

SITE INFORMATION

SITE ADDRESS: 1104 E. 10th Street, Austin, TX 78702
LEGAL DESCRIPTION: West 53' of Lot #10, Block 7, Division B, Geo. L. Robertson Subdivision, A subdivision is Travis County Texas, Recorded in Vol. 1, Page 4.
LAND STATUS DETERMINATION: C8I-2011-0149
ZONING: SF-3-NP
NEIGHBORHOOD: Central East Austin, Subdistrict 1
LAND USE: Single-Family Residence
PROPOSED LAND USE: Two-Family Residence
Scope of Work: Construction of a 1 bedroom, 1 bathroom, second floor Accessory Dwelling Unit on top of an Accessory Structure of 1 bathroom and studio.

SITE AREA: 7,457 s.f.

NOTE: Areas are measured to the outside of finished surface per C.O.A. Requirements for Building Coverage and FAR.

GFA EXISTING HOUSE: 2,115 s.f.

Front Covered Porch: 228 s.f.
Back Covered Porch: 130 s.f.

Uncovered Deck: 38 s.f. (calc. at 19 s.f.)
Open Stairs: 77 s.f. (calc. at 38.5 s.f.)

Lower GFA Accessory: 424 s.f.
Upper GFA ADU: 419 s.f.

Covered Front Porch: 82 s.f.
Covered Balcony Above: 82 s.f.

A/C pads: 27 s.f.
Storage room stoop: 9 s.f.
Front Paved Walkway: 55 s.f.

Total Building Cover: 2,979 s.f. (39.9%)
Total Impervious Cover: 3,127.5 s.f. (41.9%)

TOTAL GFA: 2,958 s.f. (.397)
TOTAL ALLOWED: 2,982 s.f. (.4)

PROVIDED PARKING: NONE
ADU Exempt due to reduced parking requirement.
No Changes to primary residence

GENERAL NOTES

1. THESE DRAWINGS ARE BASED UPON THE 2021 INTERNATIONAL BUILDING CODE, AND THE 2021 INTERNATIONAL RESIDENTIAL CODE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THIS CODE. THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS OR DRAWINGS AND MANUFACTURERS' INSTALLATION REQUIREMENTS FOR CLARIFICATION. THESE DRAWINGS MAY NOT INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR FULL COMPLETION OF THE CONTRACT DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES RELATED TO THE PROJECT'S CONSTRUCTION.

2. THE GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY. THESE DRAWINGS DO NOT INDICATE THE NECESSARY ELEMENTS FOR CONSTRUCTION SAFETY.

3. ALL VERTICAL DIMENSIONS INDICATED ON EXTERIOR ELEVATIONS, BUILDING SECTIONS, DETAILS AND INTERIOR ELEVATIONS ARE NOMINAL. ALL PLAN DIMENSIONS INDICATE EITHER FACE OF FRAMING, FACE OF MASONRY OR CENTERLINE OF ROUGH OPENING UNLESS NOTED OTHERWISE. DO NOT SCALE MEASUREMENTS FROM DRAWINGS. NOTIFY ARCHITECT WITH ANY DIMENSIONAL QUESTIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH THE WORK

4. COORDINATE LOCATION, SIZE AND CONFIGURATION OF PLUMBING VENTING AT ROOF WITH PLUMBING CONTRACTOR.

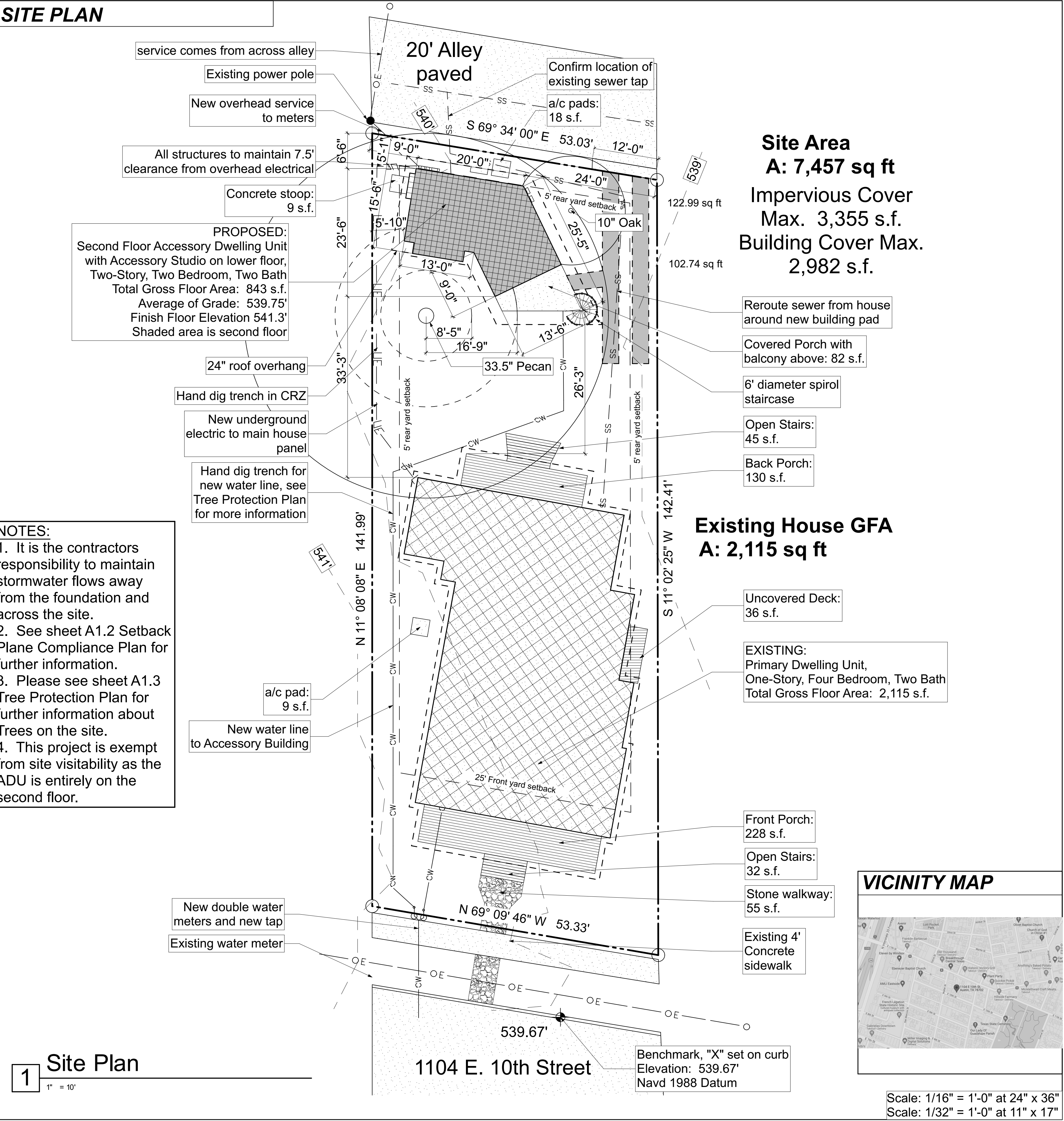
5. VERIFY AND PROVIDE FOR ALL LOCATIONS REQUIRING BLOCKING FOR ITEMS ATTACHED TO WALLS AND/OR CEILING.

6. FINAL SELECTIONS OF FINISH COLORS AND MATERIALS TO BE MADE BY OWNER.

7. ALL STAIRS SHALL BE BUILT WITH A MINIMUM CLEAR TREAD LENGTH OF 10" AND A MAXIMUM RISER HEIGHT OF 7.75", (EXCEPTING SPIROL STAIRS)

8. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATIONS, CONFIGURATIONS AND SIZES OF ANY COLUMNS, BEAMS, LINTELS, TRUSSES AND JOISTS.

SITE PLAN



1 Site Plan
1" = 10'

Studio Momentum

1415 Justin Lane
Austin, Texas, 78757
512-452-7961



1/12/22

For Permit
Review

Rogers ADU

1104 East 10th Street
Austin, Texas 78702

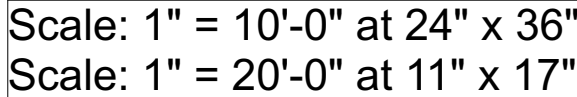
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VICINITY MAP



Scale: 1/16" = 1'-0" at 24" x 36"
Scale: 1/32" = 1'-0" at 11" x 17"



NOTES FOR TREE AND NATURAL AREA PROTECTION

1. All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
 2. Protective fences shall be erected according to City of Austin Standards for Tree Protection.
 3. Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
 4. Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
 5. Protective fences shall surround the trees or group of trees, and will be located at the outermost limit of branches (drip line) , for natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
 - A. Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
 - B. Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Arborist;
 - C. Wounds to exposed roots, trunk or limbs by mechanical equipment;
 - D. Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
 6. Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - A. Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
 - B. Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately prior to paving installation to minimized root damage);
 - C. Where trees are close to proposed buildings, erect the fence to allow 6 to 10 feet of work space between the fence and the building;
 - D. Where there are severe space constraints due to tract size, or other special requirements, contact the City Arborist at 974-1876 to discuss alternatives.
- Special Note: For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted.
7. Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft (or to the limits of lower branching) in addition to the reduced fencing provided.
 8. Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
 9. Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
 10. Any trenching required for the installation of landscape irrigation shall be placed as far from existing tree trunks as possible.
 11. No landscape topsoil dressing greater than 4 inches shall be permitted within the drip line of trees. No soil is permitted on the root flare of any tree.
 12. Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before damage occurs (ripping of branches, etc.).
 13. All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees available on request from the City Arborist).
 14. Deviations from the above notes may be considered ordinance violations if there is substantial non-compliance or if a tree sustains damage as a result.

