

EXISTING SITE PHOTOS



ABBREVIATIONS

ABV	ABOVE	CONC	CONCRETE	GLZG	GLAZING	MNFR	MANUFACTURER	R	RISER	SYMM	SYMMETRY
ACOUT	ACOUSTICAL	CONT	CONTINUOUS	GWB	GYPSPUM WALL BOARD	MIN	MINIMUM	RAD	RADIUS	T, TH., THK.	THICKNESS
ACT	ACOUST. CEILING TILE	CPT	CARPET	H	HEIGHT	MIN BD	MINERAL BOARD	REF	REFERENCE	T&G	TONGUE AND GROOVE
ADJ	ADJACENT	CT	CERAMIC TILE	HD	HEAD	MGMT	MANAGEMENT	REINF	REINFORCED	TEL	TELEPHONE
AFF	ABOVE FIN FLOOR	DIA	DIAMETER	HDWD	HARDWOOD	MR	MOISTURE RESISTANT	REQD	REQUIRED	TEMP	TEMPORARY
ALUM	ALUMINUM	DIM	DIMENSION	HDWR	HARDWARE	MTG	MOUNTING	RESIL	RESILIENT	THRESH	THRESHOLD
ANOD	ANODIZED	DN	DOWN	HM	HOLLOW METAL	MTL	METAL	REV	REVISION	TK	THICK
AP	ACCESS PANEL	DNLT	DOWNLIGHT	HORIZ	HORIZONTAL	NC	NO CEILING	RM	ROOM	T.O.	TOP OF
BKR RD	BACKER ROD	DR	DOOR	HR	HOUR	N.I.C.	NOT IN CONTRACT	SCHED	SCHEDULE	T.O.S.	TOP OF SLAB
BLDG	BUILDING	DTL	DETAIL	HT	HEIGHT	NOM	NOMINAL	SLT	SEALANT	TYP	TYPICAL
BLKG	BLOCKING	EXIST	EXISTING	HVAC	HTG, VENT & AIR COND	N.T.S.	NOT TO SCALE	ST	SQUARE FOOTAGE	UNO	UNLESS NOTED OTHERWISE
BEAM	BEAM	EL	ELEVATION	HW	HOT WATER	O.C.	ON CENTER	SHT	SHEET	UNO	UNLESS OTHERWISE NOTED
BM	BOTTOM OF	ELEC	ELECTRICAL	INSUL	INSULATION	OD	OUTSIDE DIAMETER	SOFF	SOFFIT	VCT	VINYL COMPOSITION TILE
B.O.	BEARING	EQ, EQU	EQUAL	INT	INTERIOR	OPER	OPERABLE	SPECS	SPECIFICATIONS	VERT	VERTICAL
BRG	BRACKET	FD	FLOOR DRAIN	JOINT	JOINT	OPG	OPENING	SPRKL	SPRINKLER	VEST	VESTIBULE
CAB	CABINET	FIN	FINISH	L	LENGTH	PLAM	PLASTIC LAMINATE	S.S.	STAINLESS STEEL	V.I.F.	VERIFY IN FIELD
CEM	CEMENT	FLR	FLOOR	LT	LIGHT	PCF	POUNDS PER CUBIC FT	STL	STEEL	W	WIDTH
CLG	CEILING	FLRG	FLOORING	LTG	LIGHTING	PERF	PERFORATED	STC	SOUND TRANSM. COEFF.	W/W	WITH
CL	CLOSET	FR	FIRE RATED	MAS	MASONRY	PERIM	PERIMETER	STD	STANDARD	WD	WOOD
C.L.	CENTER LINE	FTG	FOOTING	MATL	MATERIAL	PL	PLATE	STO	STORAGE	W/O	WITHOUT
CMU	CONC. MASONRY UNIT	FRG	FURRING	MAX	MAXIMUM	PL YWD	PLYWOOD	STRUC	STRUCTURAL	WP	WATERPROOF
CNR	CORNER	GA	GAUGE	MECH	MECHANICAL	PNL	PANEL	SUSP	SUSPENDED		
CO	CLEAN OUT	GL	GLASS	MEP	MECH/ELEC/PLUMBING	PTD	PAINTED	SW	SOLID WOOD		
COL	COLUMN										

GENERAL NOTES

1. All work and materials furnished shall comply with the 2015 IRC Building Code, the 2015 IBC Fire Code, the Energy Code, the regulations of the National Board of Fire Underwriters, National Fire Protective Association Requirements, and all other Codes as required by the City of Austin, and the regulations of all Federal, State, and Municipal authorities having jurisdiction over the work.
2. Contractor to be responsible for the scheduling and completion of all required inspections and sign-offs of the work, and shall keep complete records of all such inspections and sign-offs.
3. All the architect's drawings and construction notes are complimentary and what is called for by either will be binding as if called for by all, any work shown or referred to on any one drawing shall be provided as shown on all drawings. Full size or large-scale details or drawings shall take precedence over smaller scale drawings which they are intended to amplify. The contractor(s) shall maintain a current and complete set of construction drawings on the site during all phases of construction for use by all trades. The Contractor shall follow written dimensions and shall not scale off the drawings. In the event of missing or incomplete information on the drawings the Contractor shall obtain clarifications from the Architect.
4. The work to be performed consists of furnishing all labor, equipment, tools transportation, supplies, fees, materials, and services in accordance with these notes and drawings; and includes performing all operations necessary to construct and install complete, in satisfactory condition, the various materials and equipment at the locations shown.
5. The standard specifications of the manufacturer for products called for in the drawings and notes are hereby made part of these notes with the same force and effect as though herein written out in full.
6. Before ordering any materials or doing any work, each trade shall verify all measurements and shall be responsible for correctness of same. No extra charge or compensation will be allowed on account of difference between actual dimensions and the measurements indicated on the drawings. Any discrepancies between the drawings, notes, and field conditions which may be found shall be submitted to the Architect for consideration and clarification before proceeding with the work. The Contractor shall notify the Architect of any The Contractor shall be responsible for any deviations from the contract documents.
7. All materials required for the performance of this work shall be new and of the best quality of the kinds specified. The use of previously used or second-hand materials is strictly forbidden, except for such items on the drawings that are specified to be reused or removed and relocated. Materials shall be used in accordance with the manufacturer's specifications.
8. All plumbing, electrical and mechanical work shall be performed by persons licensed in their trades.
9. The Contractor shall submit all product and equipment warranties, and the Contractor shall warranty all work for a period of one year from the date of completion of the projects and as per New York State regulations. The contractor shall be fully responsible for the replacement or repair of any damaged or defective work materials or equipment, and any substandard workmanship.
11. The Architect assumes no responsibility for construction means, methods, techniques, sequences, or procedures or for safety precautions on the job site, or for the progress of the work. There are no warranties, nor any merchantability of fitness, nor a specific use expressed or implied in the use of these drawings.
12. All work shall be subject to final inspection by the Architect.

SAFETY NOTES

1. The Contractor shall take all necessary precautions to insure the safety, soundness, structural stability and weather protection of the structure, its owners and the general public during construction.
2. The Contractor and his subcontractors agree that in accordance with generally accepted construction practices, they will assume sole and complete responsibility for job site conditions during the course of construction of the project including safety to all persons and property and that this requirement shall be made to apply continuously and not be limited to working hours. Contractor agrees to defend, indemnify and hold harmless the Architect from any and all liability, real or alleged, in connection with the performance of work on this project.
3. Construction work will be confined to the immediate area of work and will not create dust, dirt, or other such inconveniences to surrounding properties. Construction, construction materials and deliveries shall not block public right-of-ways.
4. Contractor to provide all necessary protection and security for the work until turned over to Owner. The Contractor and Subcontractors shall be responsible for any damage to the existing structure, personal property or the property due to the construction.
5. The premises and job site shall be maintained in a reasonably neat and orderly condition and kept free from accumulations of waste materials and rubbish during the entire construction period. The contractor shall remove all crates, cartons and other trash from the work areas each day, and shall be responsible for its proper disposal. The site shall be left broom clean at the end of each working day.
6. The premises shall be protected throughout construction and shall be turned over in clean and orderly condition. All fixtures and equipment will be in undamaged, bright, clean and polished condition at the time of completion.

