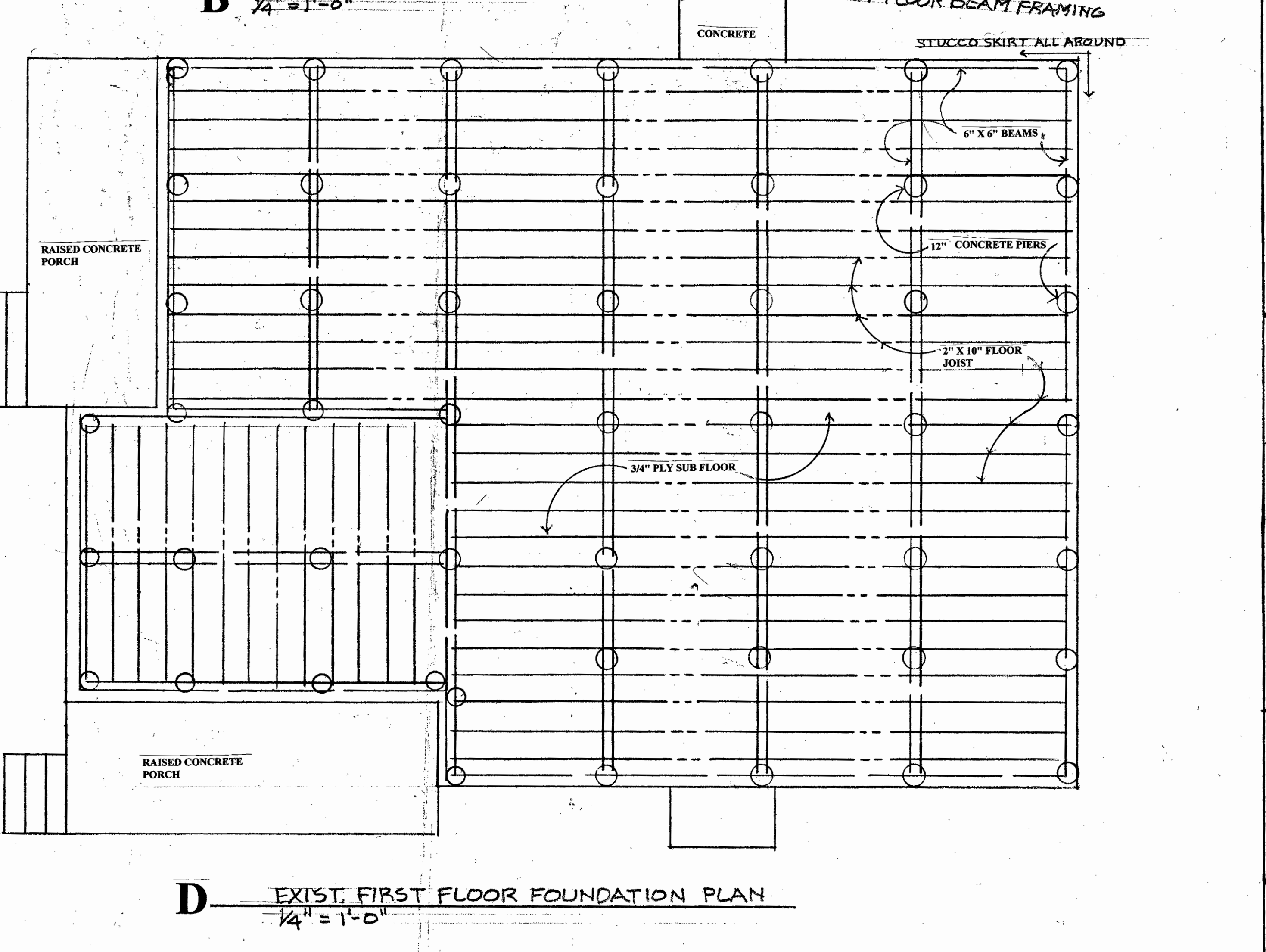
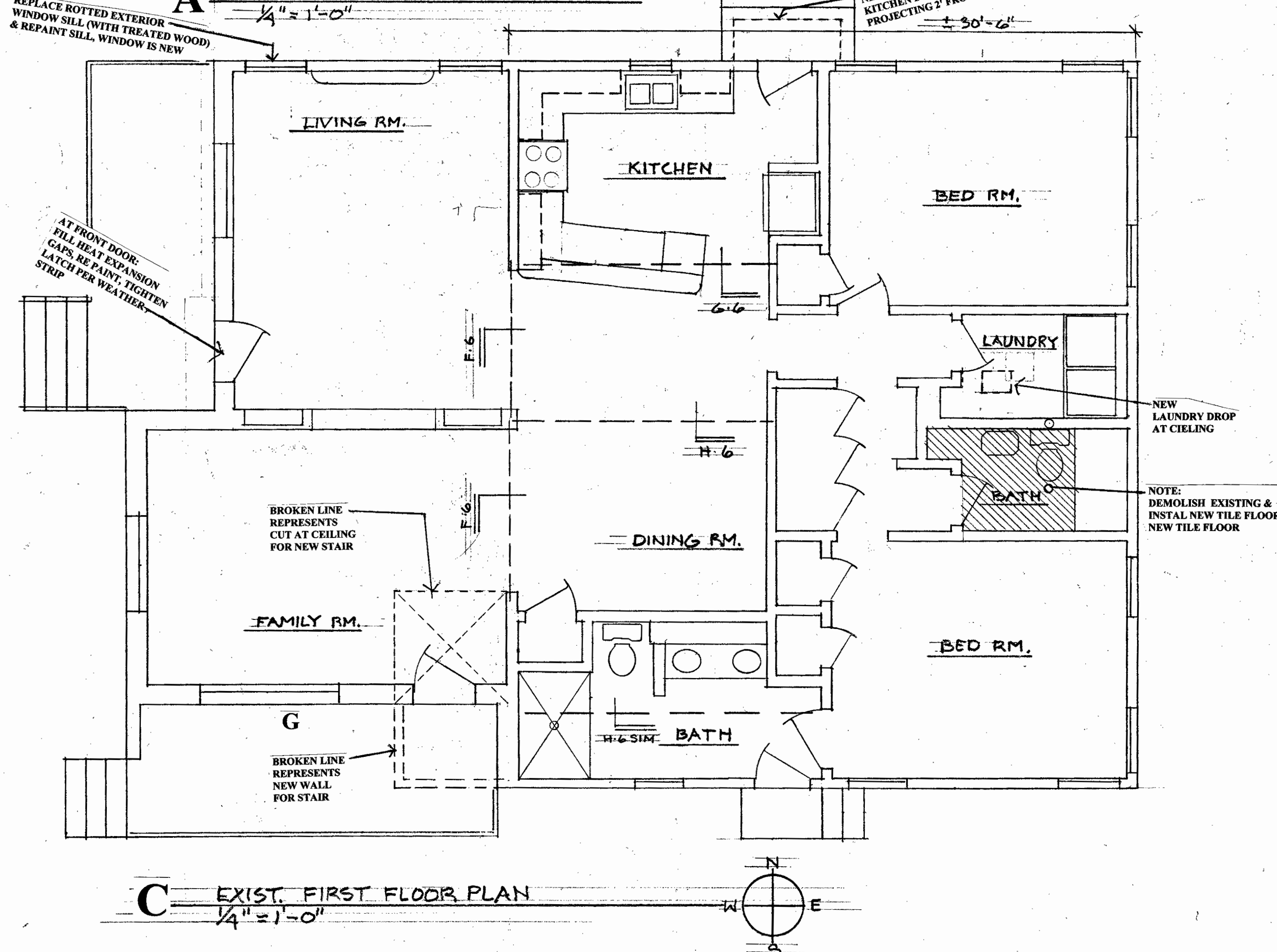
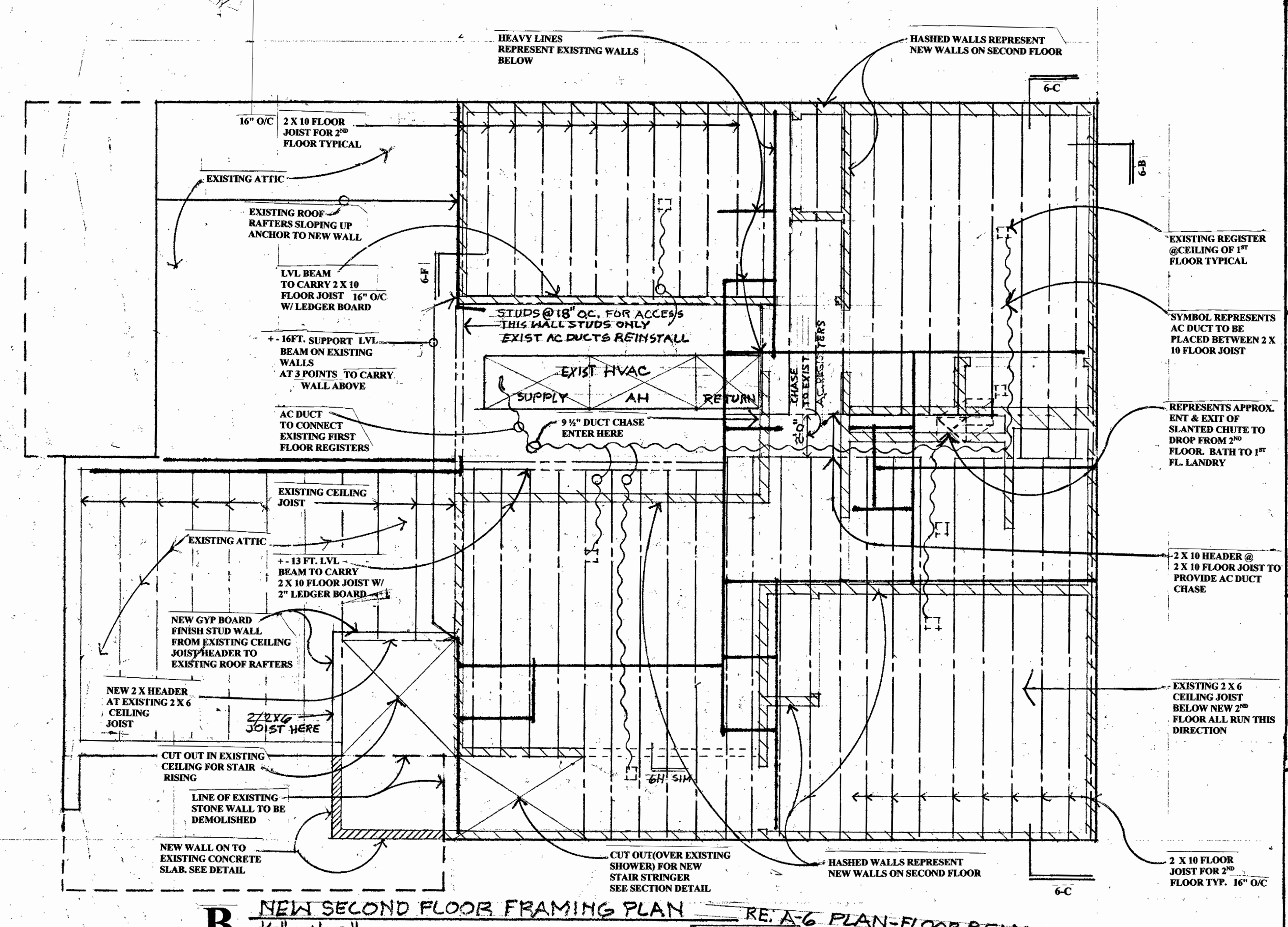
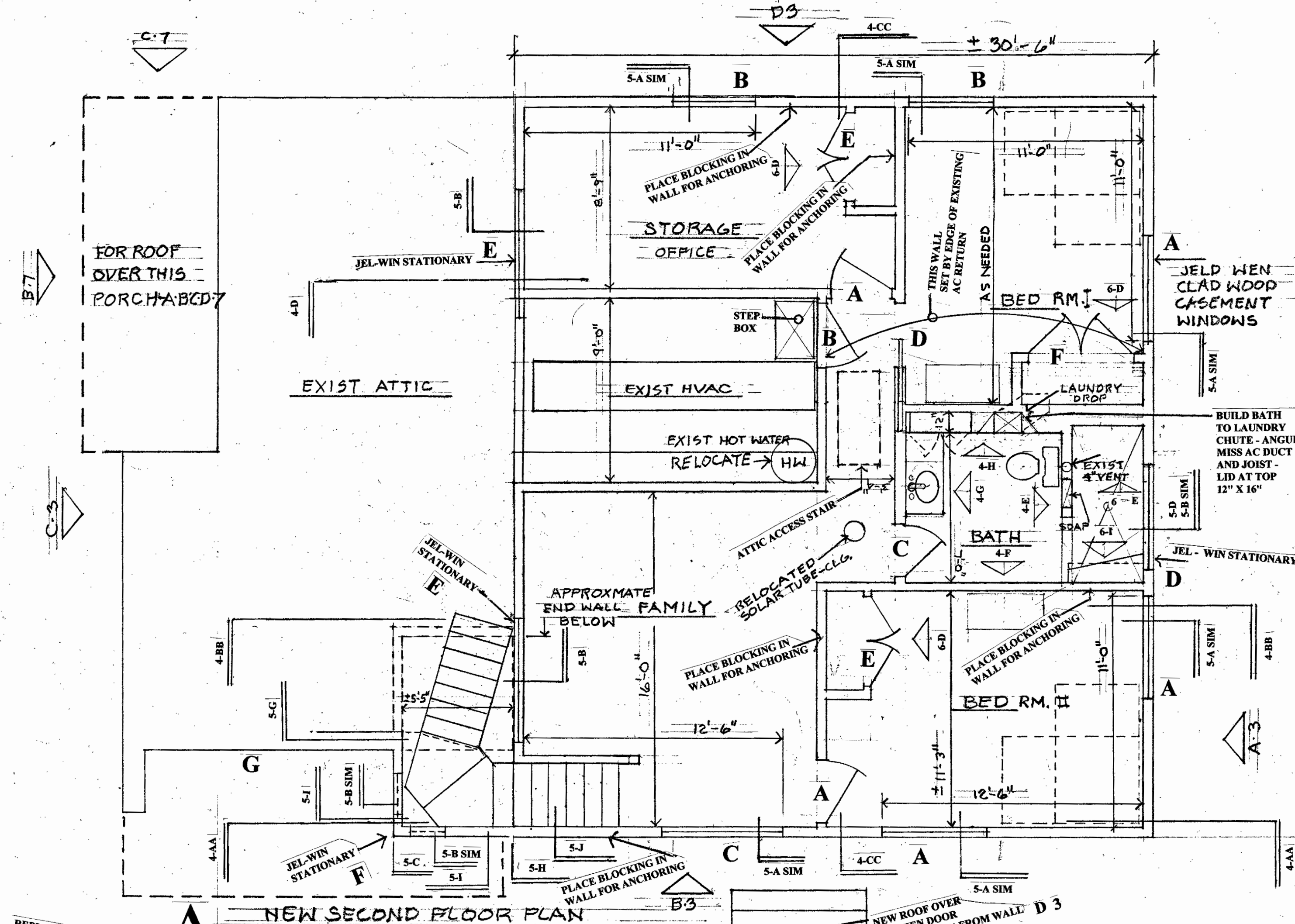




