

KEYNOTES

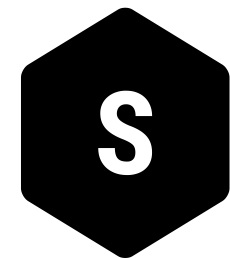
- 1 Critical Root Zone (CRZ)
- 2 1/2 CRZ
- 3 1/4 CRZ
- 4 Property line
- 5 Limits of work
- 6 New addition footprint contained within this area; does not impact CRZ of adjacent tree

SITE PLAN NOTES

IMPERVIOUS COVER AND BUILDING AREA

Site Area	16,952 SF
Allowable Impervious Area (45%)	7,628 SF
Allowable Floor-to-Area Ratio (40%)	6,781 SF
Proposed Impervious Cover Area:	
Main House Building	1,901 SF
Garage and Pool House Building	957 SF
Driveway	1,507 SF
Patio and Pool Coping	2,005 SF
Walkways	758 SF
Total Impervious Cover:	7,128 SF (42.0%)
Proposed Floor-to-Area Ratio (F.A.R.):	
First Floor Main Building	1,901 SF
Second Floor Main Building	1,686 SF
Basement	388 SF
Attic	510 SF
First Floor Garage Building	957 SF
Second Floor Garage Building	575 SF
Total F.A.R.:	6,017 SF (35.5%)

LEGEND



SANDERS ARCHITECTURE

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KITCHEN REMODEL

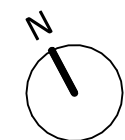
3312 Duval Street
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Historic Review
Package
February 2, 2022

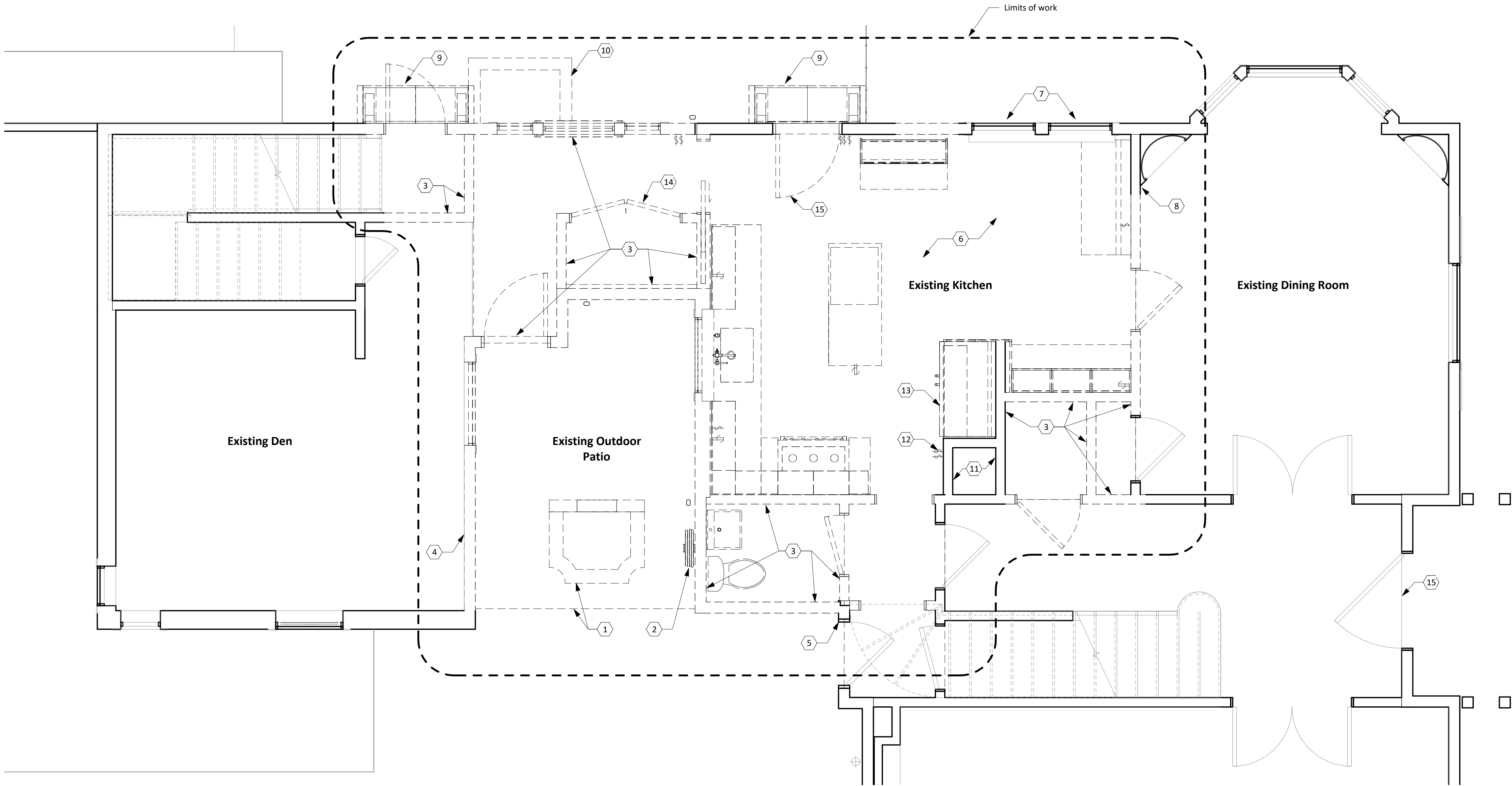
Drawn by: CG, EK
Checked by: CS
Revisions:

Site Plan

G1.10



1 Site Plan
1/8" = 1'-0"



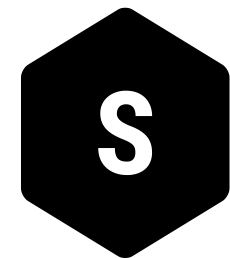
KEYNOTES

- 1 Demo brick patio and fountain to prepare for new foundation
- 2 Remove hose and spigot and move to new location; ref. plumbing
- 3 Existing wall, including any windows and doors within, to be demolished
- 4 Existing wall finishes to be demolished; utilize existing framing for new construction
- 5 Keep existing wall and door and tie in with new construction
- 6 Demo all kitchen millwork, finishes, appliances, and coordinate electrical with new construction
- 7 Existing windows to remain; coordinate extent of demo to allow for new window at edge of existing
- 8 Existing millwork to remain; coordinate extent of wall demolition accordingly
- 9 Existing awning to be demolished
- 9 Existing eyebrow to be demolished
- 10 Existing planter to be demolished
- 11 Existing mechanical chase to remain
- 12 Plug and seal existing electrical in chase wall, to be covered in new construction
- 13 Remove refrigerator; store for reuse
- 14 Remove wine cooler and associated doors/trim; store for reuse
- 15 Existing door to be demolished
- 15 Existing front door

DEMO PLAN NOTES

1. Refer to architectural drawings prior to demolition to understand the scope of work.
2. Re: sheet A1.01 for the architectural floor plan.
3. All existing electrical, plumbing and mechanical systems to be removed.
4. Contractor to take care removing doors and systems in aluminum storefront systems.
5. All existing glass panel windows to be removed and replaced.
6. Remove all ceiling finishes and insulation. Expose all structural framing and ceilings.