FIRE SAFETY NOTES

1. All building materials shall be stored in a safe and orderly manner so as to prevent harm or injury to any persons visiting the job site.
2. Fire extinguishers shall be maintained in good working order and shall be kept in locations that are readily visible and accessible in the event of a fire.
3. All flammable materials shall be kept tightly sealed in their respective containers and shall be kept away from all heat sources.
4. All flammable materials shall be handled, used and stored in properly ventilated spaces.
5. All electrical power to be shut off whenever there is exposed wiring or any condition where there is the possibility of arcing, sparks, overheating or other conditions which could cause a fire.
6. The contractor shall at all times make sure there is no leakage of propane gas or any flammable gas used in construction. Flammable gas for construction shall be stored and handled with all necessary and industry standard precautions.

ENERGY NOTES

1. All new construction and all new windows and doors shall have a U value that meets or exceeds the Code requirements.
2. Existing cooling and heating equipment and hot water heating equipment shall be kept in place.
3. All pipes and ducts shall be insulated as per Code.

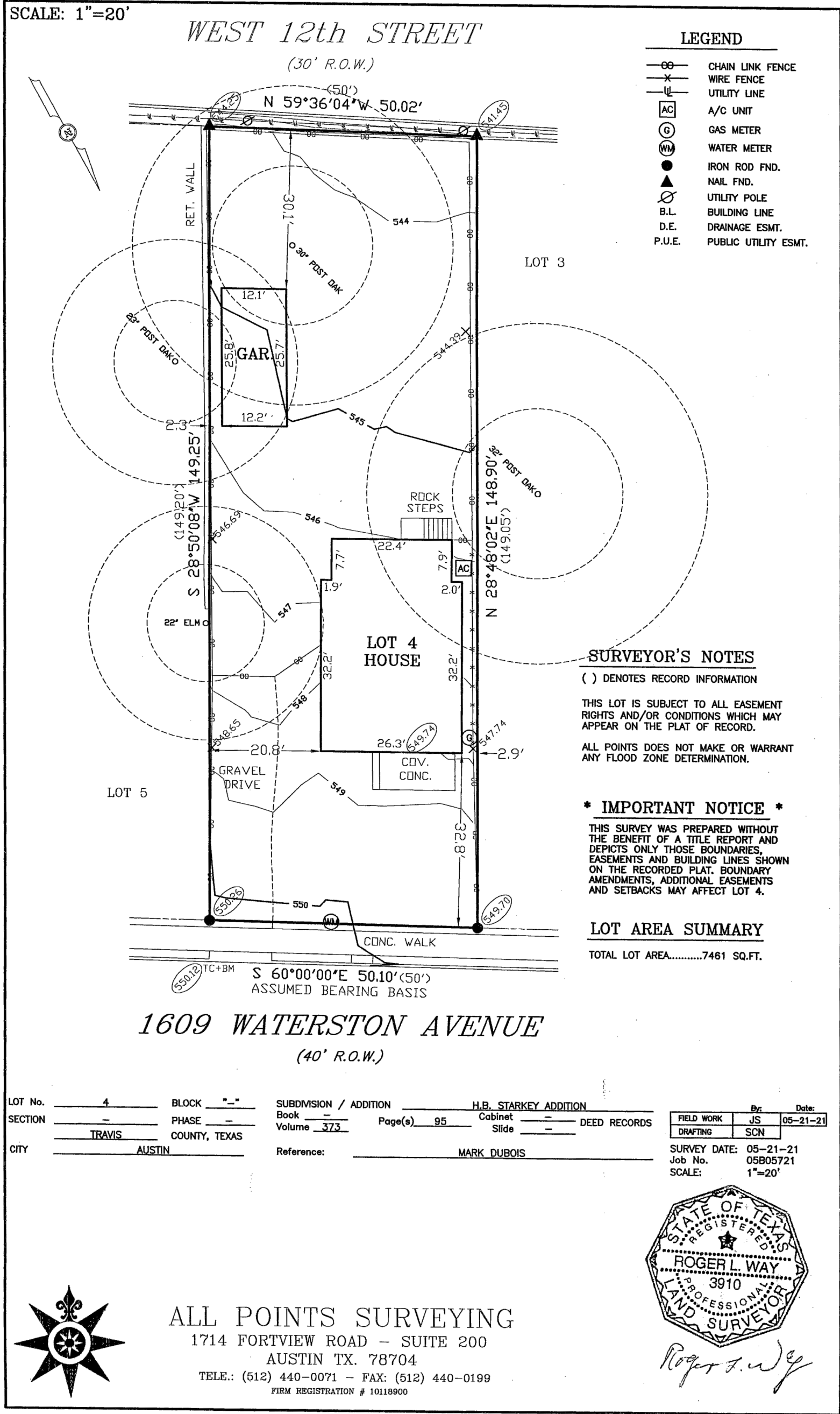
PROJECT INFORMATION

LOT: 4
ZONING: SF-3
NEIGHBORHOOD: CLARKSVILLE

DRAWING LIST

- A0.0 COVER SHEET
- A0.1 SITE PLAN & SITE CALCS
- A1.0 PLANS
- A1.1 RCP & POWER/FURNITURE PLAN
- A2.0 ELEVATIONS
- S0.0 STRUCTURAL NOTES
- S1.0 FOUNDATION PLAN
- S2.0 ROOF FRAMING PLAN
- SL2.0 LATERAL BRACING PLAN
- S3.0 TYPICAL FOUNDATION DETAILS
- S3.1 FOUNDATION DETAILS
- S5.0 TYPICAL WOOD FRAMING DETAILS
- S5.1 TYPICAL WOOD FRAMING DETAILS
- S5.2 TYPICAL SHEAR WALL DETAILS

SURVEY



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BUILDING PERMIT
12/23/2021

REVISION & DATE
JOB NO. ---
SCALE AS NOTED

TITLE:
COVER SHEET

A0.0
DRAWING NO.

