

CSP# CLM B339



BID DOCUMENTS FIRST ADVERTISEMENT DATE: XXX

200 ARNULFO ALONZO WAY AUSTIN, TEXAS 78704

ARCHITECTS
Limbacher & Godfrey Architects, Inc.
2124 East Sixth Street, Suite 102
Austin, Texas 78703
Ph: 512-450-1518, Fax: 512-320-1518
email: info@limbacher-godfrey.com

Sparks Engineering, Inc.
933 North Flores Street
San Antonio, Texas 78212
Ph: 210-229-0669
email: pat@sparksengineering.com

ACR Engineering, Inc.
3001 S. Lamar, Suite 210
Austin, Texas 78704
Ph: 512-440-8333
email: rtroncoso@acreng.com

Doucet & Associates
7401B Highway 71 West, Suite 160
Austin, Texas 78735
Ph: 512-583-2622
email: zxing@doucetengineers.com

Asakura Robinson
1224 E. 12th Street, #310
Austin, Texas 78702
Ph: 512-351-9601, Fax: 832-201-7198
email: brendan@asakurarobinson.com

1634 E. Cesar Chavez
Austin, Texas 78702
Ph: 512-476-7733
email: croberts@fd2s.com

SPONSORING DEPARTMENT
Parks and Recreation Department
Kimberly McNeeley, Director

Parks and Recreation Department
Kimberly McNeeley, Director

Parks and Recreation Department
Ellen Colfax
919 West 28 1/2 Street
Austin, Texas 78705
Ph: 512-974-9506
email: ellen.colfax@austintexas.gov

Mayor Steve Adler
Council Member Natasha Harper-Madison
Council Member Vanessa Fuentes
Council Member Sabino Renteria
Council Member Gregorio Casar
Council Member Ann Kitchen
Council Member Mackenzie Kelly
Council Member Leslie Pool
Council Member Paige Ellis
Council Member Kathie Tovo
Council Member Alison Alter

City Manager Spencer Cronk

A map of the Zilker Clubhouse area. The Zilker Clubhouse is marked with a square icon and labeled. Streets shown include Mo-Pac Blvd, North Lamar Blvd, East Sixth Street, East Fifth Street, Cesar Chavez, Barton Springs Road, and Riverside Drive. A north arrow is present, indicating True North and Plan North.

| | |
|-------|--------------------------|
| | COVER |
| T1.01 | COVER, Index of Drawings |
| T1.02 | Design Data |

| | |
|------|---------------------------------------|
| C101 | General Notes |
| C102 | Overall Existing Conditions |
| C103 | Exstg Clubhouse Site and Demolition |
| C200 | ES Control Overall Sheet |
| C201 | ES Control Plan Sheet 1 |
| C202 | ES Control Plan Sheet 2 |
| C203 | ES Control Plan Sheet 3 |
| C204 | ES Control Detail and Tree List Sheet |
| C300 | Overall Site Plan |
| C301 | Site Plan Sheet 1 |
| C302 | Site Plan Sheet 2 |
| C400 | Grading Plan and Drainage Sheet |
| C401 | Grading Plan and Drainage Sheet 2 |
| C500 | Grading Plan and Drainage Sheet |

| | |
|-------|----------------------|
| L1.00 | Hardscape Plan |
| L1.01 | Hardscape Details |
| L1.02 | Hardscape Plan |
| L1.03 | Hardscape Details |
| L3.00 | Irrigation Plan |
| L3.01 | Irrigation Details |
| L4.00 | Planting Plan |
| L4.01 | Planting Plan |
| L4.02 | Planting Plan |
| L4.03 | Planting Details |
| L5.00 | Site Furnishing Plan |

| | |
|--------|---------------------------------|
| SP1.01 | Site Plan |
| SP1.02 | Site Plan—Parking |
| SP1.03 | ALT #1: Site Plan—Lookout Point |
| SP1.04 | Site Details |
| SP1.05 | Gate |
| SP1.06 | Site Lighting, Gate |
| SP1.07 | Site Lighting |
| SP2.01 | West Terrace |
| SP2.02 | East Deck |
| SP2.03 | Oval |
| SP2.04 | East Terrace |
| SP2.05 | East Terrace |
| SP2.06 | East Terrace |
| SP2.07 | ALT #1: Lookout Point |
| SP2.08 | Dumpster Enclosure |
| SP2.09 | MEP Enclosure |
| SP2.10 | MEP Enclosure |
| SP2.11 | West Terrace Opening Details |
| SP2.12 | Guardrail Details |
| D1.01 | Demolition Plan—Building |
| A1.01 | Floor Plan |
| A1.02 | Roof Plan |
| A2.01 | Exterior Elevations |
| A3.01 | Building Sections |
| A4.01 | Exterior Details |
| A5.01 | Interior Elevations |
| A5.02 | Interior Elevations |
| A5.03 | Interior Elevations |
| A5.04 | Interior Elevations |
| A5.05 | Interior Elevations |
| A6.01 | Reflected Ceiling Plan |
| A8.01 | Interior Details |
| A8.02 | Interior Details |
| A9.01 | Schedules |
| A9.02 | Schedules |
| A9.03 | Schedules |
| A9.04 | Window and Door Details |
| A9.05 | Door Details |

| | |
|--------|----------------------|
| \$1.00 | Structural Notes |
| \$2.00 | Structural Site Plan |
| \$2.01 | Structural Plans |
| \$4.00 | Structural Plans |

| | |
|-----|--|
| G-1 | SLP - Lookout Point |
| G-2 | SLP - Parking Lot |
| G-3 | SLP - Exterior Terrace |
| G-4 | SLP - Clubhouse |
| G-5 | ST-100 & 101 |
| G-6 | ST-02 & 105 |
| G-7 | ST-108 Interpretive Signage at Terrace |
| G-8 | Interior Signage |
| G-9 | Exterior Signage Soldier Sheet |

| | |
|--------|--|
| MEP1.0 | Demolition Site Plan |
| MEP1.1 | MEP Site Plan |
| MEP1.2 | Lookout Point Site Plan |
| M1.1 | Mechanical Demolition Plan |
| M2.1 | Mechanical New Construction Plan |
| M2.2 | Sections |
| M3.1 | Mechanical Details |
| M3.2 | VRF Refrigerant Riser Diagrams |
| M3.3 | Mechanical Schedules |
| DDC1.1 | DDC Controls Diagrams |
| E1.1 | Electrical Demolition Plan |
| EL2.1 | Lighting New Construction Plan |
| EP2.2 | Electrical Power New Construction Plan |
| E3.1 | Electrical Riser Diagram |
| E4.1 | Electrical Details & Schedules |
| P1.1 | Plumbing Demolition Plan |
| P2.1 | Waste & Vent New Construction Plan |
| P2.2 | Domestic Water Plan |
| P3.1 | Plumbing Details & Schedules |
| P3.2 | Plumbing Details |

"It is the policy of the City of Austin to involve certified Minority Owned Business Enterprises (MBEs) and Women Owned Business Enterprises (WBEs) in City contracting. MBE and WBE goals for this solicitation are contained in Volume II M/WBE Participation for construction projects."