LEGEND



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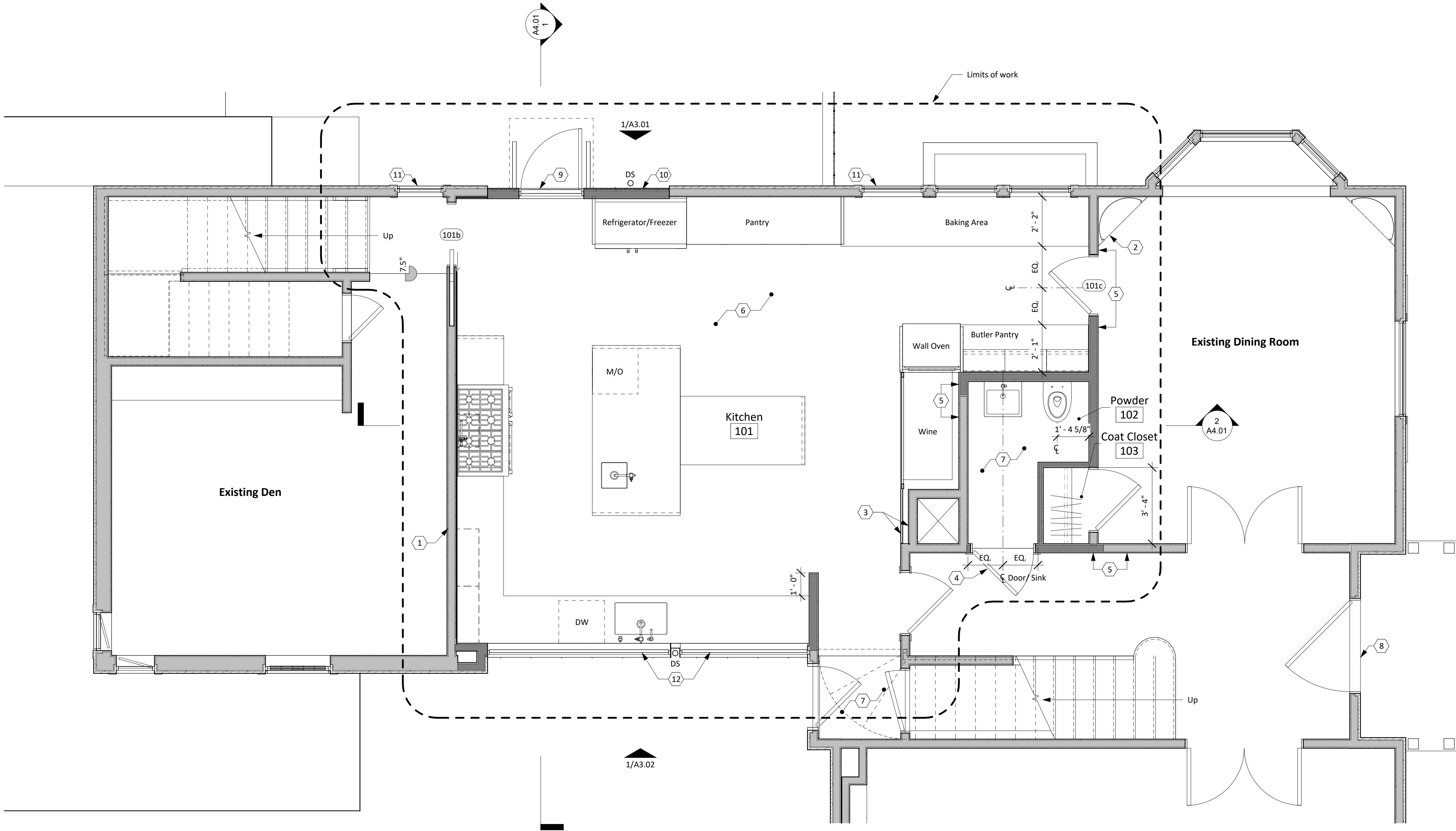
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Revisions:

Demolition Plan

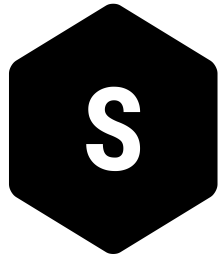
D1.01





KEYNOTES

- 1 Utilize existing framing where possible from existing wall
- 2 Existing built-in shelving to remain; coordinate demo and new construction accordingly
- 3 Coordinate new finish wall / millwork with existing chase
- 4 Existing door panel in new frame
- 5 Align and match existing wall
- 6 New wood flooring to match existing
- 7 New tile flooring
- 8 Front door
- 9 New door
- 10 New infill wall
- 11 New window to match existing
- 12 New steel windows



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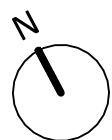
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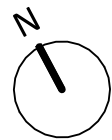
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Revisions:

Floor Plan

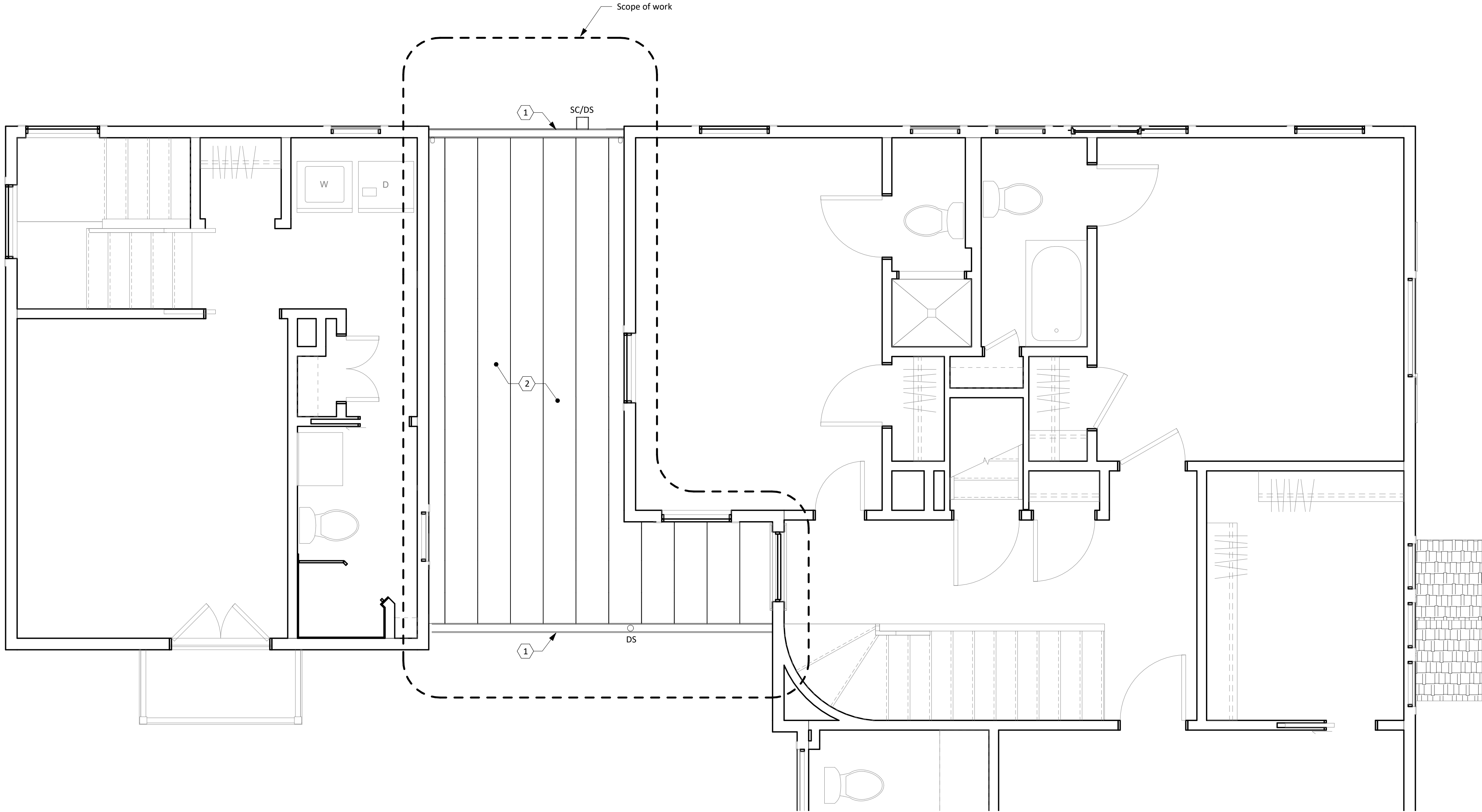
A1.01



1 Level 1 - Floor Plan
3/8" = 1'-0"



1 Roof Plan
3/8" = 1'-0"



KEYNOTES

- 1 Integral gutter wrapped in zinc
- 2 Zinc standing seam curved roof; re: A4.01 for curve dimensions; materials to match existing bay window on the north facade



