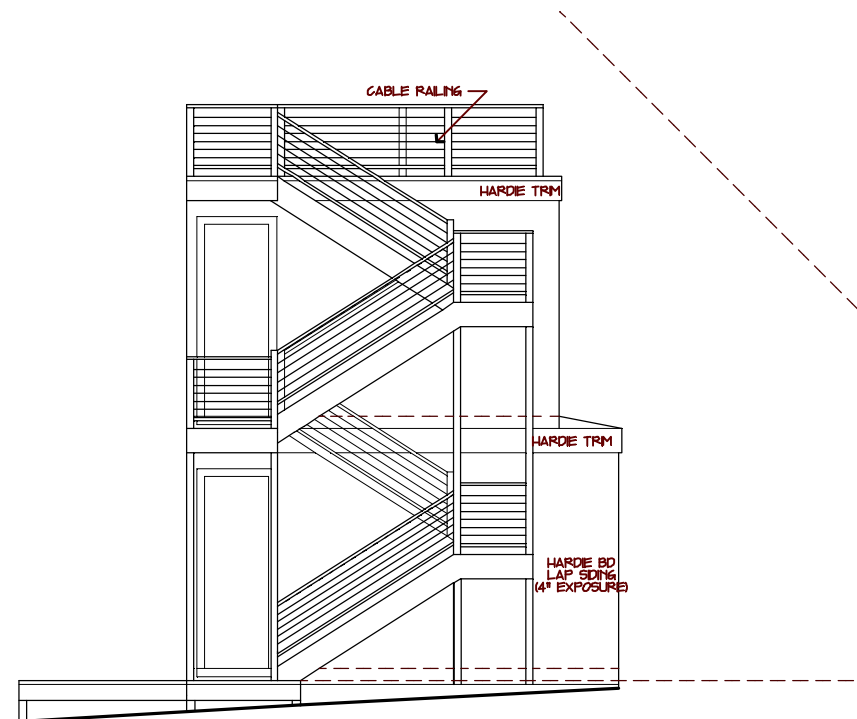
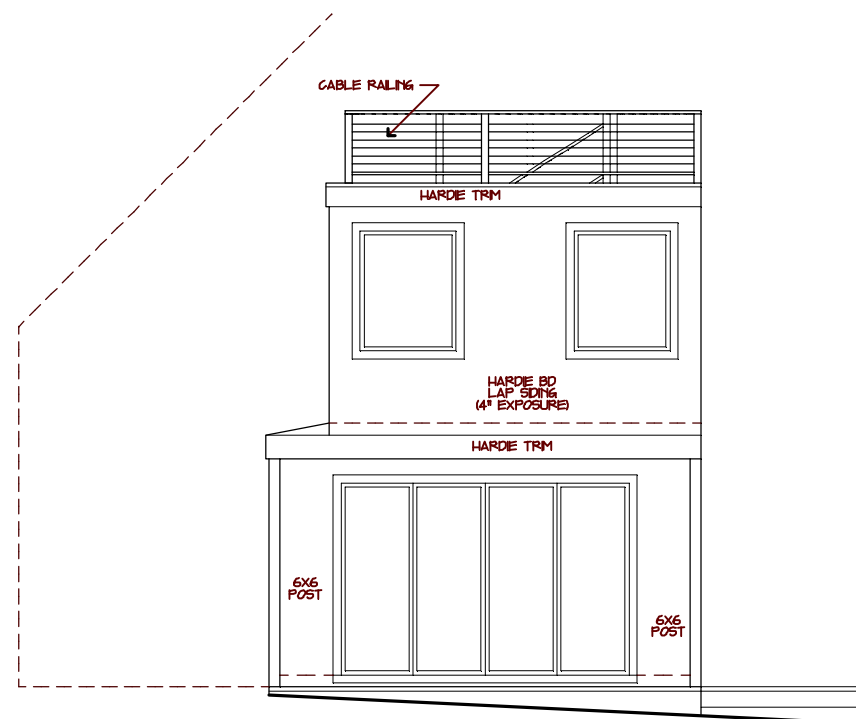




RIGHT/NORTH
ELEVATION

SCALE 1/8"=1'-0"



LEFT/SOUTH
ELEVATION

SCALE 1/8"=1'-0"