PRELIMINARY
Not for regulatory approval
Permitting or construction

**ALFRED GODFREY,
ARCHITECT**
NOV. 19, 2021

ZILKER METRO PARK
ZILKER CLUBHOUSE REHABILITATION
200 Arnulfo Alonzo Way
AUSTIN, TEXAS 78704

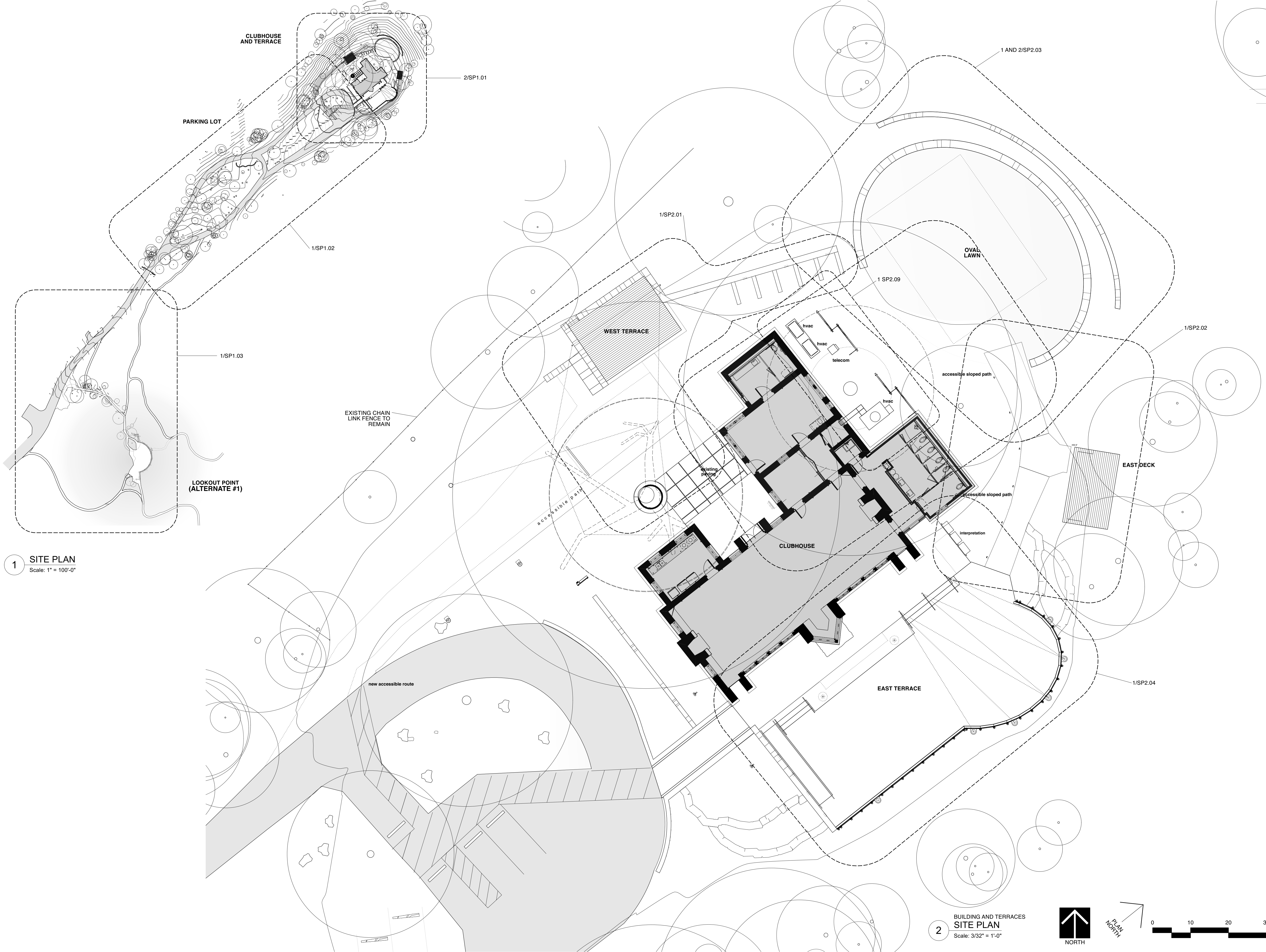
90% CDS

TE: NOV 19, 2021

COVER

T1.01

1 SITE PLAN
Scale: 1" = 100'-0"



2 BUILDING AND TERRACES
SITE PLAN
Scale: 3/32" = 1'-0"



PLAN
NORTH



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ARCHITECT**
NOV. 19, 2021

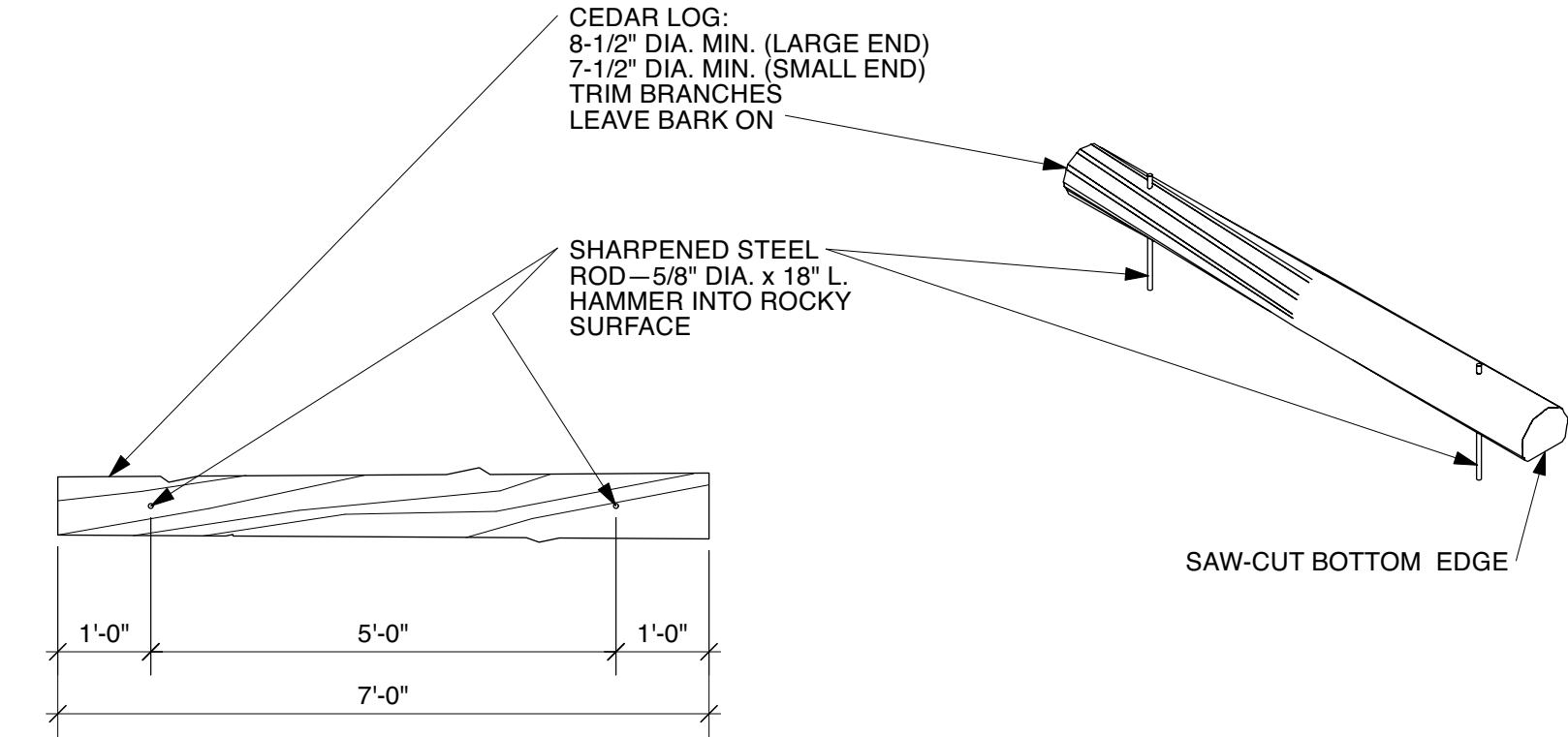
**ZILKER METRO PARK
ZILKER CLUBHOUSE REHABILITATION**
200 Arnulfo Alonzo Way
AUSTIN, TEXAS 78704

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DATE: NOV 19, 2021
REVISIONS:

SITE PLAN

SP1.01

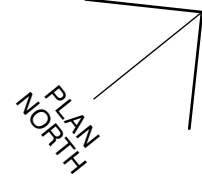
**LIMBACHER & GODFREY
ARCHITECTS**
2124 East 6th Street, #102 Austin, Texas 78702
512.460.1518



2 WOOD WHEEL STOP
Scale: 1/2" = 1'-0"



1 PARKING LOT
SITE PLAN
Scale: 1" = 20'-0"



GENERAL NOTES

1. Field verify all dimensions. Field verify existing conditions. Notify Architect of any discrepancies between field conditions and the restoration or design intent.
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3. Protect all elements, finishes or surfaces uncovered beneath removed wall coverings, floor elements or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of any material that may be historic.
4. Depictions of existing construction elements are taken from reference or record drawing information provided by the Owner, and are used for background and reference purposes. For clarity, not all equipment, ductwork, piping, panels, conduit, etc. may be shown in each view.
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6. Should the Contractor encounter any questions or conflicts between drawing depictions, existing elements to remain, new restoration, the plans and/or specifications, the Contractor shall bring these conflicts to the attention of the Architect. Contractor shall seek clarification in writing prior to start of Work.
7. The Contractor is required to take due precautionary measures to protect the utilities or structures at the site. Interruption of utility services is not permitted without full coordination with the Owner.

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ZILKER CLUBHOUSE REHABILITATION**
200 Arnufo Alonzo Way
AUSTIN, TEXAS 78704

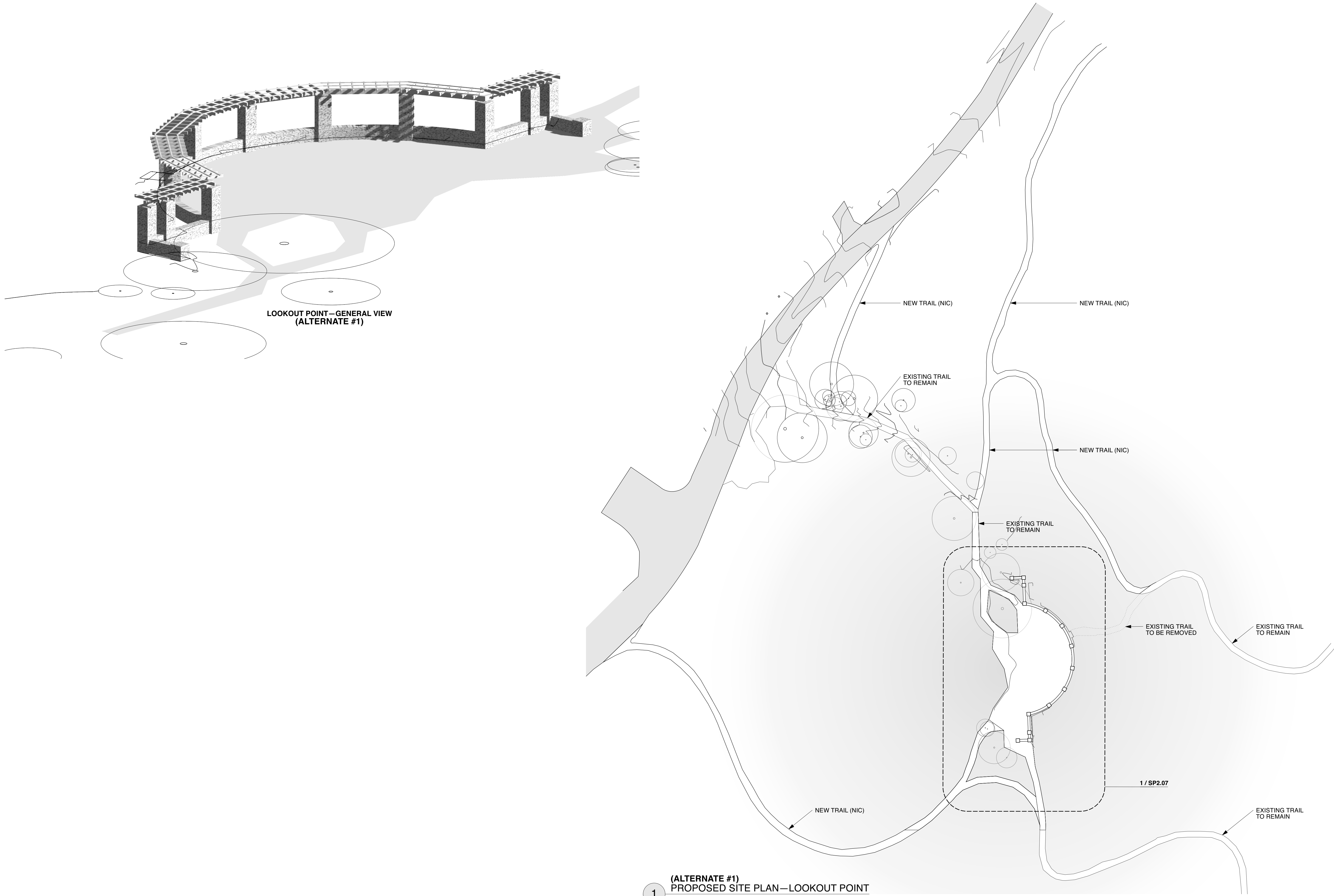
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DATE: NOV 19, 2021
REVISIONS:

SITE PLAN—PARKING

SP1.02

**LIMBACHER & GODFREY
ARCHITECTS**
2124 East 6th Street, #102 Austin, Texas 78702
512.450.1518



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NOV. 19, 2021

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ZILKER CLUBHOUSE REHABILITATION**
200 Arnulfo Alonzo Way
AUSTIN, TEXAS 78704