SITE DEVELOPMENT INFORMATION

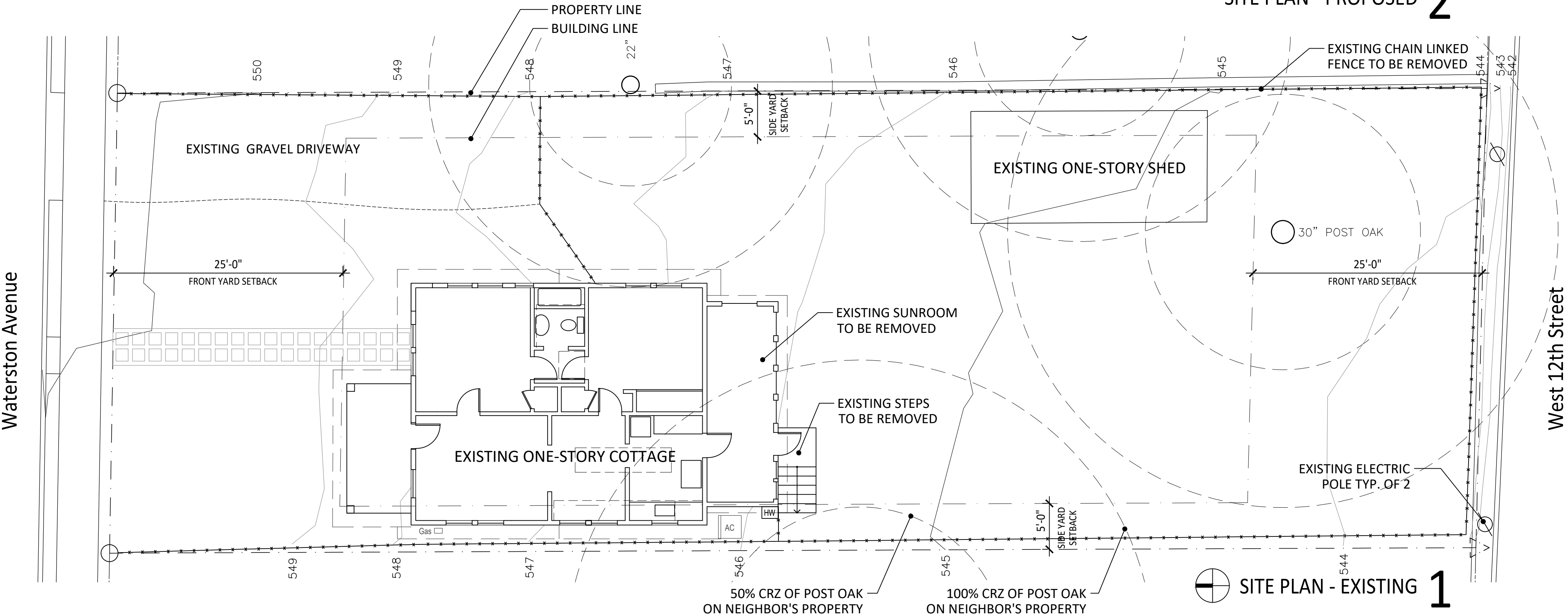
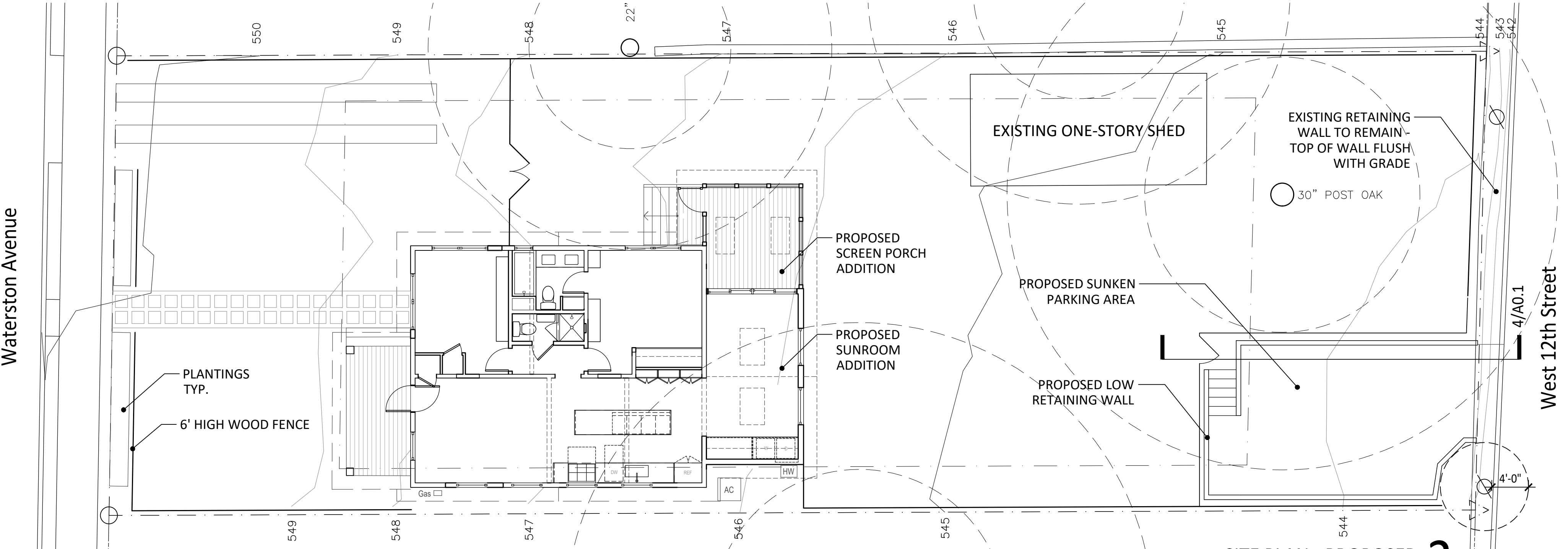
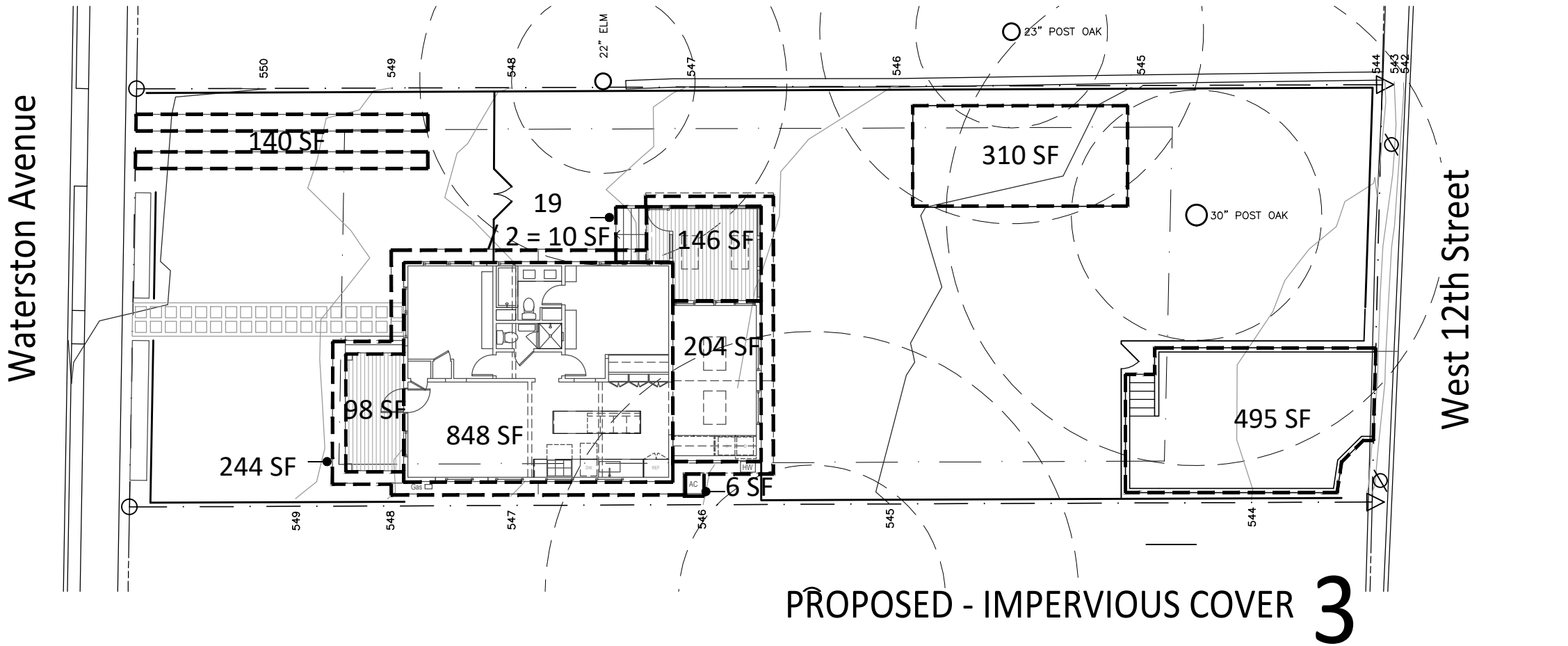
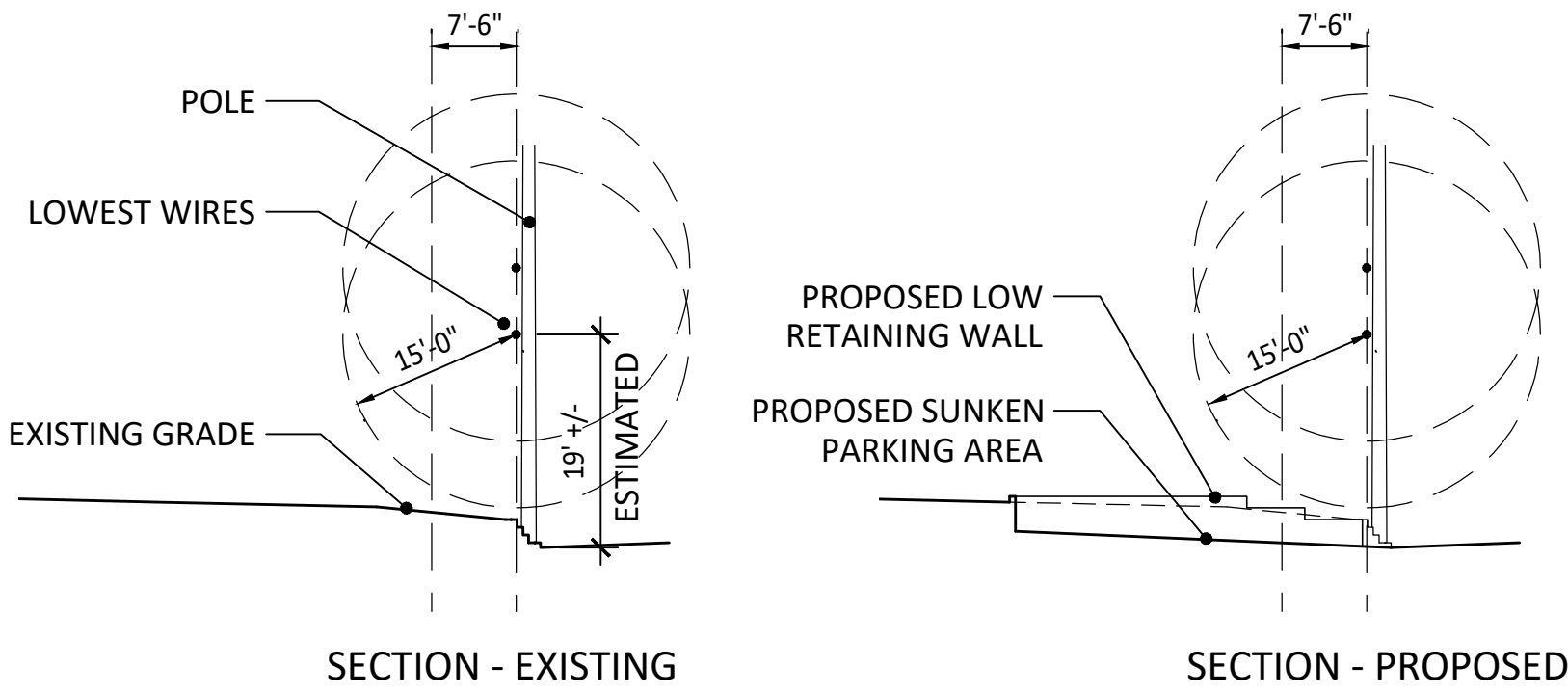
TOTAL LOT SIZE: 7,461 SF			
AREA DESCRIPTION	EXIST. SQ FT TO REMAIN	ADDITIONAL SQ FT	TOTAL SQ FT
1st floor conditioned area	848	204	1052
Covered patio/porch/deck	98	146	244
Accessory Building (detached shed)	310		310
TOTAL BUILDING COVERAGE	1256	350	1606
Driveway 1: Waterston Avenue		140	140
Driveway 2: 12th Street		495	495
Uncovered wood steps (counted at 50%)		10	10
AC pads and other concrete flatwork	6		6
Other covered or roofed area (eave overhangs)	244		244
TOTAL IMPERVIOUS COVERAGE	6	645	2496
BUILDING COVERAGE INFORMATION			
Maximum allowed BC 40%	7,461 SF	2,948 SF	
Proposed Building Coverage	1606 SF	1,606/7,461 = 22%	
IMPERVIOUS COVERAGE INFORMATION			
Maximum allowed IC 45%	7,461 SF	3,357 SF	
Proposed Impervious Coverage	2,496 SF	2,496/7,461 = 33%	

