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Revisions
12/28/21 COA Permit Set



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Project:
O'CONNOR/NISMAN RESIDENCE ADDITION
2012 E 16th Street
Austin, Texas 78702

Job Number
201202

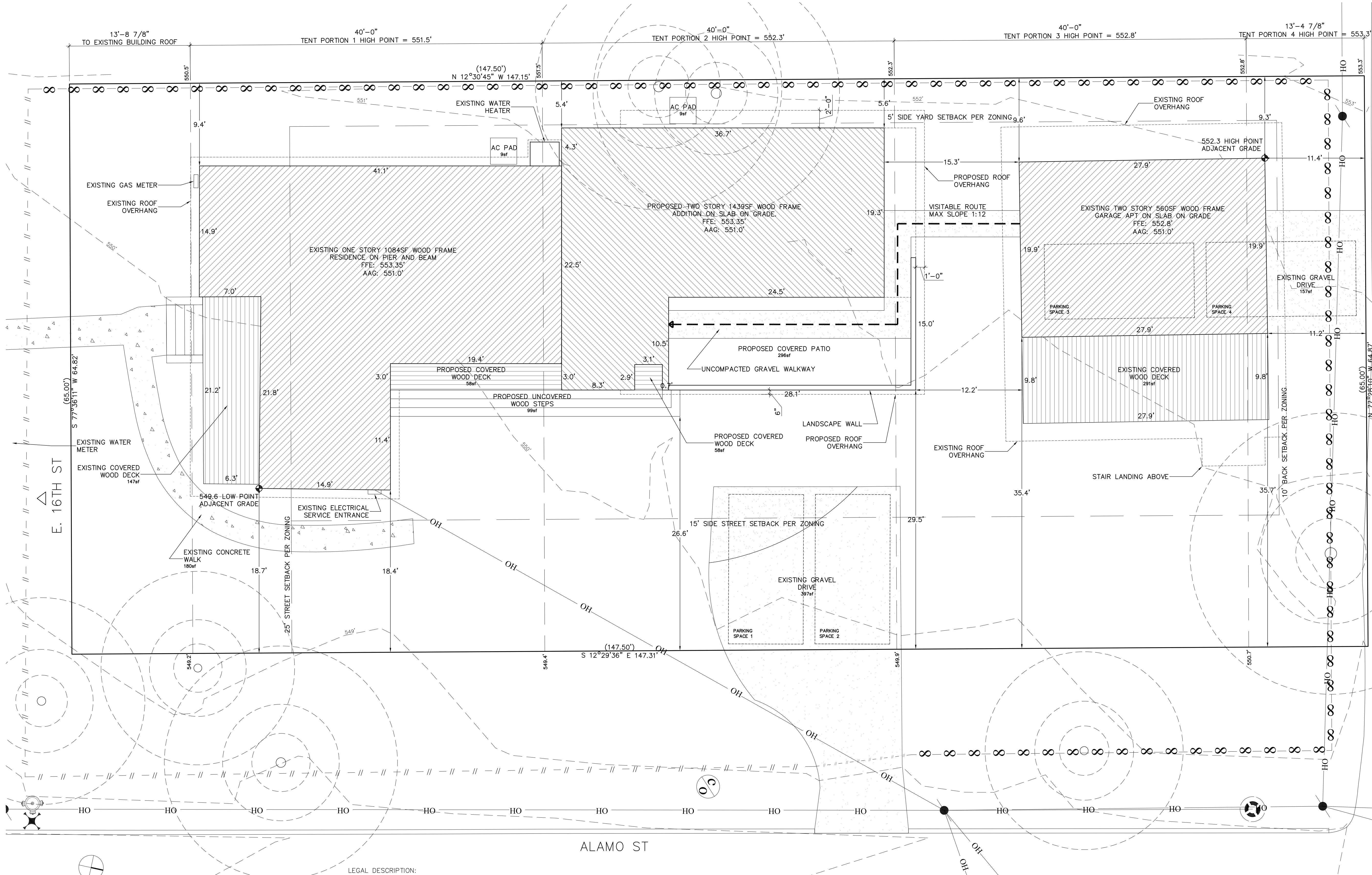
Drawing
Proposed Site Plan

Scale
3/16" = 1'-0"

Drawing Date
12/28/21

Plot Date
12/28/21

Drawing Number



*NO TREES ON SITE ARE PROTECTED

1 Site Plan

3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17

LEGAL DESCRIPTION:
LOT 6 BLOCK 4 OLT 35 DIV B CROWS SUBDIVISION

PROPERTY ZONING: SF-3-NP

LOT AREA	9,547sf
BUILDING COVERAGE	2,714sf
% BUILDING COVERAGE	28.4%
IMPERVIOUS COVERAGE	3,566.5sf
% IMPERVIOUS COVERAGE	37.4%
TOTAL GROSS FLOOR AREA	3,286sf
% FAR	34.4%

O'Connor Residence Addition

COA PERMIT SET 12/28/2021

DRAWING LIST

- A0.0 TITLE SHEET
A0.1 EXISTING PLAN WITH DEMO
A0.11 EXISTING ELEVATIONS WITH DEMO
A0.2 PROPOSED SITE PLAN
A0.4 SETBACK COMPLIANCE PLAN
A0.5 TENT ENVELOPE COMPLIANCE DRAWINGS
A1.0 GROUND FLOOR PLAN
A1.1 SECOND FLOOR PLAN
A1.2 ROOF PLAN
A3.0 ELEVATIONS
A3.1 ELEVATIONS
A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS
A4.2 WALL AND BUILDING SECTIONS
A9.0 WINDOW SCHEDULE
A9.1 DOOR SCHEDULE
P1.0 FIRST FLOOR PLUMBING PLAN
P1.1 SECOND FLOOR PLUMBING PLAN
TREE AND TOPOGRAPHIC SURVEY
S0.0 GENERAL NOTES
S0.1 GENERAL NOTES
S1.0 FOUNDATION PLAN
S1.1 SECOND FLOOR & LOWER ROOF FRAMING PLAN
S1.2 UPPER ROOF FRAMING PLAN
S1.3 FIRST FLOOR BRACED WALL PLAN
S1.4 SECOND FLOOR BRACED WALL PLAN
S2.0 FOUNDATION DETAILS
S2.1 FOUNDATION DETAILS
S3.0 FRAMING DETAILS
S3.1 FRAMING DETAILS
S3.2 TYPICAL FRAMING DETAILS
S3.3 TYPICAL FRAMING DETAILS

ABBREVIATIONS

BLDG.	BUILDING	N.T.S.	NOT TO SCALE
C.L.	CENTERLINE	O.C.	ON CENTER
CLG.	CEILING	O.D.	OUTSIDE DIAMETER (DIM.)
COL.	COLUMN	O.F.	OUTSIDE FACE
CONC.	CONCRETE	OPP.	OPPOSITE
CTR.	CENTER	PLYWD.	PLYWOOD
DEMO.	DEMOLISH, DEMOLITION	REF.	REFERENCE
DIM.	DIMENSION	REINF.	REINFORCE
DWG.	DRAWING	REQD.	REQUIRED
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	S.F.	SQUARE FT.
EXT.	EXTERIOR	SIM.	SIMILAR
FFE.	FINISH FLOOR ELEVATION	TYP.	TYPICAL
GA.	GAUGE	VAR.	VARIES
GPDW	GYPSUM DRY WALL	VIF	VERIFY IN FIELD
HRDWD.	HARDWOOD	W/	WITH
MTL.	METAL	WD.	WOOD
MIN.	MINIMUM	W/O	WITHOUT
N.I.C.	NOT IN CONTRACT		

GENERAL PROJECT NOTES

- CONSTRUCTION OF THIS PROJECT SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF THE GOVERNING JURISDICTION.
- THE DRAWINGS AND SPECIFICATIONS: THESE DETAILS COVER THE FURNISHING AND INSTALLATION OF ALL MATERIALS AND WORK AS CALLED FOR ON THE DRAWINGS AND/OR THE SPECIFICATIONS WHICH ARE BOUND SEPARATELY AND ARE PART OF THIS CONTRACT. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK WITH THE ARCHITECTURAL AND ALL OTHER CONTRACT DRAWINGS BEFORE THE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION BY NOTIFICATION FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER, ENGINEER OR DESIGNER.
- ABBREVIATIONS: THROUGHOUT THE PLANS ARE ABBREVIATIONS WHICH ARE IN COMMON USE. THE LIST OF ABBREVIATIONS PROVIDED IS NOT INTENDED TO BE COMPLETE OR REPRESENTATIVE OF CONDITIONS OR MATERIALS ACTUALLY USED ON THE PROJECT. THE ARCHITECT WILL DEFINE THE INTENT OF ANY IN QUESTION.
- SCHEDULE AND RECEIVE APPROVAL FROM GOVERNING JURISDICTION FOR ALL UTILITY INTERRUPTIONS A MINIMUM OF ONE WEEK (7 DAYS) IN ADVANCE OF NEEDED DATE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER INSTALLERS TO SECURE COMPLIANCE OF DRAWING AND SPECIFICATIONS CONCERNING THE ACCURATE LOCATION OF STRUCTURAL MEMBERS AND OPENINGS FOR MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AS WELL AS SHOP DRAWINGS AS APPROVED BY DESIGNER OR ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATION WITH APPROVED SHOP DRAWING SUBMITTALS BEFORE PROCEEDING WITH THE WORK.
- PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORIES AND MILLWORK AS REQUIRED BY APPLICABLE MANUFACTURER RECOMMENDATIONS, AND AS APPROVED BY THE DESIGNER DURING SUBMITTAL PROCESS.
- ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES' LISTINGS FOR PENETRATION THROUGH FIRE STOP SYSTEM. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS OF EACH PENETRATION WHICH SHOW COMPLIANCE TO THE U.L. LISTING TO THE ARCHITECT AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE SUPERVISING INSPECTOR.
- CONTRACTOR SHALL CONTACT DESIGNER PRIOR TO FINAL PLACEMENT OF LIGHT FIXTURES, DIFFUSERS, AND EXHAUST CEILING AND WALL FANS FOR APPROVAL.
- CONTRACTOR TO VERIFY UTILITY REQUIREMENTS TO ALL NEW FIXTURES.
- ALL EXTERIOR WALL OPENINGS, FLASHING, COUNTER-FLASHING, EXPANSION JOINTS SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF AND WATERTIGHT.
- PROVIDE GALVANIC INSULATION BETWEEN DISSIMILAR METALS.
- INSTALL DOOR FRAMES PRIOR TO WALL FINISH MATERIAL.
- ALL GYP. BOARD CONSTRUCTION TO HAVE APPROPRIATE METAL EDGE TRIM TO PROVIDE SQUARE CORNERS AND STRAIGHT EDGES.
- VERIFY ALL DIMENSIONS IN FIELD TO ENSURE PROPER CLEARANCES REQUIRED BY CODE
- INSTALL 2x6 BLOCKING 2'-10" AFF IN WALLS AROUND ALL TUBS AND SHOWERS.

