

HISTORIC LANDMARK COMMISSION
PERMITS IN NATIONAL REGISTER HISTORIC DISTRICTS
FEBRUARY 28, 2022
HR-2022-003762
OLD WEST AUSTIN
2500 HARTFORD RD

PROPOSAL

Construct a new workshop and carport.

PROJECT SPECIFICATIONS

Construct a covered carport with one-story workshop. The proposed workshop's gabled roof matches the main house's roof in slope and pitch. It is clad in horizontal siding with trim to match the existing house.

DESIGN STANDARDS

The City of Austin's [Historic Design Standards](#) (March 2021) are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects in National Register districts. The following standards apply to the proposed project:

Residential new construction

1. Location

The proposed outbuilding is located behind the main house.

2. Orientation

The proposed outbuilding is oriented toward the secondary street. While this is not consistent with most of the surrounding properties, the original ADU was also oriented toward Townes Lane.

3. Scale, massing, and height

The proposed outbuilding is one story in height, with simple massing.

4. Proportions

The proposed outbuilding's proportions appear appropriate for its site.

5. Design and style

The proposed new building's design is simple and does not overwhelm the main house.

6. Roofs

The proposed gabled roof matches the main house's roof in slope and pitch

7. Exterior walls

The proposed siding and trim match the horizontal siding portions of the contributing main house..

8. Windows and doors

The proposed fenestration appears mostly appropriate for the site.

Summary

The project meets the applicable standards.

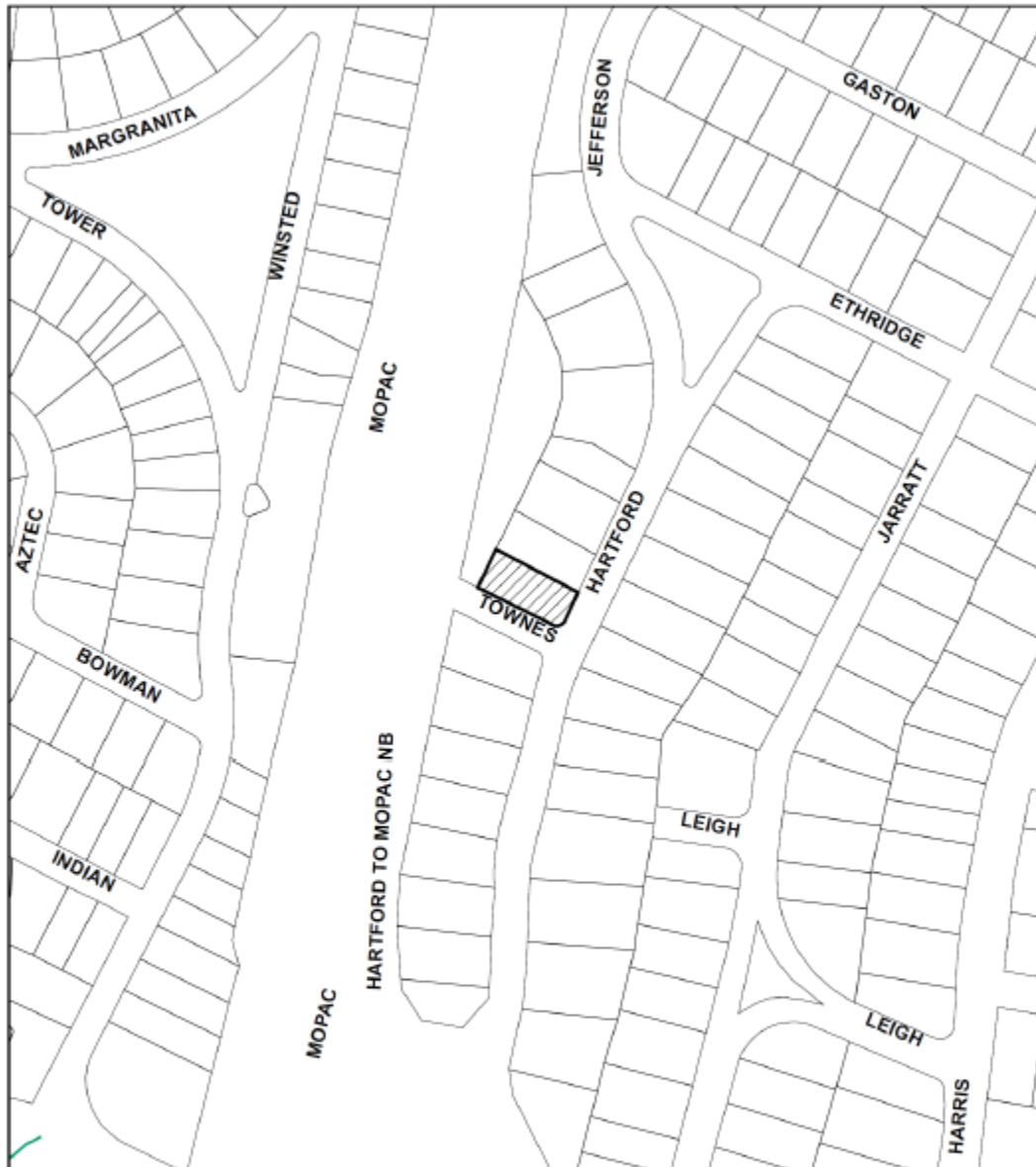
PROPERTY EVALUATION



The main house contributes to the Old West Austin National Register district. The existing garage apartment was approved for demolition in 2019.

STAFF RECOMMENDATION

Comment on and release the plans.

LOCATION MAP



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

1" = 208'

NOTIFICATIONS

CASE#: HR 22-003762

LOCATION: 2500 HARTFORD ROAD

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PROPERTY INFORMATION

Photos



Google Street View from Townes Lane, 2022



Google Street View from Hartford Road, 2022