GROSS FLOOR AREA

AREA DESCRIPTION	EXIST. SQ FT TO REMAIN	ADDITIONAL SQ FT	TOTAL SQ FT
1st floor	848	204	1052
Ground Floor Entry Porch	98		98
Ground Floor Rear Porch		124	124
Attic (Less than 50% Headroom)			
Detached Accessory Building(s)	310		310
TOTALS	1256	328	1584
(TOTAL GROSS FLOOR AREA/LOT AREA) x 100 = FLOOR - TO - AREA RATIO (MAX. ALLOWED 45%):			
(1,583/7,461) x 100			21%

TREE NOTES

- MULCH TRAFFIC AREA AND SET PROTECTIVE FENCING AROUND TREES IN CRITICAL ROOT ZONES.
- NO CONSTRUCTION STAGING WITHIN CRITICAL ROOT ZONES.
- FOOTINGS WITHIN CRITICAL ROOT ZONES TO BE EXCAVATED USING AN AIR SPADE BY A CERTIFIED ARBORIST ON SITE AND USING PRESCRIBED SOIL TREATMENT. IF ANY ROOTS 1.5" OR GREATER ARE ENCOUNTERED DURING EXCAVATION, FOOTING MUST BE MOVED TO AVOID ROOT. CONTACT ENGINEER FOR DIRECTION OF SHIFT.
- MATERIAL STAGING, DUMPSTER AND SPOILS PLACEMENT CANNOT BE WITHIN THE 1/2 CRZ OF ANY PROTECTED TREES. PORTABLE TOILET AND CONCRETE WASHOUT CANNOT BE WITHIN THE FULL CRZ OF ANY PROTECTED TREES. COORDINATE EXACT LOCATIONS WITH TREE INSPECTOR DURING PRE-CONSTRUCTION MEETING.
- WRAP CONNECTIONS OF CONCRETE LINE PUMP WITHIN PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
- IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 2 3/4" PLYWOOD OVER 2X4 LUMBER OF 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
- AN 8" LAYER OF MULCH IS REQUIRED FOR THE FULL CRZ IF IT IS NOT PROTECTED WITHIN FENCING.
- 2X4 PLANKS REQUIRED AT TRUNKS WHERE 1/2 CRZ IS NOT FENCED COMPLETELY.