DRAWING SYMBOLS

ROOM AREA	ROOM DESCRIPTION	SQUARE FOOTAGE	+	Finish Floor Elevation (FFE) Plan
1	Door Type		+	Finish Floor Elevation (FFE) Sec/Elev
A	Window Type		30'	Angle (Degrees)
3 A4.2	Wall Section SHEET NO		3 A4.2	Elevation SHEET NO
3 A4.2	Building Section SHEET NO		3 A4.2	Elevation SHEET NO
3 A4.2	Detail SHEET NO		1	Revision Mark
3	Column Line		0'-0"	Ceiling Info GPDW

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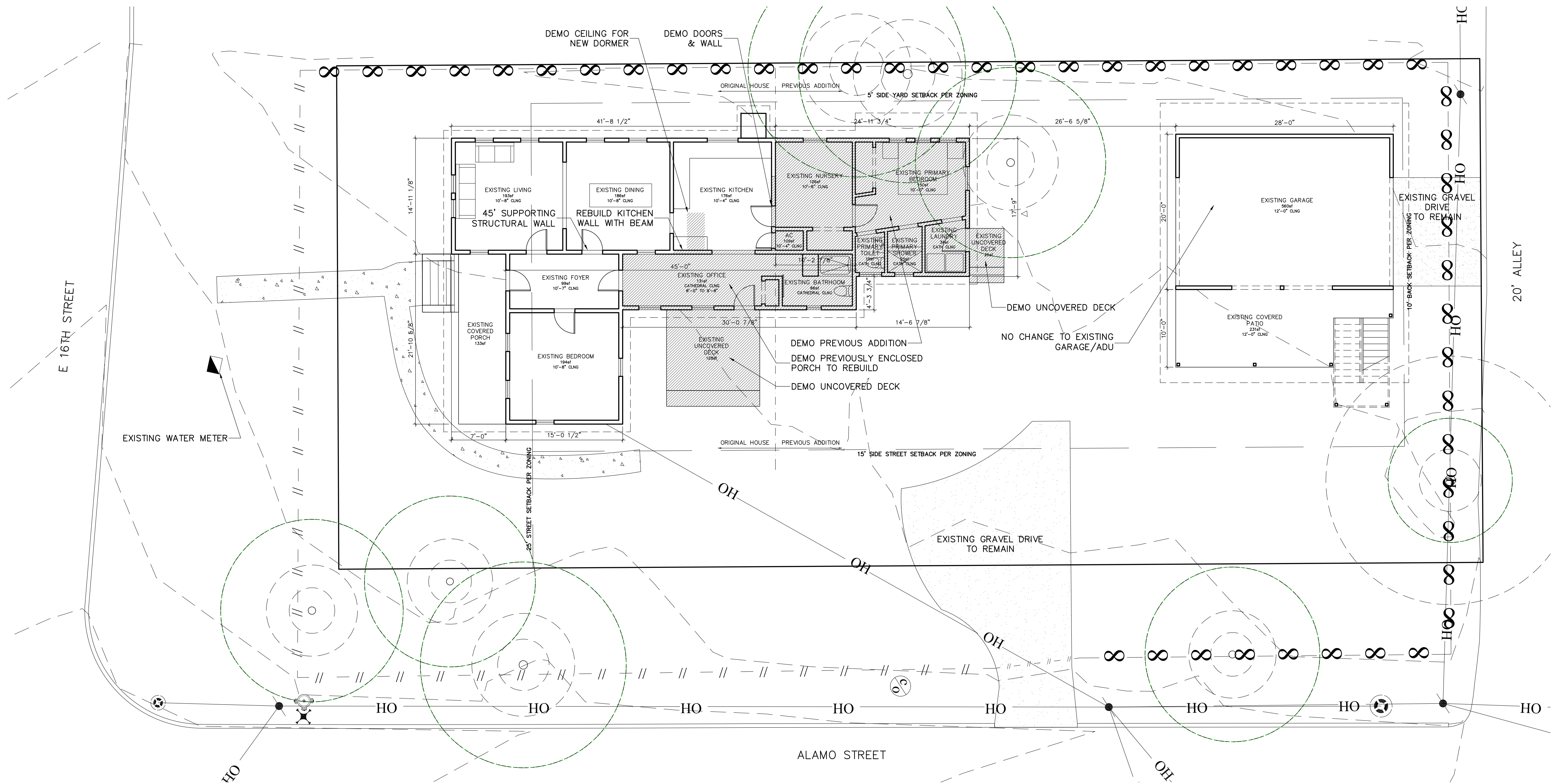
Project
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Job Number
201202
Drawing
Title Sheet

Scale

Drawing Date Plot Date
12/28/21 12/28/21

Drawing Number



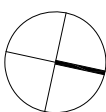
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LOT 6 BLOCK 4 OLT 35 DIV B CROWS SUBDIVISION
PROPERTY ZONING: SF-3-NP

LOT AREA
EXISTING BUILDING COVERAGE
% BUILDING COVERAGE
IMPERVIOUS COVERAGE
% IMPERVIOUS COVERAGE
TOTAL GROSS FLOOR AREA
% FAR

9,547sf
2,640sf
27.7%
3,491sf
36.6%
2,343sf
24.5%

DEMO OF EXISTING NONCOMPLYING
STRUCTURE CALCULATIONS 25-2-963(B)
TOTAL LINEAR FEET EXT WALL
TOTAL STRUCTURAL INT WALL
TOTAL EXT AND STRUCTURAL INT WALL REMOVED
% STRUCTURAL WALL REMOVED

207.0'
45.0'
101.6'
40.3%



2 Existing Site and Demo Plan

1/8" = 1'-0" printed on 22x34
1/16" = 1'-0" printed on 11x17

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Drawing
Existing Plans

Scale
1/8" = 1'-0"

Drawing Date Plot Date
12/28/21 12/28/21

Drawing Number

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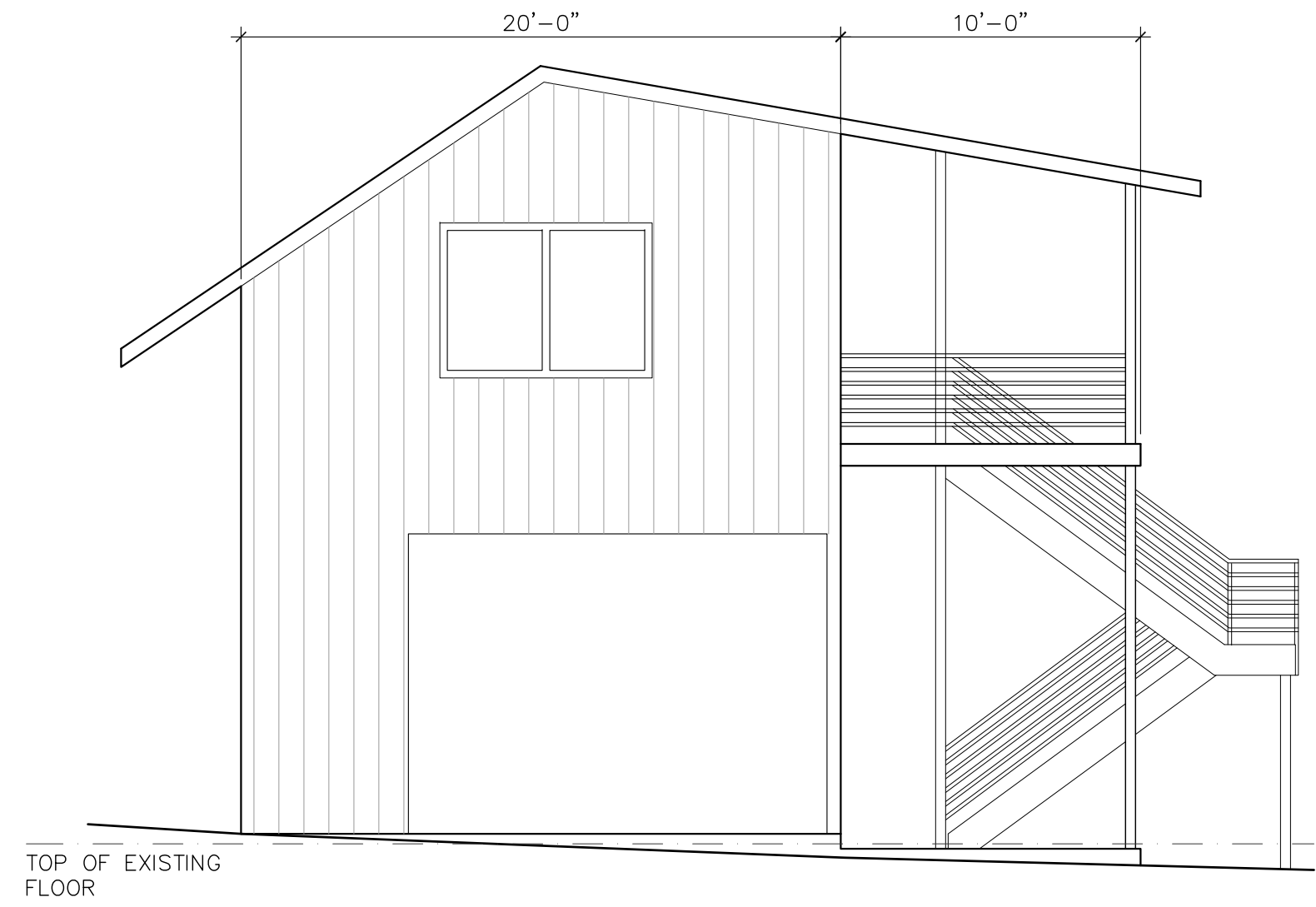