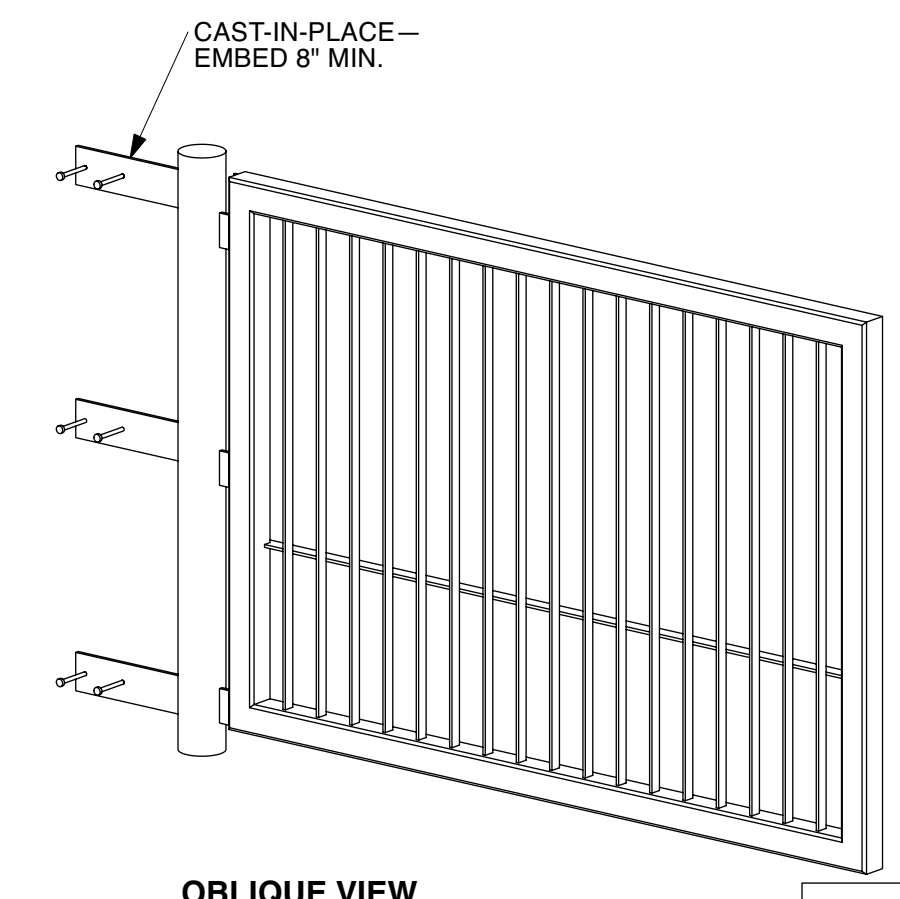
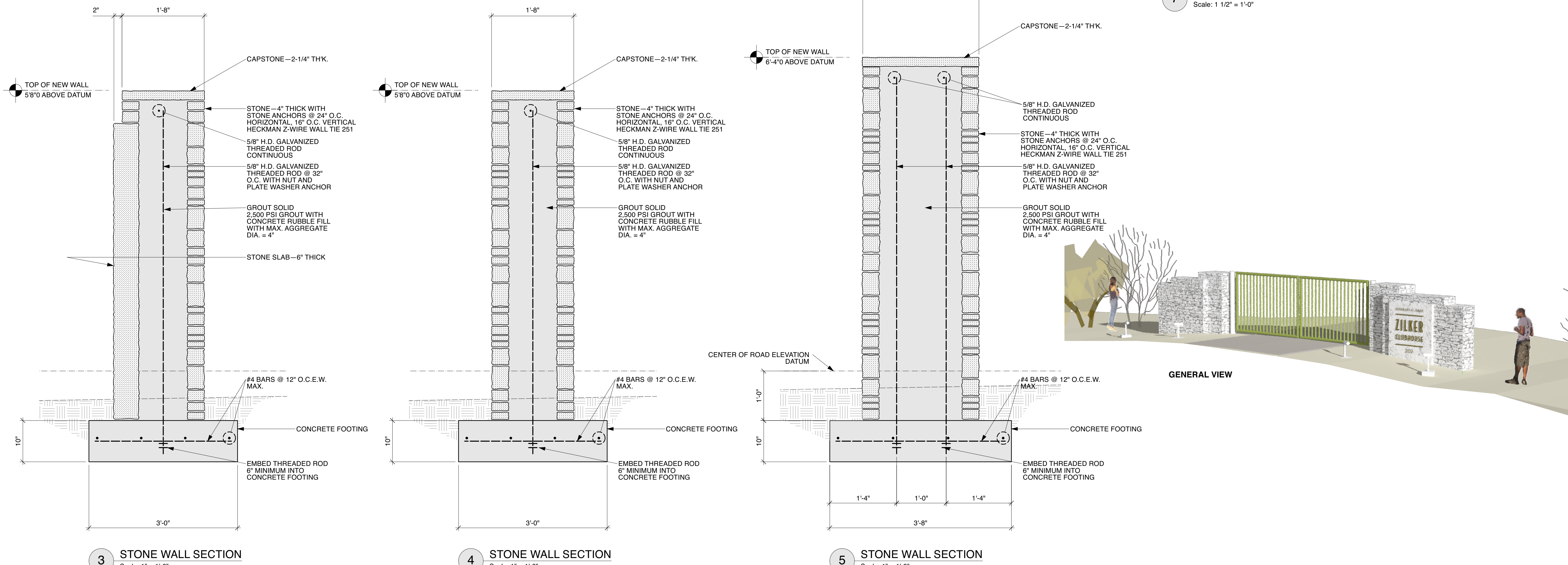
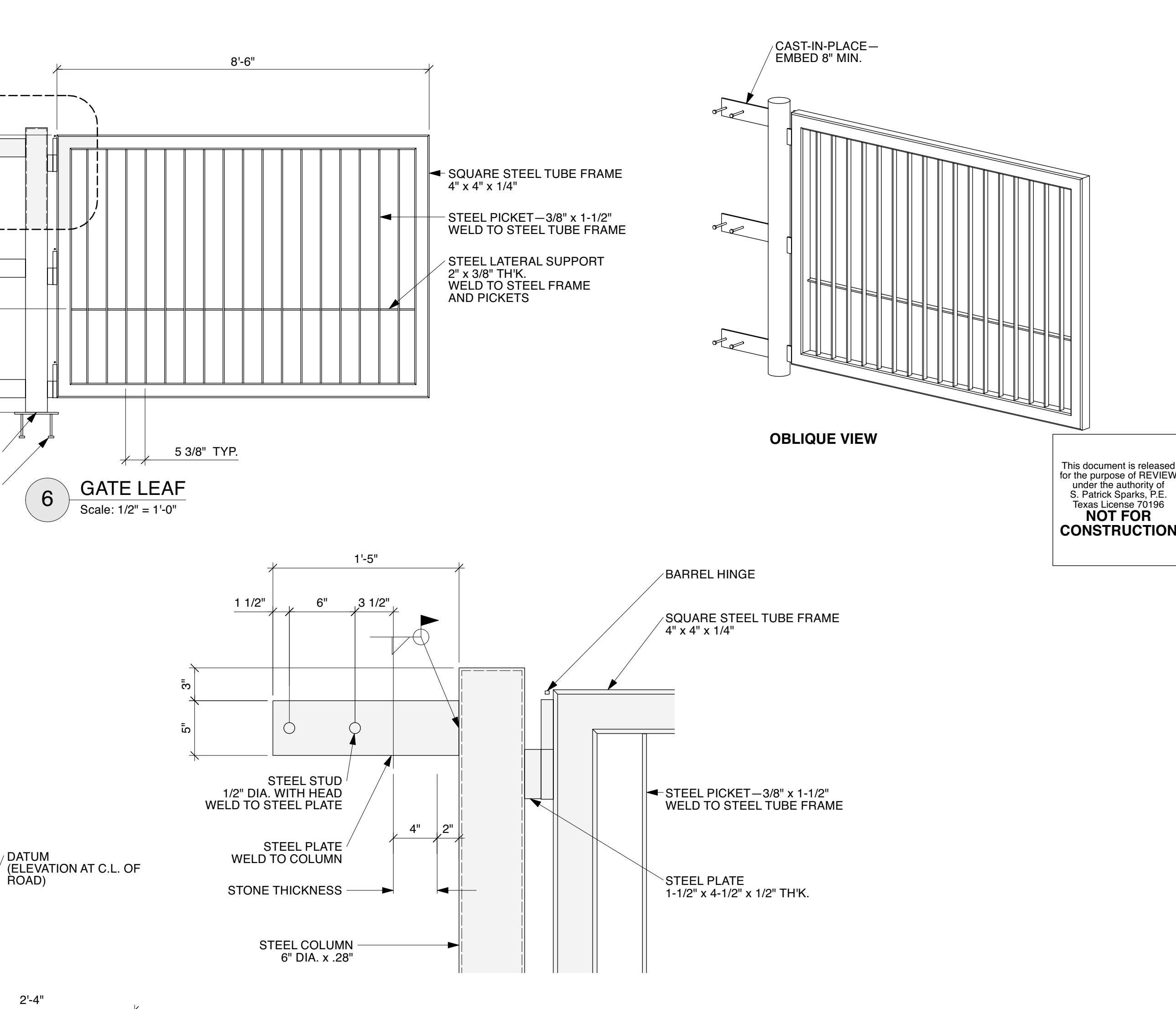
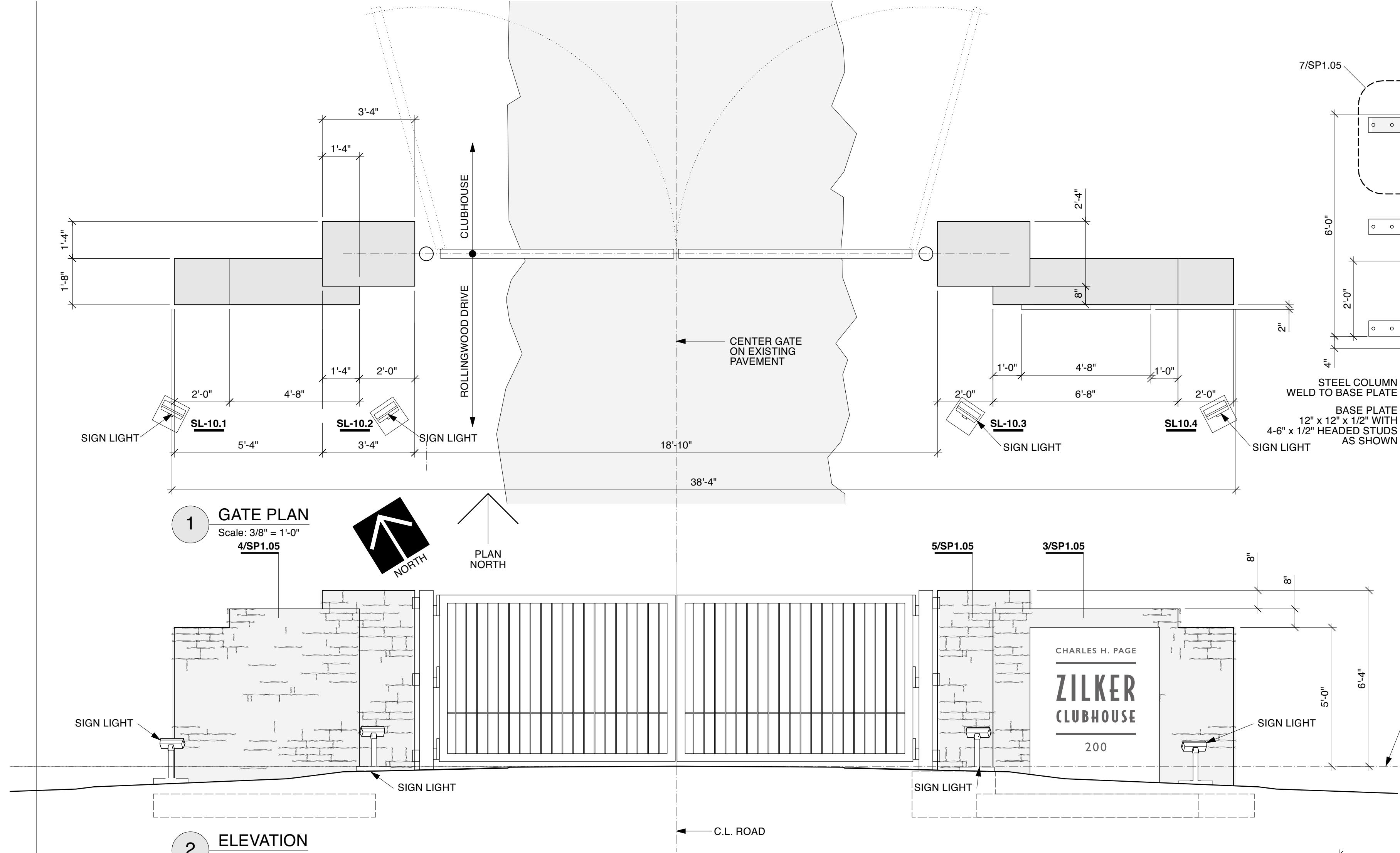
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DATE: NOV 19, 2021
REVISIONS:

SITE
PLAN—LOOKOUT
POINT

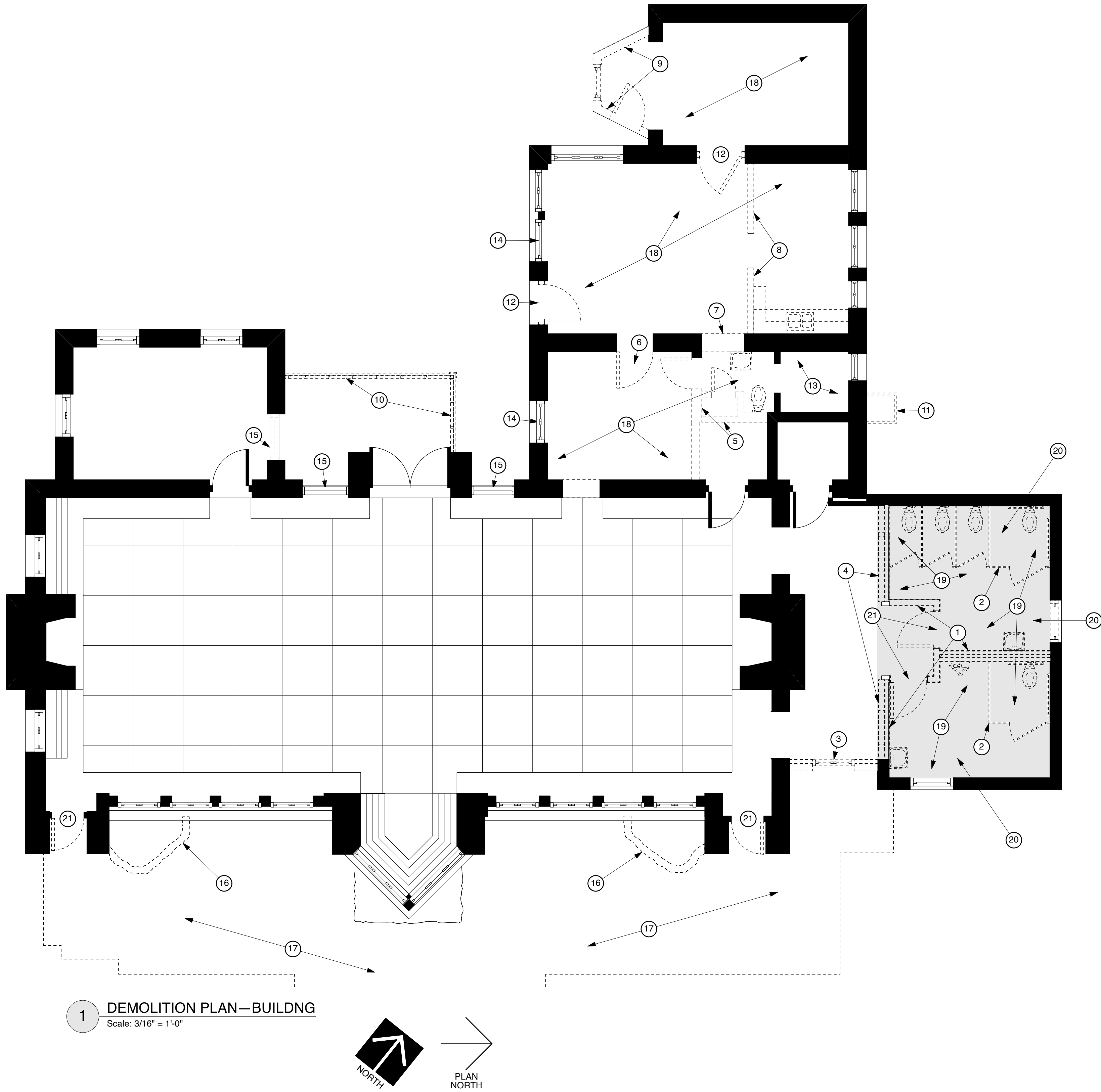
SP1.03

**LIMBACHER & GODFREY
ARCHITECTS**
2124 East 6th Street, #102 Austin, Texas 78702
512.450.1518



OBLIQUE VIEW

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NOT FOR CONSTRUCTION

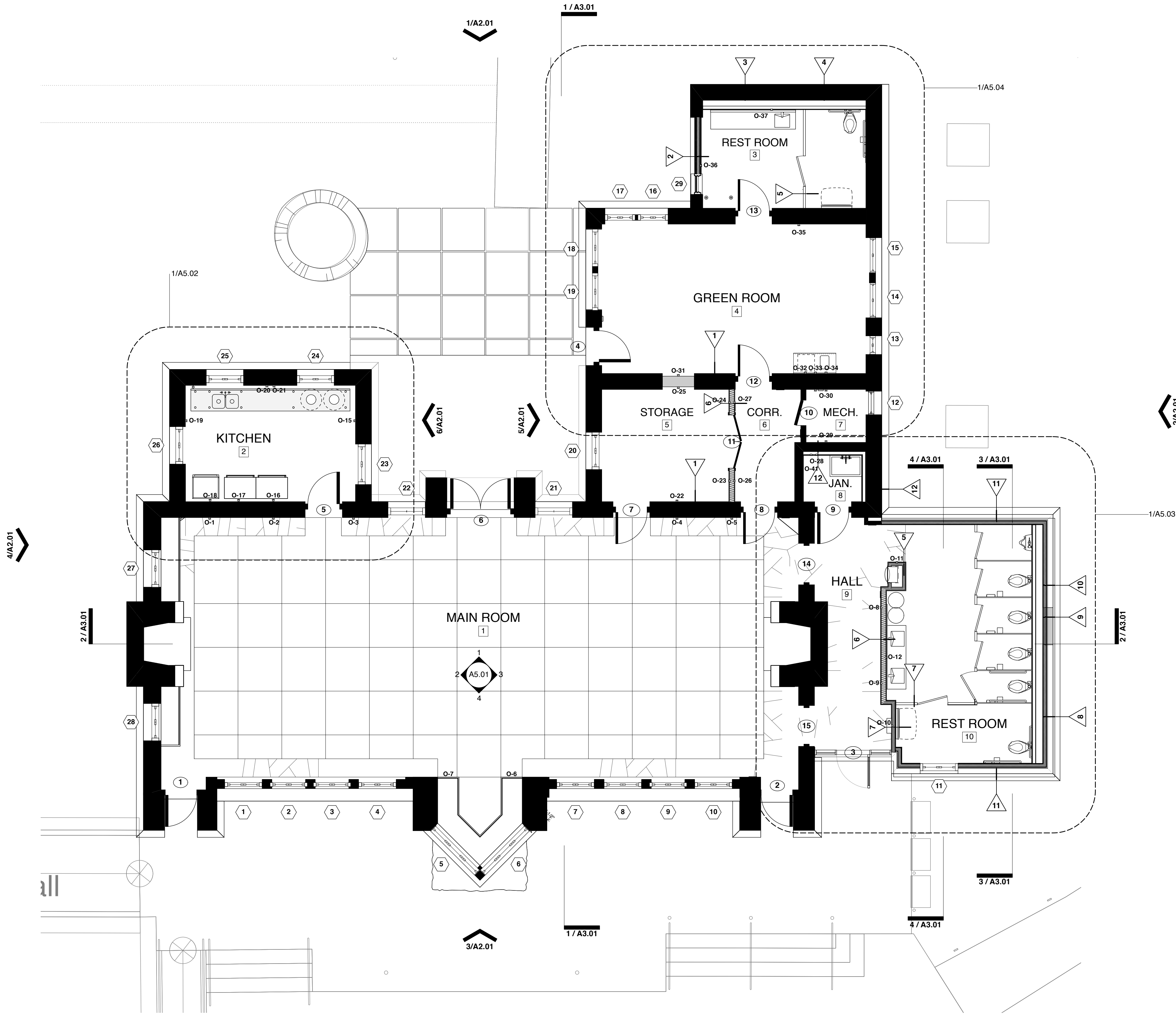


DEMOLITION GENERAL NOTES

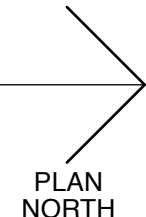
- Building has lead-containing paints and coatings. Contractor to refer to included lead-containing materials report prior to conducting any work. Coordinate all demolition with report. Follow all local, state and federal regulations when removing any lead-containing materials.
- Architect has no knowledge of any asbestos or other hazardous materials on jobsite. Contractor shall immediately isolate the affected area if asbestos or other hazardous materials are discovered during construction. Notify Owner for further instruction before proceeding with other work.
- Demolition plans are provided to give a general indication of the scope of the work. Confirm exact extent of the demolition on site.
- Items to be removed, relocated or salvaged are shown with dashed line and are as listed in the keyed demolition notes. All other items are intended to remain in place. Do not damage items, surfaces, finishes and building elements to remain.
- Remove only non-load bearing construction and partitions. Contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, headers, etc. supporting floor, roof or ceiling joists are designated for removal. Contact the Architect prior to removal of any construction in question or deviating from the design intent.
- All service locations to be confirmed prior to the commencement of work. Maintain existing utilities to remain in service and protect against damage during demolition operations.
- Protect all existing finishes shown to remain during demolition to prevent damage. Any damage sustained during demolition shall be repaired or replaced by Contractor to match existing conditions.
- Protect all finishes uncovered beneath demolished wall coverings, or other removed elements. Do not damage finishes uncovered in the demolition work.
- All demolition activities shall be performed so as to produce minimal disturbance to existing facility. Maintain separation between areas undergoing demolition work and surrounding areas by providing temporary barriers to prevent dust migration.
- Comply with local jurisdiction requirements for demolition work.
- Where Contractor is designated to make removals, disposition of materials is the sole responsibility of the Contractor. All removed and demolished items/materials to be included in Waste Management Plan. (Re: Spec Section 01505-Construction and Demolition Waste Management.)
- Carefully remove items identified for salvage and reinstallation. Store and protect until reinstallation.
- Carefully remove items identified for salvage and conveyance to Owner. Coordinate delivery to Owner's storage facility, location to be identified. Assume location is within 10 miles of project site.
- Refer to Structural, Mechanical and Electrical drawings for specific demolition notes regarding those disciplines.
- Upon completion of demolition activities, clean the entire area of demolition to a tidy, uniform condition, removing all debris, dust partitions and associated materials used during the demolition. Clean all areas impacted by the demolition, including but not limited to, adjacent occupied areas and areas not within the scope of work.