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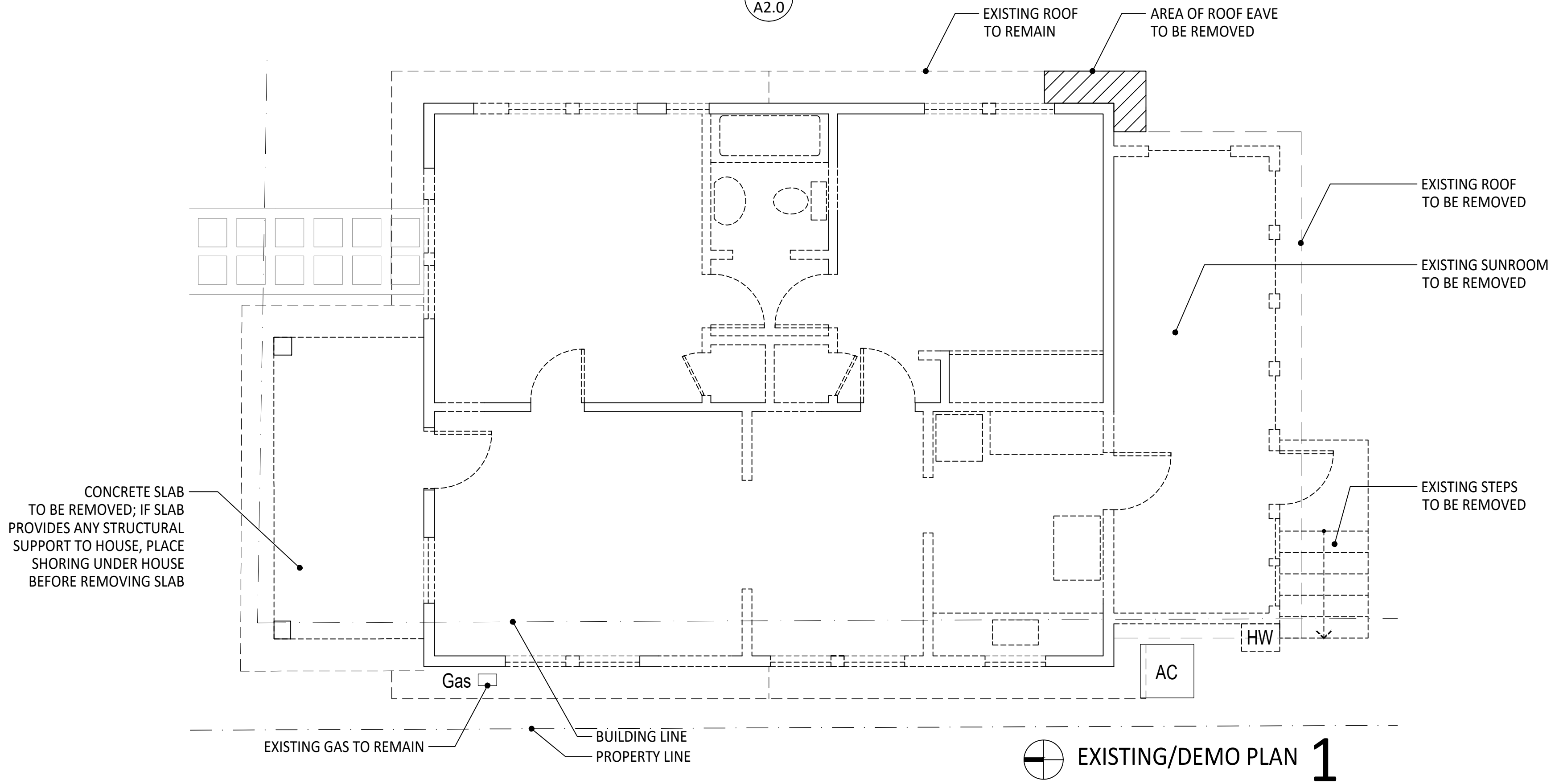
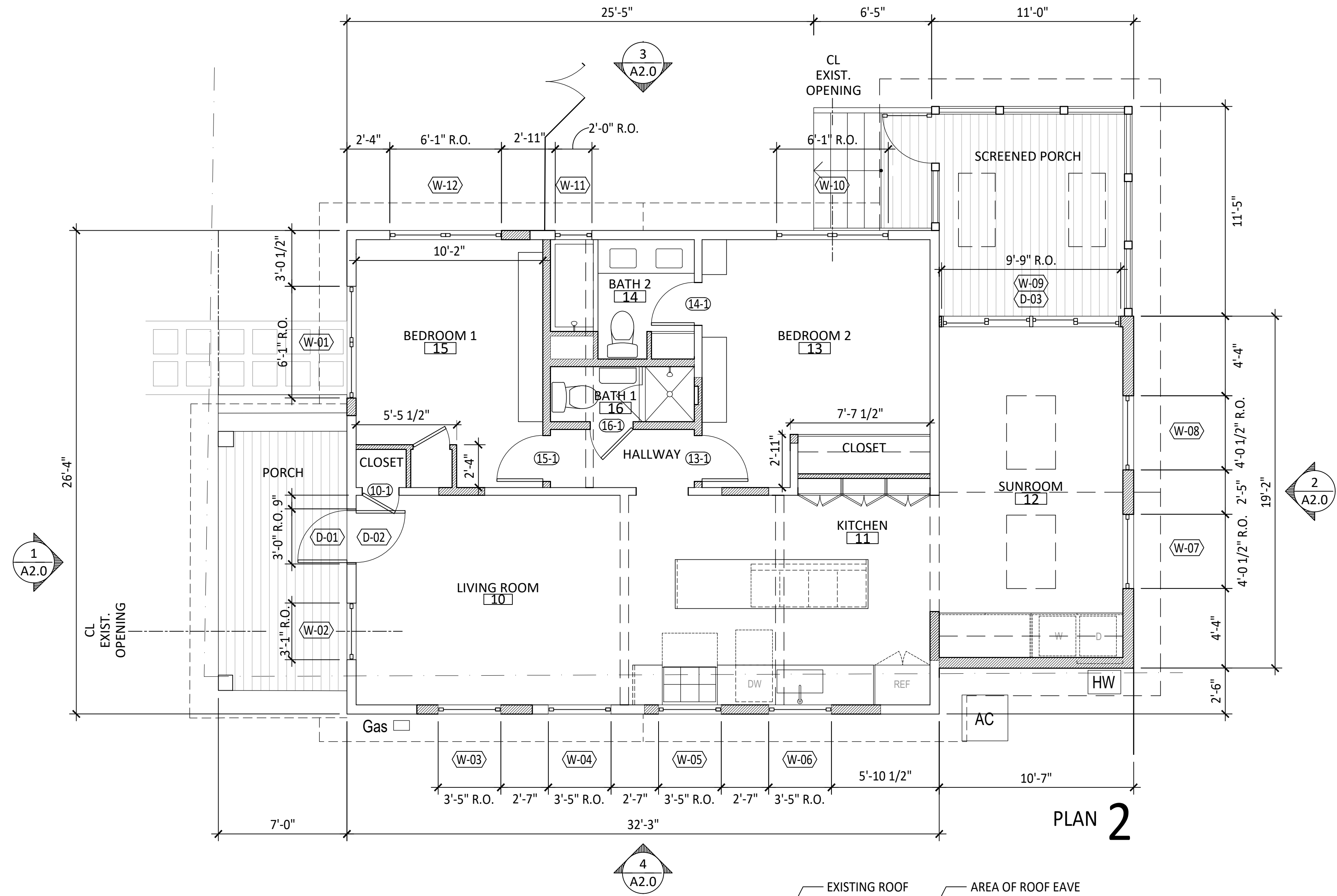
SCALE SITE

TITLE:

SITE PLAN & SITE CALCS

A0.1

DRAWING NO.



LEGEND	
	DEMO WALL
	NEW WALL
	EXISTING WALL
	ABOVE
	COMBO SMOKE & CO DETECTOR - CEILING MOUNTED
DEMOLITION NOTES	
1. SEE FLOOR PLAN FOR LOCATIONS OF NEW OPENINGS IN EXISTING WALLS.	
2. SEE SPECIFICATIONS FOR RECYCLING AND DISPOSAL OF DEMOLITION ITEMS & DEBRIS.	

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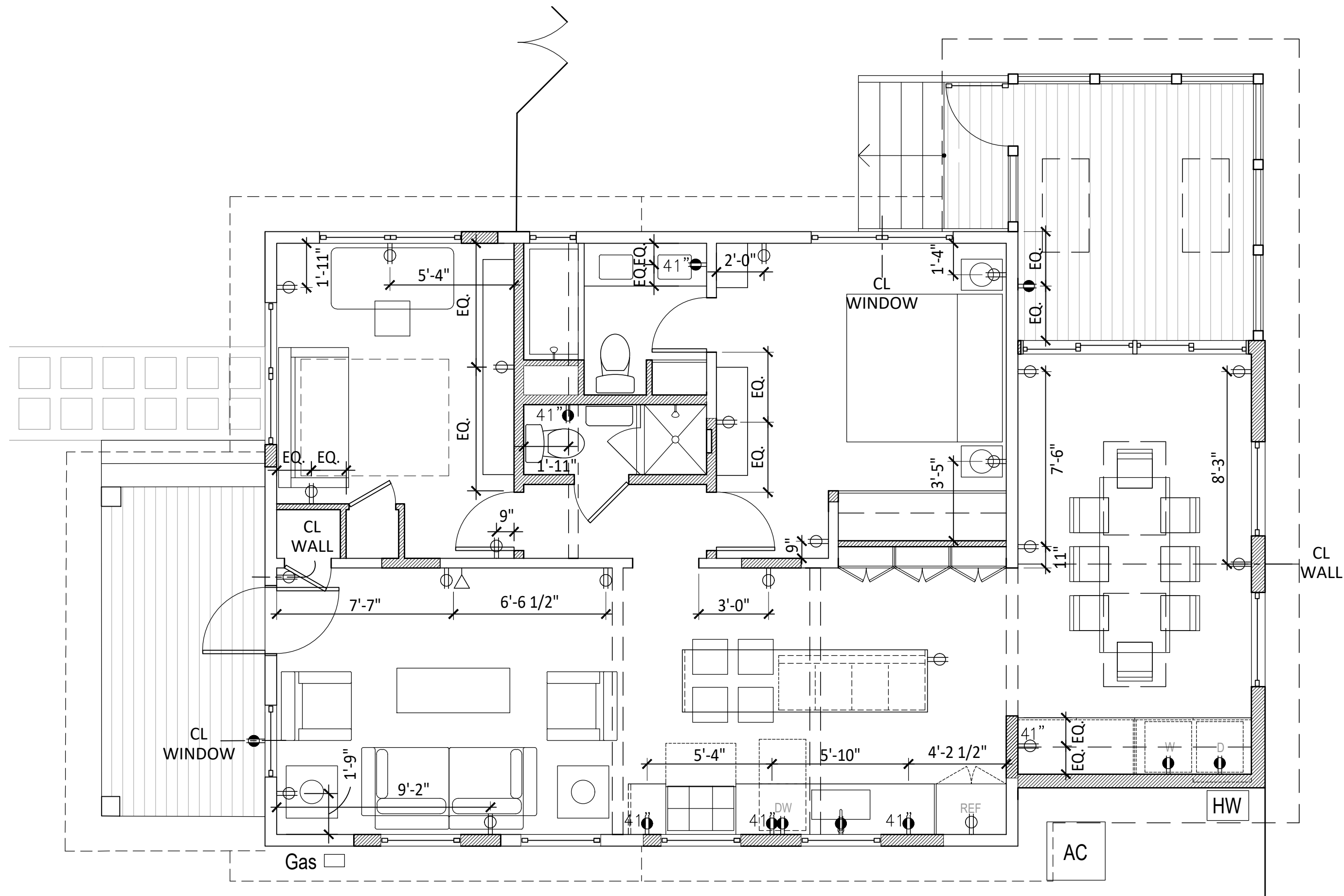