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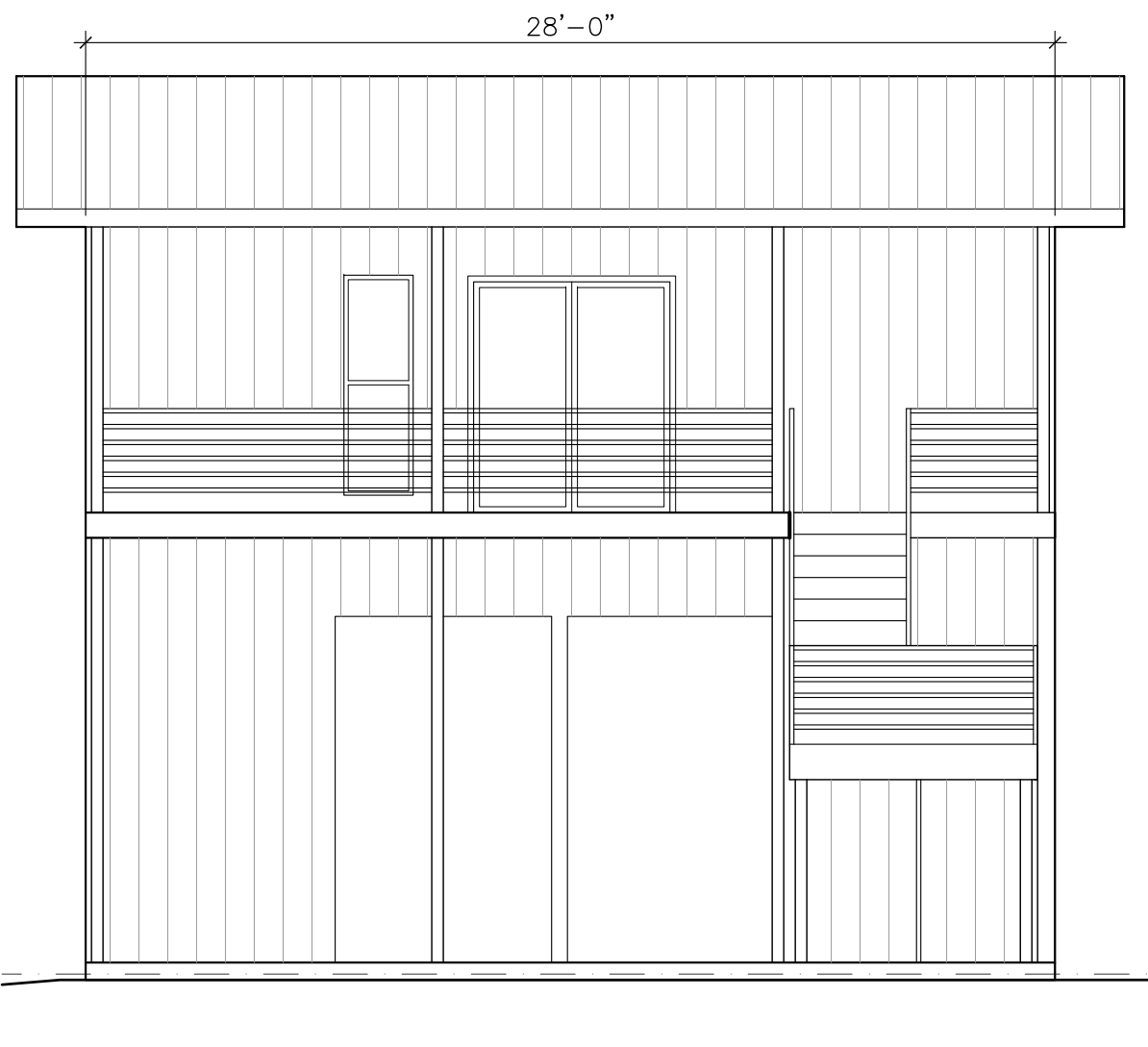
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Job Number:
201202
Drawing:
Existing Plans

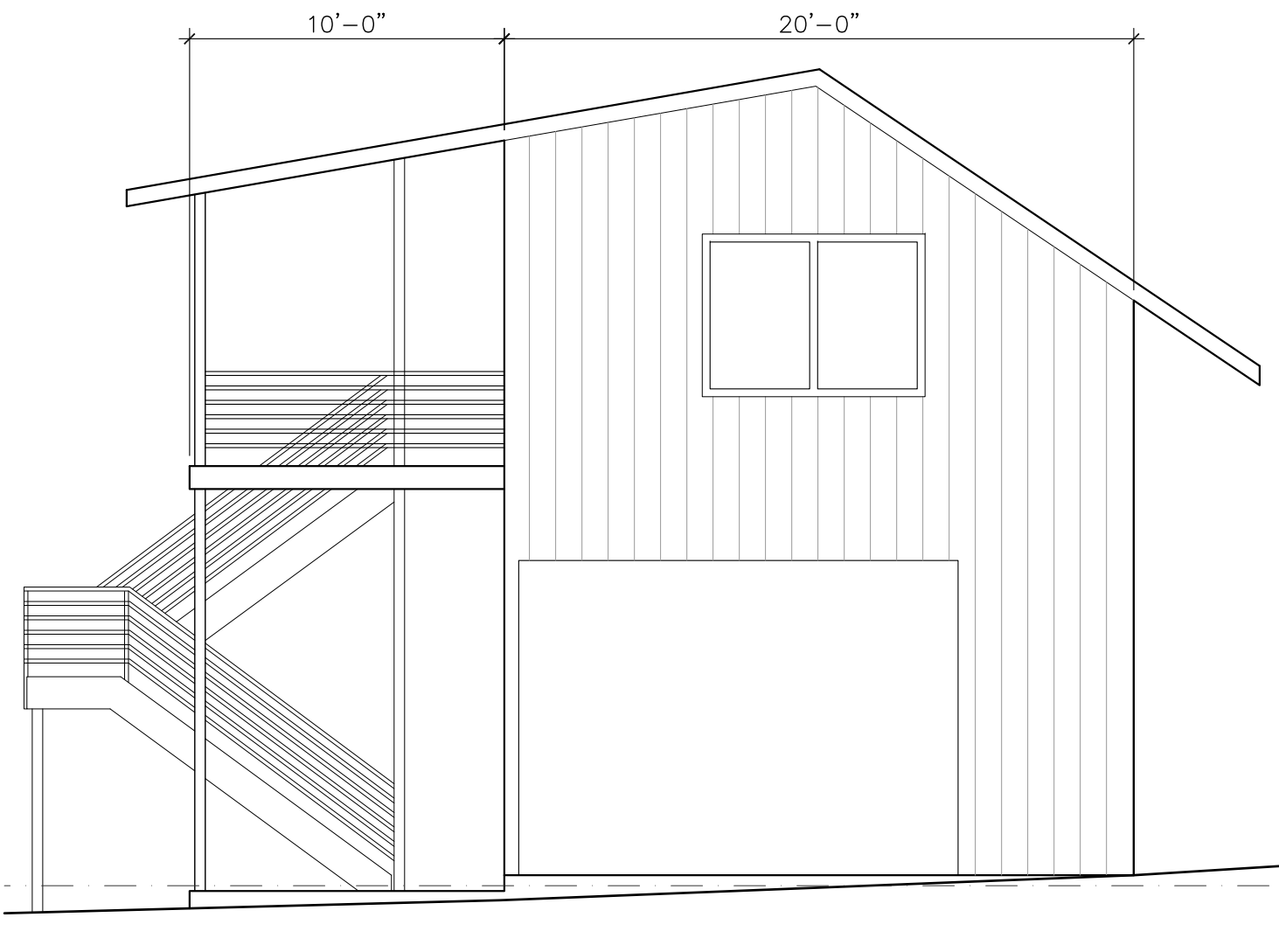
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3/16" = 1'-0"
Drawing Date: **12/28/21** Plot Date: **12/28/21**
Drawing Number:



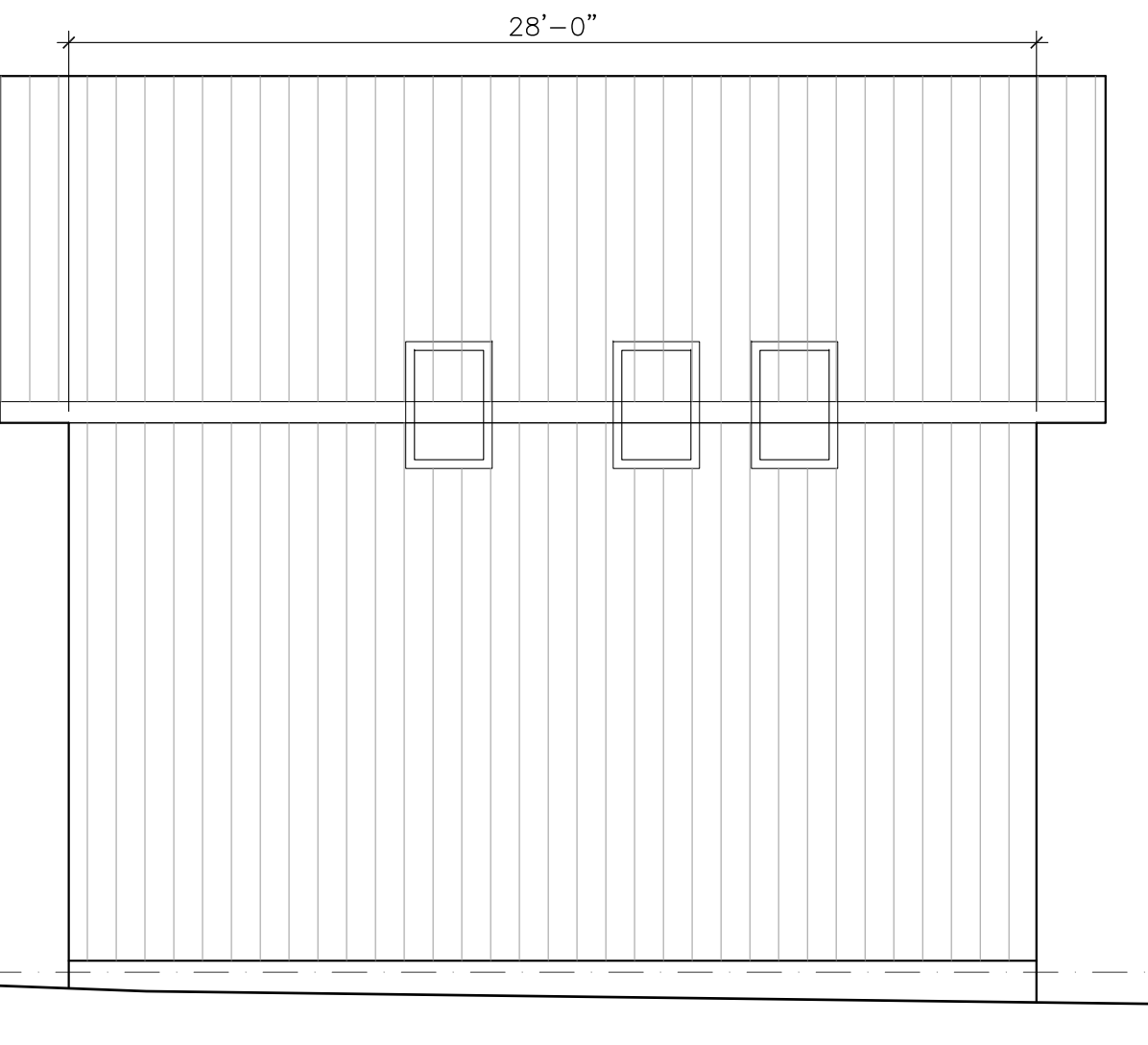
5 Existing ADU South Elevation
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