PROPOSED:
Second Floor Accessory Dwelling Unit
with Accessory Studio on lower floor,
Two-Story, Two Bedroom, Two Bath
Total Gross Floor Area: 843 s.f.
Average of Grade: 539.75'
Finish Floor Elevation 541.3'
Shaded area is second floor

Hand dig, or Air Spade
new electrical service in CRZ
Preserve all roots over
1.5" in diameter

Overhead service
from existing power pole

Dashed line is large limb
that will be preserved, Canopy
impacts will be less than 5%

Port-o-let

Construction Dumpster
Location

existing 10"
oak to be
protected

Hand dig, or Air Spade
new water line in CRZ
Preserve all roots over
1.5" in diameter

5' tree protection fencing
and 8" of hardwood mulch
to be maintained throughout
construction

Construction staging and
paint/conc. wash out area
outside of CRZ

Total Tree CRZ:
3,526 s.f.
Total CRZ Preserved:
Approx. 1,900 s.f.
or 54%

EXISTING:
Primary Dwelling Unit,
One-Story, Four Bedroom, Two Bath
Total Gross Floor Area: 2,115 s.f.

S 11° 02' 25" W 142.41'

N 11° 08' 08" E 141.99'

541'

N 69° 09' 46" W 53.33'

1104 E. 10th Street

Benchmark, "X" set on curb
Elevation: 539.67'
Navd 1988 Datum

Tree Site Plan

1" = 10'

Scale: 1/10" = 1'-0" at 24" x 36"
Scale: 1/20" = 1'-0" at 11" x 17"

RESTRICTIONS

RESTRICTIONS:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THIS SURVEY, NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

LEGAL DESCRIPTION

WEST 53' OF LOT 10, BLOCK 7, OUTLOTS 2 AND 3, DIVISION "B", GEO. L. ROBERTSON SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 1, PAGE 4, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

BEFORE DESIGN BEGINS ON THE SUBJECT PROPERTY THE OWNER SHOULD CHECK THE LOCAL GOVERNING AUTHORITIES ABOUT BUILDING SETBACKS AND OTHER BUILDING REQUIREMENTS.

BEARING BASIS:
BEARINGS ARE BASED TO THE TEXAS COORDINATE SYSTEM CENTRAL TEXAS ZONE NAD83 HARN HORIZONTAL CONTROL.

TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY TO BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.



ALLSTAR
and surveying
9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TXBLS FIRM NO. 10135000

F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD-PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS F.I.R.M. MAP NO. 48015C0320E PANEL: 0320E DATED: SEPTEMBER 3, 2010

THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

ADDRESS

MARK ROGERS AND TRISTANA M. ROGERS
1104 EAST 10TH STREET
AUSTIN, TRAVIS COUNTY, TEXAS

| | | | | |
|--------------|-------------------|-------------|----------------|------------|
| SURVEY DATE: | FEBRUARY 12, 2019 | FIELD BY: | DERICK SOLOMON | 02/11/2019 |
| TITLE CO.: | - | CALC. BY: | CHRIS ZOTTER | 02/12/2019 |
| G.F. NO.: | - | DRAWN BY: | SEAN SUTTON | 02/12/2019 |
| JOB NO.: | A0207019 | RPLS CHECK: | EDWARD RUMSEY | 02/12/2019 |

| TREE LIST | |
|-----------|---------------|
| (A) | 10" ELM |
| (B) | 12" ELM |
| (C) | 15" PECAN |
| (D) | 13.5" PECAN |
| (E) | 10" PINE |
| (F) | 9.7" OAK |
| (G) | 33" PECAN (H) |

LEGEND

- 1/2" ROD FOUND
- 1/2" IRON PIPE FOUND
- CHAIN LINK FENCE
- WOOD FENCE
- RECORD INFORMATION
- WATER METER
- UTILITY POLE
- OVERHEAD UTILITY LINE(S)
- GAS METER
- ON INSIDE OF SUBJECT BOUNDARY
- OFF OUTSIDE OF SUBJECT BOUNDARY
- TREE
- (M) MULTI-STEM TREE
- (P) PROTECTED TREE OVER 10"
- (H) HERITAGE TREE OVER 24"
- "X" SCRIBE SET ON CURB FOR BENCHMARK

As-built Survey

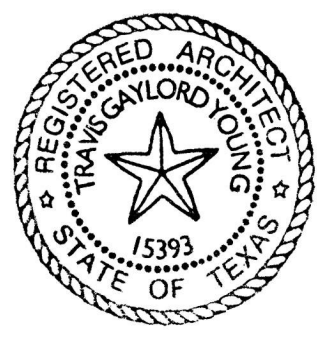
1" = 30'

Existing Building and Tree Survey
for informational purposes only.
Please refer to Allstar Land
Surveying for clarification on this
document

Studio Momentum

1415 Justin Lane
Austin, Texas 78757
512-452-7961

Seal:



Signature:

[Signature]

Issue:

1/12/22
For Permit Review

Project:

**Rogers
ADU**

1104 E. 10th
Street, Austin,
Texas, 78702

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Revisions:

Sheet Title:

**Tree Protection Site
Plan**

Sheet Number:

A1.3

PLAN LEGEND

OR

OR

1

A3.1

EXTERIOR / INTERIOR ELEVATION INDICATOR

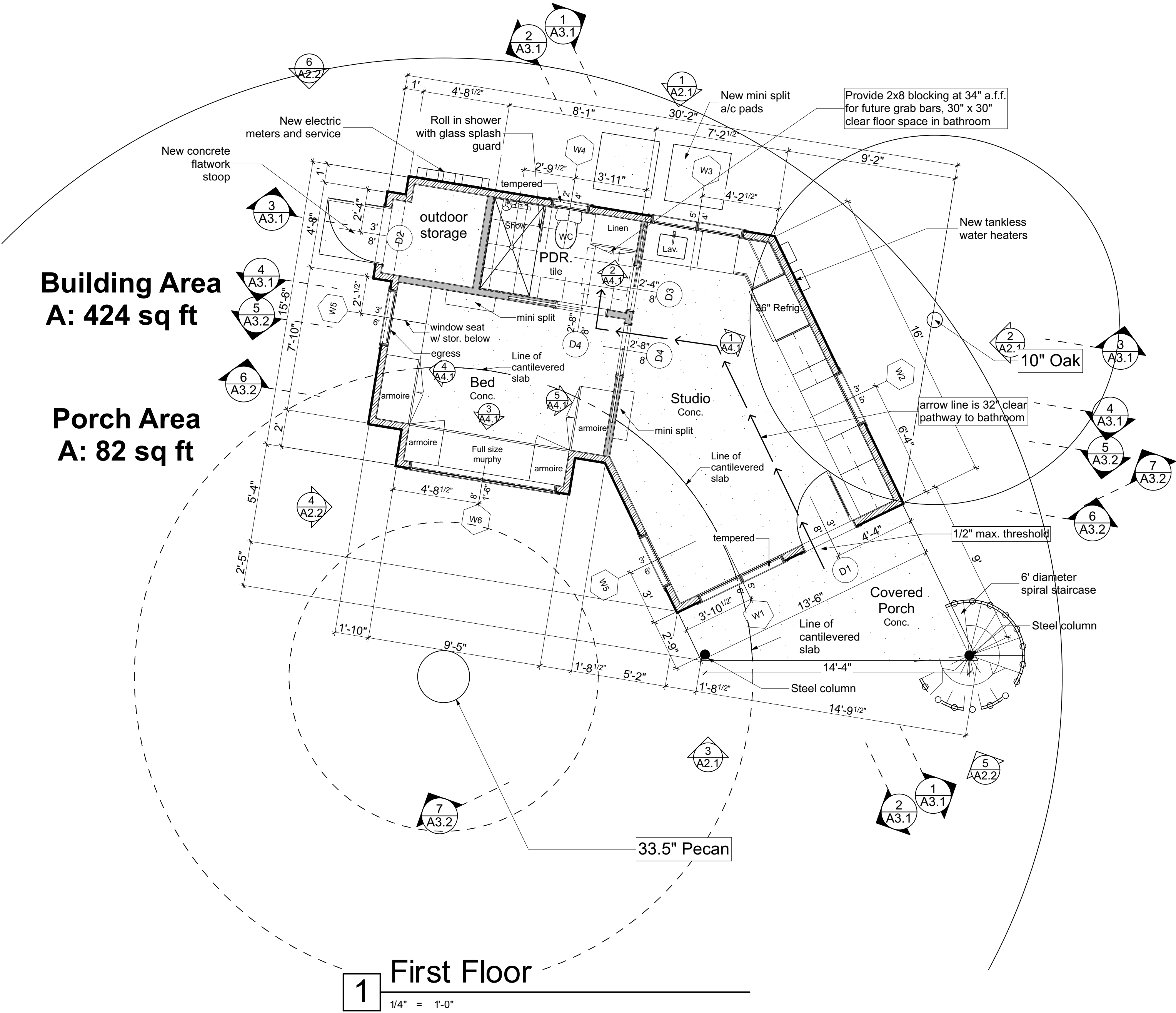
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A2.1

DETAIL INDICATOR

FLOOR PLAN NOTES:

1. Provide Smoke Alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms. In accordance with 2021 IRC Sec R314. Provide Carbon Monoxide Alarm - hard wired with battery backup, installed outside of each separate sleeping area in the immediate vicinity of the bedrooms In accordance with 2021 IRC sec R315.
2. Provide accessible route from entry door, max. 1/2" threshold, min. 32" clearance to 30" clear entrance door to guest bathroom.
3. Provide all controls no higher than 48".
4. Provide electrical general service outlets no lower than 15" above finish floor.
5. Provide 2x8 wood blocking at 34" above finish floor for entire guest bathroom for future grab bar install.
6. Door and window sizes are noted on the floor plan. Max. U-factor of .35 and Max. SHGC of .25
7. Exterior walls to receive R-19 and roof to receive R-38.