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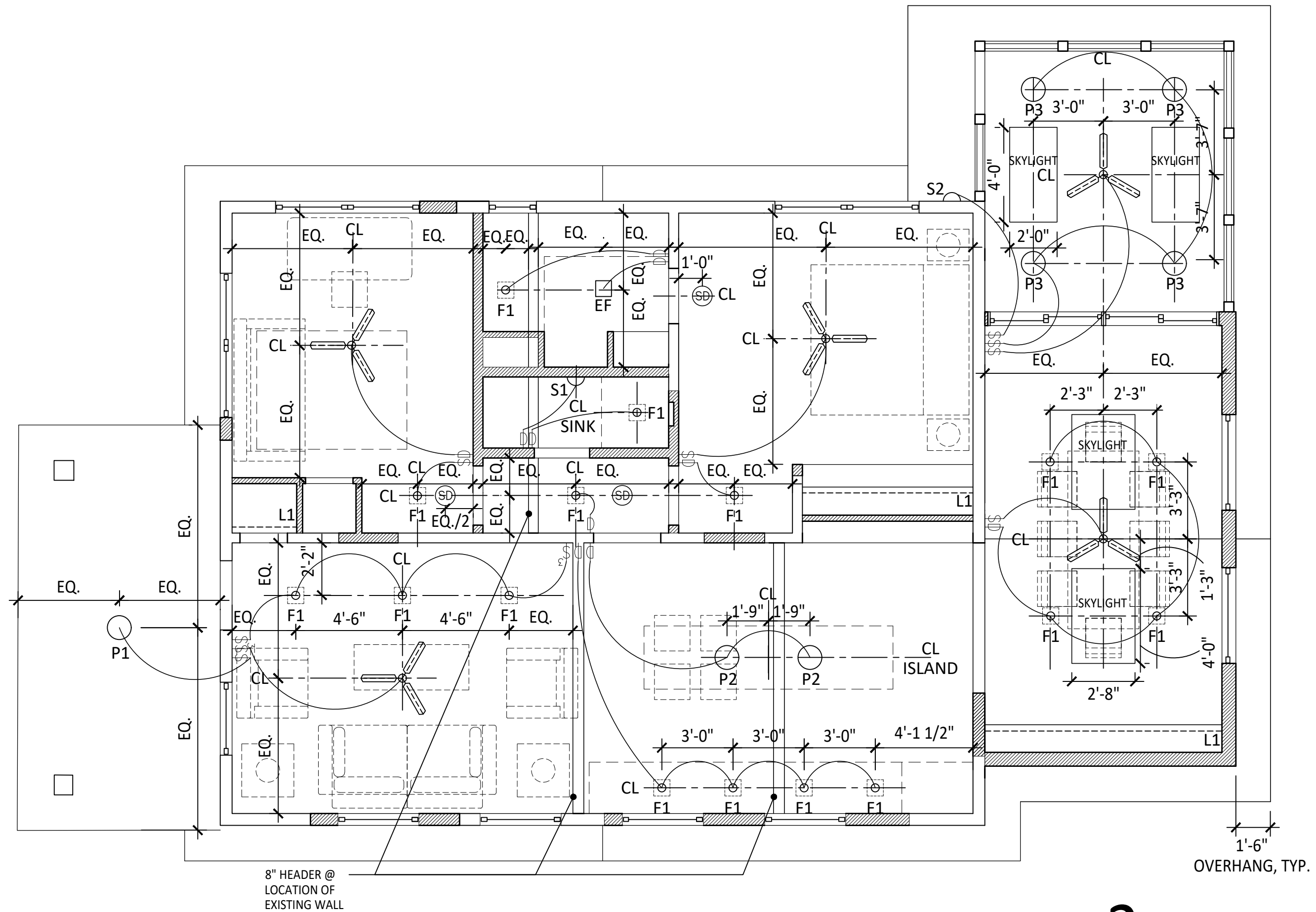
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SCALE 1/4" = 1' - 0"

TITLE:
PLANS

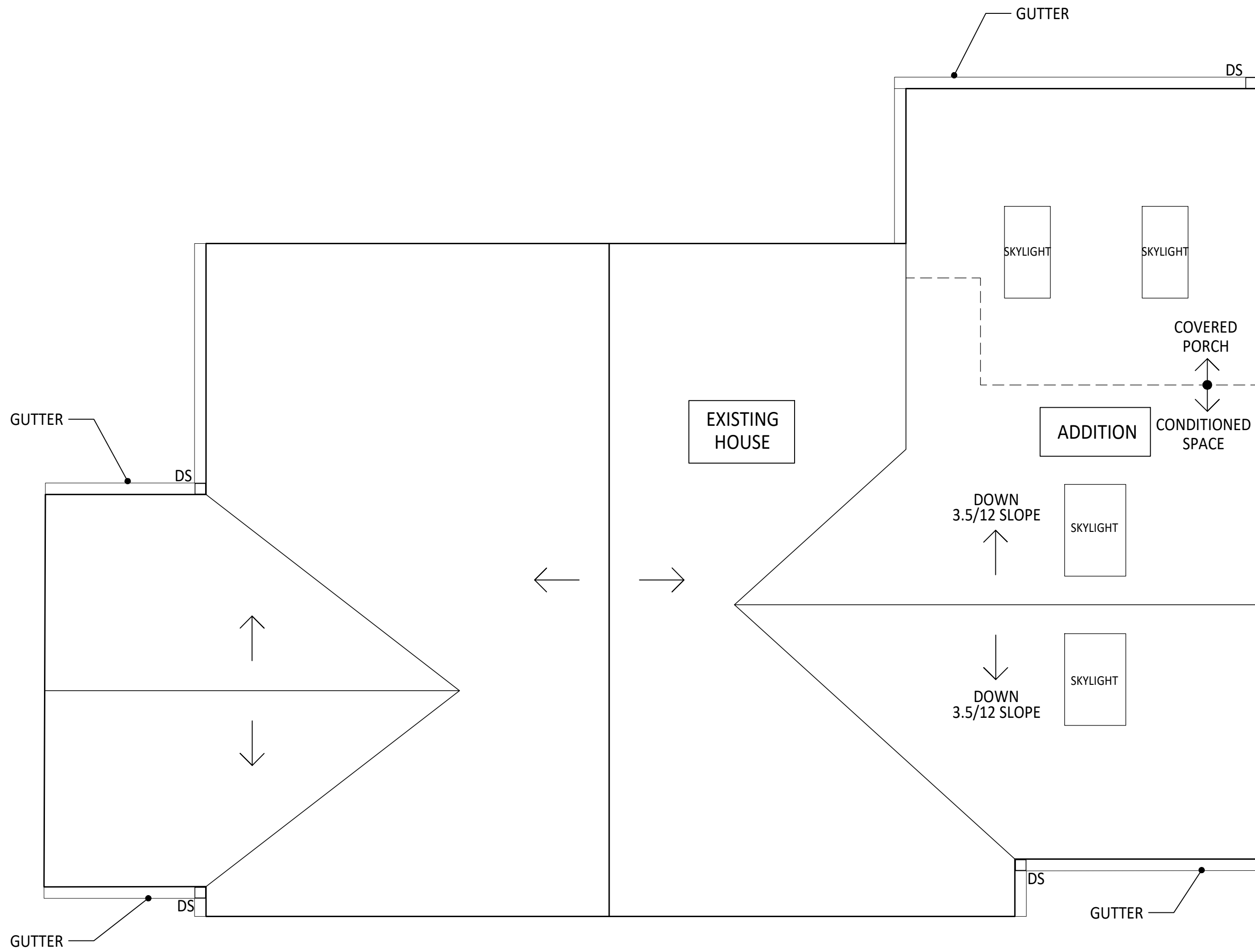
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POWER/FURNITURE PLAN 3