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HUNZIKER RESIDENCE
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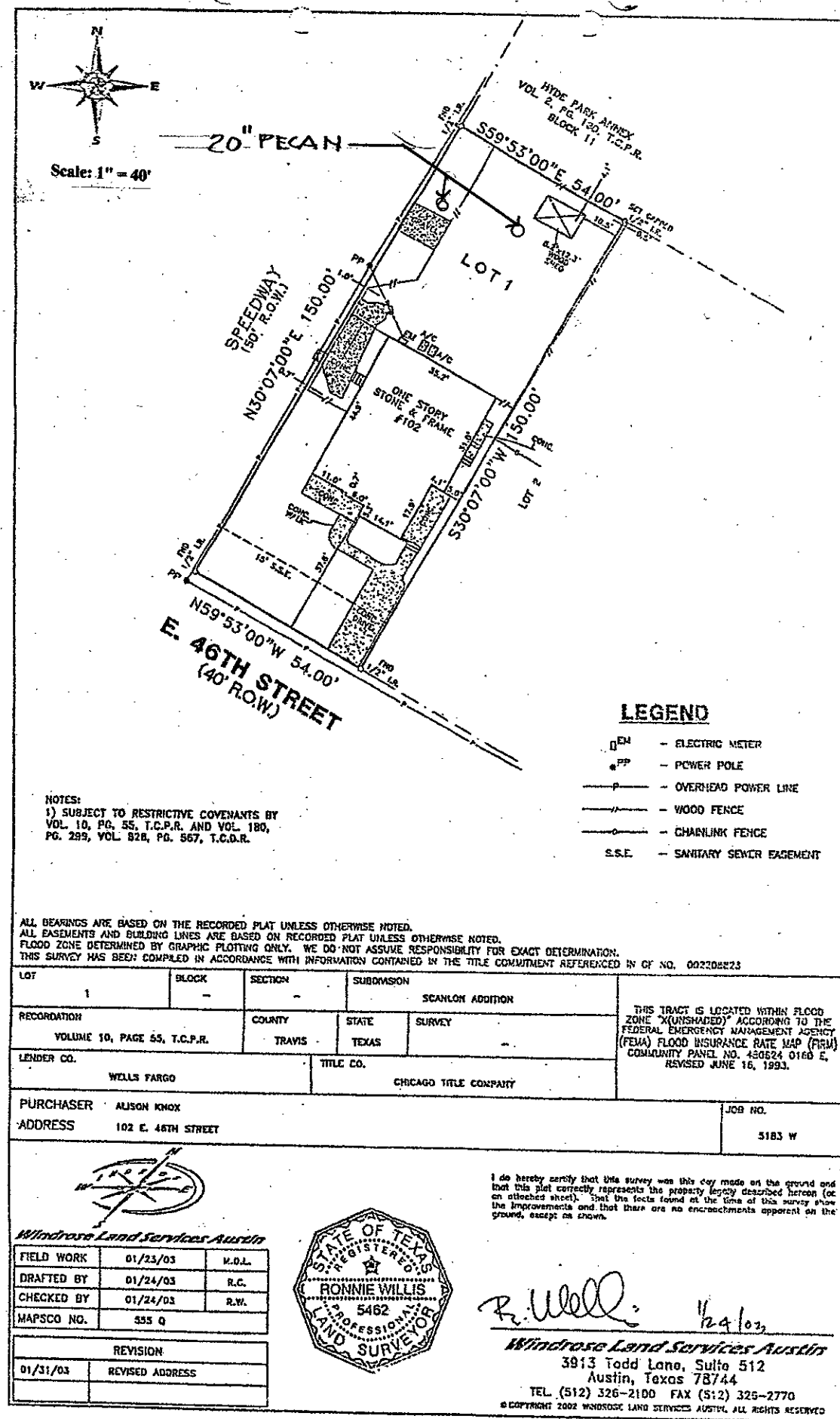
EXISTING FLOOR PLAN
 EXISTING FIRST FLOOR FOUNDATION PLAN
 NEW SECOND FLOOR PLAN
 NEW SECOND FLOOR FRAMING PLAN

DATE:

SHEET NUMBER:
 1

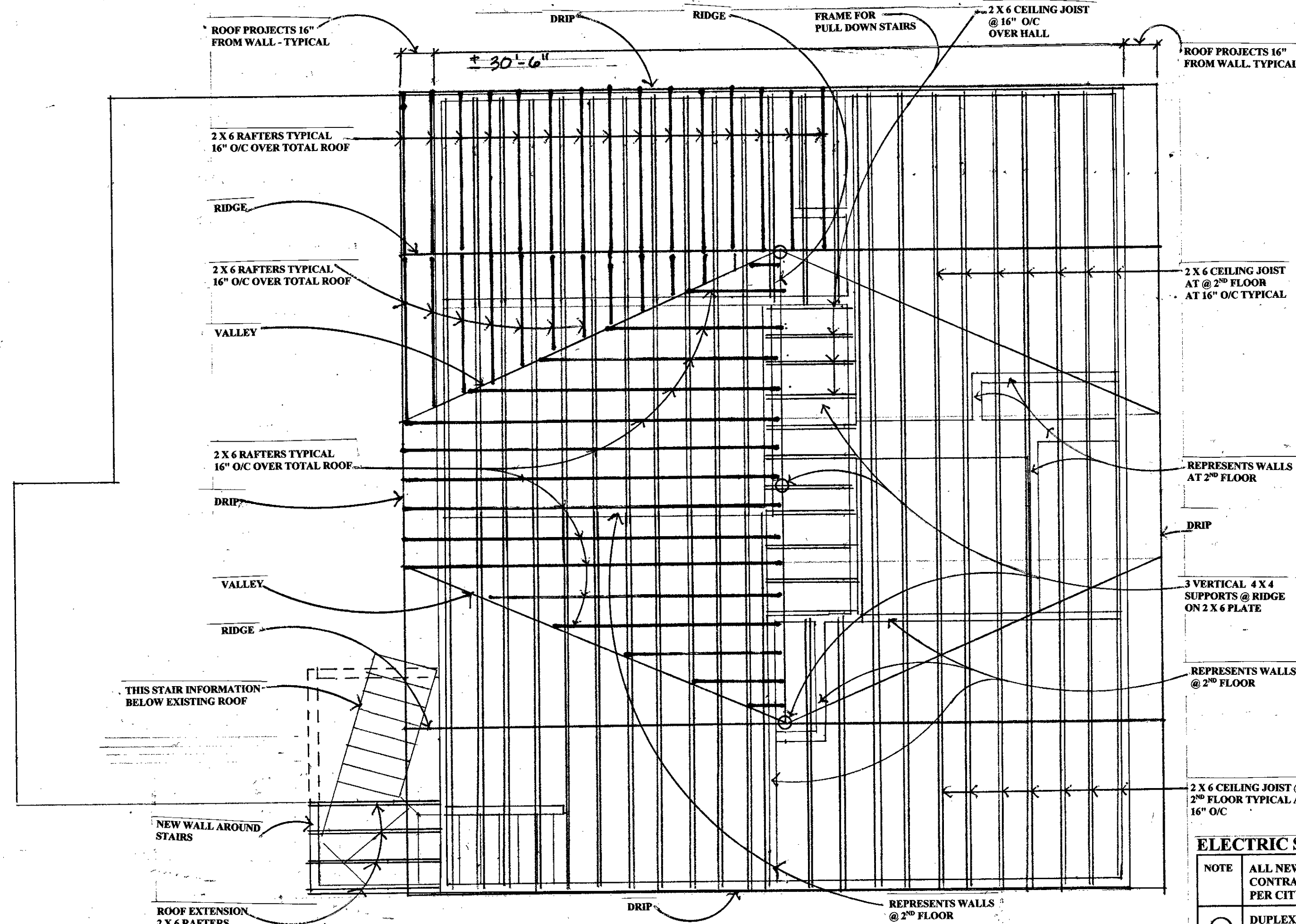
NOTES:

1. THIS 2ND FLOOR ADDITION WILL COVER APPROX. 2/3 OF EXISTING HOUSE FOOTPRINT. OWNER IS TRYING TO KEEP 1ST FLOOR UNTOUCHED AS MUCH AS POSSIBLE. REMOVING THIS AMOUNT ROOF & KEEPING SPACE DRIED IN IS EXTREMELY IMPORTANT. A SMALL PIECE OF THE ROOF, BY WHERE THE NEW STAIR IS TO BE LOCATED, COULD BE DEMOLISHED FIRST & LOCATE A TEMPORARY STAIR FOR EARLY ATTIC WORK & TARPED TO COVER.
2. THE BATH BASE & WALL CABINET (KRAFTMAID FROM HOME DEPOT) ARE COMPLETE W/ ALL PARTS & TRIM) HAVE BEEN PLOTTED OUT, WILL BE PURCHASED BY OWNER. TO BE INSTALLED, AS SHOWN IN THIS CONTRACT. ALL ELEVATIONS & PLAN DRAWING (FROM KRAFTMAID) WILL BE SUPPLIED.
3. A RIGID METAL EDGE BEAD IS TO BE APPLIED AT FINISH OF ALL OUTSIDE, EXPOSED, GYP. BOARD CORNERS.
4. ALL FLUSH OVERLAY FINISH CABINETS TO BE FITTED FOR FLUSH FINISH. ALL EXPOSED SURFACES ARE TO BE FINISHED.
5. CONTRACTOR IS TO REROUTE VARIOUS PLUMBING OF WATER, SEWER, NATURAL GAS TO THE NEW FIXTURE LOCATIONS. EXISTING 4" PLUMBING VENT STACK IS TO BE USED.
6. PROPERLY CAP OFF ANY EXISTING UTILITIES THAT ARE BEING RELOCATED OR TERMINATED.
7. OWNER IS PROVIDING EXISTING UNDER MOUNT SINK TO BE SECURED TO SILSTONE COUNTER TOP, BY SILSTONE INSTALLER.
8. REROUTE EXISTING UTILITIES FOR NEW BATH.
9. CLIENT WILL FURNISH A PULL DOWN STAIR. THE CONTRACTOR WILL INSTALL & COMPLETE W/ FINISHED TRIM, PAINT & WEATHER STRIP AT LOCATION ON DRAWING.
10. OWNER WILL SELECT CERAMIC TILE FOR NOTED FLOOR, WALLS, CEILING, SHELF, SPLASH. CONTRACTOR WILL SUPPLY ALL PROVISIONS TO INSTALL / FINISH AS SHOWN ON DRAWINGS. TILE ON WALLS & CEILING IS TO BE ON 1/2" CEMENT BASED, FIBERGLASS BOARD OVER POLY MEMBRANE LAPPED INTO SHOWER FLOOR PAN. TILE ON THE FLOOR: ON TAPERED GROUT BED, WITHIN SHOWER PAN. TILE EDGES & CURBED CORNERS: TO BE BULL NOSED EDGE TILE. CONTRACTOR IS TO PROVIDE QUALITY LEAK PROOF SHOWER & PAN. ALL WORK TO CONFORM TO ANSI A108.7
11. CONTRACTOR WILL MOVE THE EXISTING SOLAR TUBE. (REMOVING FROM ROOF & THE DINING ROOM CEILING,) REPLACING IN CEILING IN SPECIFIED AREA ON DRAWING. COMPLETE THE CEILING FINISH LENS, REFLECTING TUBE & ROOF RECEPTOR OPTICS & ROOF FLASHING FOR FOR A WEATHER PROOF SEAL. "ODI TUBULAR SKYLIGHTS 14" DIAMETER REMOVE & REINSTALL.
12. PROVIDE ALL WORK REQUIRED FOR COMPLETE ELECTRICAL & ANCILLARY SYSTEM AS INDICATED ON DRAWINGS & AS PER CITY OF AUSTIN REQUIREMENTS & APPLICABLE PROVISIONS OF ELECTRICAL CODES APPLICABLE TO PROJECT. ALL ELECTRICAL WORK AS SHOWN WITH SOME LIGHTING FIXTURES & SOME FANS TO BE FURNISHED BY OWNER* & ALL TO BE INSTALLED, PER CODE, BY THE CONTRACTOR.
13. ALL ROOMS, HALL, CLOSETS, BATH ARE TO RECEIVE BASE & DOOR TRIM AS NOTED ON SHEET 4-I
14. PROVIDE ALL WORK REQUIRED FOR COMPLETE PLUMBING & ANCILLARY SYSTEM AS INDICTED ON DRAWINGS & AS PER CITY OF AUSTIN REQUIREMENTS & APPLICABLE PROVISIONS OF PLUMBING CODES APPLICABLE TO PROJECT. ALL ITEMS OF PLUMBING AS SHOWN ON DRAWINGS ARE TO BE LOCATED AS ON DRAWING & MADE TO BE COMPLETE & OPERABLE, AS AUSTIN CODE - EXISTING GAS HOT WATER HEATER IS TO BE RELOCATED CLOSE TO WHERE IT NOW.
15. ALL ASPECTS OF EXTERIOR SITE L & SCAPAE ARE TO REMAIN AS EXISTING & VIABLE, WHERE POSSIBLE.
16. PROVIDE WOOD FRAMING ON ACCORDANCE W/NATIONAL INSTITUTE OF STANDARDS & TECHNOLOGY
17. NEW HVAC TO MEET COMMON REQUIREMENTS & ASHRAE/IESNA COMPLIANCE. IN ADDITION THE EXISTING HVAC UNIT IN ATTIC IS TO BE RETAINED WITH THE EXISTING FLEX DUCTS ROUTED THROUGH NEW GANG DUCTS IN NEW 2ND FLOOR JOIST, WHERE SHOWN, TO REACH EXISTING ROOM REGISTERS.
18. AT FRONT PORCH STEEL (WHERE NOTED) USE A COMMERCIAL GRADE PAINT EQUAL TO "CATERPILLAR" (LONG LASTING.)
19. WHERE NOTED @ SHEET 7 CHANGE THE 2" X 2" STEEL COLUMNS TO 2" PIPE COLUMNS (HEAVY OR @ MINIMUM TO BE SCHEDULE 40)
20. REMOVE PART OF THE EXISTING STEEL RAILS @ FRONT PORCH. CUT OFF @ CONCRETE & GRIND SMOOTH W/ CONCRETE SURFACE. HANDRAIL ON RIGHT OF STAIR TO REMAIN.
21. SILSTONE COUNTER TOP TO BE APPLIED @ KRAFTMAID BASE BATH CABINET. OWNER CHOICE OF STONE COLOR.
22. AT THE EXISTING PULL DOWN STAIR, REMOVE THE VOID & COMPLETELY RE-FRAME FOR GYP BOARD & REFINISHED TO MATCH EXISTING CEILING. ALSO, THE ADJOINING HALL CEILING SAGGED FROM PREVIOUS WET & TO BE PRESSED BACK UP, SCREWED & FINISHED (REPAIRED.)
23. PREP & PAINT NEWLY CONSTRUCTED SURFACES AS PER ASTM PROCEDURES & PAINT MANUFACTURES RECOMMENDATIONS AS TO ACHIEVE A QUALITY FINISH.

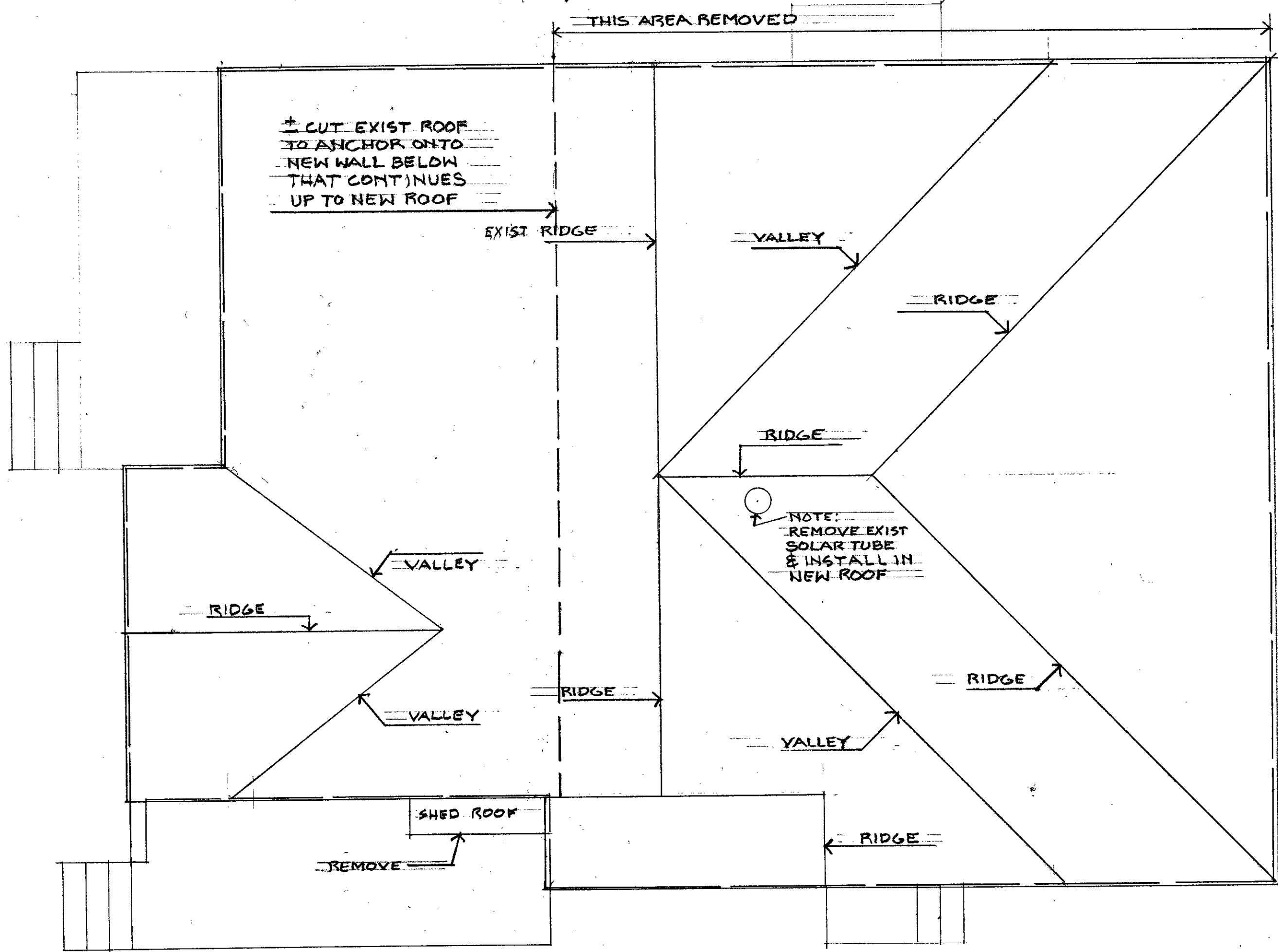


24. NOTE: TO PLACE BLOCKING ANCHORS IN WALL WHERE NOTED FOR STAIR HAND RAIL, SHOWER SEAT, CLOSET SHELVES, OR OTHER.
25. SHEATHING NOTED TO BE 1/2" OSB.
26. MOISTURE BARRIER AS RECOMMENDED BY HARDIE MANUFACTURE FOR THEIR BOARD SIDING.
27. STUCCO WORK IS TO CONFORM TO ANSI STANDARD A42.1 & STUCCO FINISH MATERIAL AS DIRECTED BY ITS MANUFACTURER.
28. THIS CONSTRUCTION WORKS TO INSTALL A RUN OF NEW STAIRS OVER BACK WALL OF EXISTING SHOWER. THIS IS TO MAINTAIN THE MOISTURE BARRIERS PRESENT, & REPAIR TILE WHERE BOTTOM OF STAIR STRINGERS RISE ON OVER SHOWER TO CEILING, WITH NEW TILE FINISH (TO MATCH) ON UP TO CEILING. WITH BOTTOM OF THIS NEW STRINGER & INTERSECTION OF EXISTING SHOWER WALL TO BE NO LOWER THEN 5'10" AS SHOWN ON SHEET 5-I.
29. STAIR HANDRAIL & PARTS ARE TO BE OF A SOLID, ACCURATE, VISUALLY PLEASING RESULT & FINISHED & TO BE WITH MEASUREMENTS CONFORMING TO CODE.
30. A LAUNDRY CHUTE FROM NEW BATH DOWN THROUGH CEILING OF EXISTING LAUNDRY ROOM. SITE VERIFY SHEET 4-EGH.
31. A SHOWER SEAT IS TO BE BUILT & ANCHORED TO WALL - SHEET 6-I
32. ARE PROVIDING STAIRS TO 2ND FLOOR BY PROJECTING OUT ONTO EXISTING CONCRETE PORCH SLAB.
33. EXISTING ATTIC NOW HAS BLOWN CELLULAR INSULATION & MAY HAVE TO SUCK PARTLY OUT TO INSTALL NEW 2 X 10 FLOOR JOIST OVER AREA.
34. NOTE THAT SEVERAL ITEMS OF WORK ATTENTION ARE @ EXISTING 1ST FLOOR BEING: REMOVE & REPAIR AREA OF PULL UP STAIR, REPLACE ONE WINDOW @ SOUTH SIDE FAMILY ROOM, SOME EXISTING HVAC REGISTERS MAY MOVE TO ACCESS DUCT, LAUNDRY CHUTE @ CLING OF LAUNDRY ROOM, SHOWER REPAIR AS CONSTRUCT STAIR, SOLAR TUBE REMOVAL, WALL & CEILING CONSTRUCTION AT STAIR BEGINNINGS, REPAIR / REPLACE FOUR CEILING LIGHTS AT LIVING ROOM, REPLACE NOTED BATH TILE FLOOR, ADD SMALL ROOF OVER KITCHEN DOOR, REPLACE ONE NOTED WINDOW SILL, REPAIR GAPS & PAINT FRONT DOOR.
35. NOTE: OWNER WILL SUPPLY THE FOLLOWING:
ELECTRICAL FANS,
LIGHT FOR FRONT PORCH,
LIGHT OVER BATH ROOM SINK,
BATH FIXTURES:
SINK - FAUCET,
SHOWER FAUCET,
SHOWER HEAD,
TOWEL BAR,
TOILET PAPER HOLDER,
WATER CLOSET
CABINETS FOR BATH (KRAFTMAID BASE SINK CABINET & WALL CABINET,
UNDER MOUNTED BATH SINK,
A QUIET EXHAUST FAN
FRONT PORCH - THE NOTED 1" X 12' HARDIE DECKING.
AT STAIRS - THE NOTED OAK PLYWOOD
CEILING PULL DOWN STAIR
* THESE ITEMS ARE TO BE INSTALLED BY THE CONTRACTOR
36. NOTED (BIOFOAM) INSULATION BEING "SEAL TITE PRO OCKX" CARLISLE SPRAY FOAM INSULATION. SPRAY - APPLIED POLYURETHANE FOAM PLASTIC INSULATION. ADD IGNITION BARRIER APPLIED TO FOAM IN ATTIC 5.5" OF OPEN CELL APPLIED TO BACKSIDE OF ROOF 3.5" OF OPEN CELL APPLIED TO EXTERIOR WALLS. (ALSO EXTERIOR TO ATTIC) OF THIS NEW SPACE. APPLIED BY PROFESSIONAL FOAM INSTALLER APPROVED BY CARLISLE OR (SPFA) ALLIANCE.
37. PROVIDE ROOF GUTTERS WHERE NOTED, BEING 6" SEAMLESS 1/2 ROUND IN BARE GALVALUME MATERIAL USING STAMPED SADDLE SUPPORT BRACKETS. INCLUDE 4" ROUND DOWN SPOUTS, OVER SIZED FUNNEL OUTLETS AND CUSTOM GALVALUME LEAF EATERS AT EACH DOWN SPOUT DRAIN THAT MAKE 90 DEGREE OUTFLOW AT BOTTOM. PROVIDE LEAF PROTECTION MADE FOR 1/2 ROUND PROFILE GUTTER. GUTTER ON EAST AND WEST SIDE CONSIDER EXTRA DESIGN AS IS IT IS ONLY +- 7' LONG. HOWEVER, IT COLLECTS MORE AREA. ALL FASTENERS ARE STAINLESS STEEL AND SEALANT IS POLY ELASTOMERIC FOR ENDURING QUALITY. EXISTING GUTTER ON THE WEST ELEVATION AREA OF HOUSE (NOT RECEIVING SECOND FLOOR) IS TO REMAIN. CONSIDER "AUSTIN GUTTER MAN" AS THE SUB. "
38. APPLY STANDING SEAM TYPE 26 GAGE SNAP LOCK ROOFING SYSTEM 16" WIDE WITH STANDING SEAMS APPROX. 1 1/2" TALL. APPLY 26 GAGE RIDGE CAP @ 13" WIDE. APPLY 26 GAGE DRIP EDGE & USE 26 GAGE 7" BAR. APPLY A 26 GAGE VALLEY METAL LOCK SYSTEM INSTALL ALL PIPE FLASHING, WALL HEADWALL FLASHING AS REQUIRED, ALL WORK TO BE ACCORDING TO ASTM E 1514.
39. REPOINT OPEN JOINTS AT FRONT (WEST SIDE) OF EXISTING STONE HOUSE WALL.