Scale: 1/4" = 1'-0" at 24" x 36"
Scale: 1/8" = 1'-0" at 11" x 17"

Studio Momentum

1415 Justin Lane
Austin, Texas 78757
512-452-7961

Seal:



Signature:

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Revisions:

Sheet Title:

Lower Floor Plan

Sheet Number:

A1.4

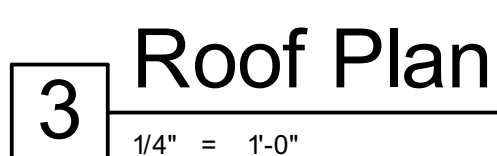
WALL TYPE #1 - 2x4 (OR 2x6, AS NOTED) 16" ON CENTER WOOD FRAME EXTERIOR WALL WITH ONE LAYER OF 1/2" PLYWOOD SHEATHING APPLIED TO EXTERIOR SIDE OF STUDS. PROVIDE 1/2" GYPSUM BOARD TO INTERIOR SIDE. PROVIDE 1/2" CEMENTITIOUS BACKER BOARD AT INTERIOR WET AREAS/TILE FINISH. FILL CAVITY WITH R-15 EQUIVALENT MINIMUM OPEN CELL SPRAY FOAM INSULATION (R-19 @ 2x6 WALLS). PROVIDE FULL-LAP 30# BUILDING FELT ON EXTERIOR SURFACE. EXTERIOR FINISH PER ELEVATIONS.

WALL TYPE #2 - 2x4 (OR 2x6, AS NOTED) WOOD FRAME INTERIOR PARTITION WALL. PROVIDE 1/2" GYPSUM BOARD TO BOTH SIDES. PROVIDE 1/2" CEMENTITIOUS BACKER BOARD AT WET AREAS/TILE FINISH. SEE ROOM FINISH SCHEDULE FOR FINISHES. PROVIDE SOUND BATT INSULATION TO BATHROOM WALLS

EXTERIOR / INTERIOR ELEVATION INDICATOR

DETAIL INDICATOR

1. Provide Smoke Alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms. In accordance with 2021 IRC Sec R314. Provide Carbon Monoxide Alarm - hard wired with battery backup, installed outside of each separate sleeping area in the immediate vicinity of the bedrooms In accordance with 2021 IRC sec R315.
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4. Provide electrical general service outlets no lower than 15" above finish floor.
5. Provide 2x8 wood blocking at 34" above finish floor for entire guest bathroom for future grab bar install.
6. Door and window sizes are noted on the floor plan. Max. U-factor of .35 and Max. SHGC of .25
7. Exterior walls to receive R-19 and roof to receive R-38.



1415 Justin Lane
Austin, Texas, 78757
512-452-7961



1/12/22
Permit Review

**Rogers
ADU**

**1104 E. 10th
street, Austin,
Texas, 78702**

Second Floor and Roof Plan

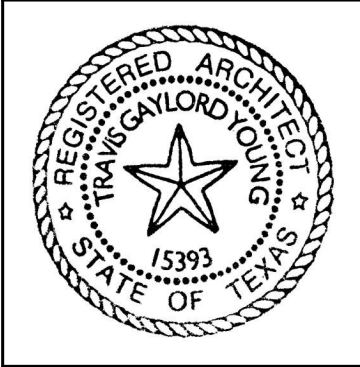
A1.5

| DOOR SCHEDULE | | | | | | | | | |
|---------------|-----|-------------------|---------------|-----------------|------|-------------------------------|---------------------------------|----------------|---|
| ID | QTY | LOCATION | SIZE | ORIENT | WALL | MATERIAL | LOCKSET | GLAZING | NOTES |
| D1 | 2 | Entry | 3'-0" x 8'-0" | 2 - RH Inswing | 2x4 | Insulated Metal | Lever passage w/ Dead bolt | Yes, per Owner | To be mulled w/ sidelite window and provided with an exterior screen door |
| D2 | 1 | Storage | 3'-0" x 8'-0" | 1 - RH Outswing | 2x4 | Insulated metal security door | Lever passage w/ Dead bolt | | |
| D3 | 1 | Pdr. | 2'-4" x 8'-0" | Pocket | 2x4 | Solid core stain grade | circular finger pull w/ privacy | | |
| D4 | 4 | Bedrooms and bath | 2'-8" x 8'-0" | Pocket | 2x4 | Solid core stain grade | circular finger pull w/ privacy | | Must provide 30" clearance in open position at guest for visitability |
| | | | | | | | | | |
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| | | | | | | | | | |

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|-----|--------------------|---------------|-------------------------|------|-------------------------------|--|--|-----------------------------|
| ID | QTY | LOCATION | SIZE | OPPER. | WALL | MATERIAL | | GLAZING | NOTES |
| W1 | 2 | Living and Studio | 5'-0" x 6'-0" | Two single hungs mulled | 2x4 | Per Owner Marvin Builder line | | Double Pane, Insulated, Cardinal 366, or approved eq. TEMPERED ADJ to Door | |
| W2 | 2 | kitchen and studio | 3'-0" x 5'-0" | Single Hung | 2x4 | | | | |
| W3 | 1 | Studio | 5'-0" x 4'-0" | Two single hungs mulled | 2x4 | | | | |
| W4 | 1 | PDR. | 2'-0" x 4'-0" | Single Hung | 2x4 | | | | |
| W5 | 3 | Bedroom Living | 3'-0" x 6'-0" | Single Hung | 2x4 | | | | MUST MEET EGRESS in Bedroom |
| W6 | 2 | Bedrooms | 6'-0" x 1'-6" | Two panel Fixed | 2x4 | | | | |
| W7 | 1 | Bath | 4'-0" x 2'-0" | Slider | 2x4 | | | | |
| W8 | 1 | Bedroom | 3'-0" x 5'-0" | Single Hung | 2x4 | | | | MUST MEET EGRESS in Bedroom |
| W9 | 1 | Bathroom | 2'-0" x 3'-6" | Single Hung | 2x4 | | | | |
| W10 | 1 | Dining | 5'-0" x 3'-6" | Two Single hungs mulled | 2x4 | | | | |
| | | | | | | | | | |

Low E glass, w/ SHGC of .25 or smaller, AND U-factor of .35 or smaller

Seal:



Signature:

Angelo Jones

Issue:

1/12/22
For Permit Review

Project:

Rogers
ADU

1104 E. 10th
Street, Austin,
Texas, 78702

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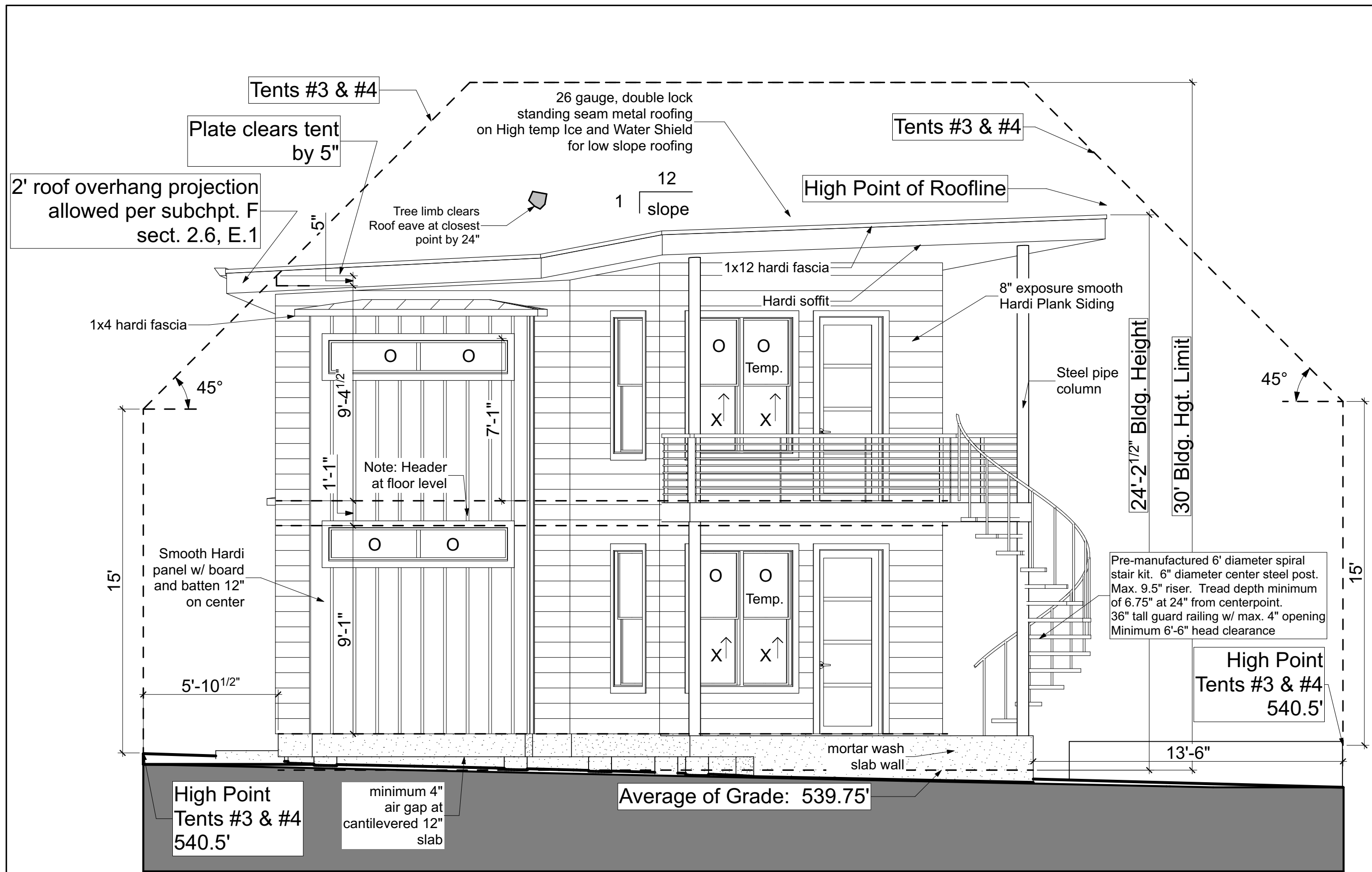
Revisions:

Sheet Title:

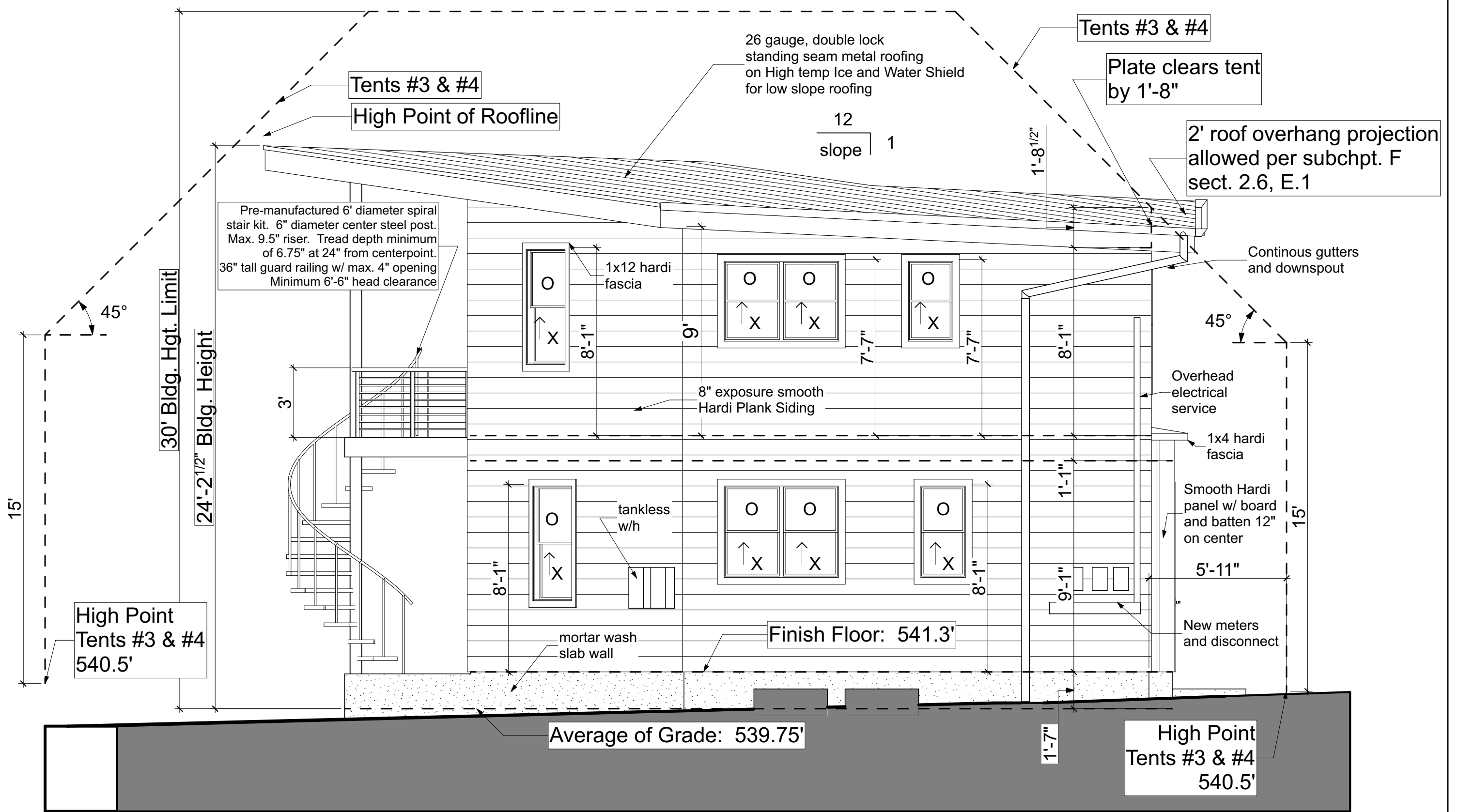
Door and Window
Schedule

Sheet Number:

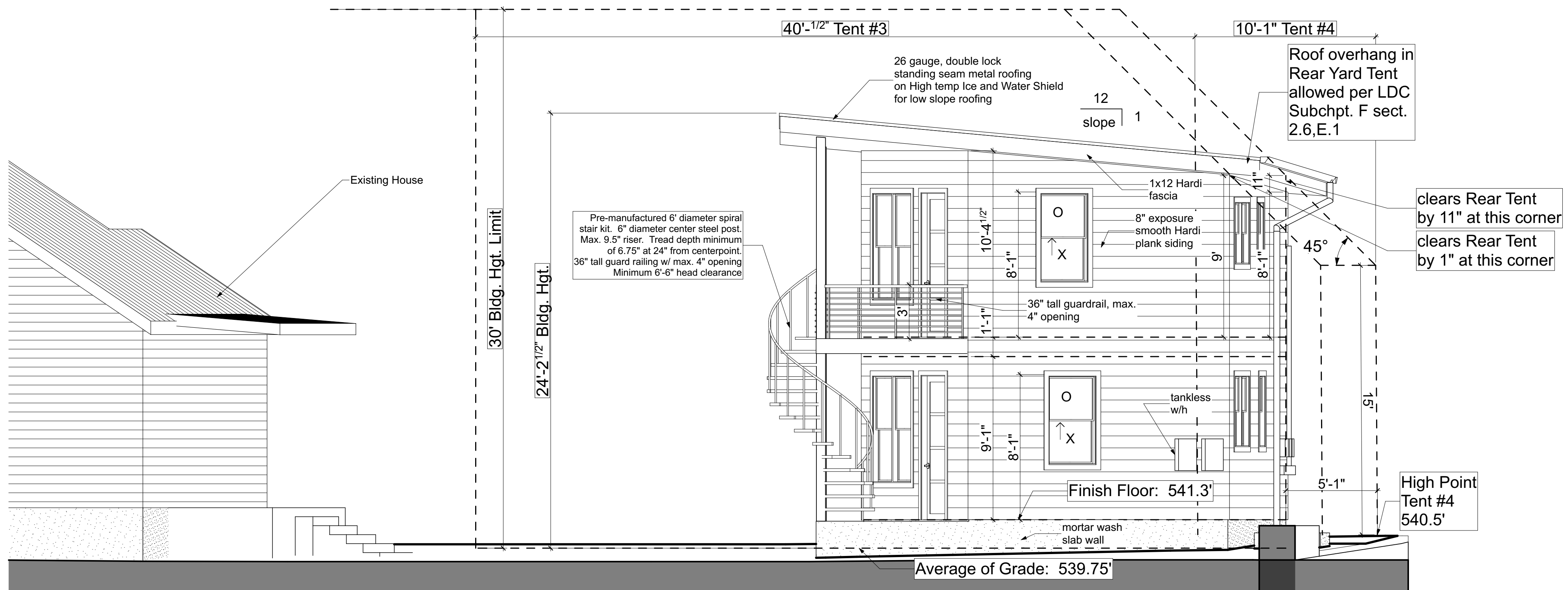
A1.7



3 South (Front Subchapter F) Elevation
1/4" = 1'-0"



1 North (Alley) Elevation
1/4" = 1'-0"

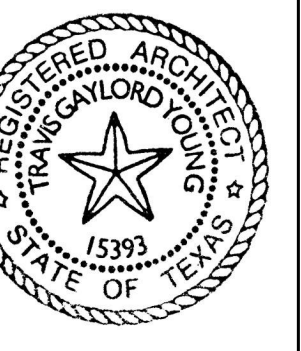


2 East (Right) Elevation
1/4" = 1'-0"

Scale: 1/4" = 1'-0" at 24" x 36"
Scale: 1/8" = 1'-0" at 11" x 17"

