

HISTORIC LANDMARK COMMISSION
PERMITS IN NATIONAL REGISTER HISTORIC DISTRICTS
FEBRUARY 28, 2022
HR-2022-002129
WEST LINE NATIONAL REGISTER HISTORIC DISTRICT
1609 WATERSTON AVE.

PROPOSAL

Construct a rear addition and replace windows on ca. 1933 house.

PROJECT SPECIFICATIONS

- 1) Remove existing sunroom addition at the rear of the house. Construct a new sunroom with a screened porch in its place. The sunroom will be clad in painted wood siding to match the house. The screened porch extends approximately 6' beyond the side of the house.
- 2) Remove concrete front porch slab and replace with a wood-framed porch floor. Retain the porch roof and columns.
- 3) Replace all windows with casement windows. Windows on the front elevation appear to be within the existing openings, while those on the side elevations have different sizes and placement than the historic windows.

ARCHITECTURE

One-story side-gabled bungalow clad in wood siding. The house has a partial width front-gabled porch with fluted box columns and an arched beam. The porch is a concrete slab with decorative iron railings. Windows are single and paired 1:1 wood sash with screens with a 6:1 light pattern. The front-facing gable has a lattice vent, with knee braces at the side-facing gable ends. At the rear is a shed-roofed addition.

RESEARCH

The house at 1609 Waterston Ave. was built around 1933 for P. J. Anthony, who lived at 1613 Waterston Ave. The first recorded occupants of the house are Seth D. and Evelyn H. Breeding, who married in 1933 and lived in the house around 1935. Evelyn Breeding studied to join the CIA before working at the State Highway Department. Seth Breeding earned a degree in engineering from the University of Texas and worked for the Texas Water Development Board and U.S. Geological Survey.

Between 1939 and 1944, Benjamin W. and Alice Janosky rented the house. Benjamin Janosky worked as a salesperson at Scarbrough's and EMS & Sons. Subsequently, a series of short-term occupants included a bank employee, the owner of the Fred Jones Garage, a plasterer, and a mechanic.

DESIGN STANDARDS

The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects in National Register districts. The following standards apply to the proposed project:

Repair and alterations

5. Windows, doors, and screens

The standards emphasize repair over replacement of historic windows and doors. Where replacement is necessary due to deterioration, new windows should match the size, configuration, and other details of the existing windows. The proposed work entails wholesale replacement of 1:1 wood windows with casement windows, alteration of the size and placement of window openings, and removal of decorative screens. The project does not meet these standards.

6. Porches

Historic porch elements should be retained rather than replaced. Based on the age of the house, the concrete porch and metal railing are likely original. Replacement with a wood porch with no railing does not meet these standards.

Residential additions

1. Location

The standards indicate that additions should be located to the rear of historic buildings to minimize their visual impact. For additions that extend to the side of a house, they should be set back the greater of 15' or half the width of the front wall. The

proposed addition replaces an existing addition or enclosed porch to the rear of the property and meets these standards.

2. Scale, massing, and height

An addition should complement the scale, massing, and height of the historic building and should have minimal impact on the building's appearance from the street. The proposed addition is lower than the height of the house and is minimally visible from the street. It meets these standards.

3. Design and style

4. Roofs

5. Exterior walls

6. Windows, screens, and doors

To the extent that it is visible from the street, an addition should be differentiated but compatible with the historic building in terms of its design, style, and materials. The proposed addition is minimally visible from the street, with only a screened porch extending beyond the side of the house. This is addressed under the section below.

7. Porches and decks

Standard 7.2 indicates that new back porches and decks that are visible from the street should be compatible with the historic building in terms of their size, style, materials, and proportions. The proposed project entails construction of a modestly scaled and simply detailed screened porch that extends beyond the side of the house. The roof has a slightly lower pitch and lower height than the roof of the house, minimizing the visual impact of the addition. The addition meets these standards.

Summary

The proposed addition meets the applicable standards, but replacement of historic elements of the house does not.

PROPERTY EVALUATION

The property contributes to the West Line National Register district.