CHUCK@CHUCKKRUEGER.COM
6603 CANDLE RIDGE COVE
AUSTIN, TEXAS 78731 (512) 327-5306

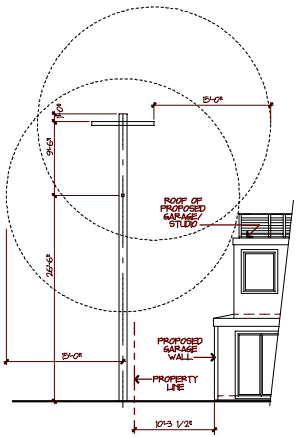
AN ADDITION TO THE
THE SULLIVAN RESIDENCE
2108 KEYWOOD AVE
AUSTIN, TX

	REVISIONS	DATE 08/20/21
	1 10/18/21	JOB # 21-04
		A-3 ARCHITECTURAL

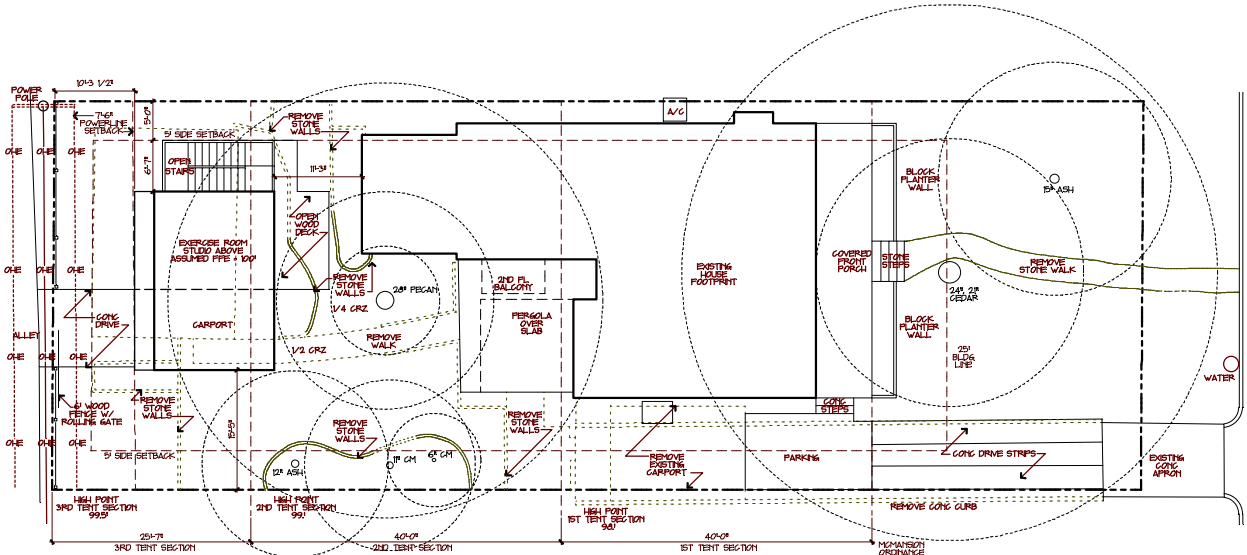
APPROVED
By diazj at 10:22 am, Oct 21, 2021

All Structures must maintain 15' Radial Clearance from AE Overhead Primary and Neutral Electric wires. This measurement is from the nearest wire to the edge of the structure (including eaves and overhangs). This DOES NOT include Transmission lines. Per AE Criteria 1.10.3

Electric Service NOT Included in Review



POWER LINE
CLEARANCE DTL

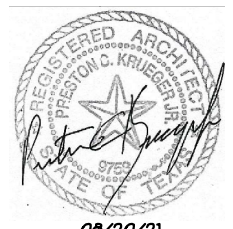


PROPOSED IMPERVIOUS COVER	
SITE AREA	7,011 SQ FT
EXISTING HOUSEFOOTPRINT	1,900 SQ FT
NEW DETACHED GARPORT AND STUDIO FOOTPRINT	430 SQ FT
NEW CONC DRIVE STRIPS	170 SQ FT
NEW CONC PARKING PAD	500 SQ FT
EXISTING CONC/STONE PLATWORK TO REMAIN	300 SQ FT
COVERED FRONT PORCH & STEPS	290 SQ FT
GARPORT DRIVE TO ALLEY	100 SQ FT
WOOD DECK: 170 SQ FT @ 50%	85 SQ FT
TOTAL IMPERVIOUS AREA	3,844 SQ FT
TOTAL IMPERVIOUS COVER	44.8%
ALLOWED IMPERVIOUS COVER	3.85%

SITE PLAN
SCALE 1/8"=1'-0"

PROPERTY DESCRIPTION
LOT 4, BLOCK 36, TRAVIS HEIGHTS
A SUBDIVISION OF TRAVIS COUNTY, RECORDED IN
VOLUME 3, PG 15, PLAT RECORDS OF TRAVIS COUNTY, TEXAS

FLOOR AREA RATIO	
SITE AREA	7,011 SQ FT
EXISTING 1ST FLOOR LIVING	1,900 SQ FT
EXISTING 2ND FLOOR LIVING	500 SQ FT
FRONT PORCH + 2ND SQ FT (EXEMPT)	0 SQ FT
NEW DETACHED GARPORT + 100 SQ FT	0 SQ FT
LESS EXEMPTION (400 SQ FT)	0 SQ FT
EXISTING COVERED PATIO + 265 SQ FT	0 SQ FT
NEW EXERCISE ROOM & STORAGE	251 SQ FT
NEW 2ND FLOOR STUDIO	307 SQ FT
TOTAL FLOOR AREA	2,709 SQ FT
F.A.R.	38.6%
ALLOWED FLOOR AREA (40%)	2,804%



08/20/21

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AN ADDITION TO THE
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2108 KENWOOD AVE
AUSTIN, TX

REVISIONS	DATE
1 10/18/21	08/20/21
	JOB # 21-04
	A-1
	ARCHITECTURAL