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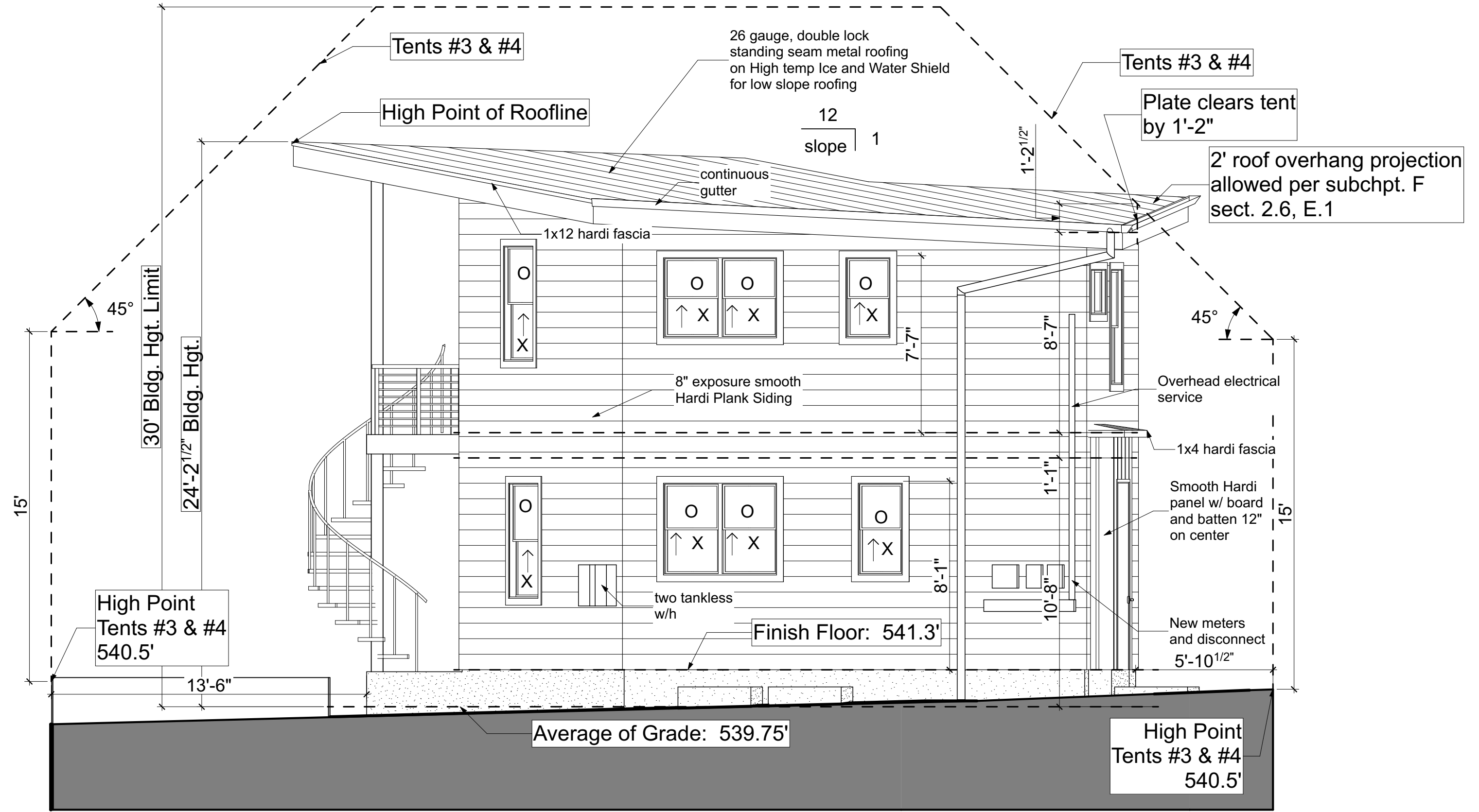
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Texas, 78702