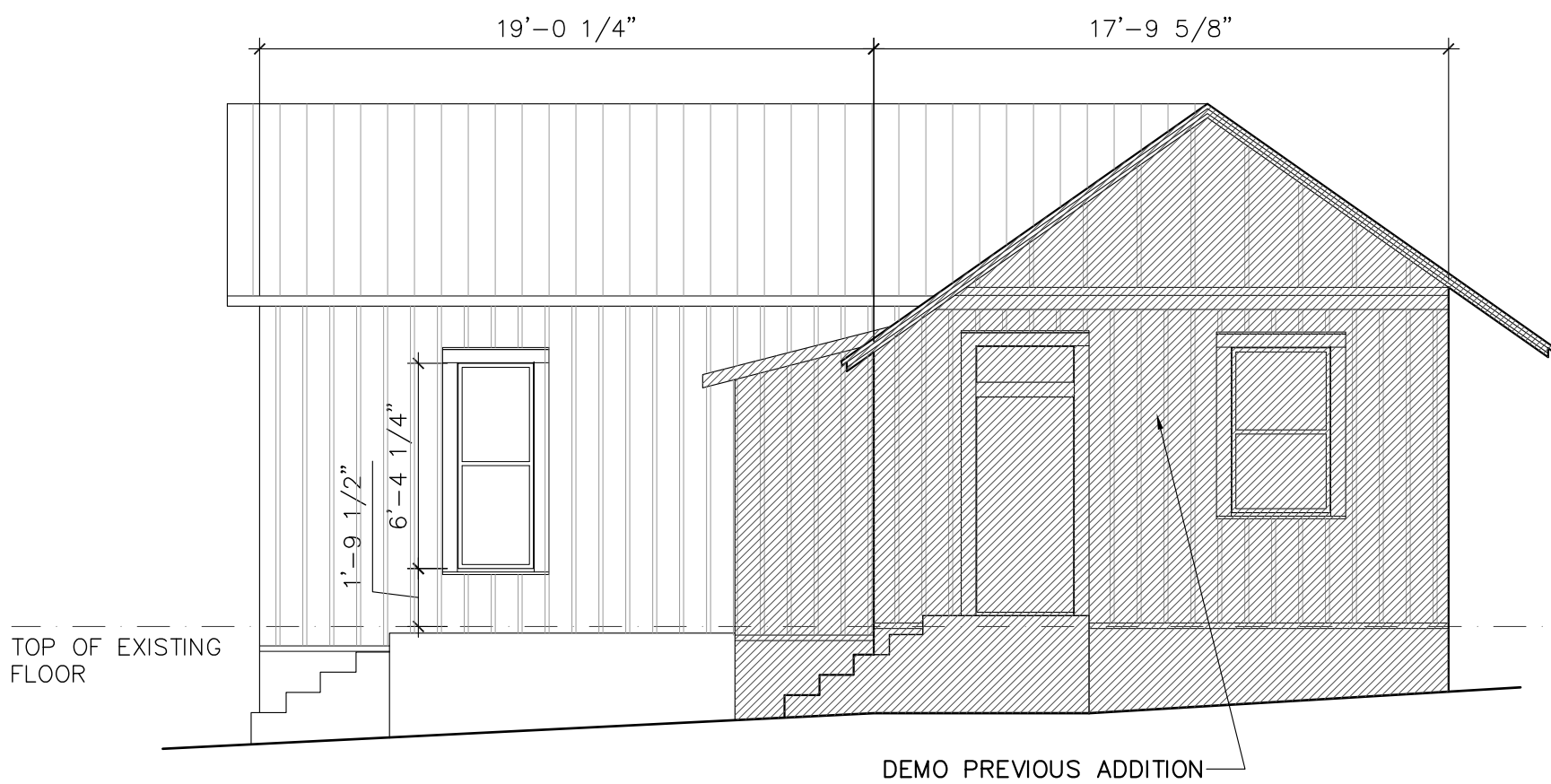
6 Existing ADU East Elevation
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



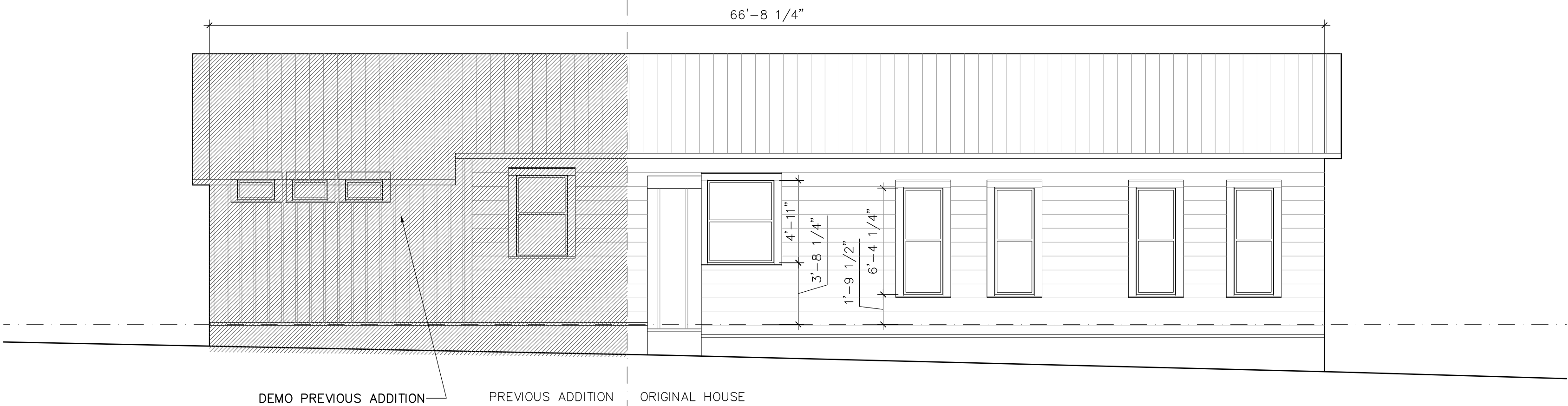
7 Existing ADU North Elevation
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



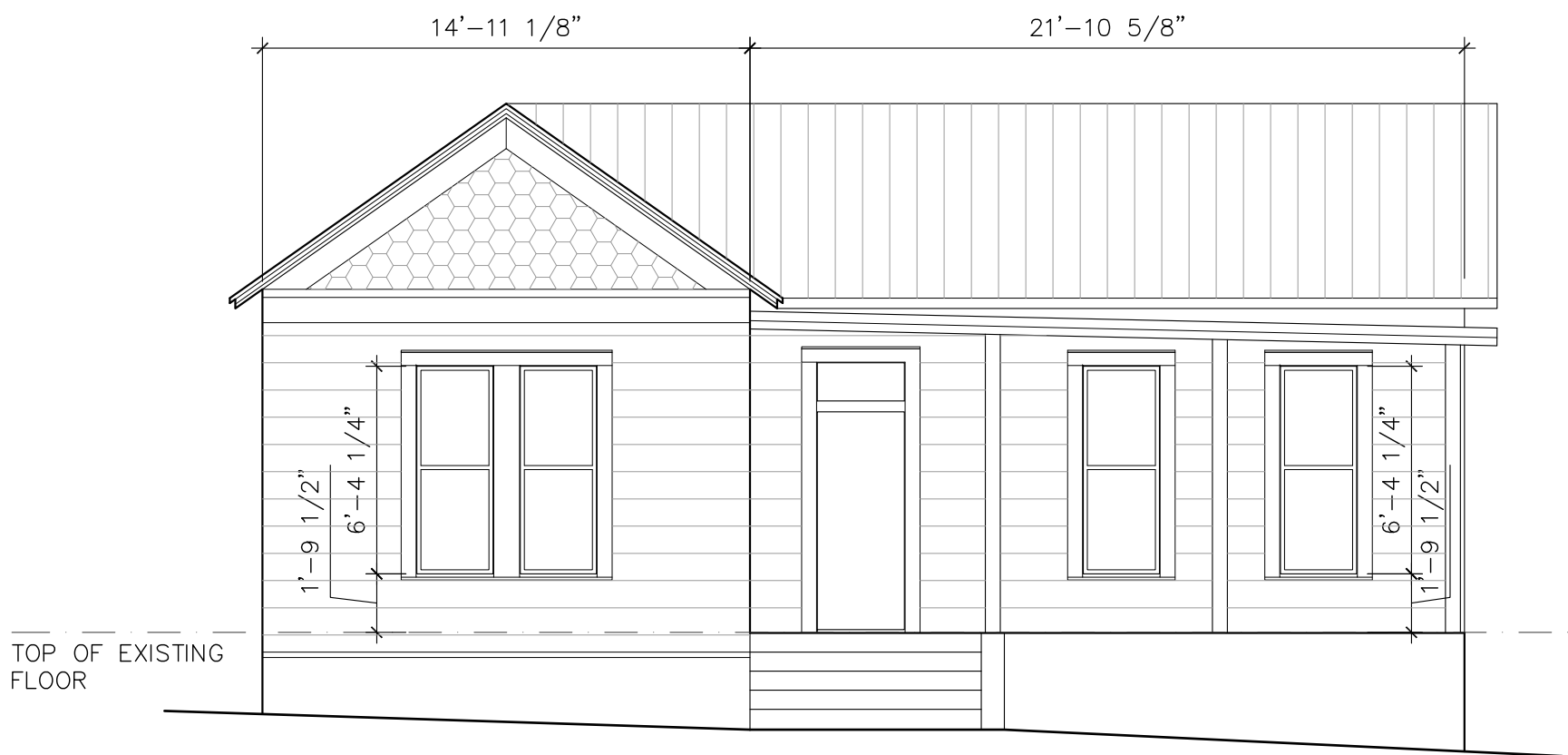
8 Existing ADU West Elevation
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



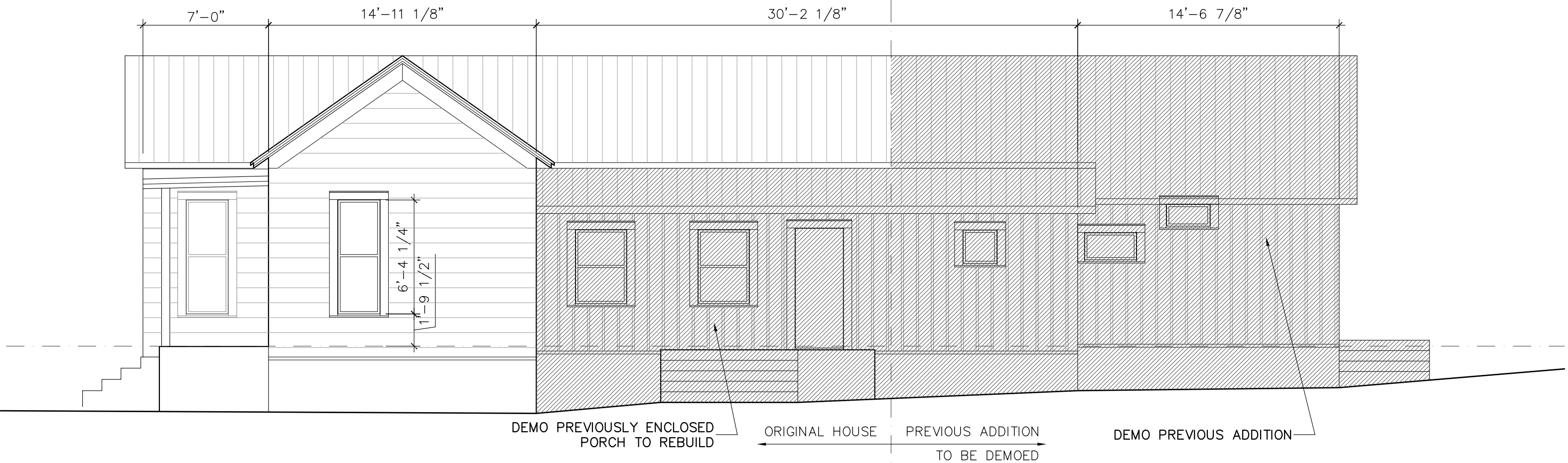
3 Existing North Elevation (Back)
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