DEMOLITION KEYED NOTES

- Carefully remove existing metal stud and plaster partitions. Remove associated wood door frames and doors. Remove associated plumbing fixtures and piping as noted in MEP drawings and specifications. Remove ceramic tile flooring and base.
- Carefully remove existing metal toilet partitions.
- Carefully remove existing mortared limestone exterior wall and wood window sash and frame.
- Carefully remove existing masonry veneer finish and header and shelf trim.
- Carefully remove existing wood stud and plaster partitions. Remove associated wood door frames and doors. Remove associated plumbing fixtures and piping as noted in MEP drawings and specifications.
- Carefully remove existing wood door and frame.
- Carefully remove portion of existing masonry and plaster wall for new opening.
- Carefully remove existing wood stud and plaster partitions. Remove associated wood cabinets. Remove associated plumbing fixtures and piping as noted in MEP drawings and specifications.
- Carefully remove existing wood framed partitions and associated wood door, sash and frames. Carefully remove existing hip roof and framing, exterior wood siding and air conditioning unit.
- Carefully remove existing wood framed walls, roof framing and roof.
- Carefully remove existing wood framed water heater enclosure, roof framing and roof. Remove associated water heater and piping, as noted in MEP drawings and specifications.
- Carefully remove non-original door. Retain frame and repair and prepare as needed for installation of restored wood door and hardware.
- Carefully remove ceramic tile flooring. Remove plumbing fixtures and piping, as noted in MEP drawings and specifications.
- Carefully remove non-original fixed sash panel and associated window unit air-conditioner. Retain frame and repair and prepare as needed for installation of restored operable wood sash and hardware.
- Carefully remove non-original sash infill panel or cabinet element. Retain frame and repair and prepare as needed for installation of restored operable wood sash and hardware. Retain existing sash units and repair and prepare as needed for restoration.
- Carefully remove non-original limestone planters.
- Remove existing slab and its stone topping.
- Carefully remove non-original laminate flooring and vinyl base.
- Carefully remove existing ceramic tile and base.
- Remove existing concrete slab as may be required to create access for new plumbing installations.
- Carefully remove non-original door and salvage for reinstallation.



1 FLOOR PLAN
Scale: 3/16" = 1'-0"



| MARK | HEIGHT AFF |
|------|------------|
| O-1 | 18" |
| O-2 | 18" |
| O-3 | 18" |
| O-4 | 18" |
| O-5 | 18" |
| O-6 | 18" |
| O-7 | 18" |
| O-8 | 18" |
| O-9 | 18" |
| O-10 | 18" |
| O-11 | 18" |
| O-12 | 40" |
| O-14 | 18" |
| O-15 | 18" |
| O-16 | 18" |
| O-17 | 18" |
| O-18 | 18" |
| O-19 | 18" |
| O-20 | 40" |
| O-21 | 40" |
| O-22 | 18" |
| O-23 | 18" |
| O-24 | 18" |
| O-25 | 18" |
| O-26 | 18" |
| O-27 | 18" |
| O-28 | 18" |
| O-29 | 18" |
| O-30 | 18" |
| O-31 | 18" |
| O-32 | 40" |
| O-33 | 40" |
| O-33 | 40" |
| O-34 | 18" |
| O-35 | 18" |
| O-36 | 18" |
| O-37 | 40" |
| O-38 | 18" |
| O-39 | 18" |
| O-40 | 18" |
| O-41 | 84" |

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NOV. 19, 2021

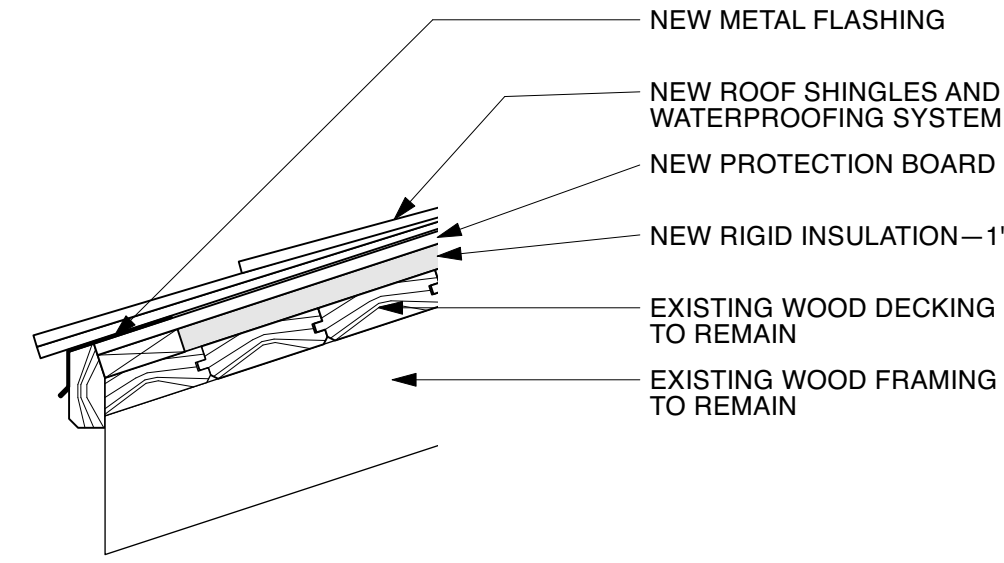
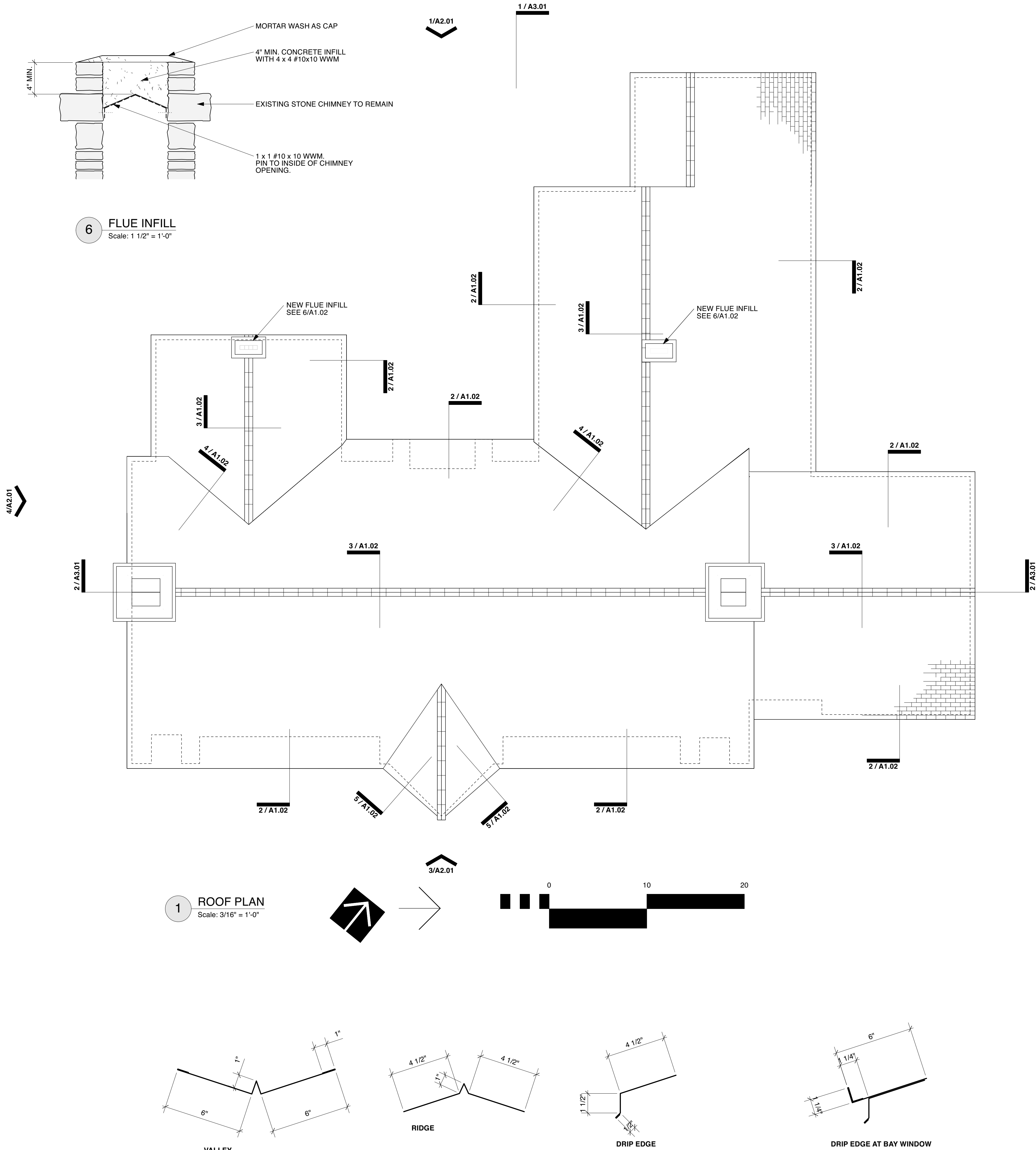
**ZILKER METRO PARK
ZILKER CLUBHOUSE REHABILITATION**
200 Arnulfo Alonzo Way
AUSTIN, TEXAS 78704

90% CDS

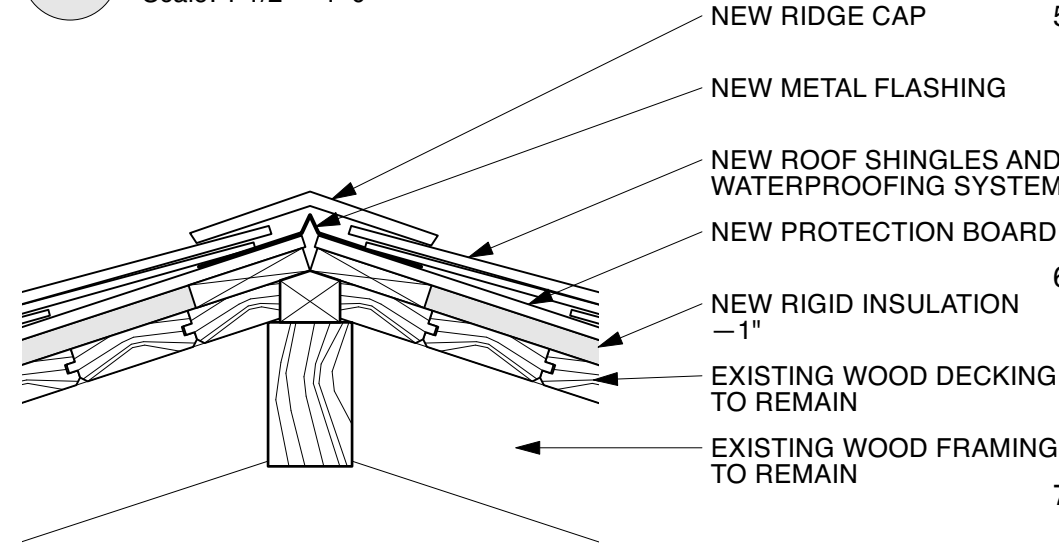
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REVISIONS:

FLOOR PLAN

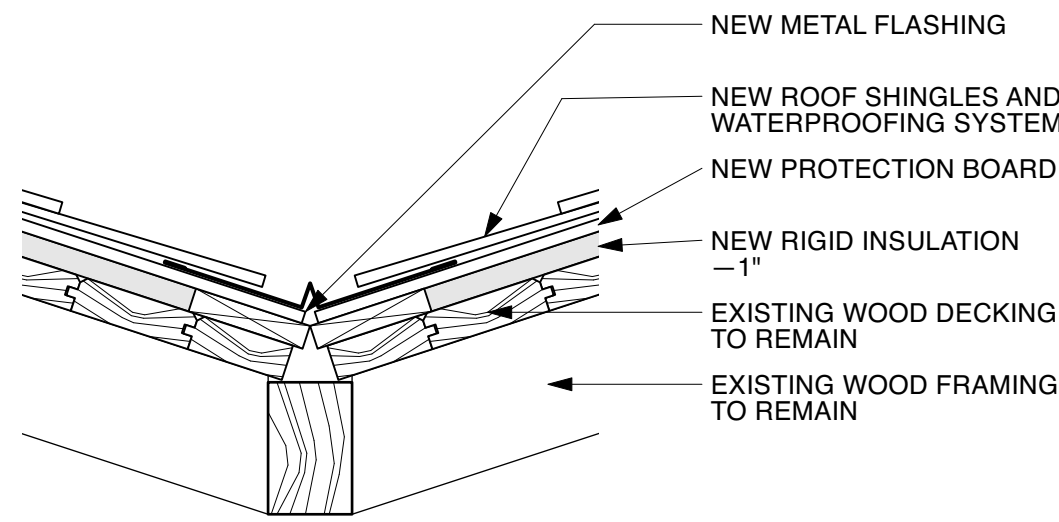
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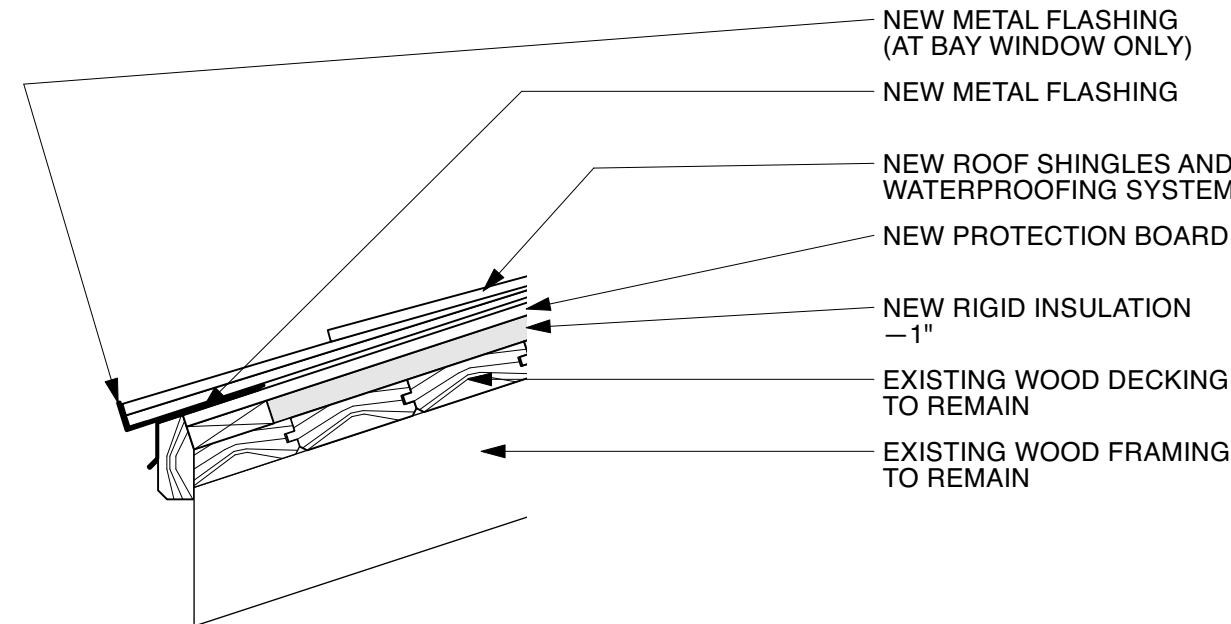
2 DRIP EDGE ROOF DETAIL
Scale: 1 1/2" = 1'-0"



3 RIDGE CAP ROOF DETAIL
Scale: 1 1/2" = 1'-0"



4 VALLEY ROOF DETAIL
Scale: 1 1/2" = 1'-0"



5 DRIP EDGE AT BAY WINDOW ROOF DETAIL
Scale: 1 1/2" = 1'-0"

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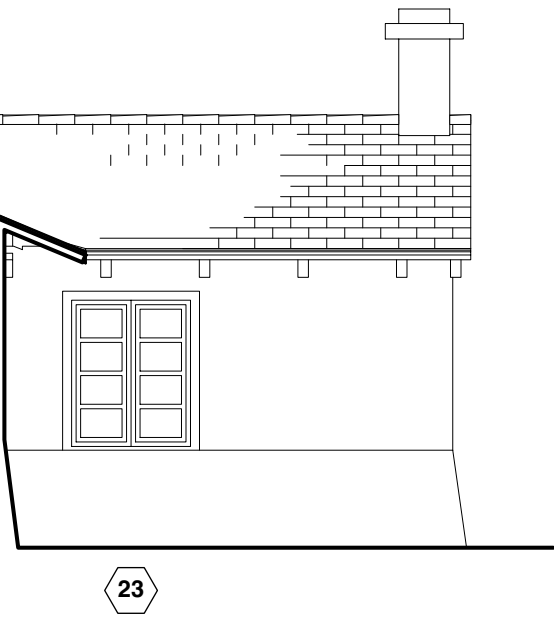


GENERAL NOTES

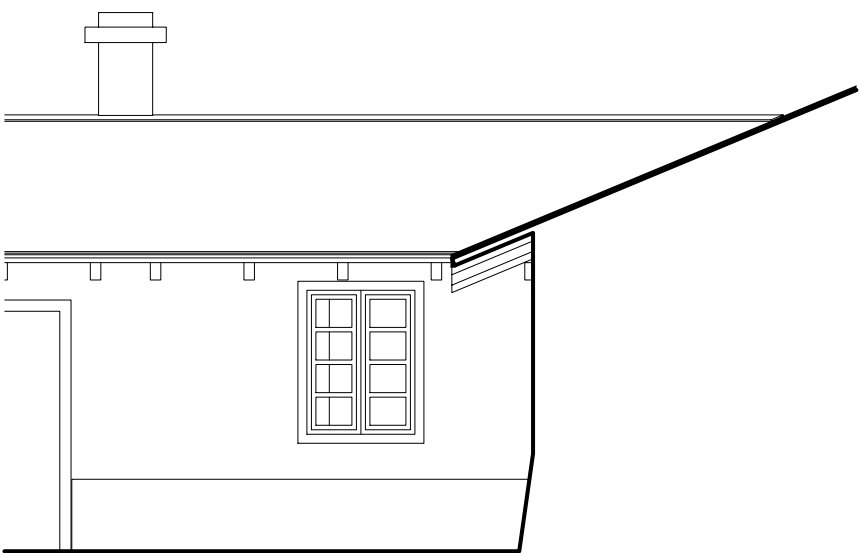
1. Building has lead-containing paints and coatings. Contractor to refer to included lead mitigation documents prior to conducting any work. Coordinate all demolition with lead mitigation documents. Follow all local, state and federal regulations when removing any lead-containing materials.
2. Field verify existing conditions. Notify Architect of any discrepancies between field conditions and the restoration or design intent.
3. Protect all historic and existing building elements, including stone work, wood trim, doors and windows. Any damage sustained during the Work shall be repaired or replaced by Contractor to match existing conditions.
4. Protect all elements, finishes or surfaces uncovered beneath removed wood stairs, trim or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of any material that may be historic.