East, North and
South Elevations

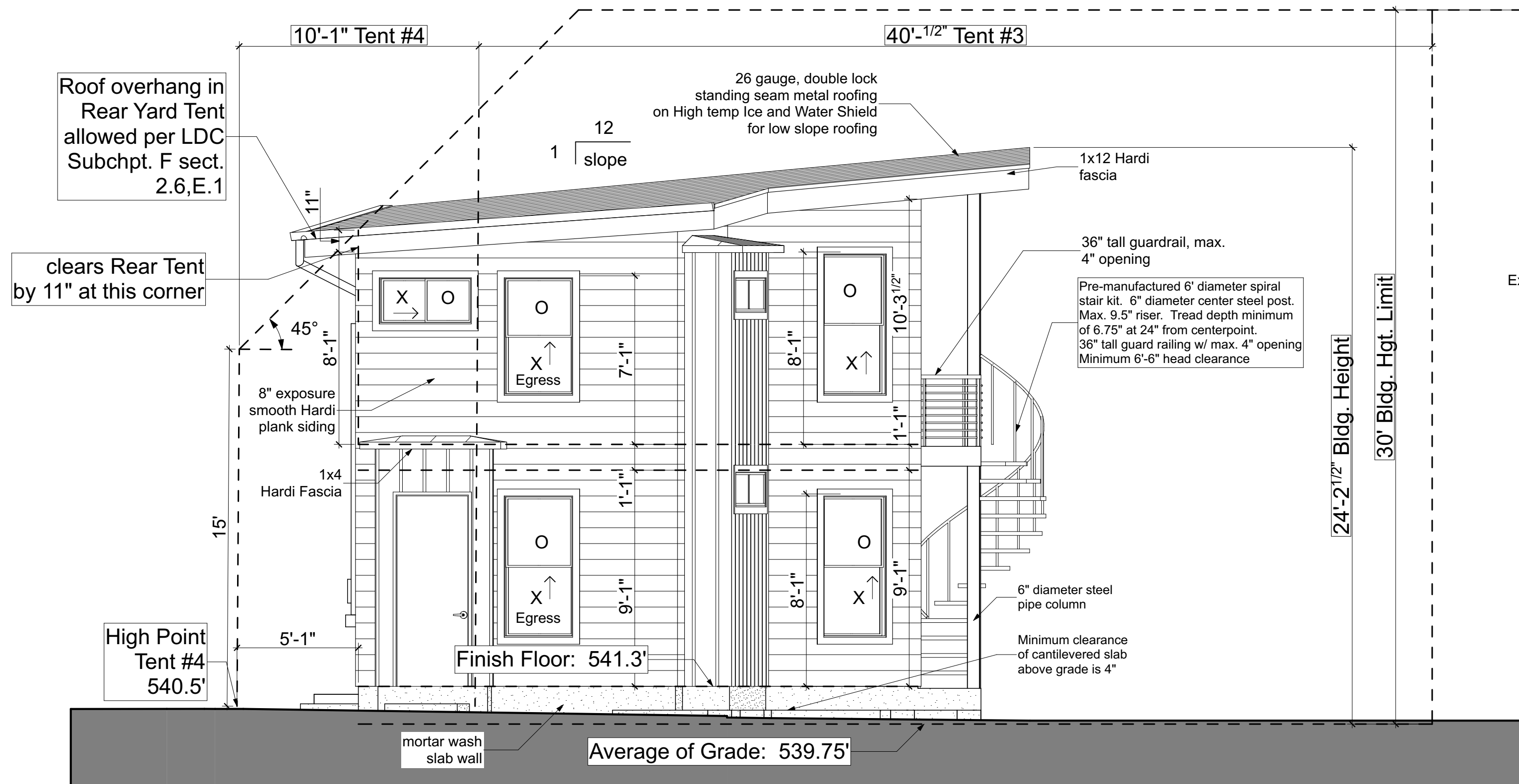
A2.1



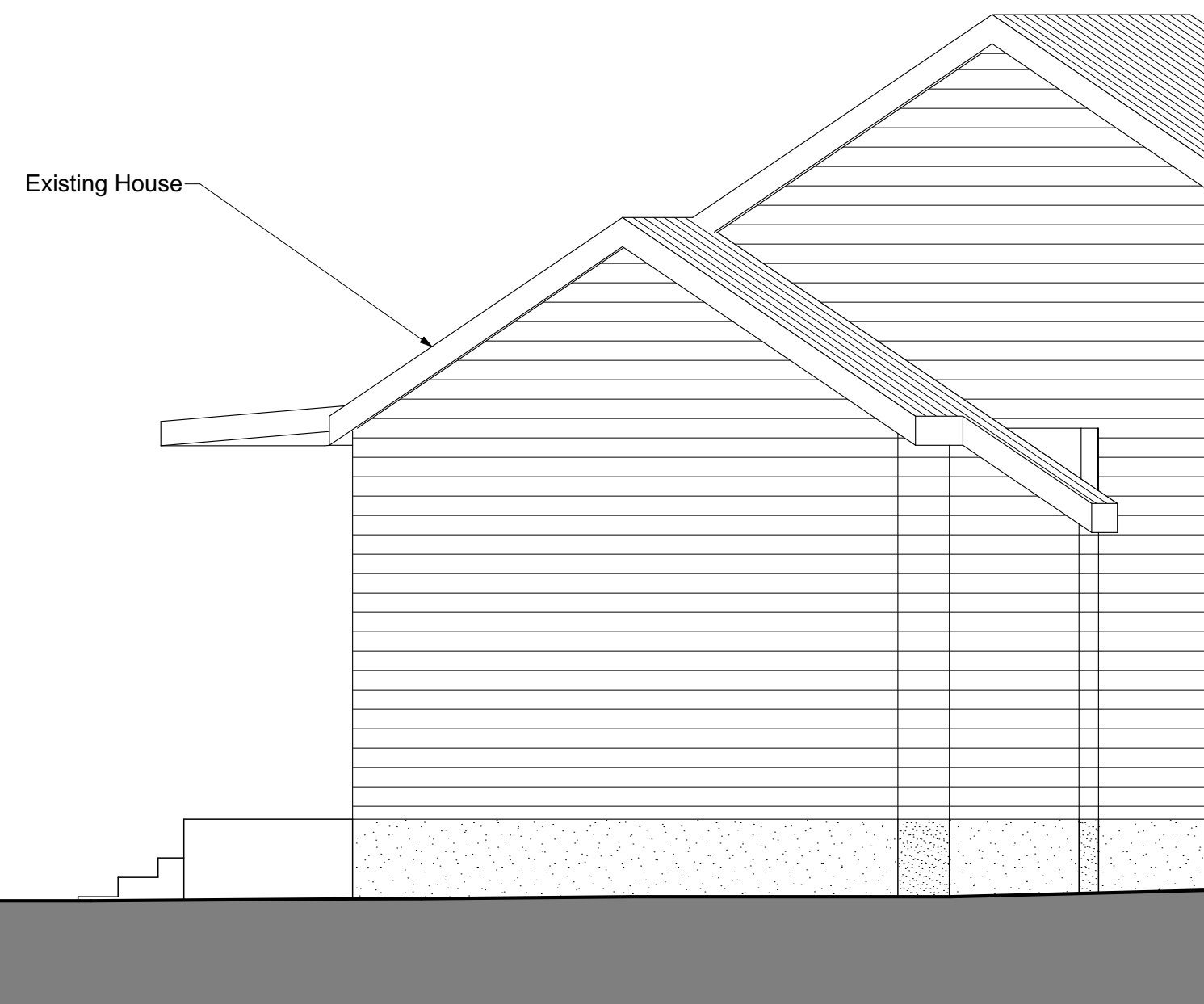
5 Front and Stair Elevation
1/4" = 1'-0"



6 North (Subchapter F) Elevation
1/4" = 1'-0"



4 West (Left) Elevation
1/4" = 1'-0"

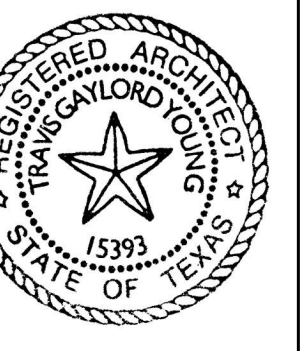


Scale: 1/4" = 1'-0" at 24" x 36"
Scale: 1/8" = 1'-0" at 11" x 17"

Studio Momentum

1415 Justin Lane
Austin, Texas 78757
512-452-7961

Seal:



Signature:

[Signature]

Issue:

1/12/22
For Permit Review

Project:

Rogers
ADU

1104 E. 10th
Street, Austin,
Texas, 78702

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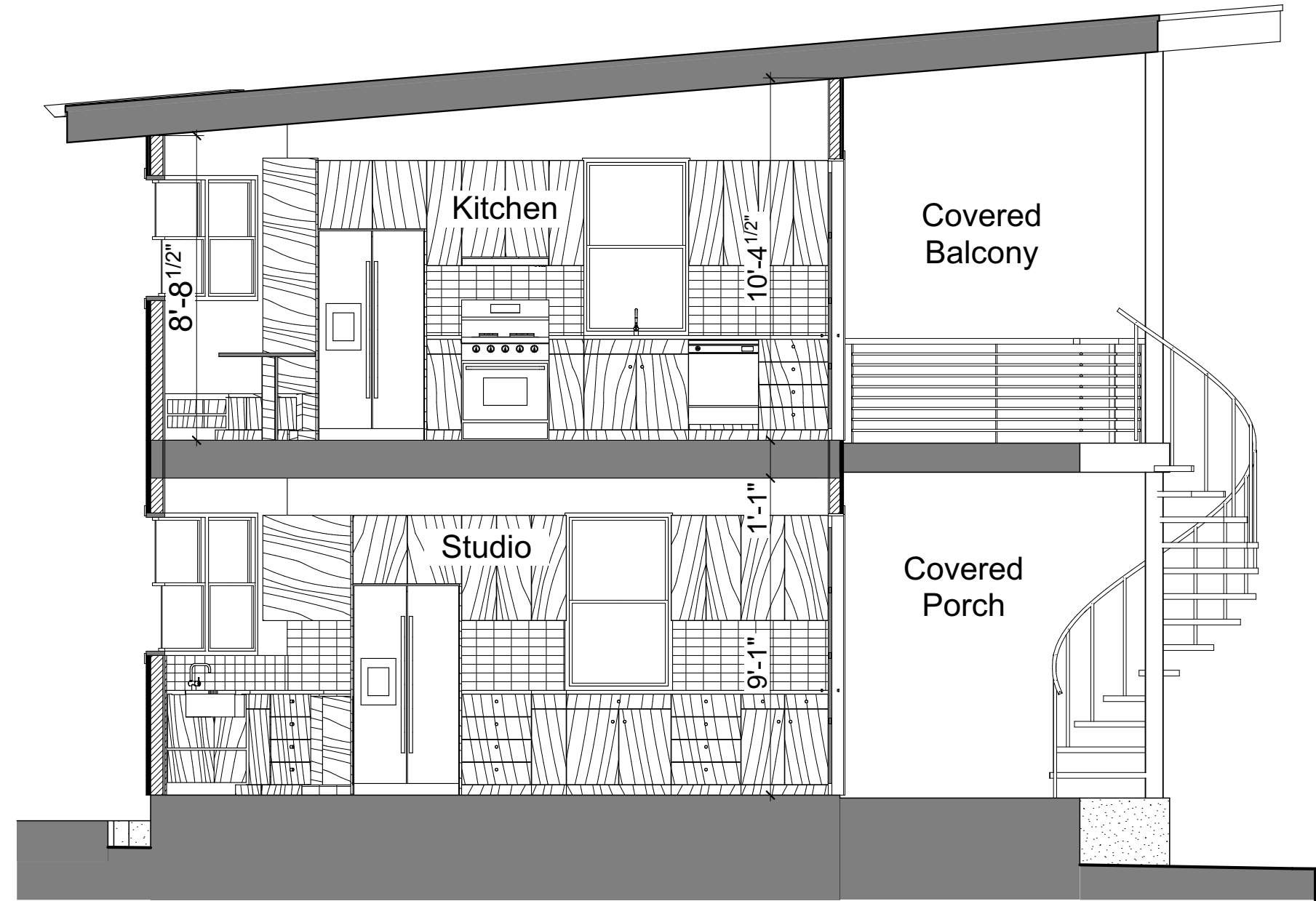
Revisions:

Sheet Title:

Front, West and
North Elevations

Sheet Number:

A2.2



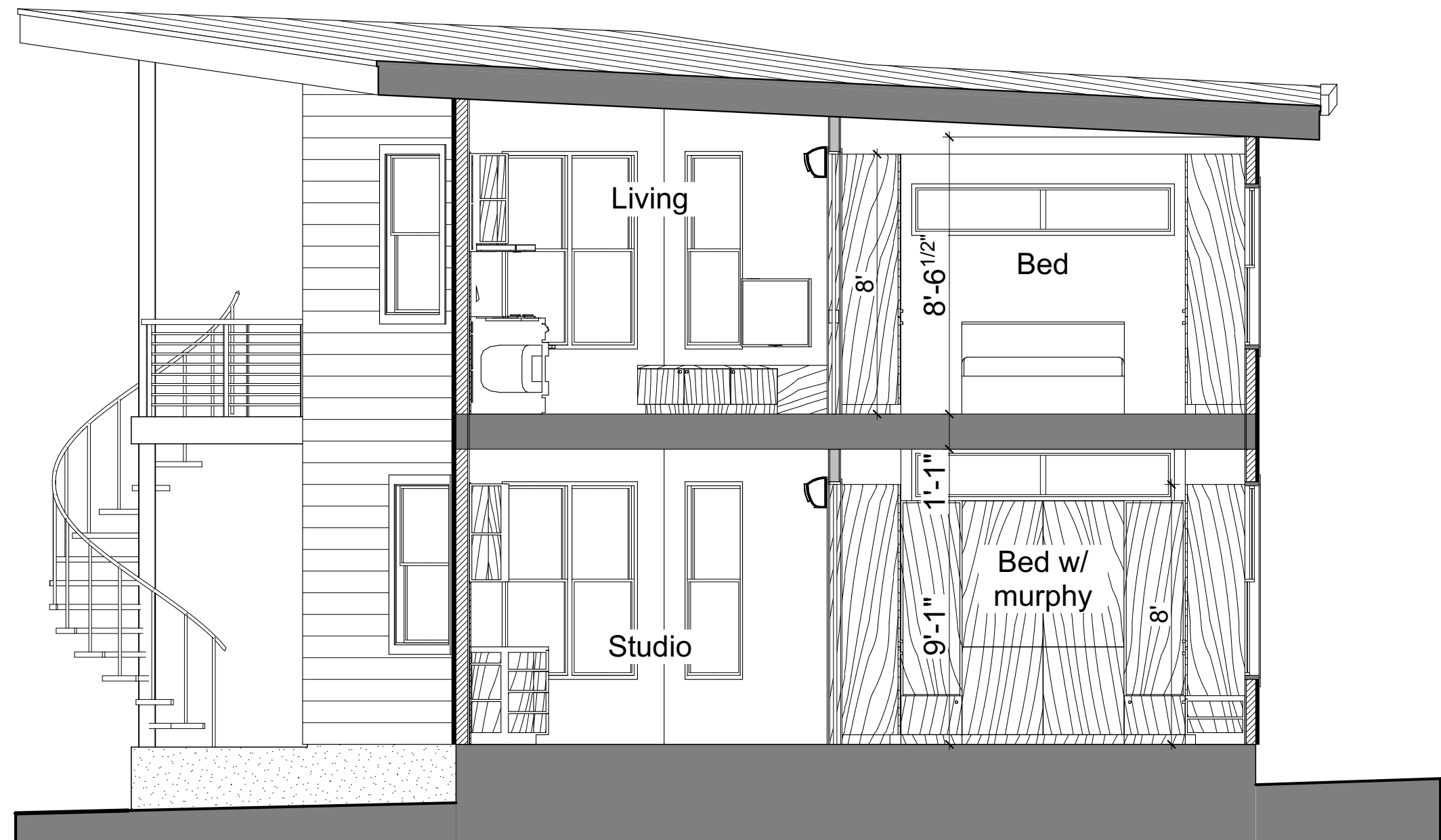
1 Kitchen
1/4" = 1'-0"