HUNZIKER RESIDENCE



A NEW ROOF FRAMING PLAN & CEILING JOIST
 $\frac{1}{4}'' = 1'-0''$

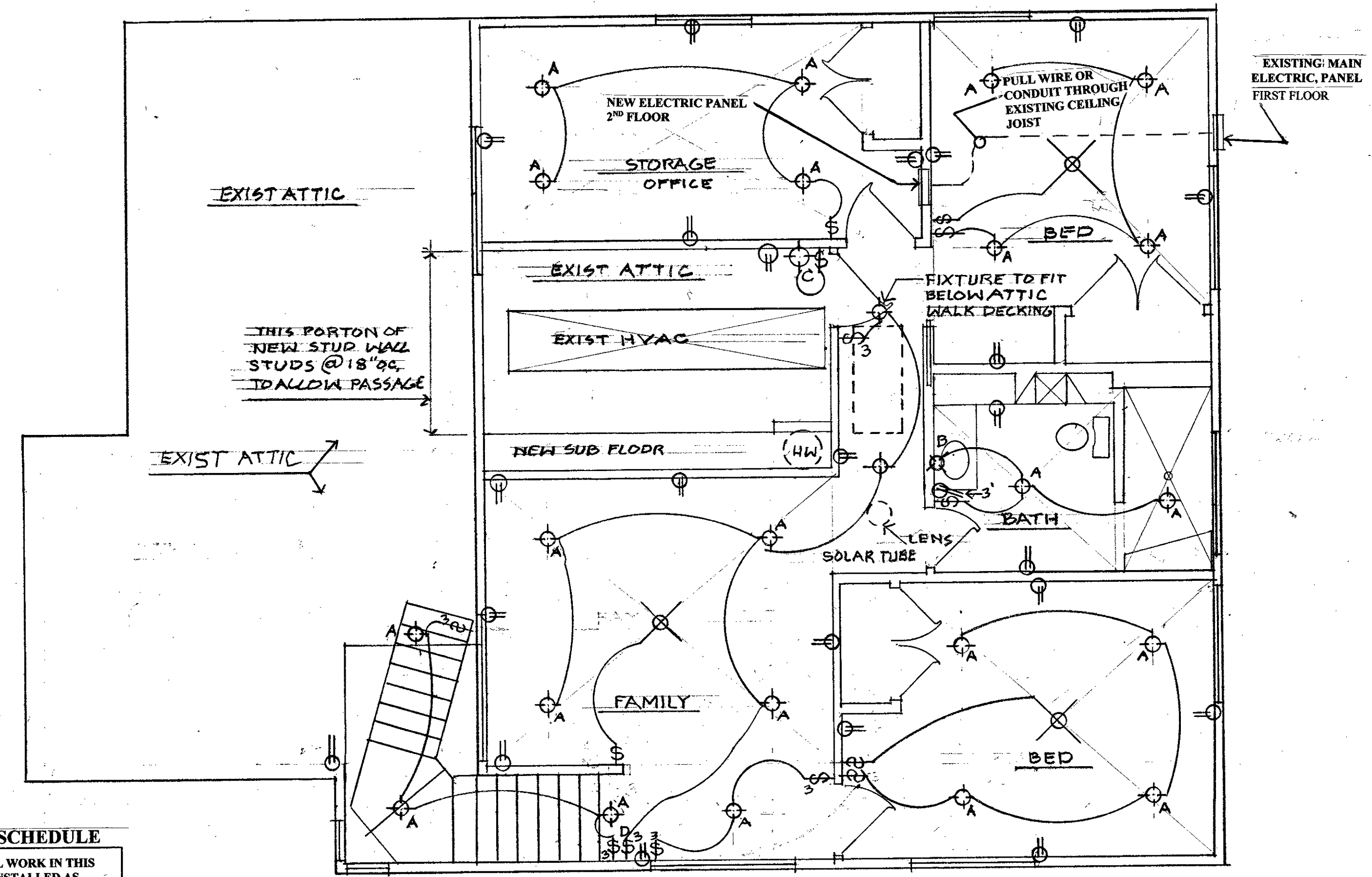


C EXISTING ROOF DEMOLITION PLAN (ASPHALT SHINGLE)
 $\frac{1}{4}'' = 1'-0''$

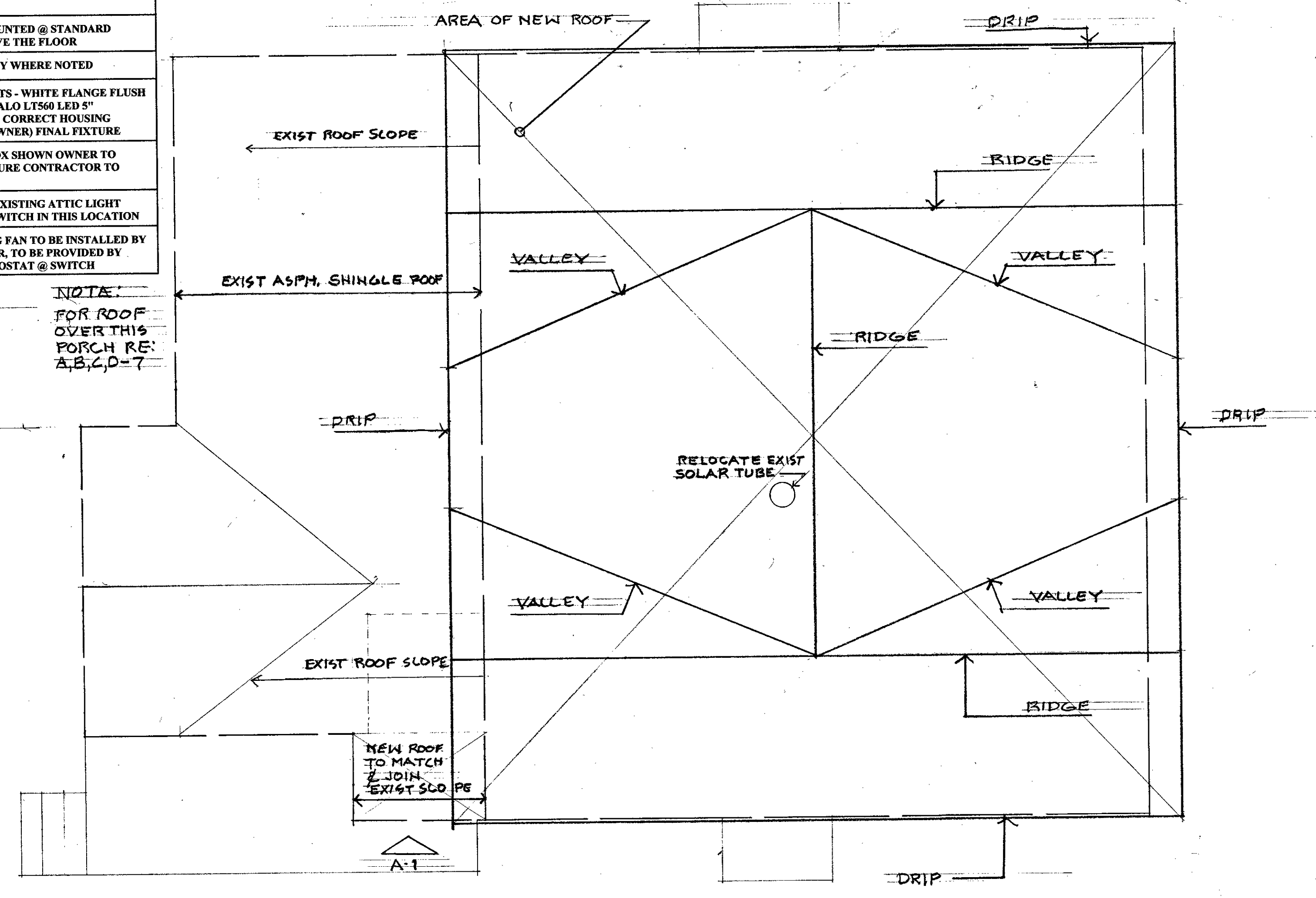
ELECTRIC SYMBOL SCHEDULE

NOTE	ALL NEW ELECTRICAL WORK IN THIS CONTRACT IS TO BE INSTALLED AS PER CITY OF AUSTIN CODE.
	DUPLEX OUTLET - MOUNTED AT STANDARD HEIGHT ABOVE THE FLOOR OR AS NOTED.
	PROVIDE COMPATIBLE DIMMER @ SWITCH
	SWITCH - MOUNTED @ STANDARD HEIGHT ABOVE THE FLOOR
	THREE (3) WAY WHERE NOTED
	RECESS LIGHTS - WHITE FLANGE FLUSH W/CEILING HALO LT50 LED 5" APERTURE IN CORRECT HOUSING (VERIFY W/OWNER) FINAL FIXTURE
	JUNCTION BOX SHOWN OWNER TO SELECT FIXTURE CONTRACTOR TO INSTALL
	RE LOCATE EXISTING ATTIC LIGHT FIXTURE & SWITCH IN THIS LOCATION
	NEW CEILING FAN TO BE INSTALLED BY CONTRACTOR, TO BE PROVIDED BY OWNER. RHEOSTAT @ SWITCH

NOTE:
 FOR ROOF OVER THIS PORCH RE: A,B,C,D-7



B 2ND FLOOR ELECTRICAL PLAN
 $\frac{1}{4}'' = 1'-0''$



D NEW ROOF PLAN (METAL STAND SEAM)
 $\frac{1}{4}'' = 1'-0''$

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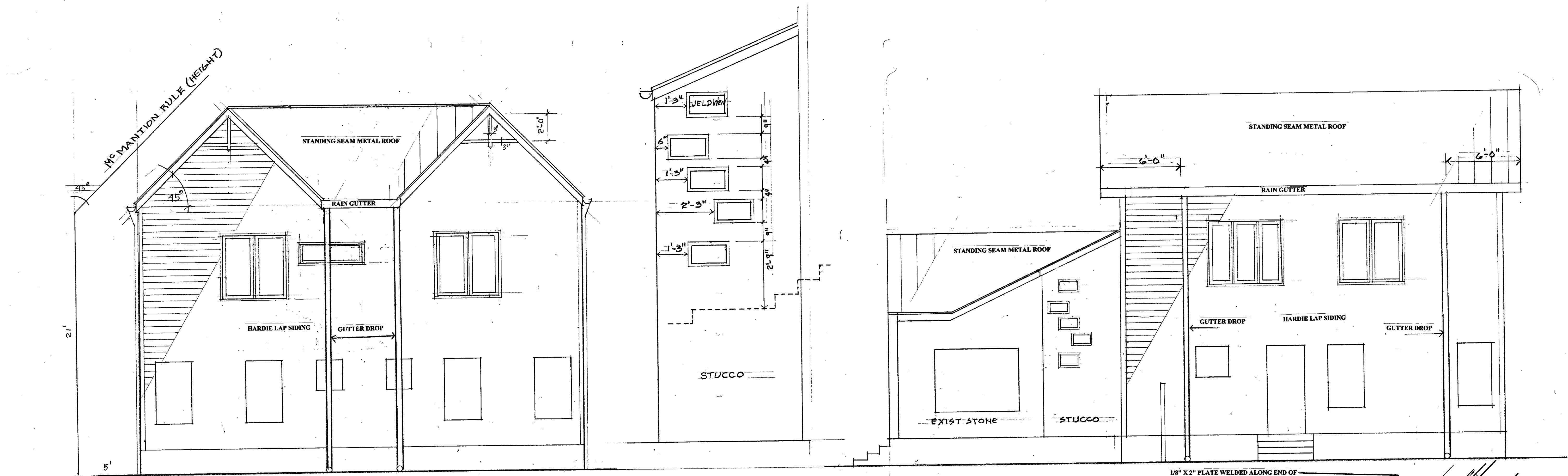
HUNZIKER RESIDENCE
 102 EAST 46TH STREET
 AUSTIN, TEXAS 78751

NEW ROOF FRAMING PLAN & CEILING JOIST
 2ND FLOOR ELECTRICAL PLAN
 EXISTING ROOF DEMOLITION PLAN
 NEW ROOF PLAN

DATE:

SHEET NUMBER:

2



A EAST ELEVATION

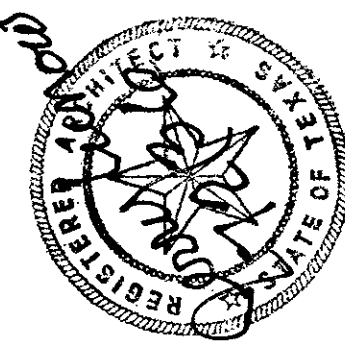
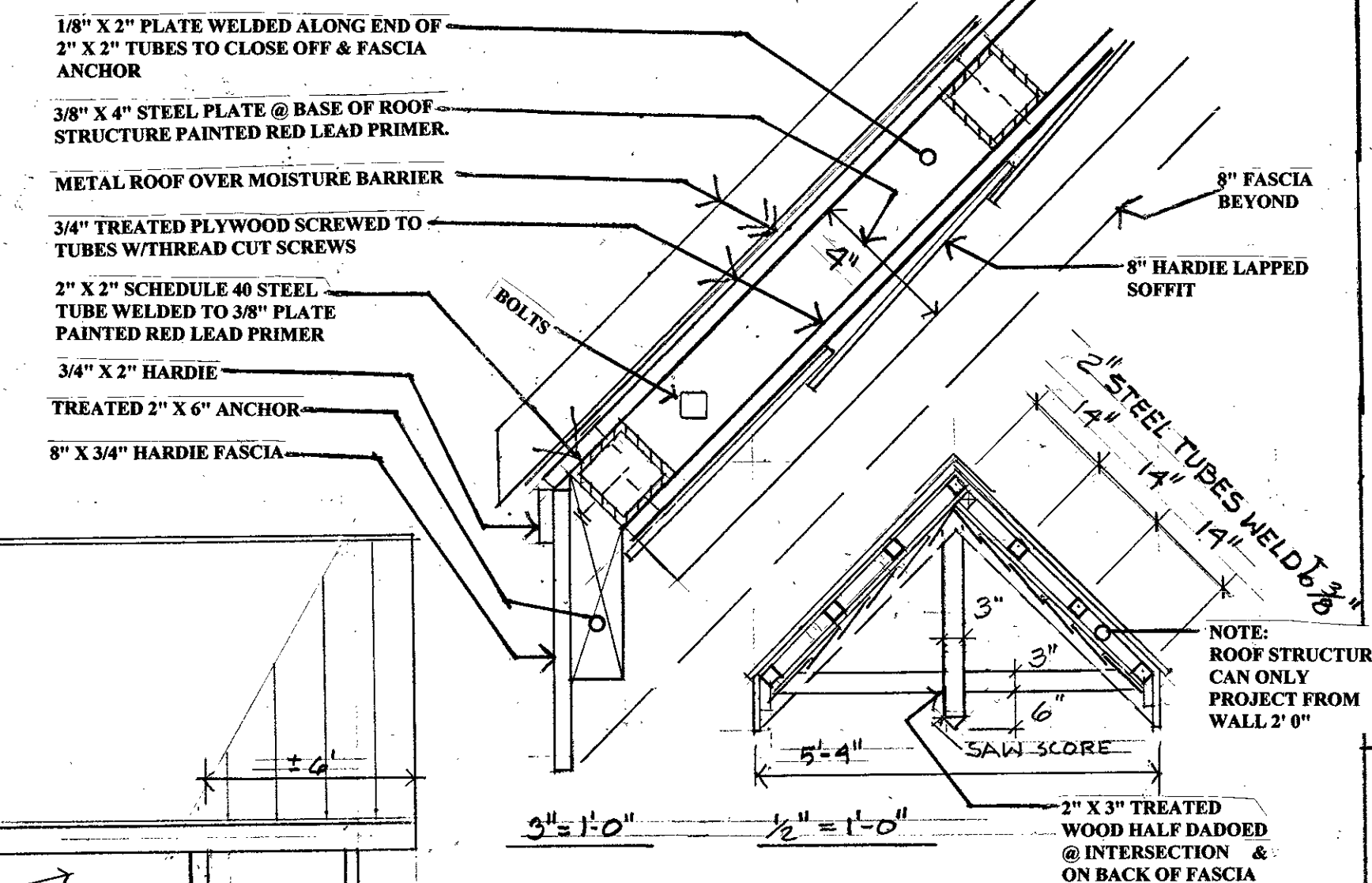
$\frac{1}{4}'' = 1'-0''$

SOUTH STAIR ELEV.

$\frac{1}{2}'' = 1'-0''$

B SOUTH ELEVATION

$\frac{1}{4}'' = 1'-0''$



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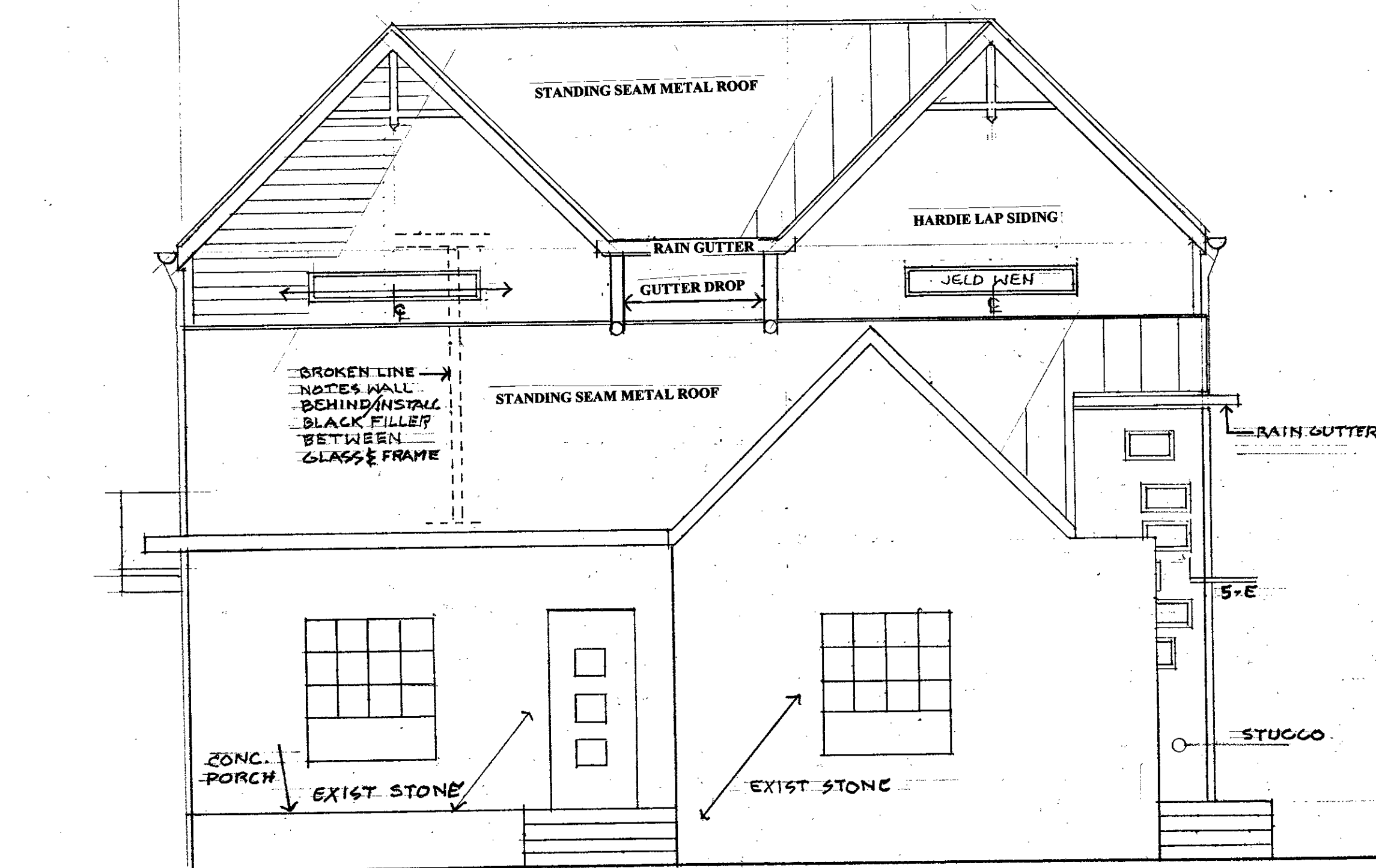
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102 EAST 46TH STREET
AUSTIN, TEXAS 78751

HOUSE ELEVATION
WEST WALL STAIR ELEVATION
SOUTH WALL STAIR ELEVATION

DATE:

SHEET NUMBER:

3



C WEST ELEVATION

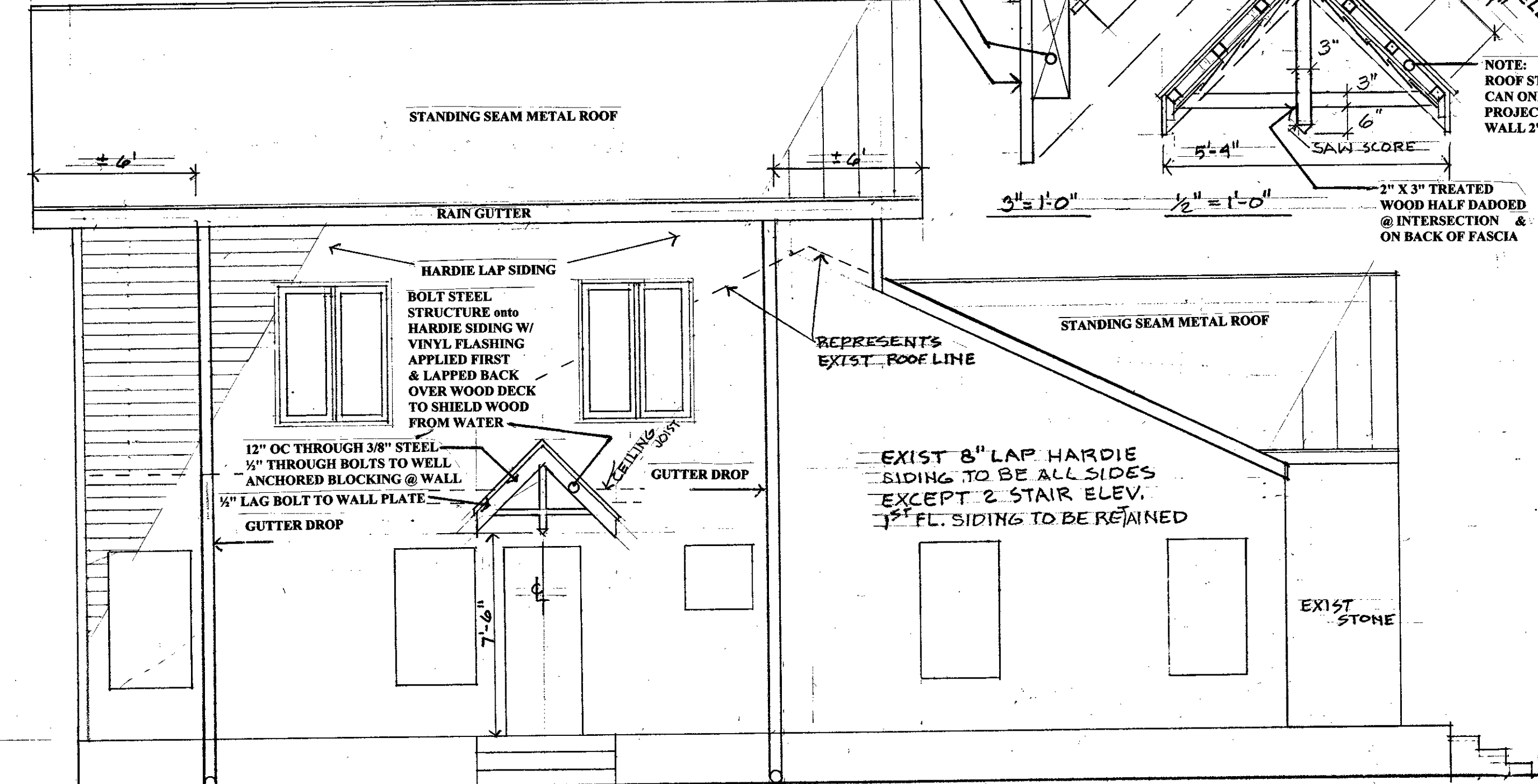
$\frac{1}{4}'' = 1'-0''$

WEST STAIR ELEV.