REFLECTED CEILING PLAN 2



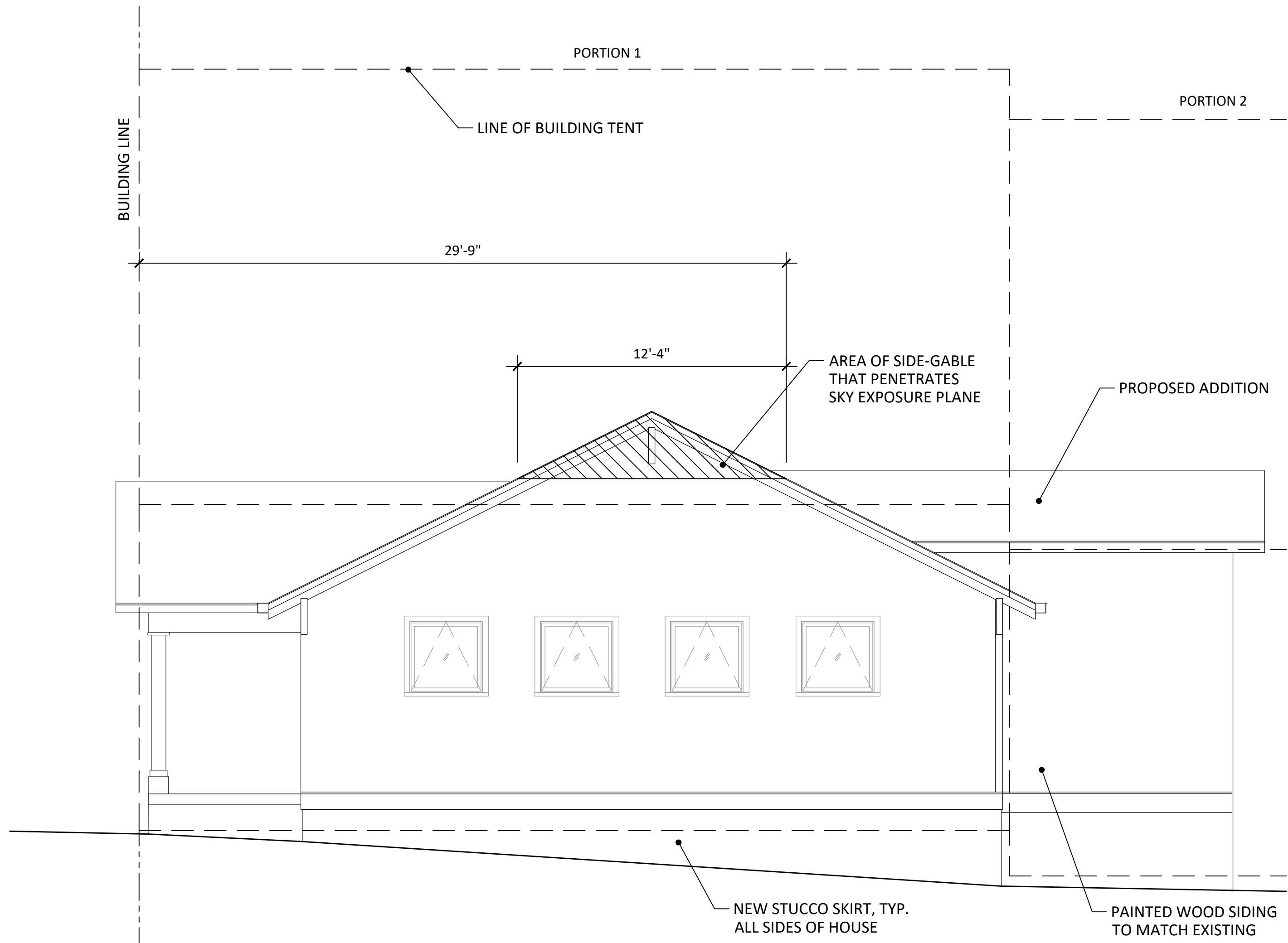
ROOF PLAN 1

LEGEND	
	DUPLEX
	EXISTING DUPLEX TO REMAIN
	GFI OUTLET
	DUPLEX
	DATA RECEPTACLE
	RECESSED FLOOR MTD. DUPLEX
	THERMOSTAT - WALL MOUNTED
	DS DOWN SPOUT

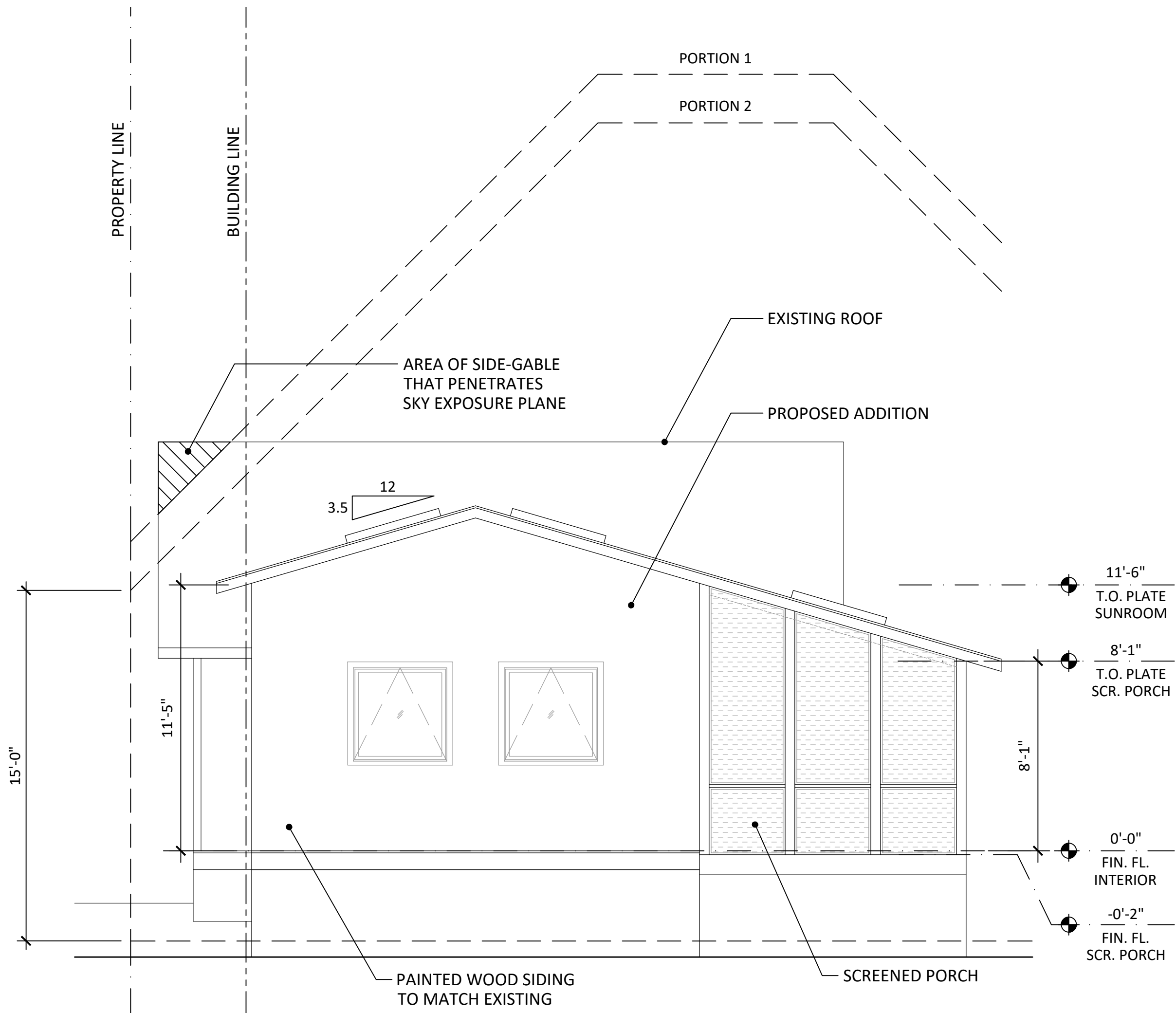
POWER NOTES	
1.	RECEPTACLES IN KITCHEN TO BE INSTALLED APPROXIMATELY 41" ABOVE FLOOR FINISH IN BACKSPLASH, U.O.N.
2.	COORDINATE OUTLETS UNDER KITCHEN COUNTER WITH EQUIPMENT.
3.	ALL RECEPTACLES TO BE HORIZONTAL AND 7" AFF, U.O.N.