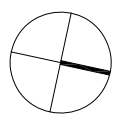
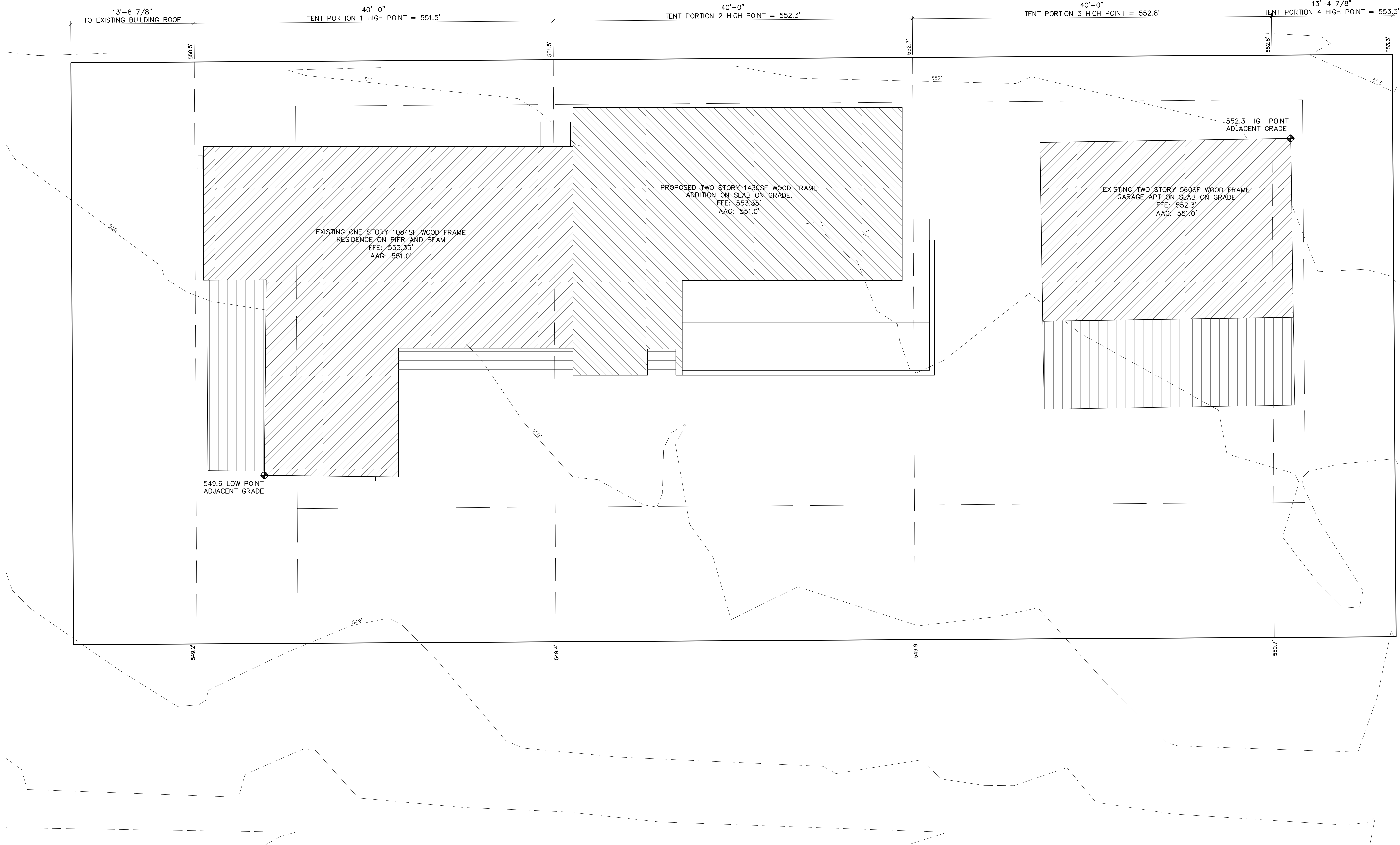
4 Existing West Elevation (Side)
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



1 Existing South Elevation (Front)
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



2 Existing East Elevation (Side Street)
3/16" = 1'-0 printed on 22x34
3/32" = 1'-0 printed on 11x17



LEGAL DESCRIPTION:
LOT 6 BLOCK 4 OLT 35 DIV B CROWS SUBDIVISION

PROPERTY ZONING: SF-3-NP

1 Setback Compliance Plan
3/16" = 1'-0" printed on 22x34
3/32" = 1'-0" printed on 11x17

LOWDO

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Job Number:
201202
Drawing:
Setback Compliance Plan

Scale:
3/16" = 1'-0"
Drawing Date Plot Date
12/28/21 12/28/21
Drawing Number

A0.4

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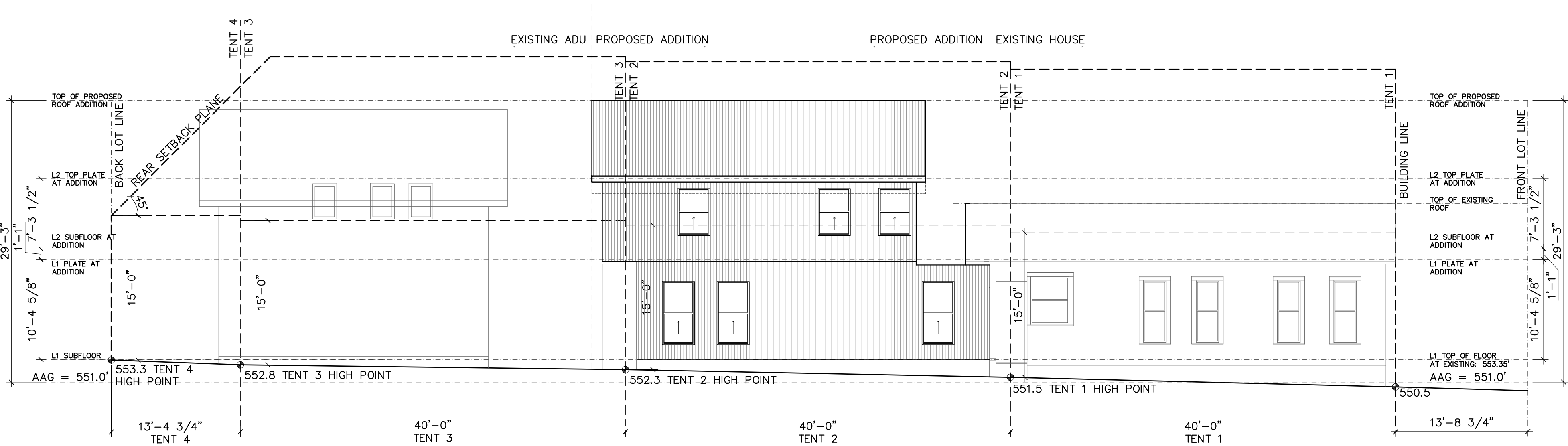


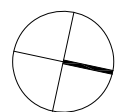
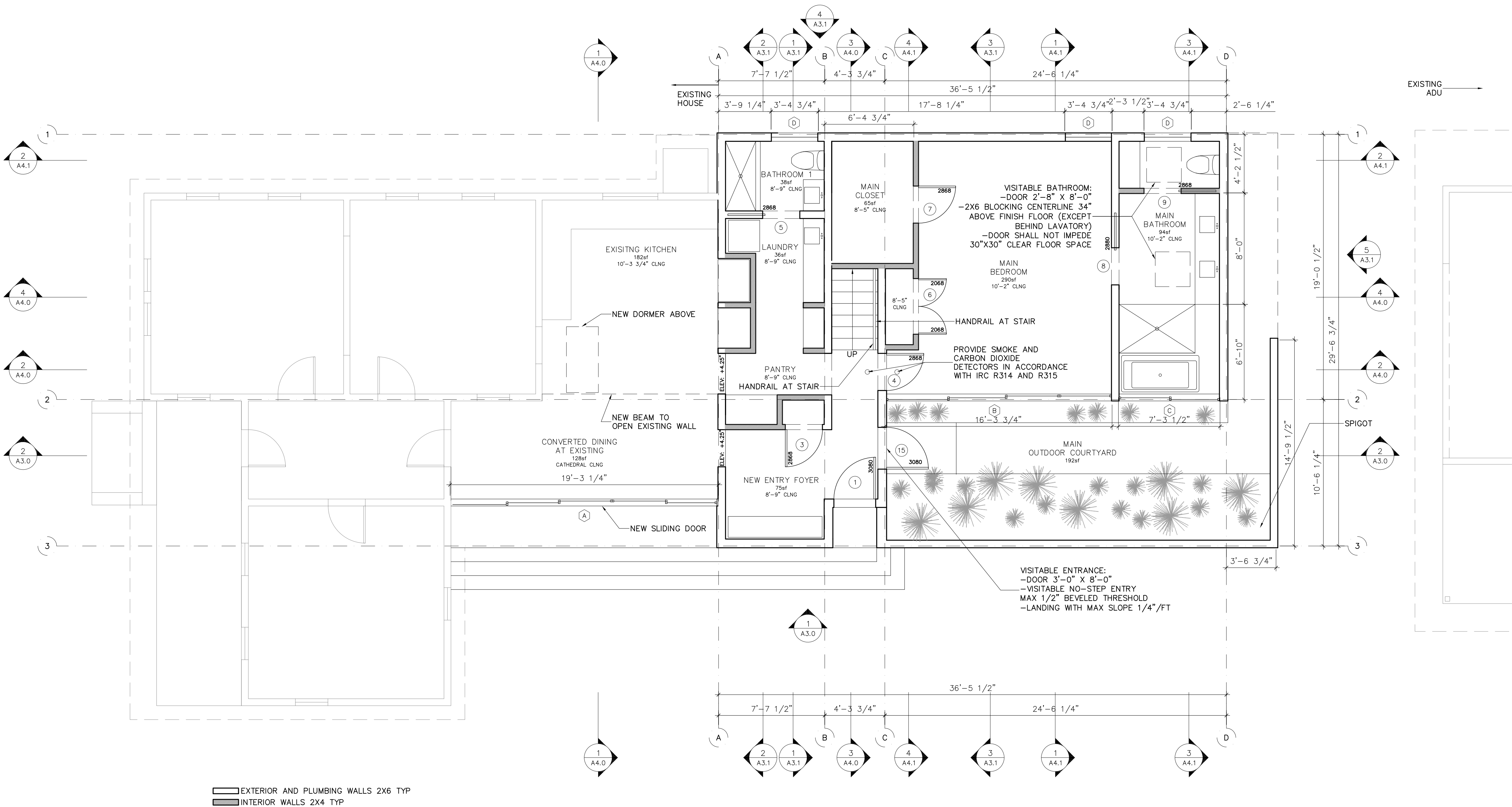
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Project
O'CONNOR/NISMAN RESIDENCE ADDITION
2012 E 16th Street
Austin, Texas 78702