2 Living
1/4" = 1'-0"



3 Bathrooms
1/4" = 1'-0"



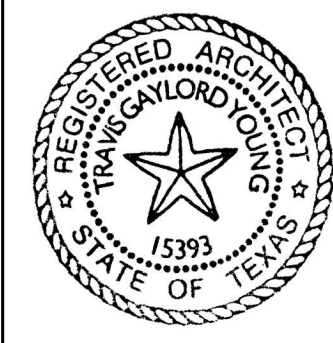
4 Bedrooms
1/4" = 1'-0"

Scale: 1/4" = 1'-0" at 24" x 36"
Scale: 1/8" = 1'-0" at 11" x 17"

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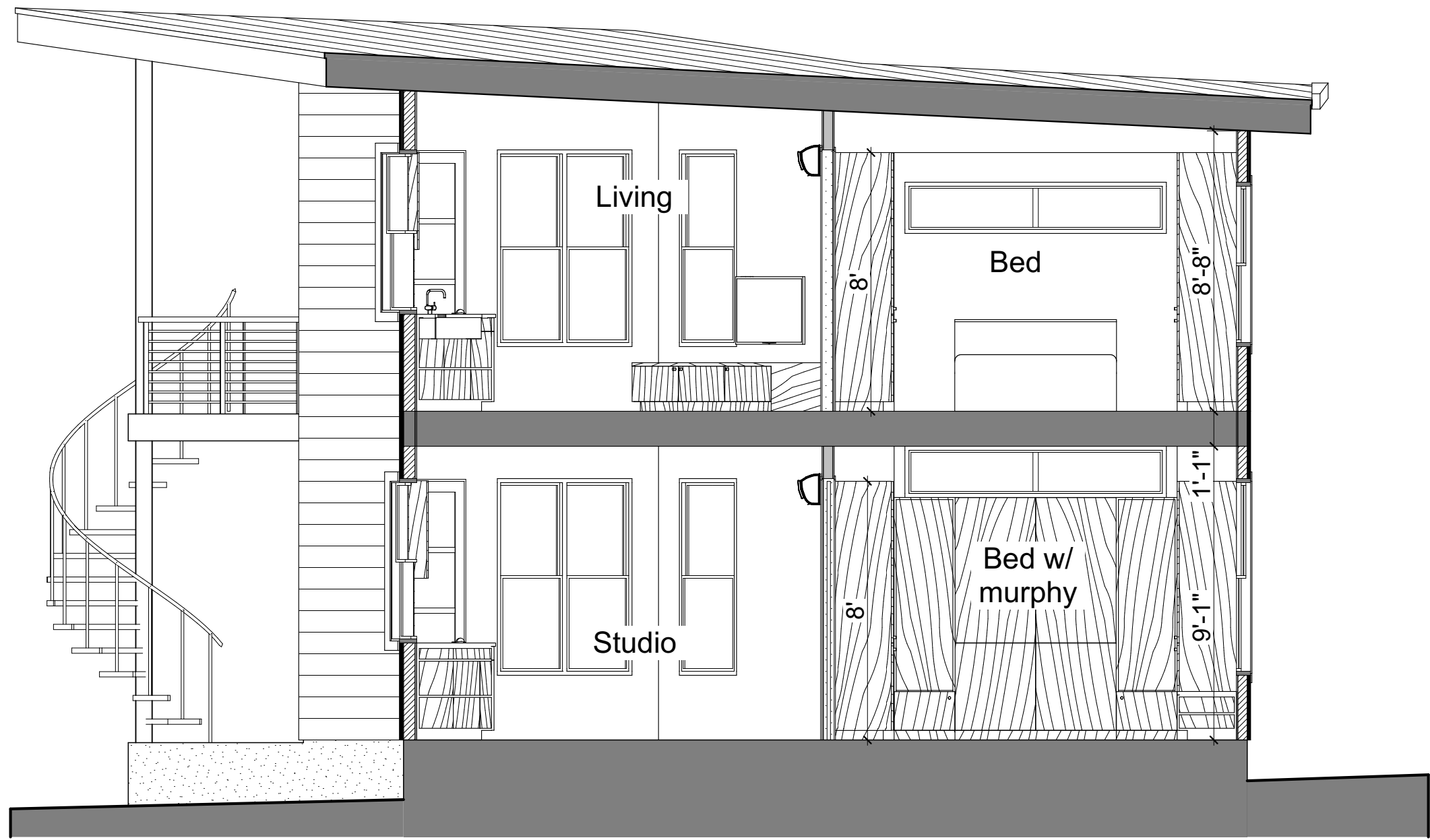
Revisions:

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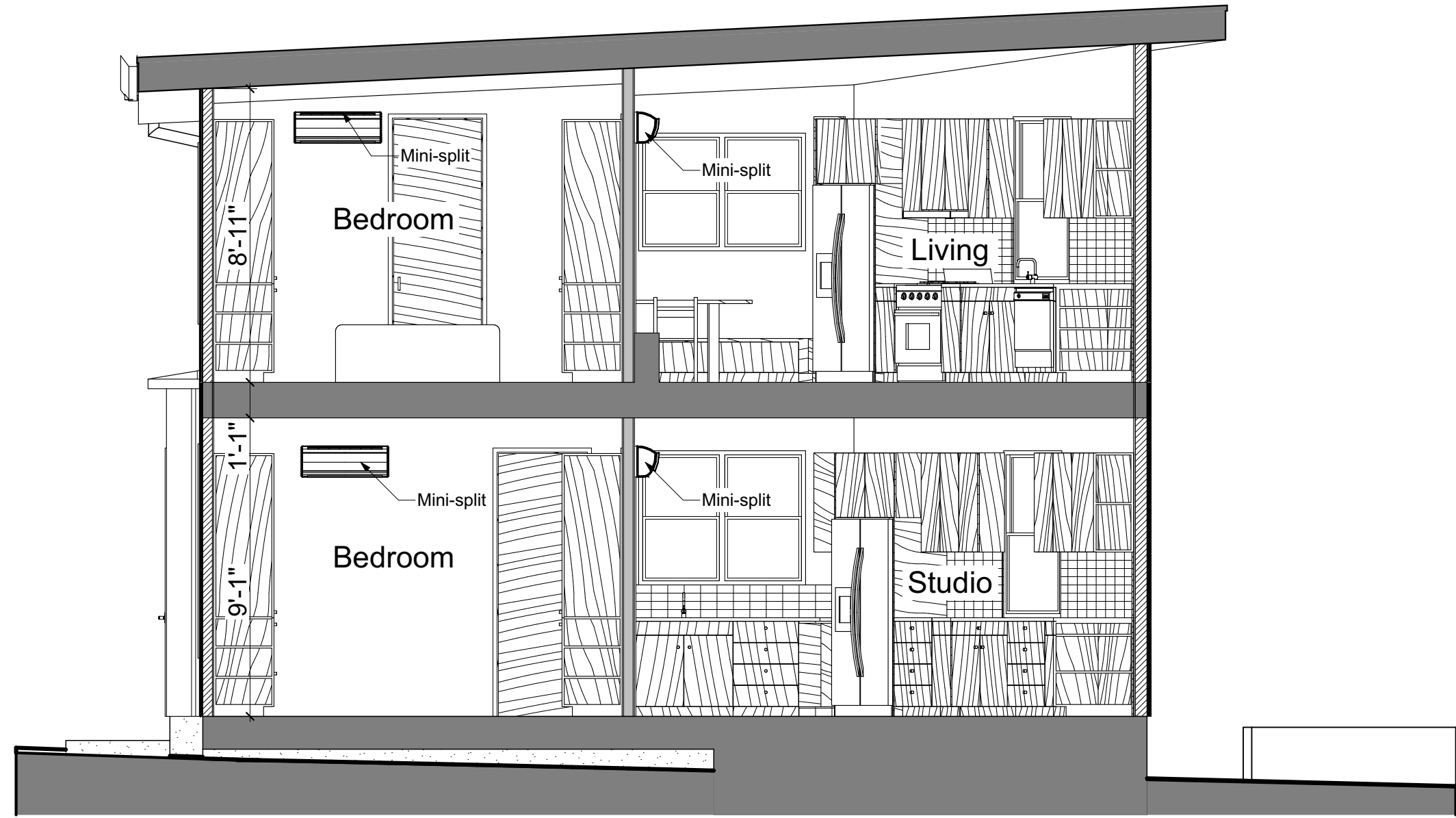
Building Sections