EXTERIOR NOTES

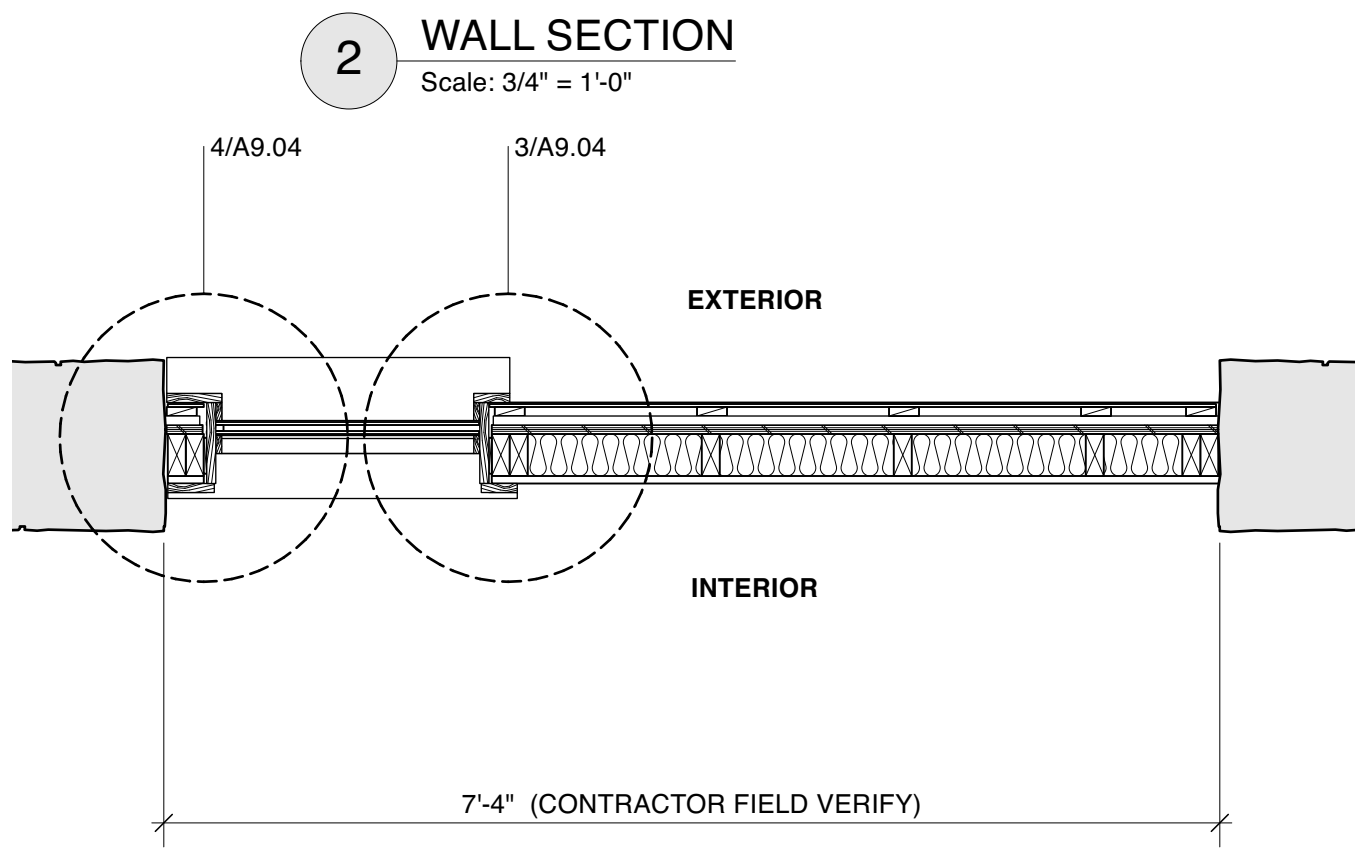
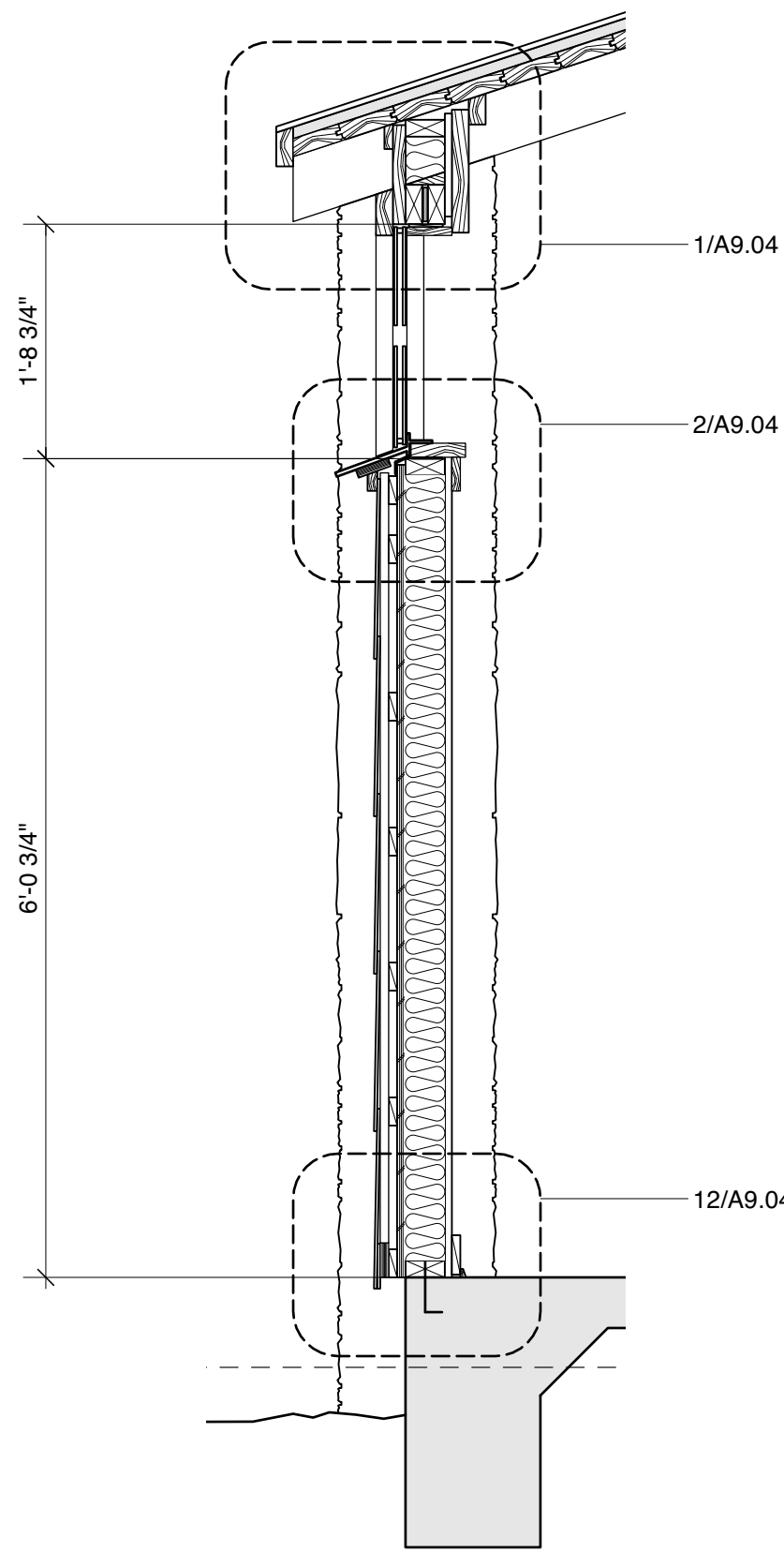
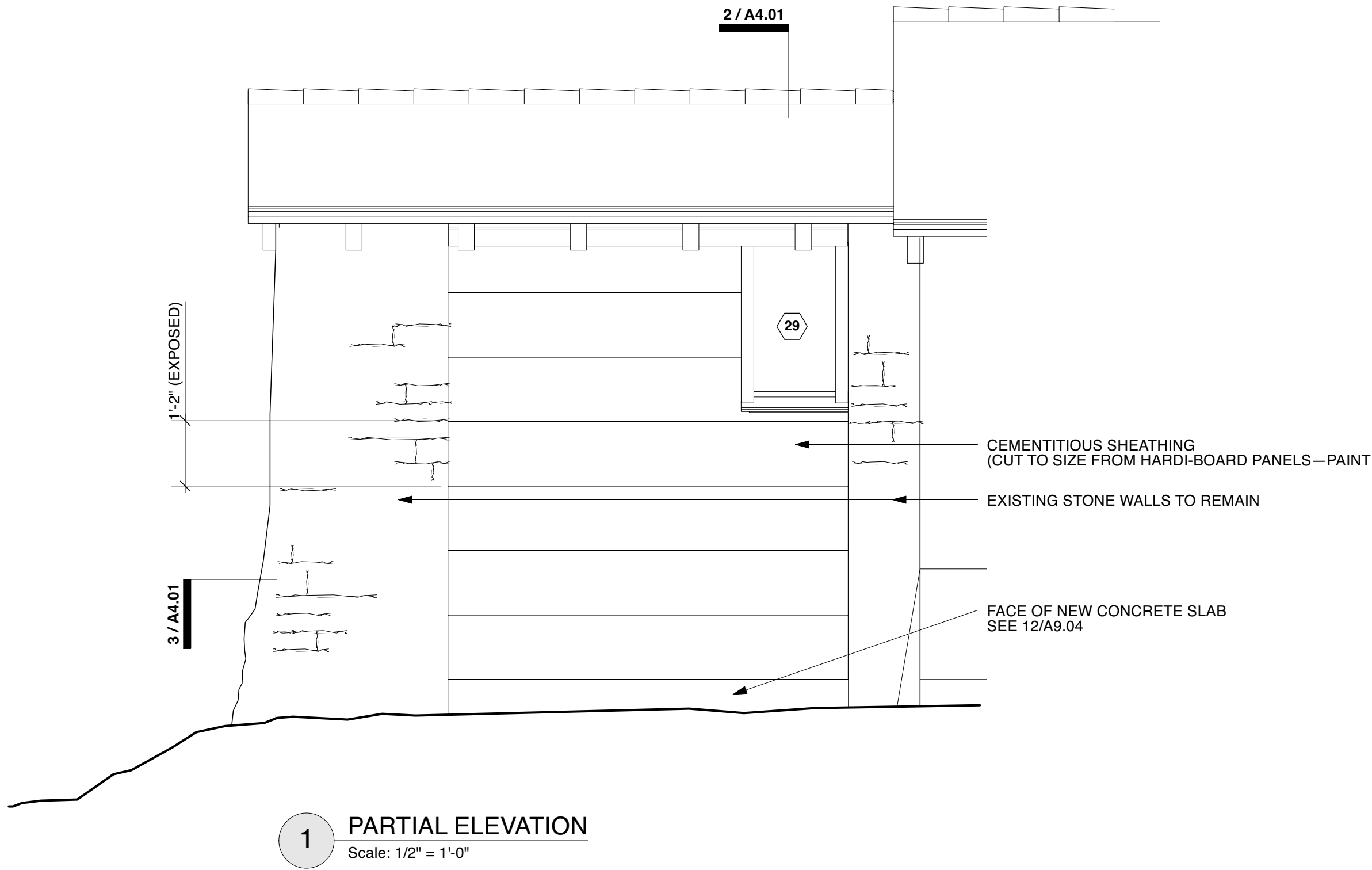
- Note that most elements depicted are existing, to remain. New work is described below.
1. See Owner's separate lead mitigation documents for required lead paint removal requirements.
 2. Perform repair to wood trim, using material matching existing adjacent conditions in appearance, dimension and detail. Assume a total of 20% of wall area of wood trim patching, in small areas scattered across the wall surface.
 3. Prepare wood surfaces to receive new paint finish.
 4. Provide 3-coat opaque finish system, using replica historic paint colors identified in Owner's paint analysis investigation.
 5. Remove window sashes and doors for repair. Secure openings with temporary enclosure that will not damage adjacent wall/trim.



6 NORTH ELEVATION
Scale: 3/16" = 1'-0"



5 SOUTH ELEVATION (Partial)
Scale: 3/16" = 1'-0"



3 THROUGH WINDOW
PLAN SECTION
Scale: 3/4" = 1'-0"

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under the authority of
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ZILKER CLUBHOUSE REHABILITATION**
200 Arnulfo Alonzo Way
AUSTIN, TEXAS 78704

90% CDS

DATE: NOV 19, 2021
REVISIONS:

EXTERIOR DETAILS

A4.01

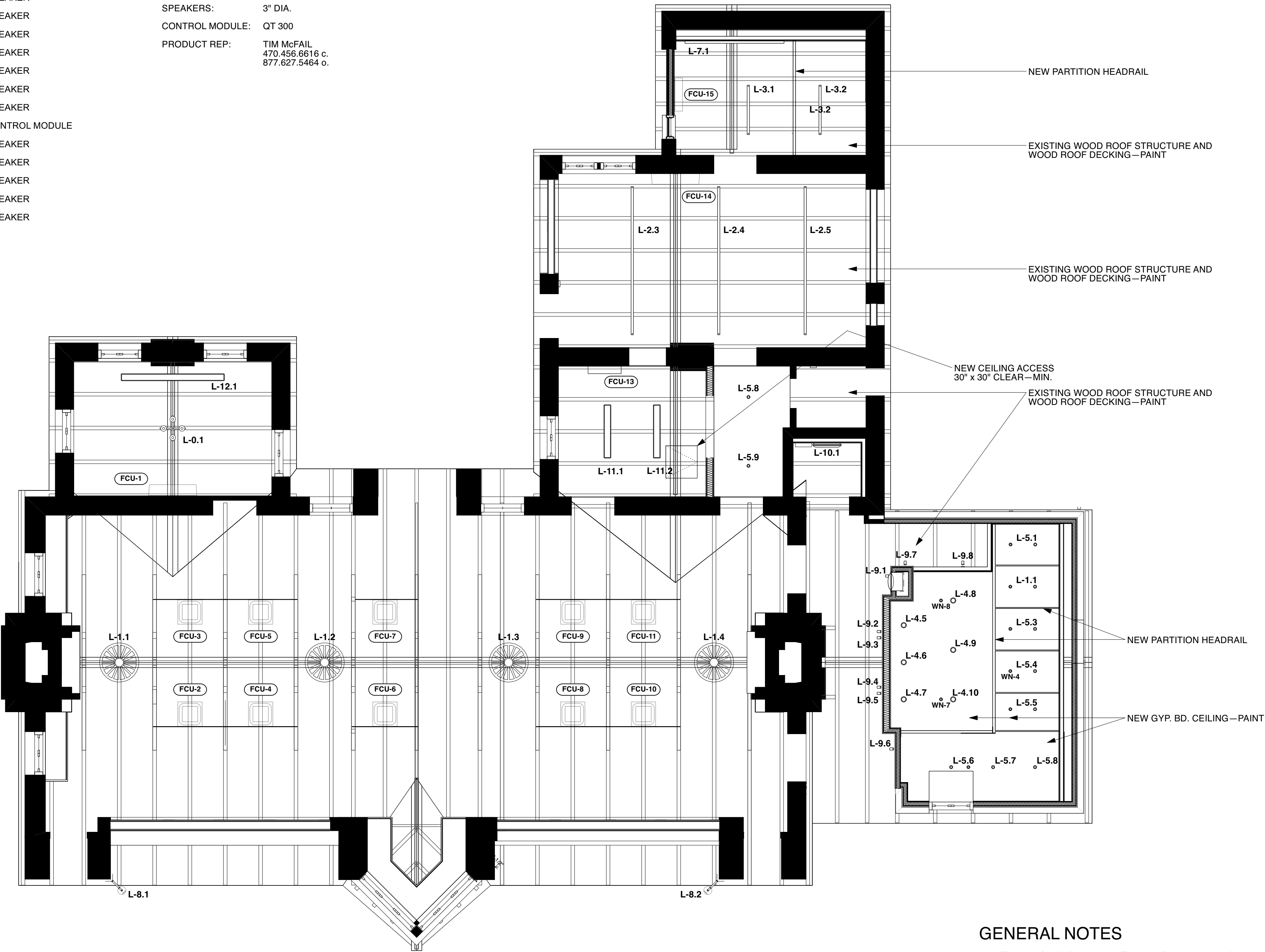
LIMBACHER & GODFREY
ARCHITECTS
2124 East 6th Street, #102 Austin, Texas 78702
512.450.1518

SOUND MASK COMPONENTS

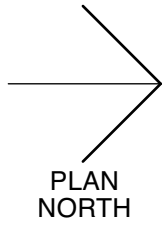
| | |
|-------|----------------|
| WN-1 | SPEAKER |
| WN-2 | SPEAKER |
| WN-3 | SPEAKER |
| WN-4 | SPEAKER |
| WN-5 | SPEAKER |
| WN-6 | SPEAKER |
| WN-7 | SPEAKER |
| WN-8 | SPEAKER |
| WN-9 | CONTROL MODULE |
| WN-10 | SPEAKER |
| WN-11 | SPEAKER |
| WN-12 | SPEAKER |
| WN-14 | SPEAKER |
| WN-15 | SPEAKER |

CAMBRIDGE SOUND
SOUND MASKING SYSTEM

SPEAKERS: 3" DIA.
CONTROL MODULE: QT 300
PRODUCT REP: TIM McFAIL
470.456.6616 c.
877.627.5464 o.