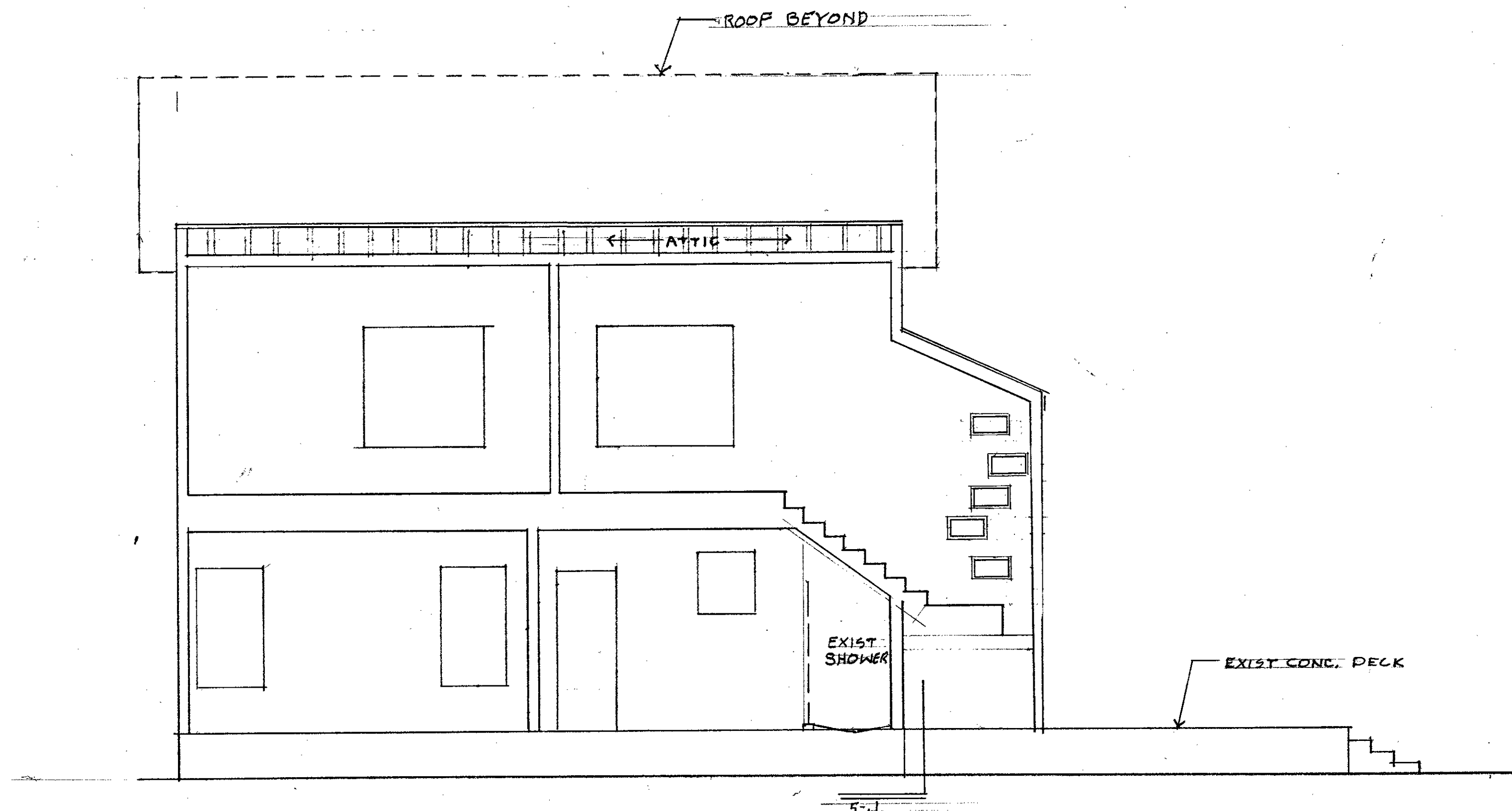
$\frac{1}{2}'' = 1'-0''$

D NORTH ELEVATION

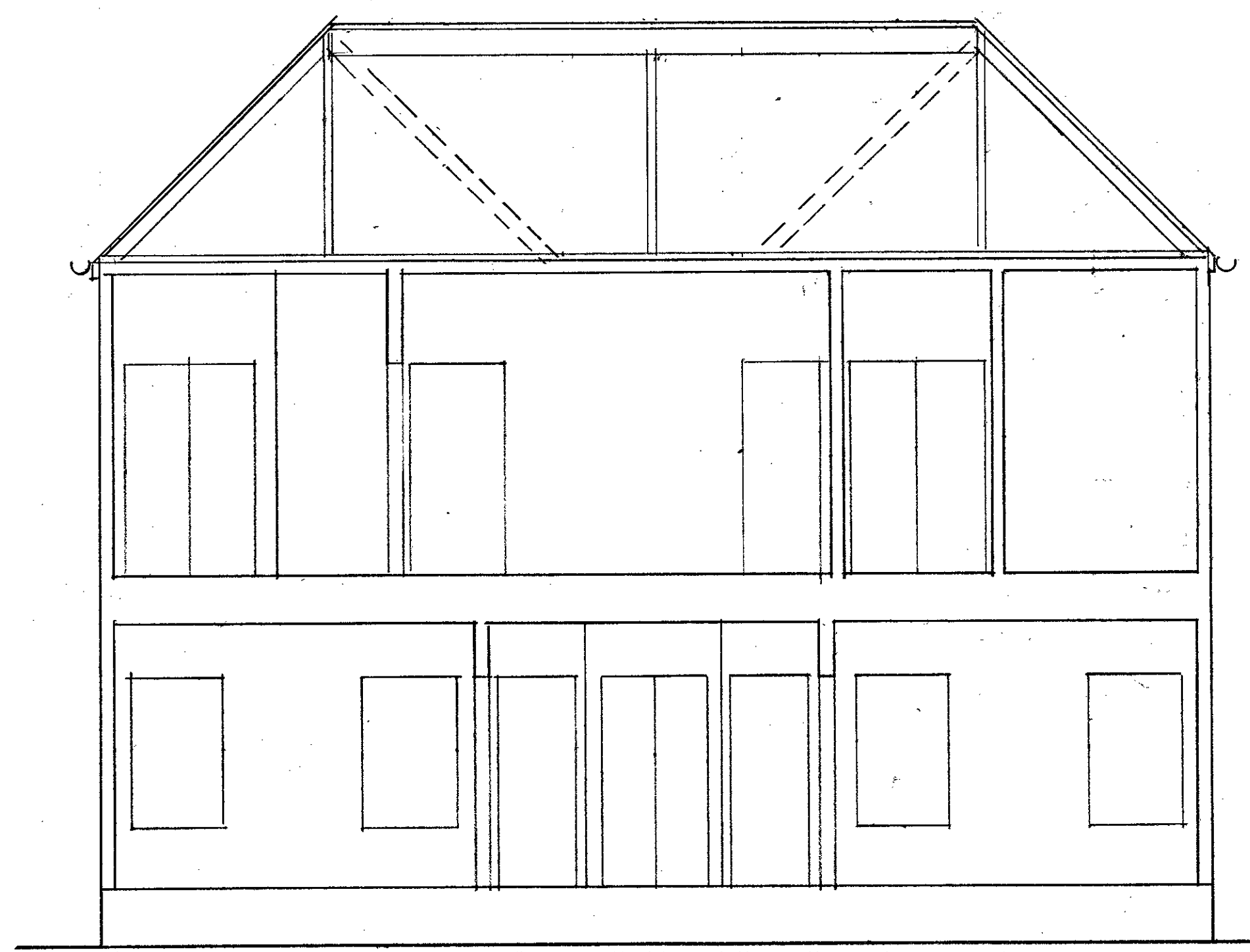
$\frac{1}{4}'' = 1'-0''$



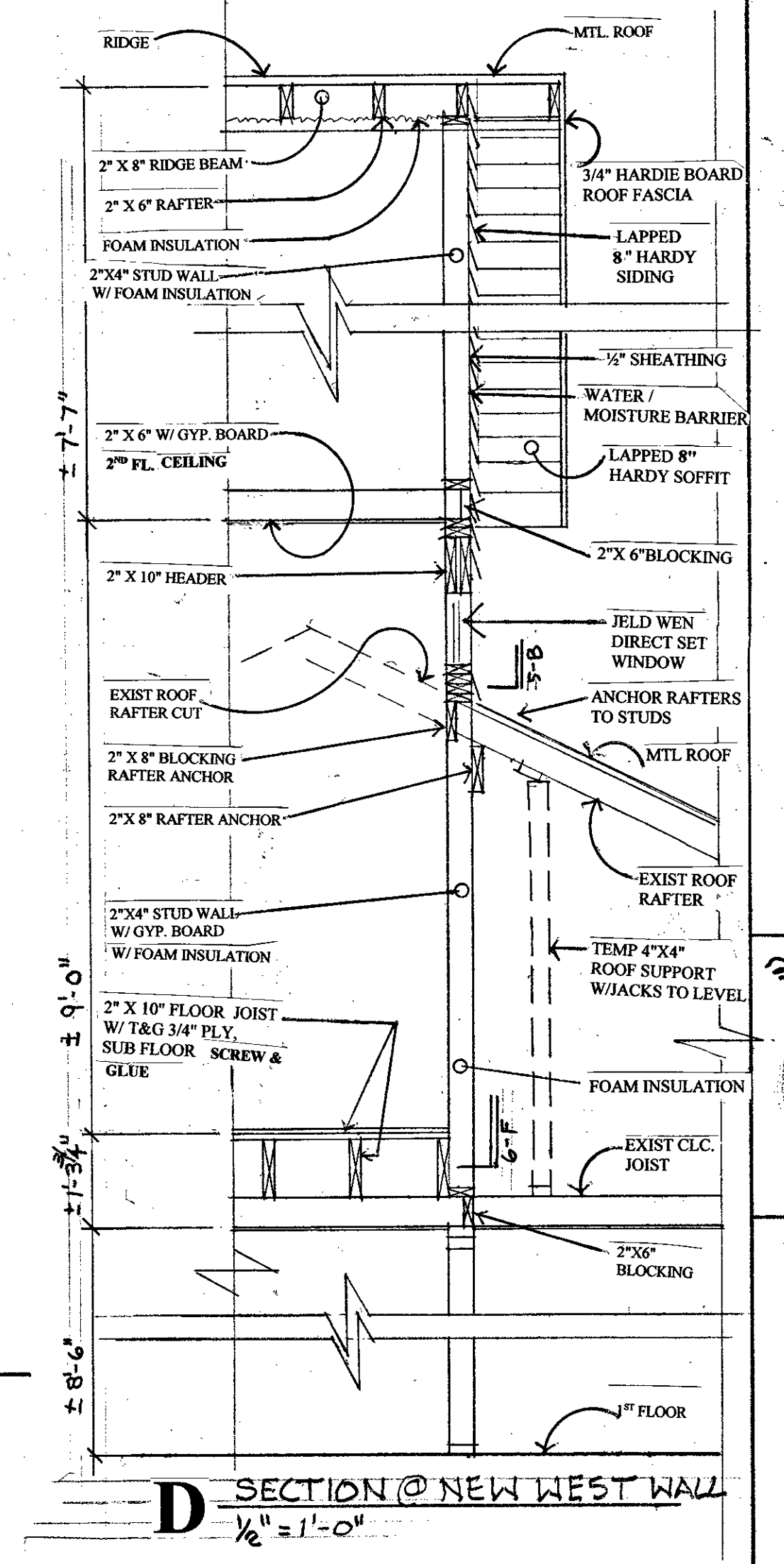
VIEW OF NEW ROOF OVER PORCH



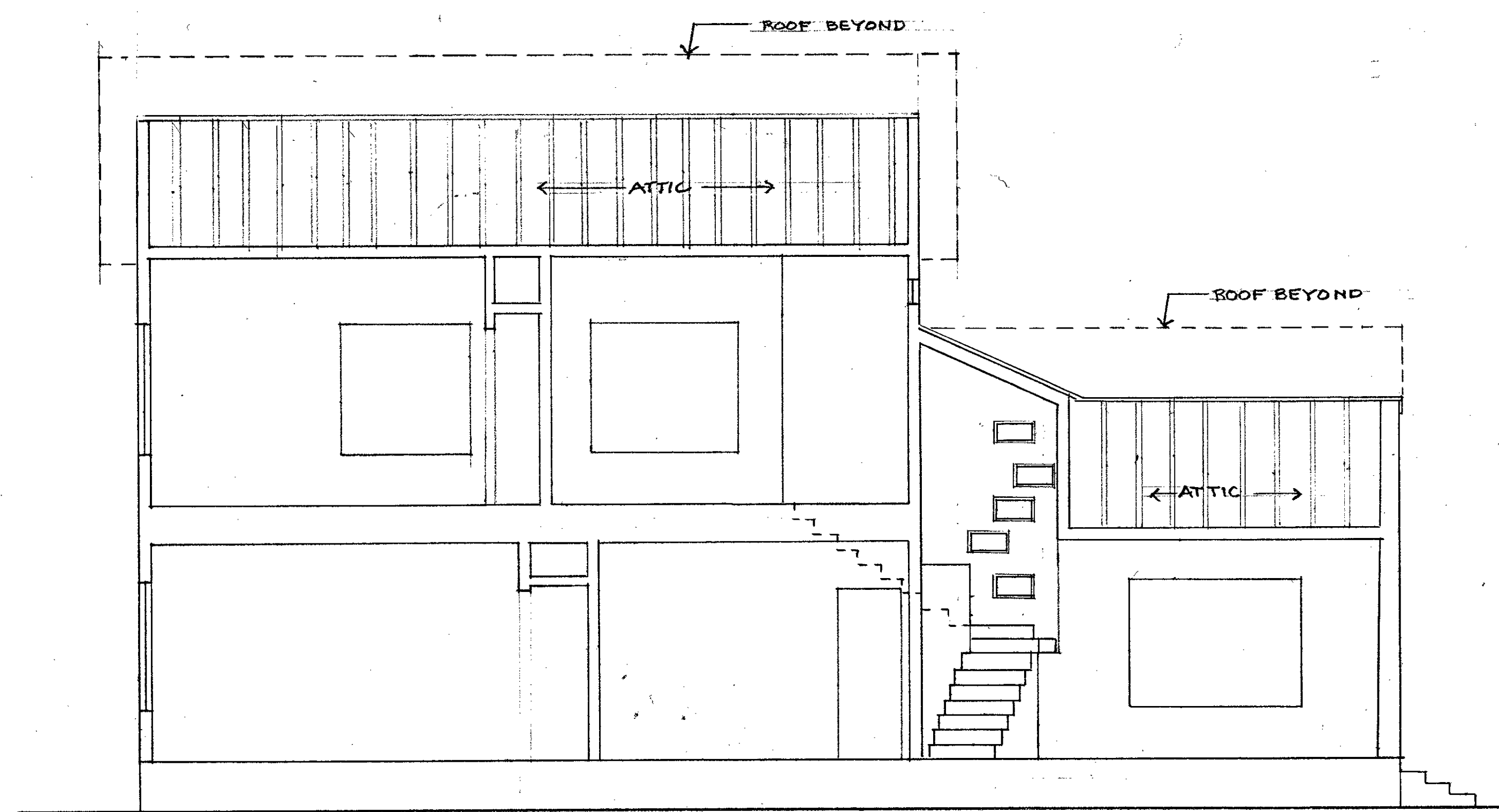
AA SECTION STAIR TO 2ND FLOOR LOOKING SOUTH
1/4" = 1'-0"