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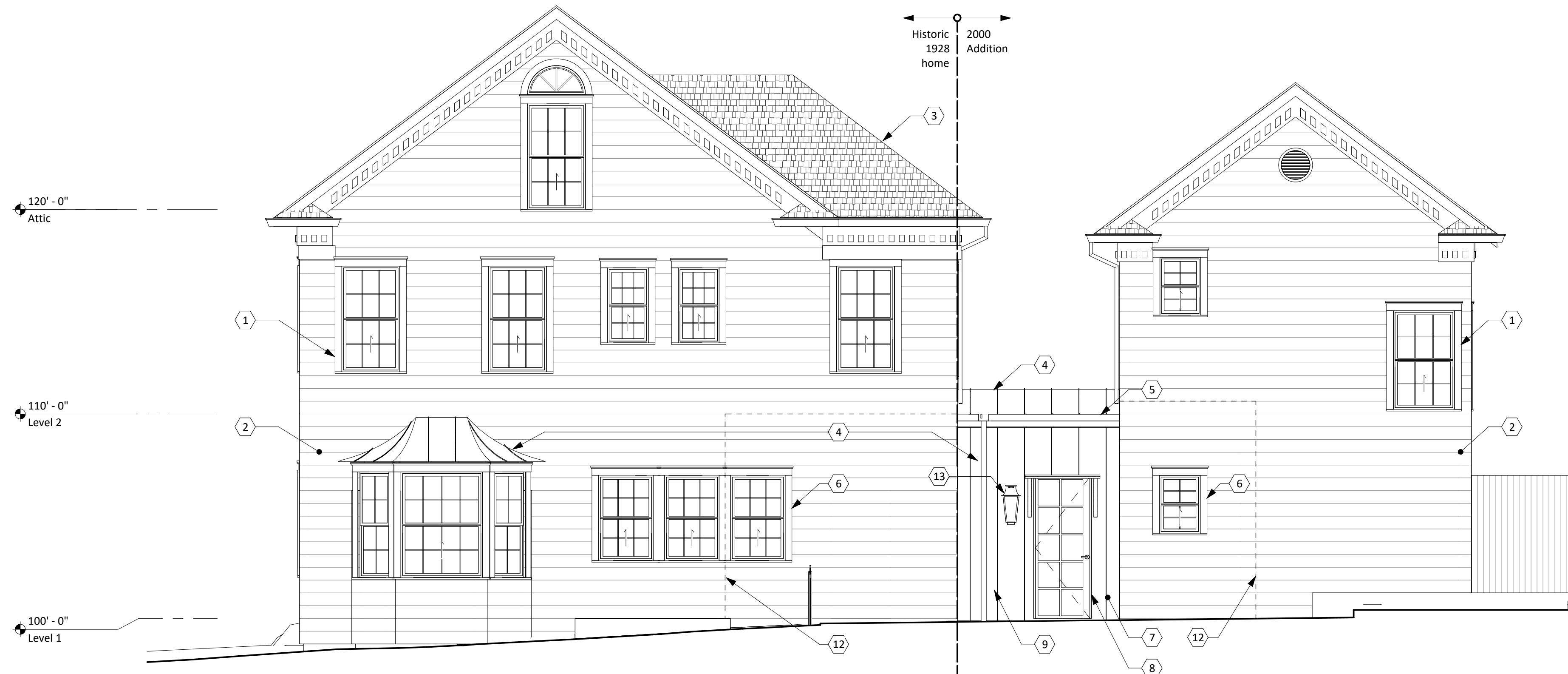
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Roof Plan

A1.31



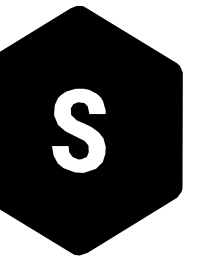
2 North Elevation - Existing
1/4" = 1'-0"