Job Number
201202
Drawing
Tent Envelope Compliance Drawings

Scale
3/16" = 1'-0"
Drawing Date
12/28/21
Plot Date
12/28/21
Drawing Number





1 First Floor Plan

1/4" = 1'-0" printed on 22x34
1/8" = 1'-0" printed on 11x17

GENERAL NOTES

- ALL DIMENSIONS NOTED REFER TO STUD FRAMING, NOT FINISH MATERIALS
- PROVIDE CLOTHES DRYER EXHAUST SYSTEM AT LAUNDRY ENCLOSURE. PER IRC SECTION M1502
- PROVIDE SMOKE DETECTOR SYSTEM — HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND VICINITY. IN ACCORDANCE WITH 2012 IRC SEC R314
- INSTALL 2X6 BLOCKING 2'-10" AFF IN ALL BATHROOM WALLS
- GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER 2007 NFPA 72 CHAPTER 11.
- APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. IN ACCORDANCE WITH 2012 IRC SEC R315.1

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Job Number

201202

Drawing

Plans

Scale

1/4" = 1'-0"

Drawing Date

12/28/21

Plot Date

12/28/21

Drawing Number

A1.0

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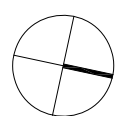
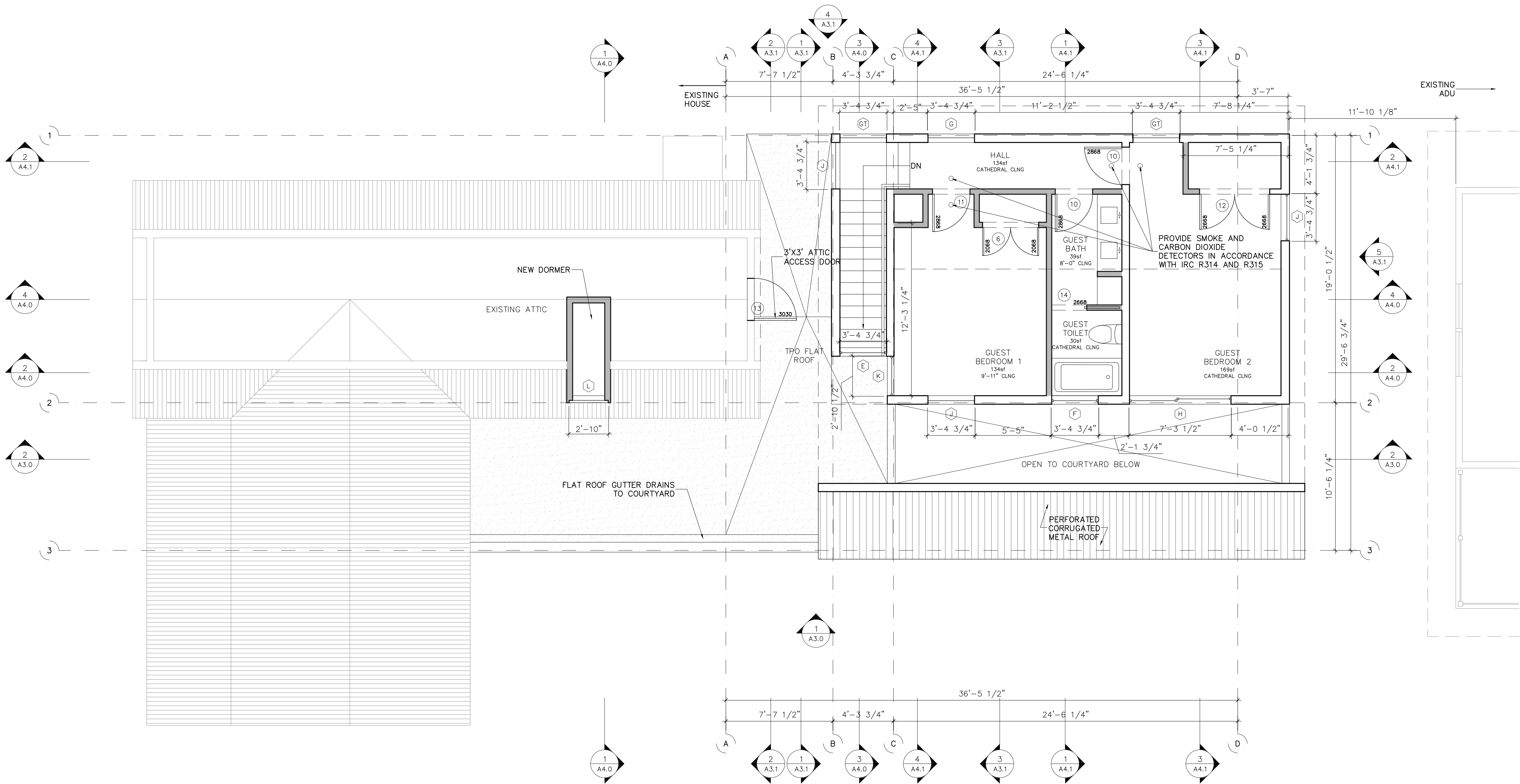


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Plot Date
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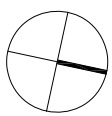
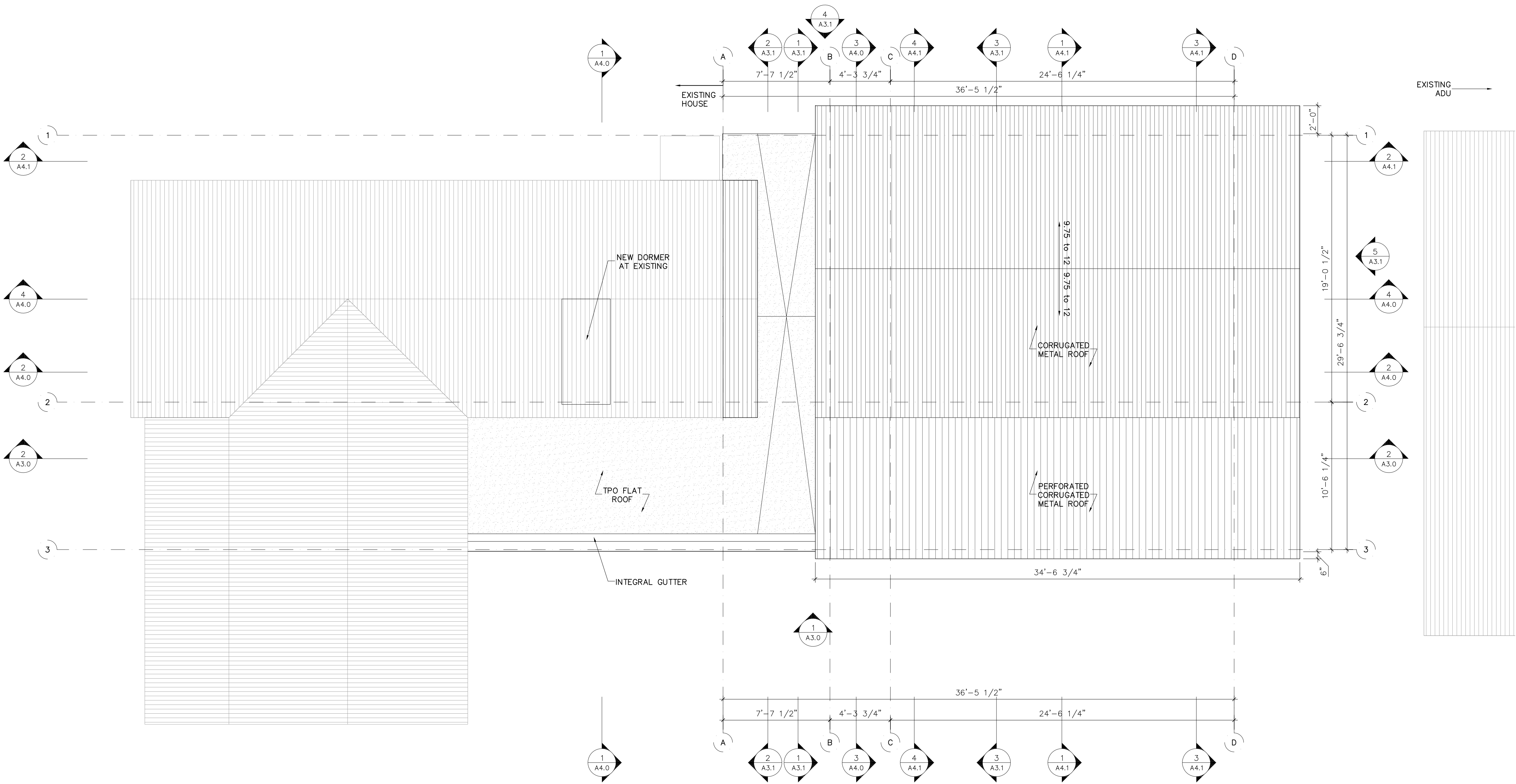


1 Second Floor Plan

1/4" = 1'-0" printed on 22x34
1/8" = 1'-0" printed on 11x17

GENERAL NOTES

- ALL DIMENSIONS NOTED REFER TO STUD FRAMING, NOT FINISH MATERIALS
- PROVIDE CLOTHES DRYER EXHAUST SYSTEM AT LAUNDRY ENCLOSURE. PER IRC SECTION M1502
- PROVIDE SMOKE DETECTOR SYSTEM — HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND VICINITY. IN ACCORDANCE WITH 2012 IRC SEC R314
- INSTALL 2X6 BLOCKING 2'-10" AFF IN ALL BATHROOM WALLS
- GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER 2007 NFPA 72 CHAPTER 11.
- APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. IN ACCORDANCE WITH 2012 IRC SEC R315.1



1 Roof Plan

1/4" = 1'-0" printed on 22x34
1/8" = 1'-0" printed on 11x17

GENERAL NOTES

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- PROVIDE CLOTHES DRYER EXHAUST SYSTEM AT LAUNDRY ENCLOSURE. PER IRC SECTION M1502
- PROVIDE SMOKE DETECTOR SYSTEM — HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND VICINITY. IN ACCORDANCE WITH 2012 IRC SEC R314
- INSTALL 2X6 BLOCKING 2'-10" AFF IN ALL BATHROOM WALLS

- GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER 2007 NFPA 72 CHAPTER 11.
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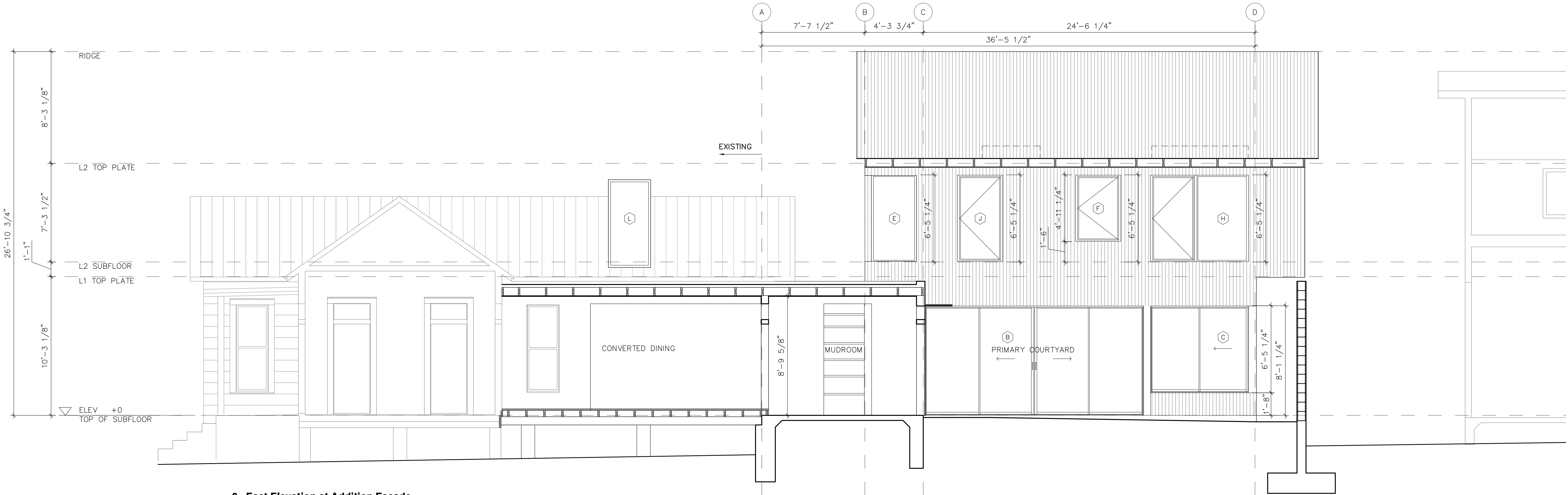
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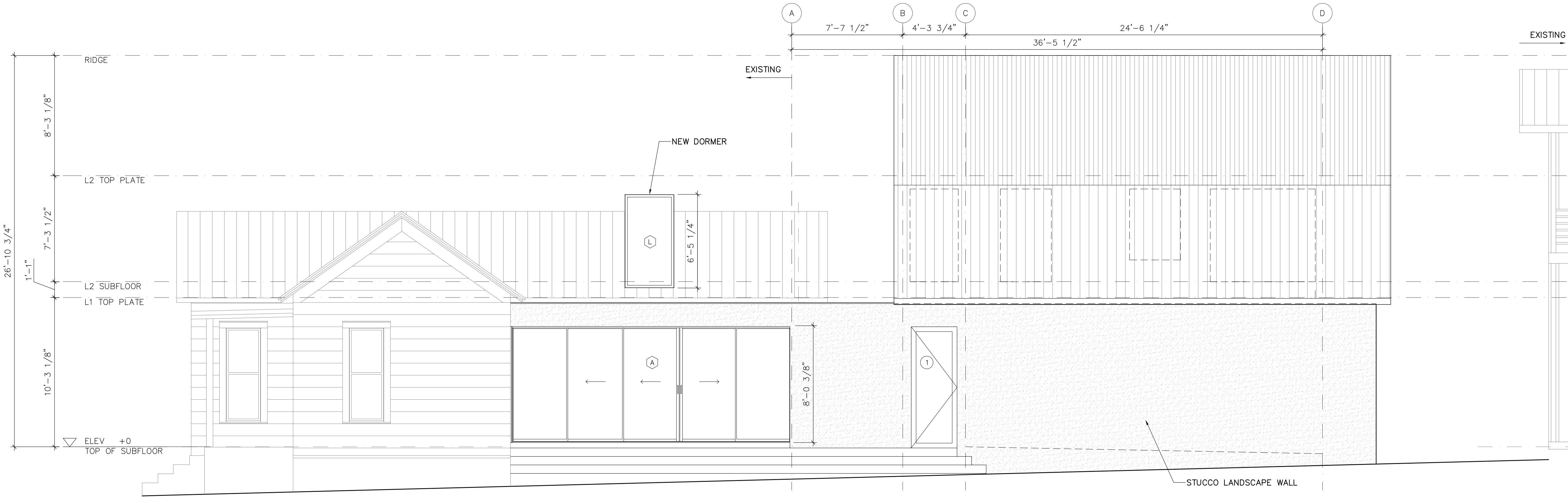
Job Number
201202
Drawing
Plans

Scale
1/4" = 1'-0"
Drawing Date
12/28/21
Plot Date
12/28/21

Drawing Number



2 East Elevation at Addition Facade
1/4" = 1'-0" printed on 22x34
1/8" = 1'-0" printed on 11x17



1 East Elevation @ Landscape Wall
1/4" = 1'-0" printed on 22x34
1/8" = 1'-0" printed on 11x17

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Revisions
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Project
O'CONNOR/NISMAN RESIDENCE ADDITION
2012 E 16th Street
Austin, Texas 78702

Job Number
201202
Drawing
Elevations

Scale
1/4" = 1'-0"
Drawing Date
12/28/21
Plot Date
12/28/21

Drawing Number

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Job Number
201202

Drawing
Elevations

Scale
1/4" = 1'-0"

Drawing Date Plot Date
12/28/21 12/28/21

Drawing Number

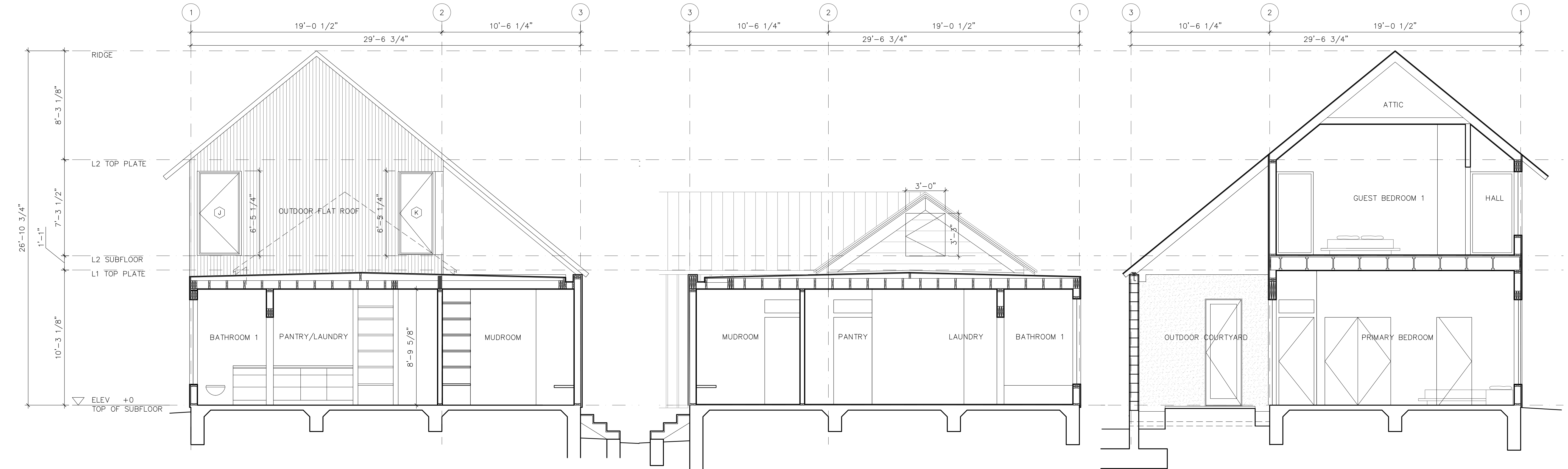


4 West Elevation

1/4" = 1'-0 printed on 22x34
1/8" = 1'-0 printed on 11x17

5 North Elevation

1/4" = 1'-0 printed on 22x34
1/8" = 1'-0 printed on 11x17



1 South Elevation at Addition

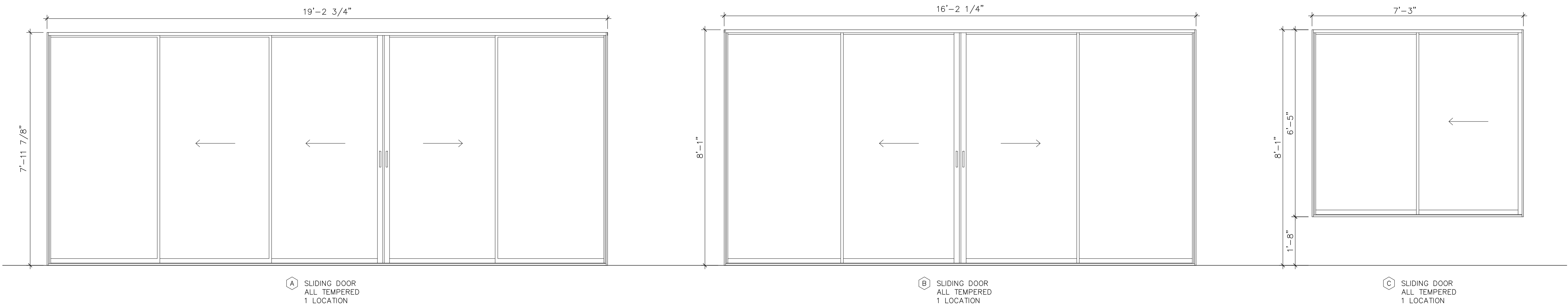
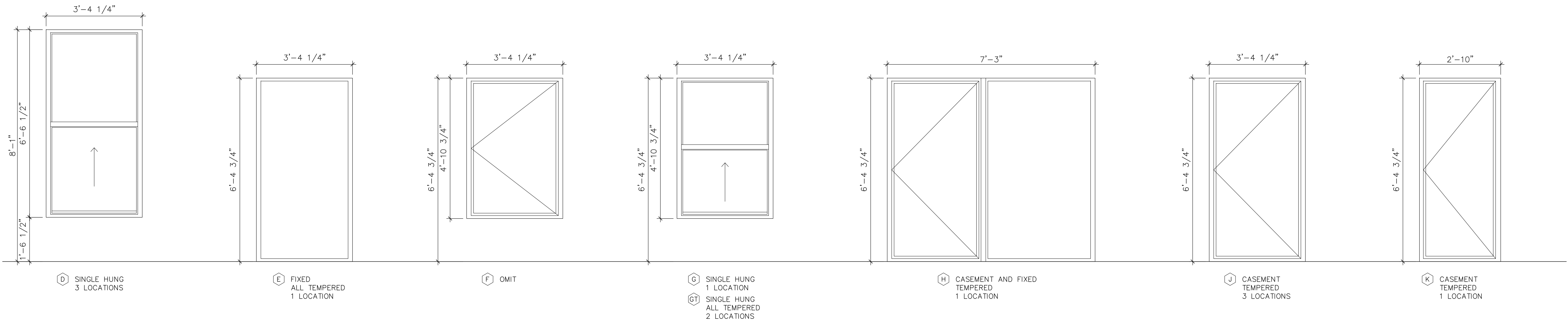
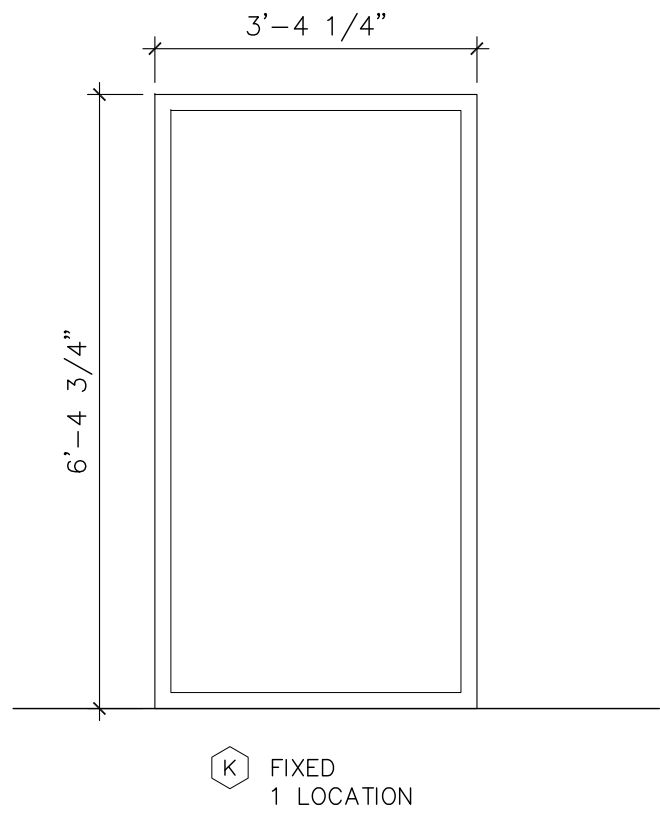
1/4" = 1'-0 printed on 22x34
1/8" = 1'-0 printed on 11x17