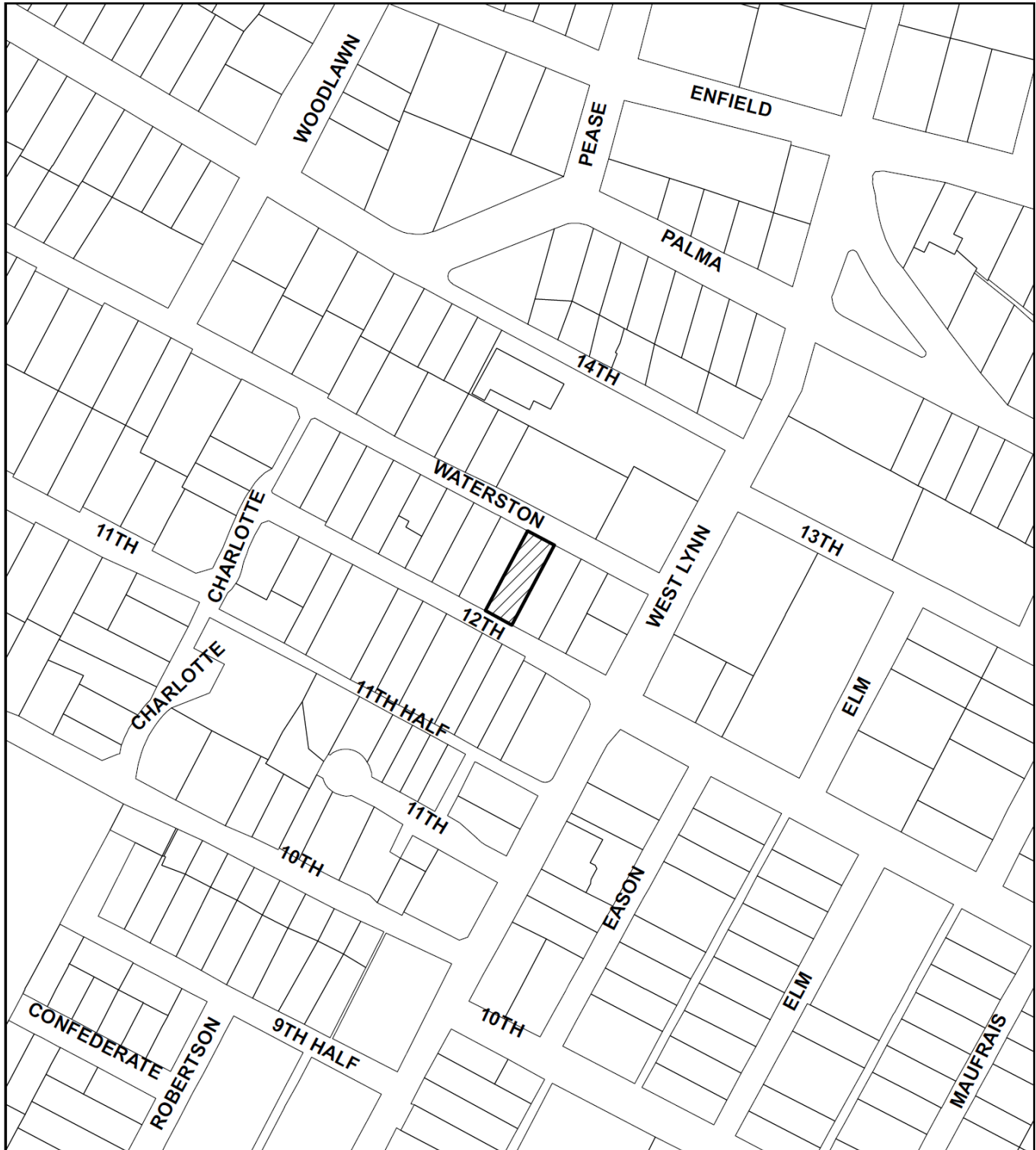
Designation Criteria—Historic Landmark

- 1) The building is more than 50 years old.
- 2) The building appears to retain high integrity.
- 3) Properties must meet two criteria for landmark designation (LDC §25-2-352). Staff has evaluated the property and determined that it does not meet two criteria:
 - a. Architecture. The house is a good example of a Craftsman bungalow.
 - b. Historical association. The property does not have significant historical associations.
 - c. Archaeology. The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - d. Community value. The property does not appear to possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
 - e. Landscape feature. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

STAFF RECOMMENDATION

Comment on and release the plans, encouraging retention and repair of historic elements on the front of the house, including the porch slab, railings, windows, and screens.

LOCATION MAP



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

NOTIFICATIONS

CASE#: HR 22-002129

LOCATION: 1609 WATERSTON AVENUE

1" = 208'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



PROPERTY INFORMATION*Photos*

Photographs from Zillow.com.

Occupancy History

City Directory Research, February 2022

1959	Vacant
1957	Allen E., Jr., and Wanda L. Hall, renters Mechanic, Collins Construction Company
1955	Thomas E. and Hazel L. Doyle, renters Plasterer
1949-52	Fred R. and Faye B. Jones, owners Fred Jones Garage, 3016 Guadalupe St.
1947	A. Ashley and Frances Wynn, owners Employee, Capital National Bank
1944	Ben W. and Abie Janosky, renters Clerk, EMS & Sons
1941	Benjamin W. and Alice Janosky, renters Salesman, EMS & Sons
1939	Benjamin W. and Alice Janosky, renters Salesman, Scarbrough's
1937	Vacant
1935	Seth D. and Evelyn Breeding, renters Assistant, U.S. Geological Survey
1932	Address not listed

Sunday Bride Will Marry In U. T. Church

Miss Evelyn Glasscock will become the bride of Seth Breeding of Austin and Smithville in a quiet ceremony Sunday at 6:30 p. m. in the parlors of the University Presbyterian church with Dr. Lawrence Wharton reading the service.