1 North Elevation - Proposed
1/4" = 1'-0"

KEYNOTES

- 1 Existing window to remain, typ.
- 2 Existing siding to remain, typ.
- 3 Existing composition roof to remain
- 4 Existing zinc roof at bay window to remain; new zinc roof and wall cladding to match the detailing and finish of the existing bay window roof
- 5 Integral gutter and scupper
- 6 New wood window, to match existing
- 7 New zinc standing seam metal cladding
- 8 New steel and glass door
- 9 New zinc downspout
- 10 Existing door awning and door, to be removed
- 11 Existing window to be removed
- 12 Extents of new siding to match existing
- 13 Exterior sconce



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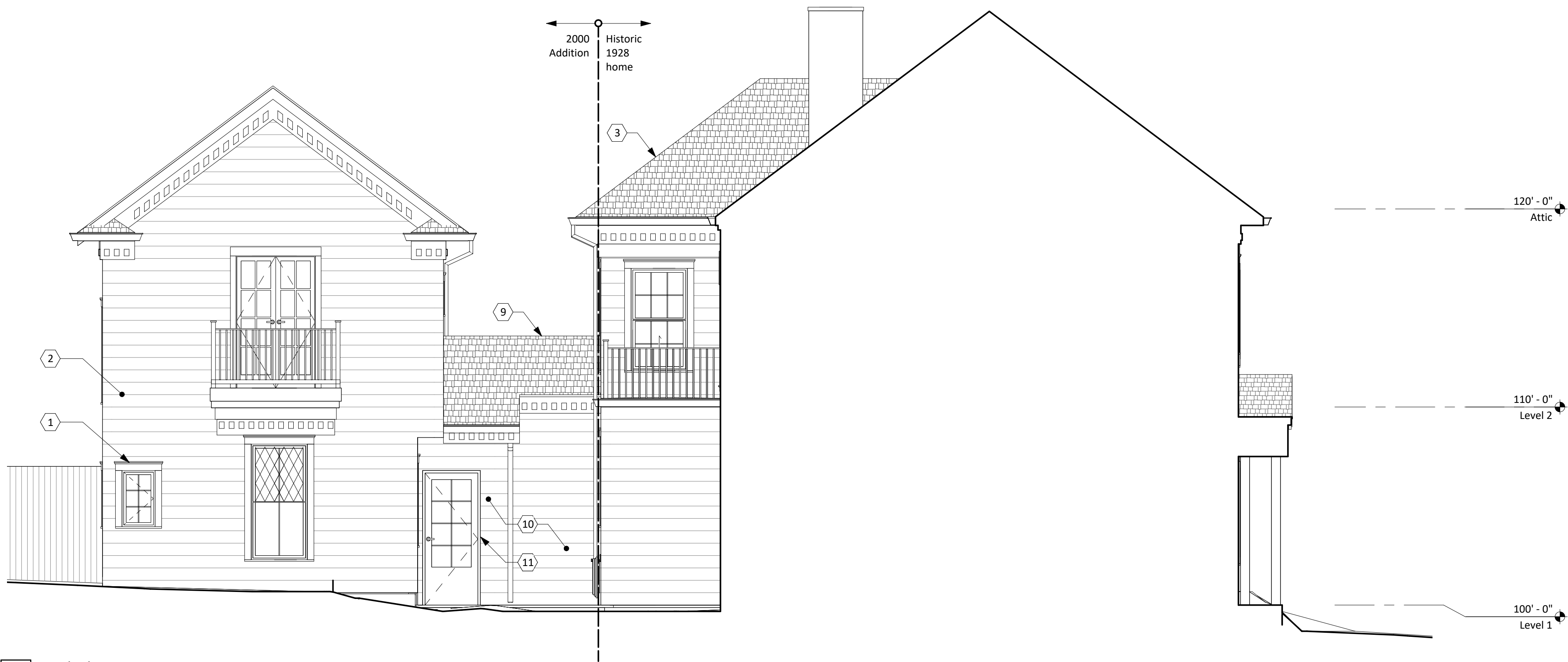
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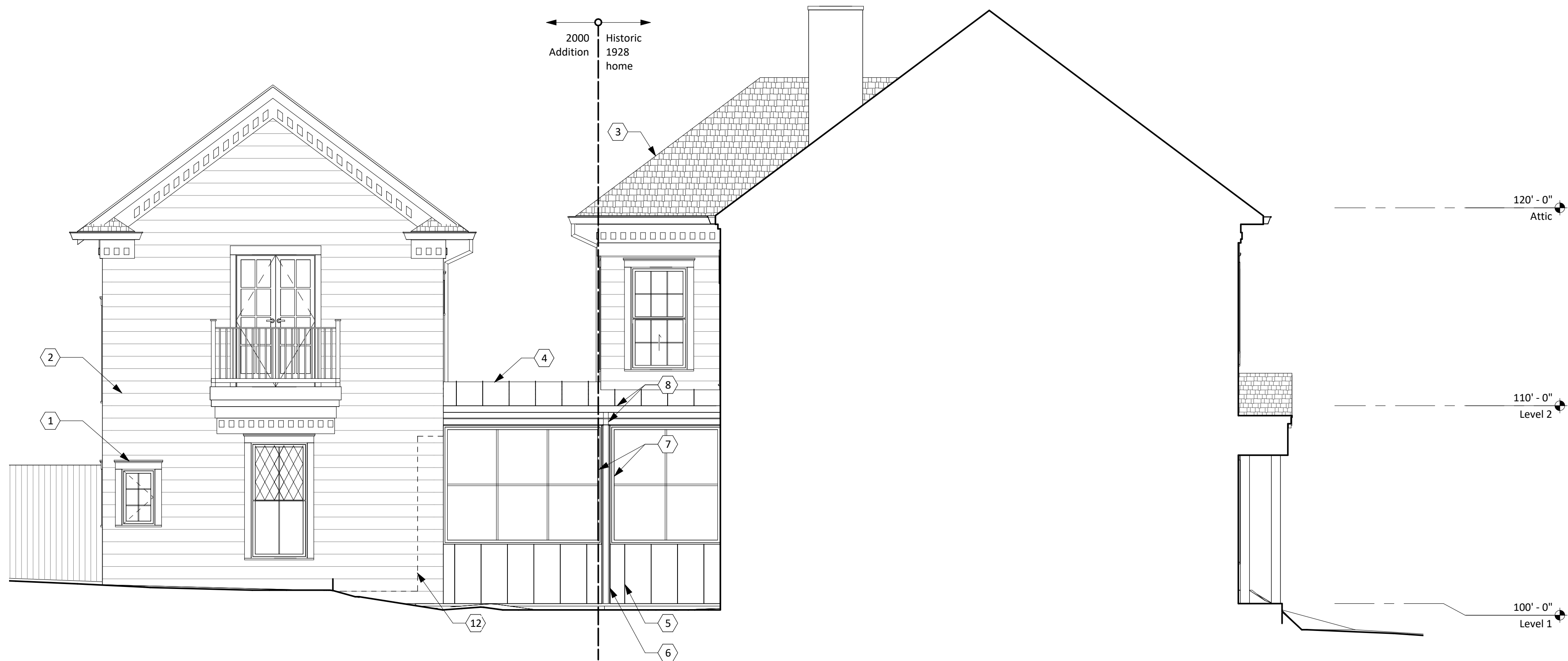
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Revisions:

Exterior
Elevations

A3.01



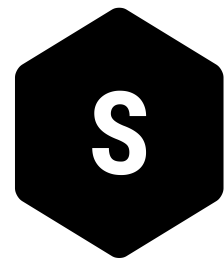
2 South Elevation - Existing
1/4" = 1'-0"



1 South Elevation - Proposed
1/4" = 1'-0"

KEYNOTES

- 1 Existing window to remain, typ.
- 2 Existing siding to remain, typ.
- 3 Existing composition roof to remain
- 4 New zinc standing seam roof; re: building section for curve dimensions
- 5 New zinc standing seam metal cladding
- 6 New zinc downspout
- 7 New steel window
- 8 Integral gutter and scupper
- 9 Existing composition roof to be demolished
- 10 Existing wall to be demolished
- 11 Existing door to be demolished
- 12 Extents of new siding to match existing



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Exterior
Elevations

A3.02