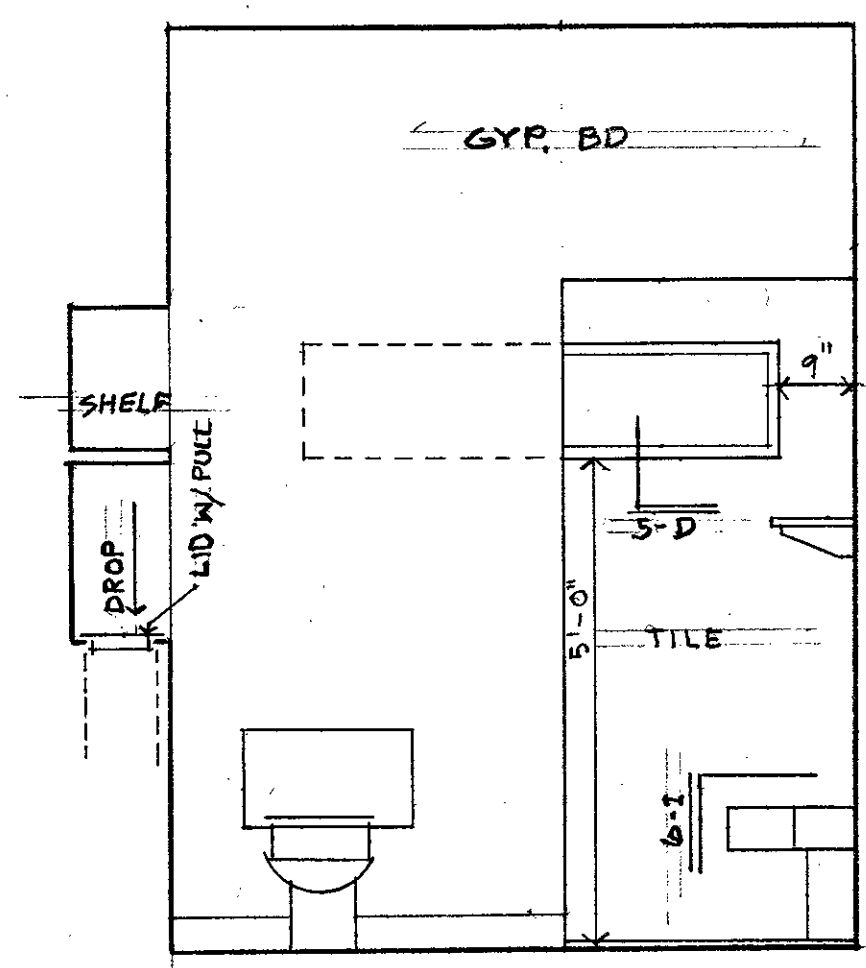
CC SECTION THROUGH CENTER LOOKING EAST
1/4" = 1'-0"



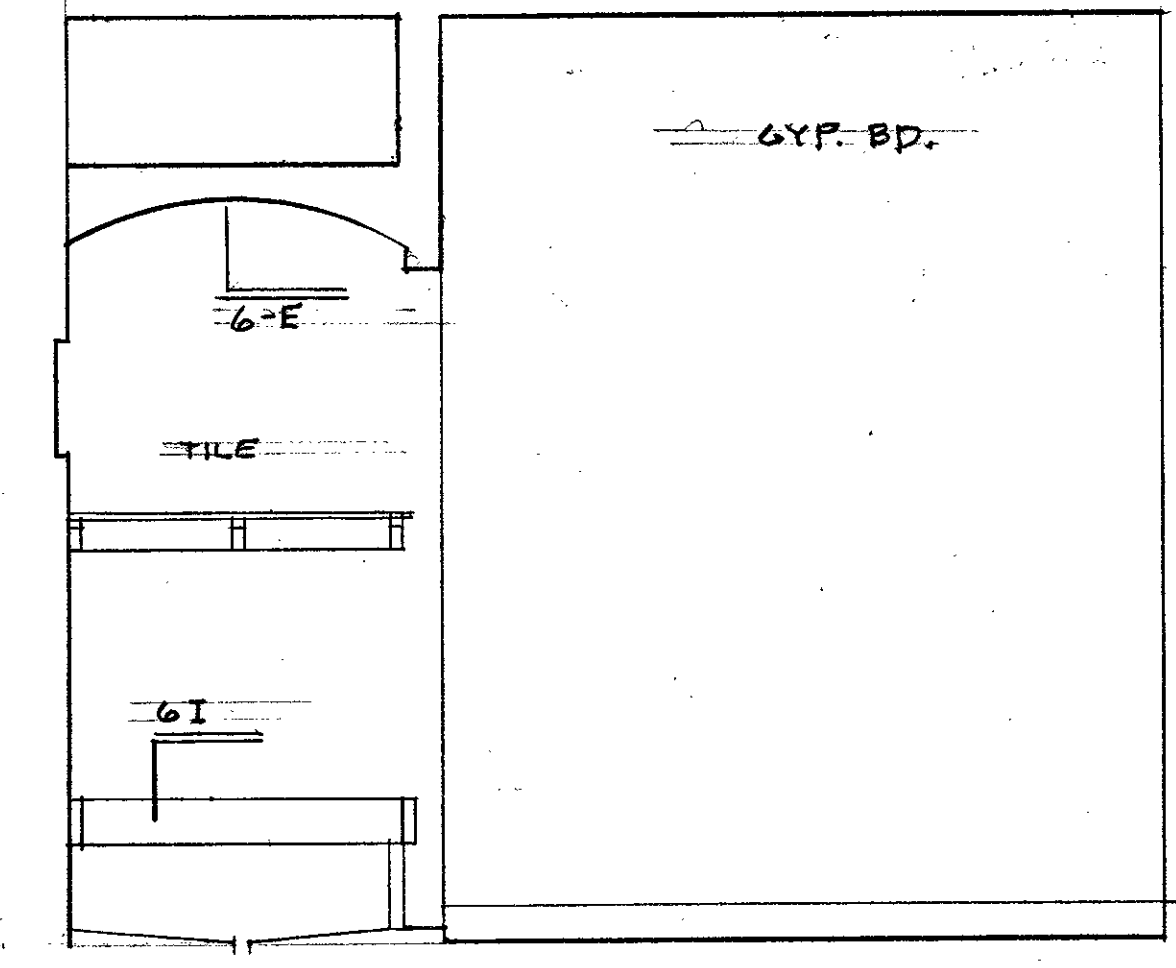
D SECTION @ NEW WEST WALL
1/2" = 1'-0"



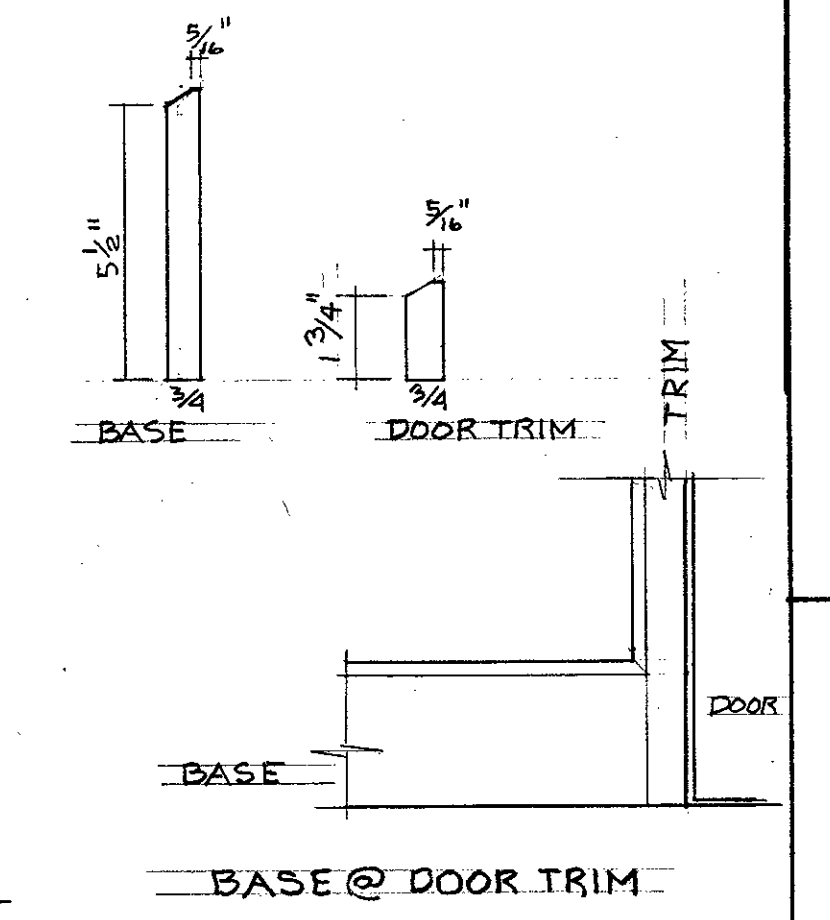
BB SECTION IN FRONT OF STAIR TO 2ND FLOOR LOOKING SOUTH
1/4" = 1'-0"



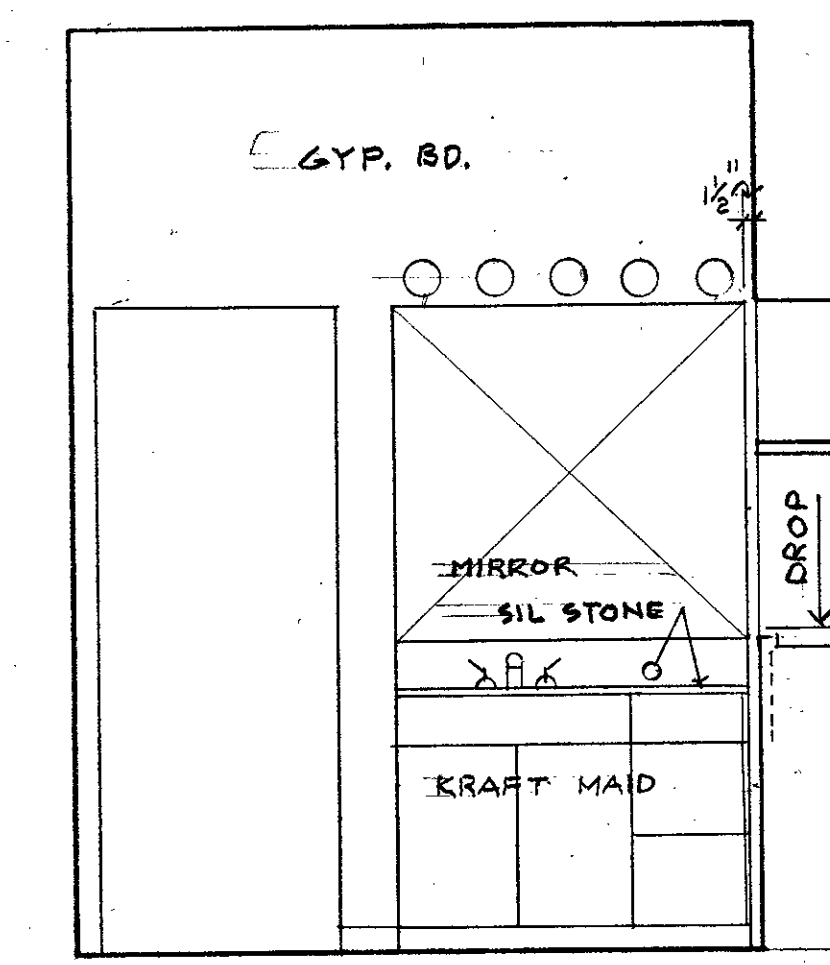
E EAST BATH ELEV.
1/2" = 1'-0"