1 REFLECTED CEILING PLAN
Scale: 3/16" = 1'-0"



GENERAL NOTES

- Field verify all dimensions. Field verify existing conditions. Notify Architect of any discrepancies between field conditions and the restoration or design intent.
- Protect all historic and existing areas, including wall, floor and ceiling finishes. Protect all existing finishes shown to remain during the Work to prevent damage. Any damage sustained during the Work shall be repaired or replaced by Contractor to match existing conditions.
- Protect all elements, finishes or surfaces uncovered beneath removed wall coverings, floor elements or other items to be removed or disturbed. Do not demolish or damage any elements or finishes exposed in the course of the work. Contractor shall notify Architect before removal of any material that may be historic.
- Depictions of existing construction elements are taken from reference or record drawing information provided by the Owner, and are used for background and reference purposes. For clarity, not all equipment, ductwork, piping, panels, conduit, etc. may be shown in each view.
- Actual field conditions might vary. Prior to start of Work, the Contractor shall visit the site and perform an inspection to become familiar with existing facilities and areas and determine the condition of existing elements to be affected and/or to remain. Other field investigations and/or minor adjustments may be required to complete the Work.
- Should the Contractor encounter any questions or conflicts between drawing depictions, existing elements to remain, new restoration, the plans and/or specifications, the Contractor shall bring these conflicts to the attention of the Architect. Contractor shall seek clarification in writing prior to start of Work.
- The Contractor is required to take due precautionary measures to protect the utilities or structures at the site. Interruption of utility services is not permitted without full coordination with the Owner.

LIGHT FIXTURE SCHEDULE

| MARK | HEIGHT REFERENCE | TYPE | HEIGHT AFF | NEW LAMP |
|--------|------------------------------|------|--------------|---|
| L-0.1 | C.L. OF LAMP | A | EXISTING | BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED) |
| L-1.1 | C.L. OF LAMP | A | 8'-0" | |
| L-1.1 | C.L. OF LAMP | A | 9'-6" | BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED) |
| L-1.2 | C.L. OF LAMP | A | 9'-6" | BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED) |
| L-1.3 | C.L. OF LAMP | A | 9'-6" | BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED) |
| L-1.4 | C.L. OF LAMP | A | 9'-6" | BULBRITE LED G25 8.5W GLOBE. (8 REQUIRED) |
| L-2.3 | UNDERSIDE OF FIXTURE | B | 9'-0" | |
| L-2.4 | UNDERSIDE OF FIXTURE | B | 9'-0" | |
| L-2.5 | UNDERSIDE OF FIXTURE | C | 7'-0" | |
| L-3.1 | UNDERSIDE OF FIXTURE | D | 8'-6" | |
| L-3.2 | UNDERSIDE OF FIXTURE | E | 6'-8" | |
| L-4.5 | CEILING HEIGHT | F | 7'-4" | |
| L-4.6 | CEILING HEIGHT | F | 7'-4" | |
| L-4.7 | CEILING HEIGHT | F | 7'-4" | |
| L-4.8 | CEILING HEIGHT | F | 7'-4" | |
| L-4.9 | CEILING HEIGHT | F | 7'-4" | |
| L-4.10 | CEILING HEIGHT | F | 7'-4" | |
| L-5.1 | CEILING HEIGHT | G | 7'-4" | |
| L-5.3 | CEILING HEIGHT | G | 7'-4" | |
| L-5.4 | CEILING HEIGHT | G | 7'-4" | |
| L-5.5 | CEILING HEIGHT | G | 7'-4" | |
| L-5.6 | CEILING HEIGHT | G | 7'-4" | |
| L-5.7 | CEILING HEIGHT | G | 7'-4" | |
| L-5.8 | CEILING HEIGHT | G | 7'-4" | |
| L-5.8 | CEILING HEIGHT | G | 7'-6"—verify | |
| L-5.9 | CEILING HEIGHT | G | 7'-6"—verify | |
| L-7.1 | UNDERSIDE OF FIXTURE | I | 8'-0" | |
| L-8.1 | UNDERSIDE OF DECORATIVE CAGE | J | 8'-0" | BULBRITE LED G25 8.5W GLOBE. (1 REQUIRED) |
| L-8.2 | UNDERSIDE OF DECORATIVE CAGE | J | 8'-0" | BULBRITE LED G25 8.5W GLOBE. (1 REQUIRED) |
| L-9.1 | C.L. OF BASE | K | 8'-6" | |
| L-9.2 | C.L. OF BASE | K | 11'-0" | |
| L-9.3 | C.L. OF BASE | K | 11'-0" | |
| L-9.4 | C.L. OF BASE | K | 11'-0" | |
| L-9.5 | C.L. OF BASE | K | 11'-0" | |
| L-9.6 | C.L. OF BASE | K | 8'-6" | |
| L-9.7 | C.L. OF BASE | K | 8'-6" | |
| L-9.8 | C.L. OF BASE | K | 8'-6" | |
| L-10.1 | C.L. OF FIXTURE | L | 7'-0" | |
| L-11.1 | TOP OF LENS | M | 8'-0"—verify | TOP OF LENS = BOTTOM OF FRAMING |
| L-11.2 | TOP OF LENS | M | 8'-0"—verify | TOP OF LENS = BOTTOM OF FRAMING |
| L-12.1 | TOP OF LENS | N | 9'-0" | |

LIGHT FIXTURE TYPES

| TYPE | MANUFACTURER | MODEL | TYPE DESCRIPTION |
|------|--------------|---------------------------------|-------------------------------|
| A | EXISTING | --- | --- |
| B | FINELITE | HIGH PERFORMANCE 2" | LINEAR PENDANT |
| C | FINELITE | HIGH PERFORMANCE 2" | LINEAR PENDANT |
| D | FINELITE | HIGH PERFORMANCE 2" | LINEAR PENDANT |
| E | NOT USED | --- | --- |
| F | JUNO | 4" IC LED 600 LUMENS | 4" ROUND DOWNLIGHT |
| G | JUNO | 2" IC LED 600 LUMENS | 2" ROUND DOWNLIGHT |
| I | FINELITE | HIGH PERFORMANCE 2" | LINEAR WALL-MOUNT |
| J | EXISTING | NA | HISTORIC WALL SCONCE |
| K | JUNO | R600L G2 with MONOPOINT ADAPTER | WALL-MOUNTED SPOT |
| L | LITHONIA | FEM LED | LINEAR WALL-MOUNT |
| M | LITHONIA | FEM LED | MOUNT BETWEEN FRAMING MEMBERS |
| N | LITHONIA | FEM LED | PENDANT MOUNTED |

REFLECTED CEILING PLAN NOTES

Note that most elements depicted are existing, to remain. New work is described below.

- Provide new lighting fuxtures and reinstall existing historic decorative light fixtures as shown on Electrical drawings.
- See Owner's separate lead mitigation documents for lead paint removal and handling requirements.
- Repaint existing interior wood sheathing, wood beaded board, plaster or gypsum board ceilings with new, three-coat paint system.



HISTORIC WAGON WHEEL PENDANT
L-1



HISTORIC SCONCE
L-7



WINDOW SCHEDULE

| MARK | TYPE | MATERIAL | OPENING | | JAMB | | | FINISH | | HARDWARE | NOTES |
|------|------|--------------------------|-----------|-----------|--------|--------|--------|--------|-------|----------|---|
| | | | WD. | HT. | | HEAD | SILL | SASH | FRAME | | |
| 01 | A | WOOD/ EXISTING TO REMAIN | 1'7 1/4" | 2'8" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 1 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 2 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 3 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 3 (3 PANES) |
| 4 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 5 | B | WOOD/ EXISTING TO REMAIN | 5'11 1/2" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 3 (1 PANE) |
| 6 | B | WOOD/ EXISTING TO REMAIN | 5'11 1/2" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 3 (2 PANES) |
| 7 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 8 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 9 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 10 | A | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 11 | | WOOD/ EXISTING TO REMAIN | 3'6 3/4" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 12 | A | WOOD/ EXISTING TO REMAIN | 2'2 1/2" | 3'0" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | REPLACE EXISTING OPENING AROUND NEW DUCT. |
| 13 | F | WOOD/ EXISTING TO REMAIN | 1'9" | 2'10 1/2" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 14 | D | WOOD/ EXISTING TO REMAIN | 3'3 3/8" | 2'10 1/2" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 3 (3 panes), Note 5 |
| 15 | C | WOOD/ EXISTING TO REMAIN | 3'3 3/8" | 2'10 1/2" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 16 | E | WOOD/ EXISTING TO REMAIN | 2'10" | 5'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 3 (1 pane) |
| 17 | E | WOOD/ EXISTING TO REMAIN | 2'10" | 5'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 3 (1 pane) |
| 18 | G | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 19 | G | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 8 |
| 20 | G | WOOD | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 8 |
| 21 | G | WOOD | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 8 |
| 22 | G | WOOD | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 8 |
| 23 | G | WOOD | 3'9 5/8" | 4'6 3/4" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 8 |
| 24 | G | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 3 (1 pane) |
| 25 | G | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 26 | H | WOOD/ EXISTING TO REMAIN | 3'6 1/4" | 3'5 1/2" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 27 | G | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | Note 5 |
| 28 | G | WOOD/ EXISTING TO REMAIN | 3'6" | 4'6" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |
| 29 | A | WOOD/ EXISTING TO REMAIN | 1'7 1/4" | 2'9" | Detail | Detail | Detail | PAINT | PAINT | HW 1 | |

NOTES:

1. REPLACE GLAZING COMPOUND.

2. HARDWARE MISSING.

3. REPLACE PLEXIGLAS WITH GLASS.
5. WOODWORK DAMAGED. REPAIR REQUIRED.

6. ROTTEN MEMBER.

7. HARDWARE BROKEN.

8. BUILD NEW SASH, MATCHING ADJACENT WINDOW TYPE. REPAIR/ FRAME AS REQUIRED.

GENERAL NOTE:

ALL EXISTING SASH ARE TO BE REMOVED FOR ASSESSMENT AND REPAIR.
SECURE OPENINGS WITH TEMPORARY ENCLOSURES THAT WILL NOT DAMAGE
FRAMES/ TRIM.

