and the historic character of the building.

5.15 Do not replace historic windows; repair them except in cases of extreme damage or deterioration. Replace in-kind if necessary.

Use transparent screen material for window screens on front and front side walls

While the replacement windows are compatible in style, scale, and proportion, wholesale replacement without consideration of repair does not comply with the Design Standards.

## Summary

The project does not meet the applicable standards due to the replacement of historic fabric rather than repair. Staff recommends repair of original wood fabric including windows and siding in accordance with Design Guidelines and Secretary of Interior Standards. If this is not possible, Staff recommends selecting window replacements with exterior dimensional grilles/muntins placed on the outside of the glass so the windows appear to have true divided lites.

## **PROPERTY EVALUATION**

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The property contributes to the Travis Heights-Fairview Park National Register district.

### *Designation Criteria—Historic Landmark*

1) The building is more than 50 years old.

- 2) The building appears to retain moderate integrity.
- 3) Properties must meet two criteria for landmark designation (LDC §25-2-352). Staff has evaluated the property and determined that it does not meet two criteria:
  - a.* Architecture. The building does not appear to convey architectural significance.
  - b.* Historical association. The property does not appear to have significant historical associations.
  - c.* Archaeology. The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
  - d.* Community value. The property does not possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
  - e.* Landscape feature. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

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**STAFF RECOMMENDATION**

Staff recommends comment and release of the application.

## LOCATION MAP



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

1" = 208'

## NOTIFICATIONS

CASE#: HR 22-202873

LOCATION: 1410 ALAMEDA DRIVE

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



## PROPERTY INFORMATION

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### *Photos*



*Google Street View, 2019*

### *Occupancy History*

City Directory Research, January 2022

1959	No return
1957	Charles G. and Vivian Puryear, owners Charles G. Puryear Contractor
1955	Charles G. and Vivian Puryear, owners Bradshaw & Puryear
1952	Charles G. and Vivian Puryear, owners Bradshaw & Puryear
1949	Girvin H. and Ethel M. Sanderson, owners Assistant professor University of Texas
1947	Girvin H. and Ethel M. Sanderson, owners Professor University of Texas
1944	Hurley and Alice E. Griffith, owners Griffith Wallpaper & Paint Co.
1941	Hurley and Alice E. Griffith, owners Manager Griffith Wallpaper & Paint Co.
1939	Dewey M. and Velma M. Knutson, owners Technician Medical & Surgery Clinic
1937	Vacant
1935	Address not listed

## Permits

**PERMIT FOR WATER SERVICE** AUSTIN, TEXAS No. A 4765  
**INDEXED**  
 M. A. R. McTee Address 1410 Alameda  
 Plumber Plumb Size of Tap 1/2 Date 11-13-36  
 CHANGED TO 0 MAIN AND RENEWED  
 SERVICE WITH ✓ COPPER ON 2-4-34 Foreman's Report  
 Date of Connection 11-14-36

Water service permit, 1936

**SANITARY SEWER SERVICE PERMIT**

Austin, Texas

No. 13051 ASW  
II

Received of Marvin Plumb Date 12-14-36  
 Address 1410 Alameda Drive  
 Amount \$                       
 Builder or Owner A. R. McTee Plumber                       
 Lot 6 Block 4 Subdivision Travis Hgts. Plat No. 130  
 Date of Connection 2-23-36

Sewer service permit, 1936

OWNER Wes Wallace ADDRESS 1410 Alameda Dr.  
 PLAT 130 LOT 6 BLK. 4  
 SUBDIVISION Travis Hgts.  
 OCCUPANCY Family Room  
 BLDG. PERMIT # 184298 DATE 8-1-79 OWNERS  
 ESTIMATE 10,000.00  
 CONTRACTOR Tom Hatch NO. OF FIXTURES                       
 WATER TAP REC#                      SEWER TAP REC#                       
 Addn to exist res.  
151 sq. ft.

Building permit, 1979



**999--Funeral Notices**

*The Austin American Statesman (1973-1980); Feb 13, 1979;  
ProQuest Historical Newspapers: The Austin American Statesman  
pg. D19*

**999--Funeral Notices**

**PURYEAR, Charles G.**  
Charles G. Puryear, 71 of 1912 Alta Vista, died Sunday, in a local hospital. Born in Hays County, he had been a resident of Austin and Travis County for the past 62 years. He was a member of Elks Lodge No. 201 for 24 years and Downtown Optimist Club for 30 years. He was the past owner of C.G. Puryear Plumbing and Heating Co. for twenty-five years. He was also a member of Plumbers and Steamfitters Local No. 296, and Masters Plumbers Association and Associated Plumbing, Heating, & Cooling Contractors of Texas. He helped to organize Mechanical Contractor's Association of Austin and Mechanical Contractors Association of Texas, which he was a member of for 25 years. In 1970 he was awarded a lifetime membership, when he retired. Mr. Puryear was a member of United States Chamber of Commerce. Survivors include his widow, Mrs. Vivian Puryear of Austin; and sister, Bernice Reed, also of Austin. Funeral services will be Tuesday at 1:30 p.m. from the Chapel of Wilka-Clay Funeral Home with the Reverend A.D. Eberhart officiating. Graveside services will be under the auspices of the Elks Lodge, No. 201, in Forest Oaks Memorial Park in Oak Hill. Pallbearers will be George Anderson, Sam Anderson, Don Berry, Eddie Bostick, Johnny Reed and Jerry Berry. Honorary Pallbearers will be Dr. Robert F. Anderson, Dr. Claud A. Martin, all former employees of C.G. Puryear Plumbing and Heating Co., all members of Elks Lodge No. 201, and all members of Downtown Optimist Club.

Obituary for Charles Puryear,  
Owner circa 1952-1957