2 North Elevation @ Connection to Existing

1/4" = 1'-0 printed on 22x34
1/8" = 1'-0 printed on 11x17

3 North Elevation @ Courtyard Wall

1/4" = 1'-0 printed on 22x34
1/8" = 1'-0 printed on 11x17



1 Window Schedule

1/2" = 1'-0" printed on 22x34
1/4" = 1'-0" printed on 11x17

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Project
O'CONNOR/NISMAN RESIDENCE ADDITION
2012 E 16th Street
Austin, Texas 78702

Job Number
201202
Drawing
Window & Sliding Door Schedule

Scale
1/2" = 1'-0"
Drawing Date
11/09/21
Plot Date
11/09/21
Drawing Number

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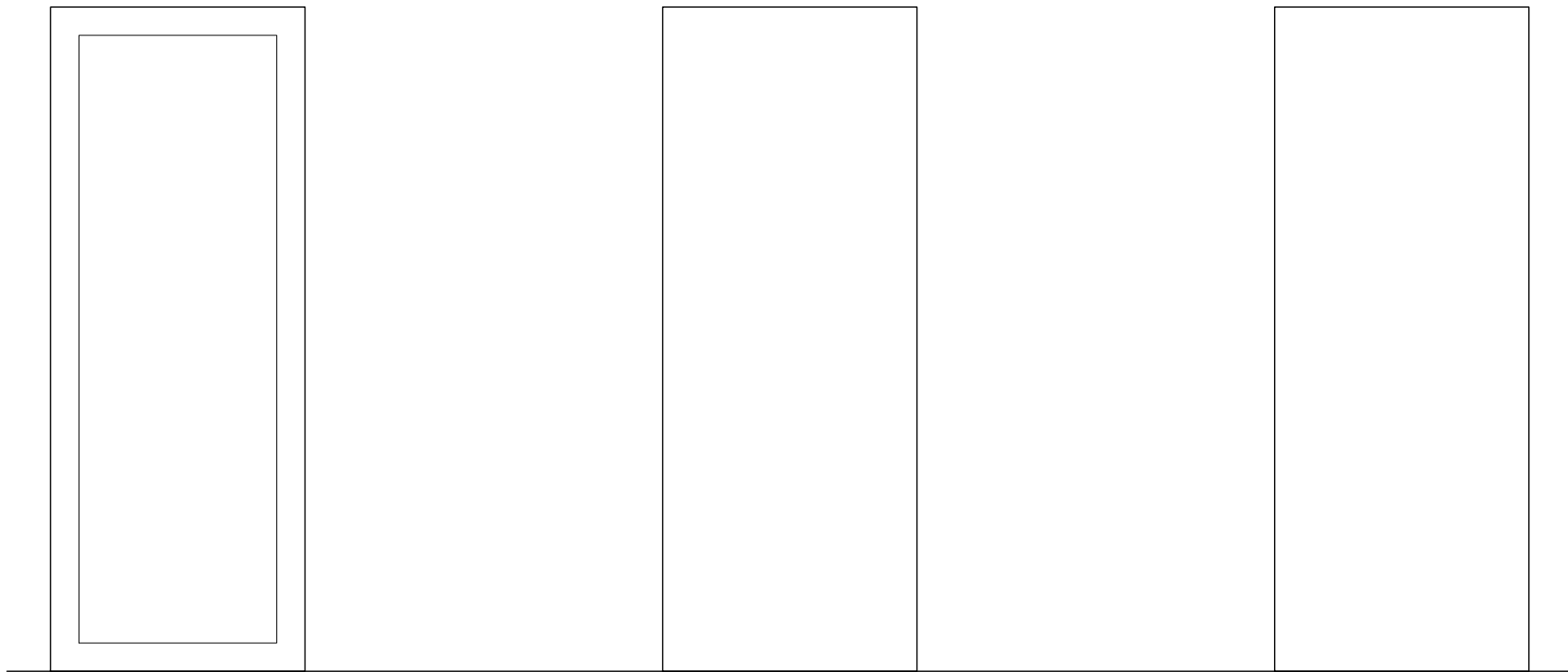


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Project
O'CONNOR/NISMAN RESIDENCE ADDITION
2012 E 16th Street
Austin, Texas 78702

Job Number
201202
Drawing
Door Schedule

Scale
1/2" = 1'-0"
Drawing Date Plot Date
12/28/21 12/28/21
Drawing Number



A ENTRY W/ FULL LITE
B HOLLOW CORE FLUSH PANEL
C SOLID CORE FLUSH PANEL

DOOR SCHEDULE													
DOOR	DOOR SIZE		DOOR						FRAME		JAMB	HDWR	REMARKS
#	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	FINISH	GLAZ.	SWING	MAT'L	FINISH		TYPE	
1	3'-0"	8'-0"	1 3/8"	A	COMPOSITE	PAINT	TEMPERED LOW E W/ ARGON GAS	RIGHT -- IN	WD	PAINT	6 9/16"	ENTRY	FIELD VERIFY R.O.
2	2'-8"	6'-8"	1 3/8"	A	COMPOSITE	PAINT	TEMPERED LOW E W/ ARGON GAS	RIGHT -- OUT	WD	PAINT	6 9/16"	ENTRY	FIELD VERIFY R.O.
3	2'-8"	6'-8"	1 3/8"	B	MDF	PAINT	—	RIGHT -- OUT	WD	PAINT	4 9/16"	PASSAGE	FIELD VERIFY R.O.
4	2'-8"	6'-8"	1 3/8"	C	MDF	PAINT	—	LEFT -- IN	WD	PAINT	6 9/16"	PRIVACY	FIELD VERIFY R.O.
5	2'-8"	6'-8"	1 3/8"	C	MDF	PAINT	—	POCKET	WD	PAINT	6 9/16"	POCKET P	FIELD VERIFY R.O.
6	2'-0" DOUBLE	6'-8"	1 3/8"	B	MDF	PAINT	—	OUT	WD	PAINT	4 9/16"	DUMMY	FIELD VERIFY R.O.
7	2'-8"	6'-8"	1 3/8"	B	MDF	PAINT	—	LEFT -- OUT	WD	PAINT	4 9/16"	PASSAGE	FIELD VERIFY R.O.
8	2'-8"	8'-0"	1 3/8"	C	MDF	PAINT	—	POCKET	WD	PAINT	6 9/16"	POCKET P	FIELD VERIFY R.O.
9	2'-8"	6'-8"	1 3/8"	C	MDF	PAINT	—	POCKET	WD	PAINT	4 9/16"	POCKET P	FIELD VERIFY R.O.
10	2'-8"	6'-8"	1 3/8"	C	MDF	PAINT	—	RIGHT -- IN	WD	PAINT	4 9/16"	PRIVACY	FIELD VERIFY R.O.
11	2'-8"	6'-8"	1 3/8"	C	MDF	PAINT	—	LEFT -- IN	WD	PAINT	4 9/16"	PRIVACY	FIELD VERIFY R.O.
12	2'-6" DOUBLE	6'-8"	1 3/8"	B	MDF	PAINT	—	OUT	WD	PAINT	4 9/16"	DUMMY	FIELD VERIFY R.O.
13	3'-0"	3'-0"	1 3/8"	C	COMPOSITE	PAINT	—	RIGHT -- OUT	WD	PAINT	4 9/16"	ENTRY	FIELD VERIFY R.O.
14	2'-6"	6'-8"	1 3/8"	C	MDF	PAINT	—	POCKET	WD	PAINT	4 9/16"	POCKET P	FIELD VERIFY R.O.
15	3'-0"	8'-0"	1 3/8"	A	COMPOSITE	PAINT	TEMPERED LOW E W/ ARGON GAS	RIGHT -- OUT	WD	PAINT	6 9/16"	ENTRY	FIELD VERIFY R.O.

HARDWARE						
HARDWARE	HANDLE		LOCKSET			MISCELLANEOUS
GROUP	TYPE	FINISH		DEADBOLT	KEYED	
ENTRY	LEVER	BRUSHED NICKEL	ENTRY FUNCTION	KEYLOCK ON ONE SIDE, THUMBTURN LATCH OPP	KEYED ALIKE	SILL AND WEATHERSTRIPPING
PASSAGE	LEVER	BRUSHED NICKEL	NONE	—	—	—
PRIVACY	LEVER	BRUSHED NICKEL	PRIVACY FUNCTION	—	—	—
POCKET P	FLUSH	BRUSHED NICKEL	PRIVACY FUNCTION	—	—	—
BIFOLD	GRAB	BRUSHED NICKEL	NONE	—	—	BIFOLD HARDWARE
BYPASS	FLUSH	BRUSHED NICKEL	NONE	—	—	TOP HUNG BYPASS HARDWARE
DUMMY	LEVER	BRUSHED NICKEL	NONE	—	—	LEVER ONE SIDE ONLY WITH BALLCATCH