Only the immediate families and a few close friends will be present.

Miss Dorothy Sandlin of San Antonio will sing the nuptial solo, "At Dawning," with Mrs. Frank Maddox playing the wedding marches. Bronze chrysanthemums against a background of palms will decorate the parlors.

The bride will wear her traveling ensemble of dark brown with matching accessories.

Miss Glasscock, daughter of G. W. Glasscock of Houston, who has come to Austin for the wedding, has been connected with the state highway department for more than a year. She is a former student of C.I.A.

Mr. Breeding is a graduate of the University of Texas' college of engineering and is now connected with the U. S. geological survey. After a ten days' wedding trip the couple will be at home at 3217 Hamilton road.

Out of town guests for the wedding are the bride's father, G. W. Glasscock; her two sisters, Mrs. L. L. Radford and Mrs. W. S. Sellars, Mr. Radford, Mr. Sellars and Billy Sellars, all of Kingsville, and the bride's aunt, Miss Mary Glasscock of Abilene; Mr. and Mrs. Sam Ingram, Mr. and Mrs. Tom Breeding, Mr. and Mrs. Jack Breeding and Shaw Breeding, all of Smithville; Miss Elizabeth Walker of Dallas and Miss Dorothy Sandlin of San Antonio.

* * *

"Sunday Bride Will Marry in U.T. Church," Austin American, Nov. 26, 1933, A1.

Funeral Notices

SETH DARNABY BREEDING

Seth Darnaby Breeding, 76 of 2205 Greenlee Drive, Austin, died Monday. Mr. Breeding was a resident of Austin since 1919 and an engineer who had retired from the U.S. Geological Survey and the Texas Water Development Board. He is survived by his wife, Mrs. Evelyn H. Breeding; son, Seth D. Breeding, Jr. and brother, Shaw P. Breeding.

Funeral services will be held at 3:30 P.M. Wednesday at Weed-Corley Funeral Home with Rev. Bob Kash officiating. Masonic graveside services will be in Oakwood Cemetery under the auspices of the Austin Lodge No. 12 AF & AM and T. Neal Porter Lodge No. 1354 AF & AM. Memorial contributions may be made to individual charities or to the University of Texas Engineering Foundation.

Getting Ready To Spruce Up



Band Boy Sam Rogers, son of Mr. and Mrs. Sam Rogers, gets measured for a new uniform by Salesman B. W. Janosky as other high school bandsters await their turn. There'll be more uniforms for the boys as a result of the big show, including vaudeville acts and dancing, to be given April 13 for benefit of the Maroons' crack musical outfit.

"Getting Ready to Spruce Up," Austin American, Mar. 10, 1940, 11.

Permits

34'-4" tile \$ 3.06
 1- 6x4-Y .66
 2- 4"-45° curves .78
 laying pipe .68
 6 7/8 day labor 18.55
 \$ 23.73

Connection Charge \$ 12.00
 Application for Sewer Connection. No. 11173A
 Austin, Texas, Apr. 18, 1933
 To the Superintendent of Sewer and Public Improvements,
 City of Austin, Texas.
 Sir:-
 I hereby make application for sewer connection and instructions on premises
 owned by P. J. Anthony
 at 1608 Waterson Street
 which place is to be used as a residence
Plat 92
 In this place there are to be installed 1 fixtures.
 I agree to pay the City Sewer Department the regular ordinance charge.
 Respectfully, A. B. Croisdale
 Location of Public Sewer _____
 Stub Out 4-26-33
 Connected _____ 193 _____ Croisdale
 Size of Main 6 inches
 Size of Service 4 inches
9 Feet Deep
 Feet from Property Line A. 165
 Feet from Curb Line _____
 Inspected by _____
 Connection made by C. P. Hunt

Sewer service permit, 1933

WATER SERVICE PERMIT

Austin, Texas

E No 6105

Received of _____ Date _____
 Address 1609 Waterson Ave
 Amount No Record of old ser \$10 Tap
 Plumber Change ser to 6" Main Size of Tap _____

Date of Connection _____
 Size of Tap Made 3/4
 Size Service Made 3/4
 Size Main Tapped 6"
 From Front Prop. Line to Curb Cock _____
 From E Prop. Line to Curb Cock 23'
 Location of Meter _____
 Type of Box _____
 Depth of Main in St. _____
 Depth of Service Line _____
 From Curb Cock to Tap on Main 17'
 Checked by Engr. Dept. 2-3-56

No. Fittings	Size
1	Corp. Cock <u>3/4</u>
	Elbow
	St. Elbow
	Bushing
	Reducer
	3' Pipe <u>3/4" 11D</u>
	Lead Comp
	Nipples
	Union <u>3/4" 11D</u>
	Tee
	Stop
	Box
	Lid
	Valves
	Job No. <u>W-323-502</u>
	Req. No. <u>W-323</u>