LEGEND	
	LIGHT SWITCH
	COMBO SMOKE & CO DETECTOR-CEILING MOUNTED
	THREE WAY LIGHT SWITCH
	DIMMER SWITCH

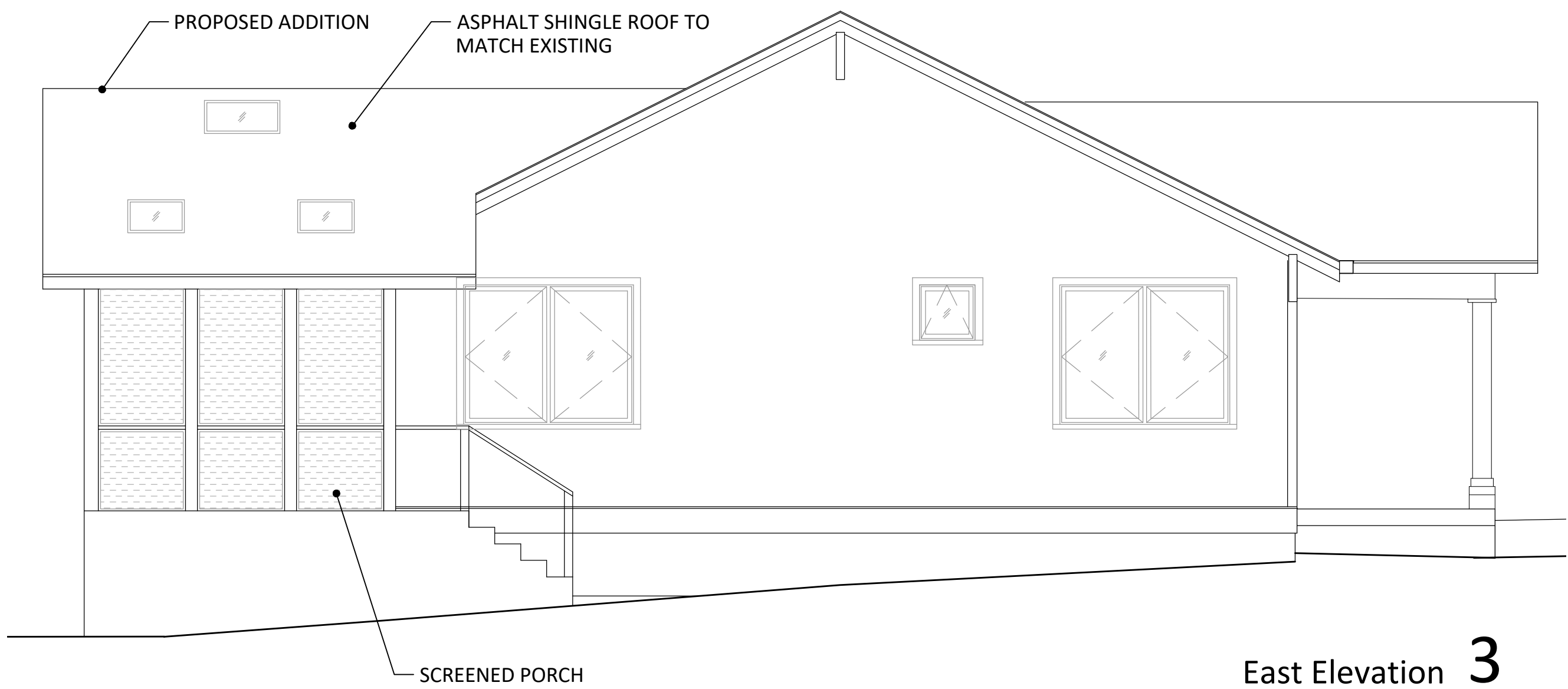
RCP NOTES	
1.	SEE INTERIOR ELEVATIONS FOR SWITCH PLATE CONFIGURATIONS AND LOCATIONS.
2.	SWITCH HEIGHT 45" U.O.N.



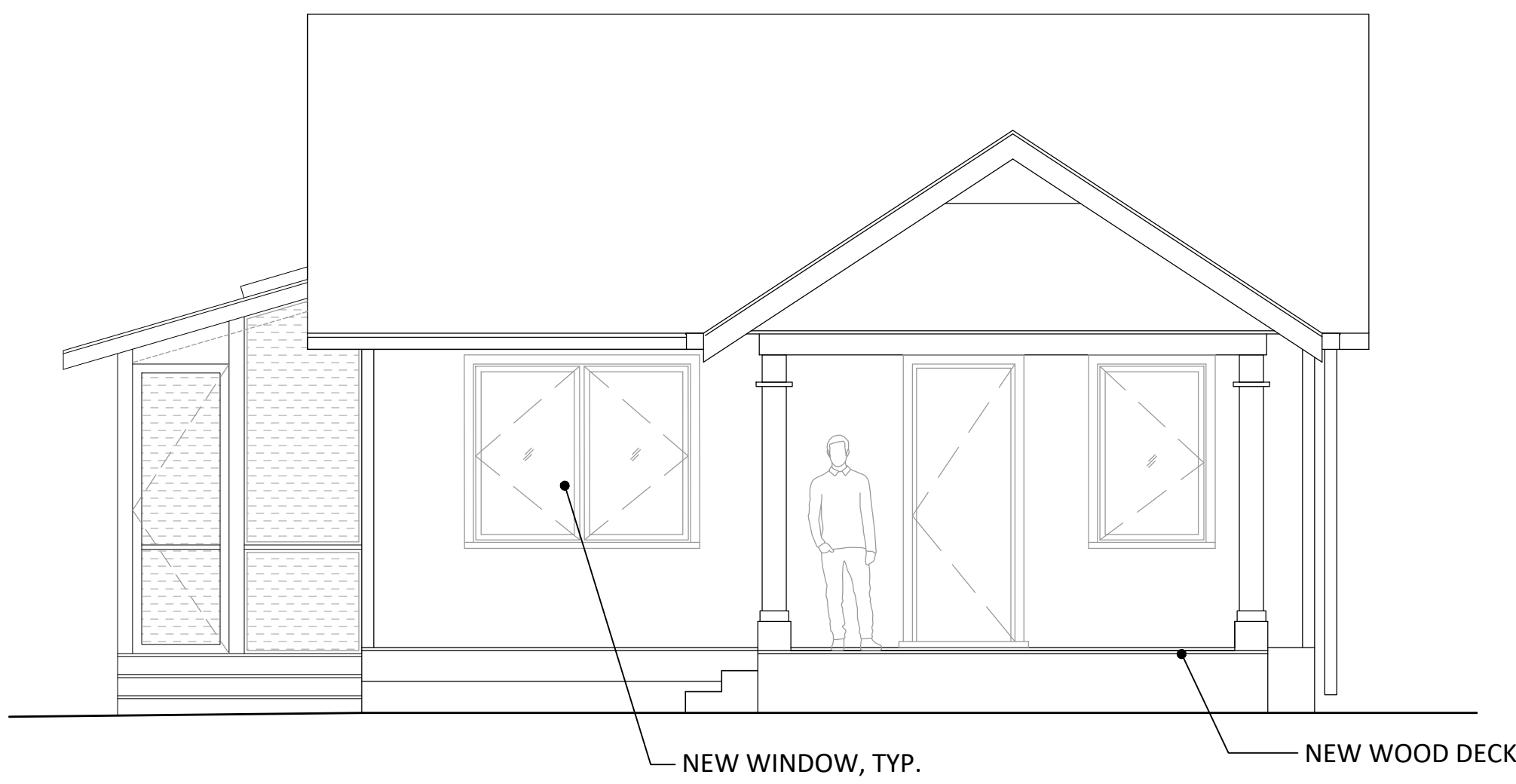
West Elevation 4



South Elevation 2



East Elevation 3



North Elevation 1

- NOTES:
1. HOUSE BEING RAISED 12".
 2. GABLE END THAT PENETRATES SKY EXPOSURE PLANE PERMISSIBLE AS PER EXCEPTION E. a. 30-FOOT SIDE-GABLED ROOF EXCEPTION

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ELEVATIONS

A2.0
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