Sheet Number:

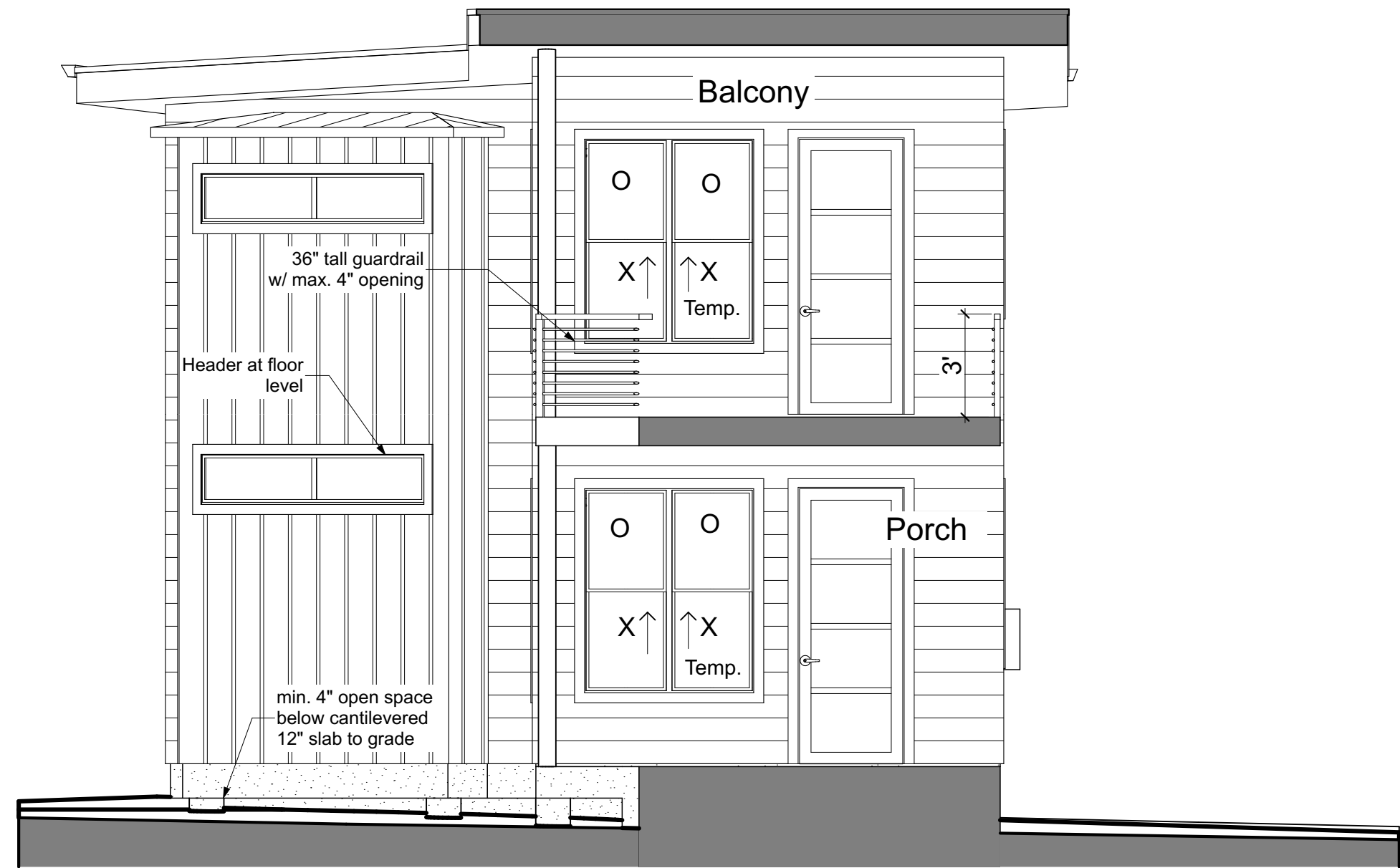
A3.1



5 Murphy
1/4" = 1'-0"



6 Bedrooms
1/4" = 1'-0"



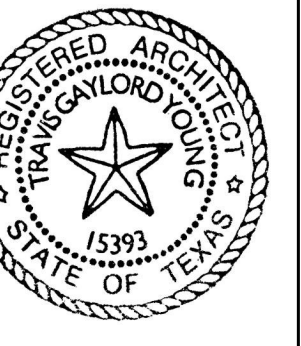
7 Porch and Balcony
1/4" = 1'-0"

Scale: 1/4" = 1'-0" at 24" x 36"
Scale: 1/8" = 1'-0" at 11" x 17"

Studio Momentum

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Austin, Texas 78757
512-452-7961

Seal:



Signature:

[Handwritten signature]

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Project:

Rogers
ADU

1104 E. 10th
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Revisions:

Sheet Title:

Building Sections

Sheet Number:

A3.2



From Rear Yard

1:200



Street View

1:200



South of Buildings

1:200



From Entry to Studio

1:200



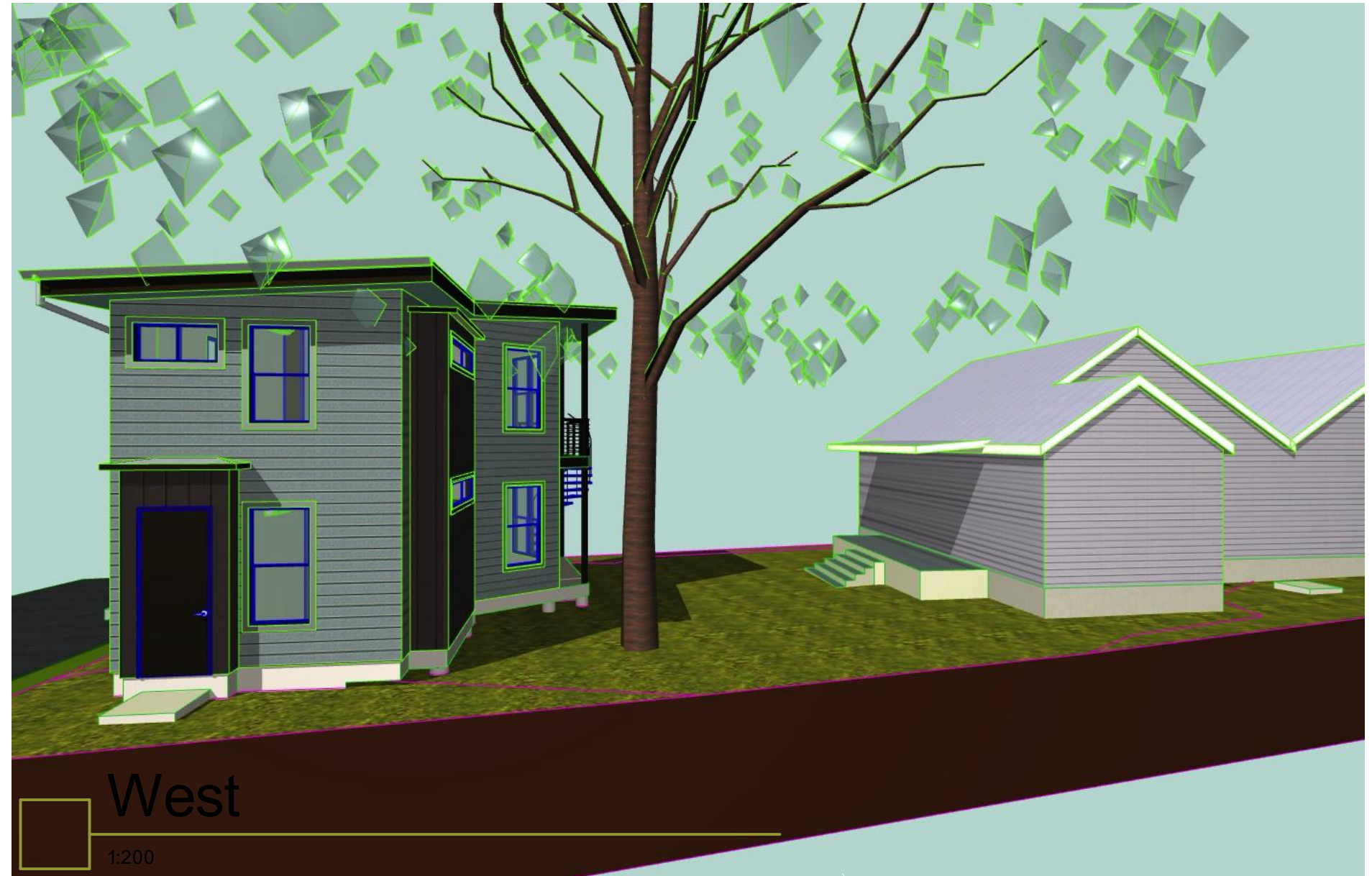
From Dining Room

1:200



Kitchen to Living #2

1:200



West

1:200



M. Bedroom

1:200



North View

1:200

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512-452-7961

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Justin E. Jones

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Revisions:

Sheet Title:

3-d views

Sheet Number:

A6.1