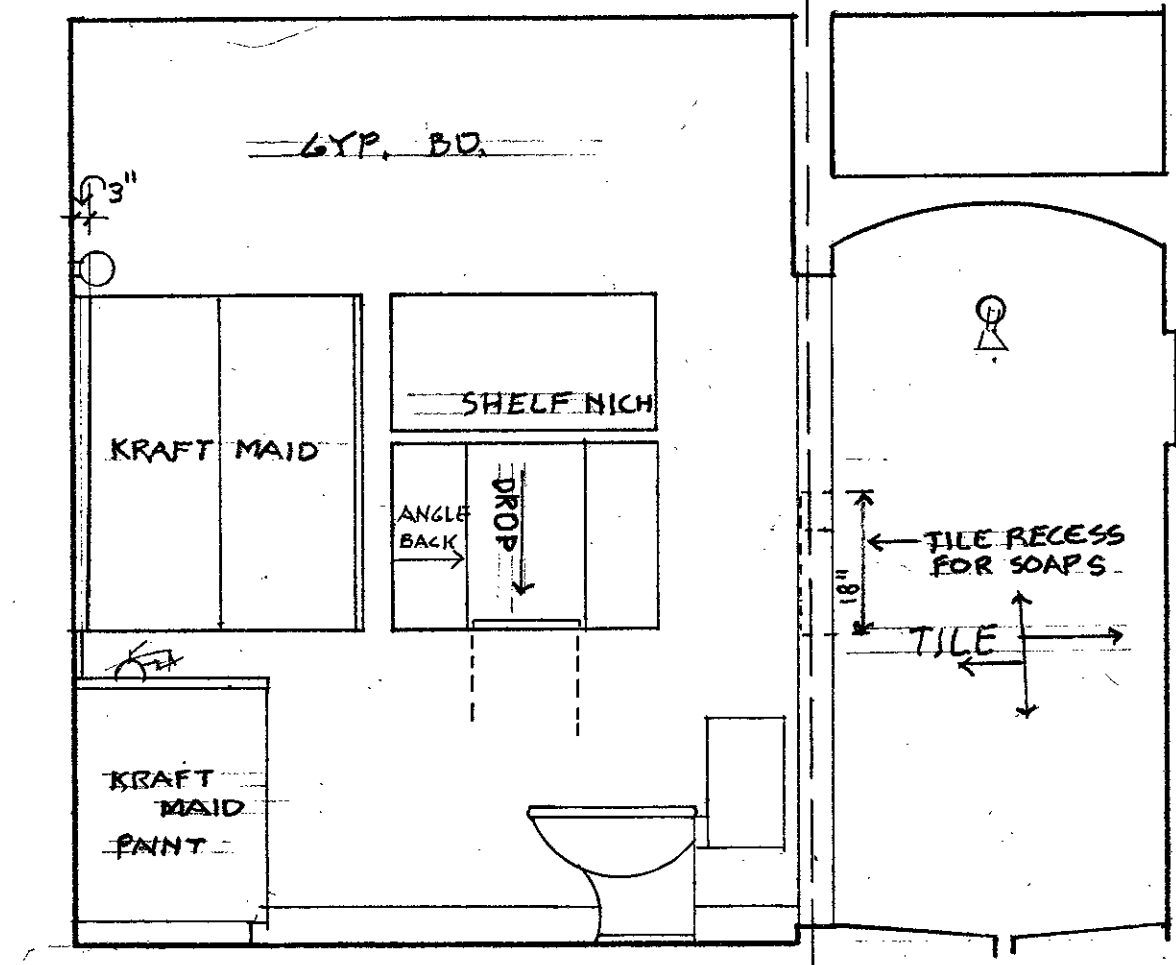
F SOUTH BATH ELEV.
1/2" = 1'-0"



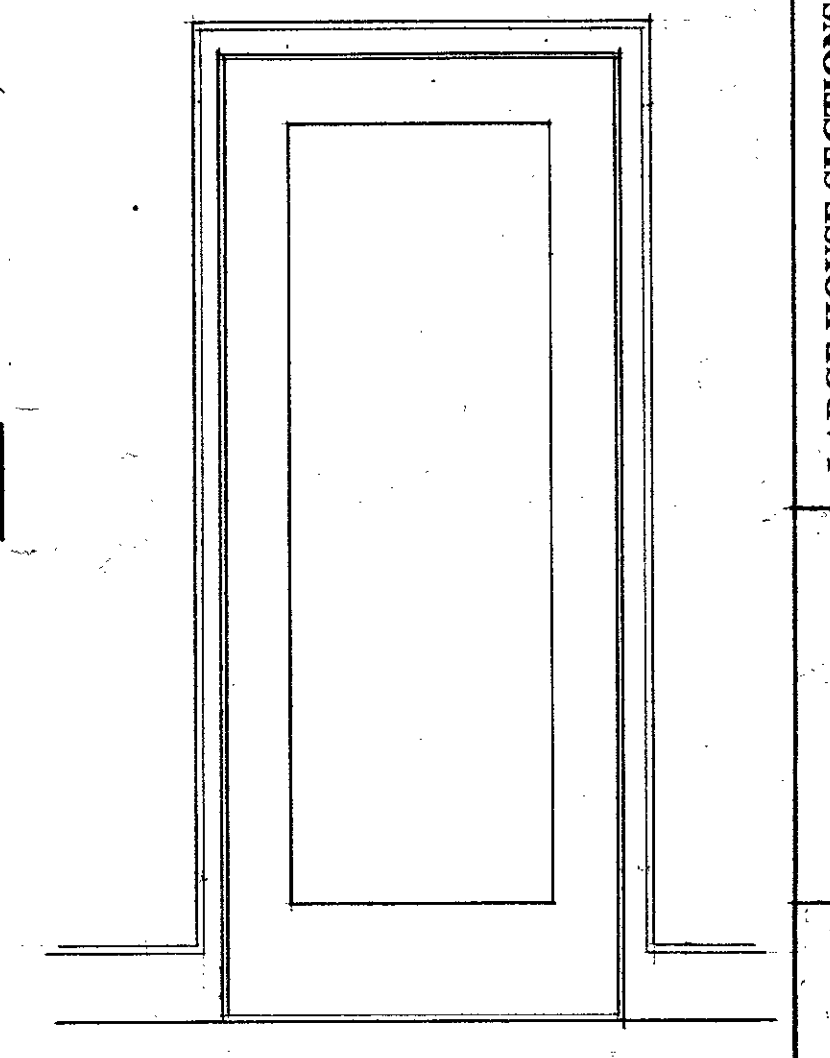
BASE @ DOOR TRIM



G WEST BATH ELEV.
1/2" = 1'-0"



H NORTH BATH ELEV.
1/2" = 1'-0"



I ELEV. TYP. DOOR
3/4" = 1'-0"

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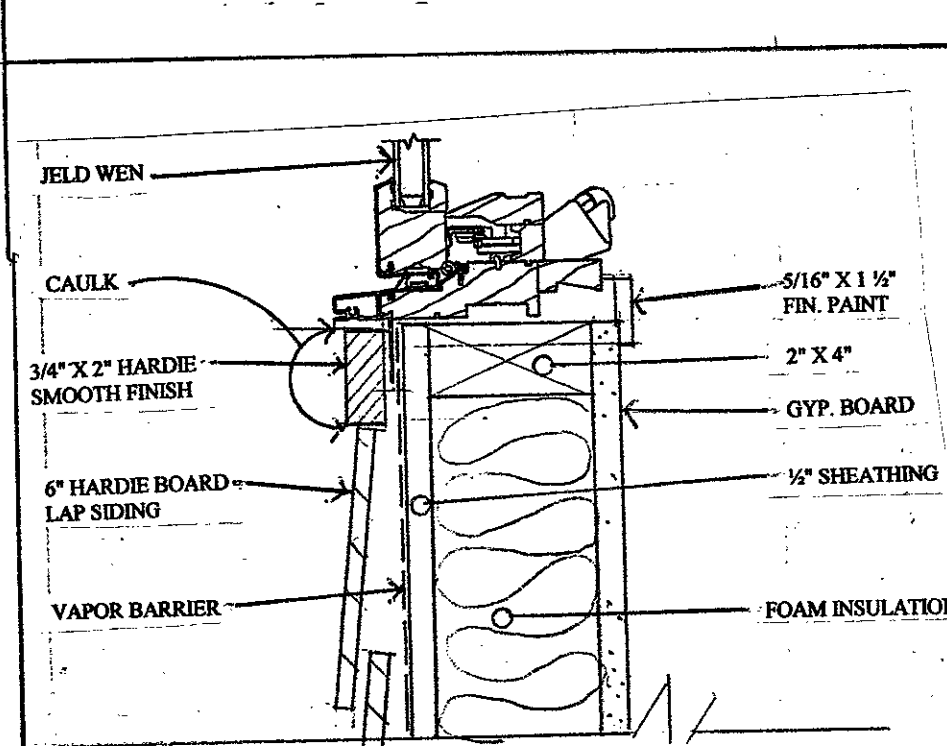
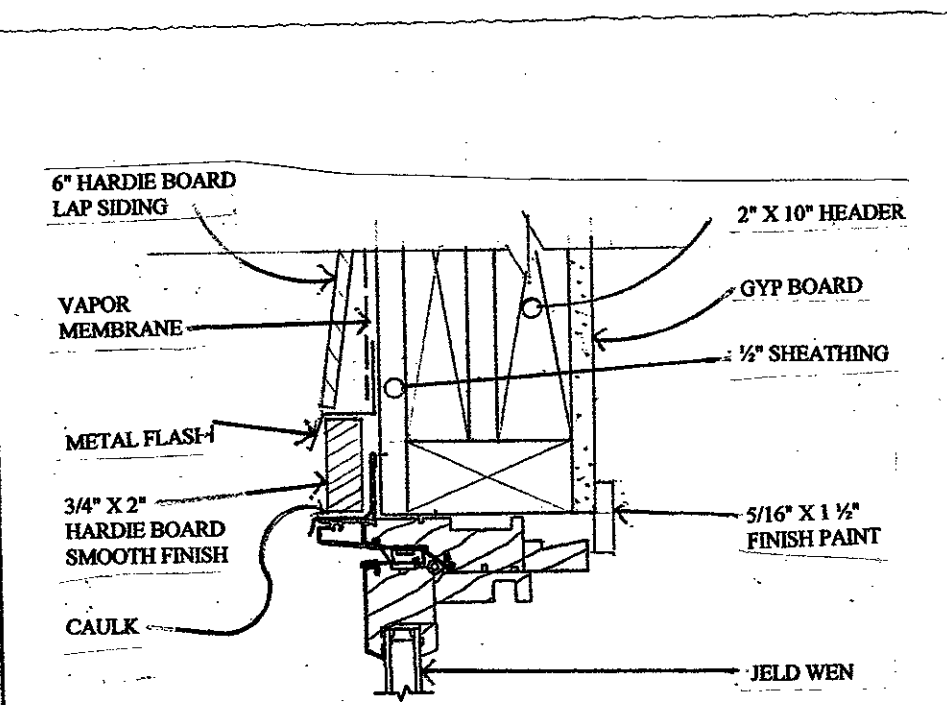
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102 EAST 46TH STREET
AUSTIN, TEXAS 78751

LARGE HOUSE SECTIONS
OVERVIEW SECTION WEST WALL
BATH WALL ELEVATIONS

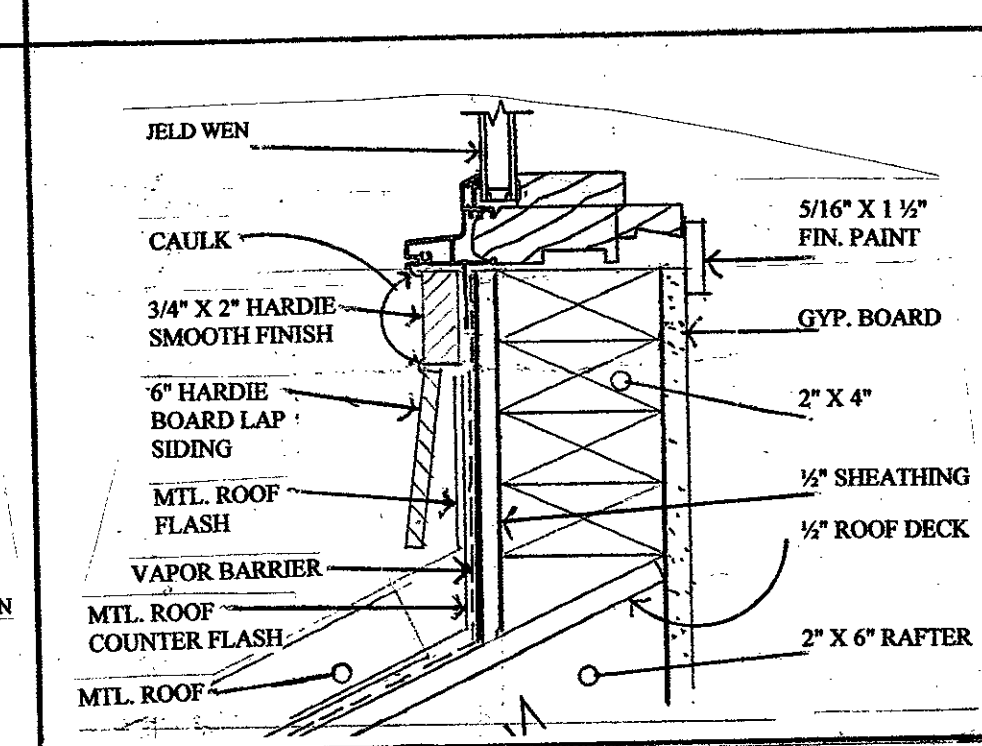
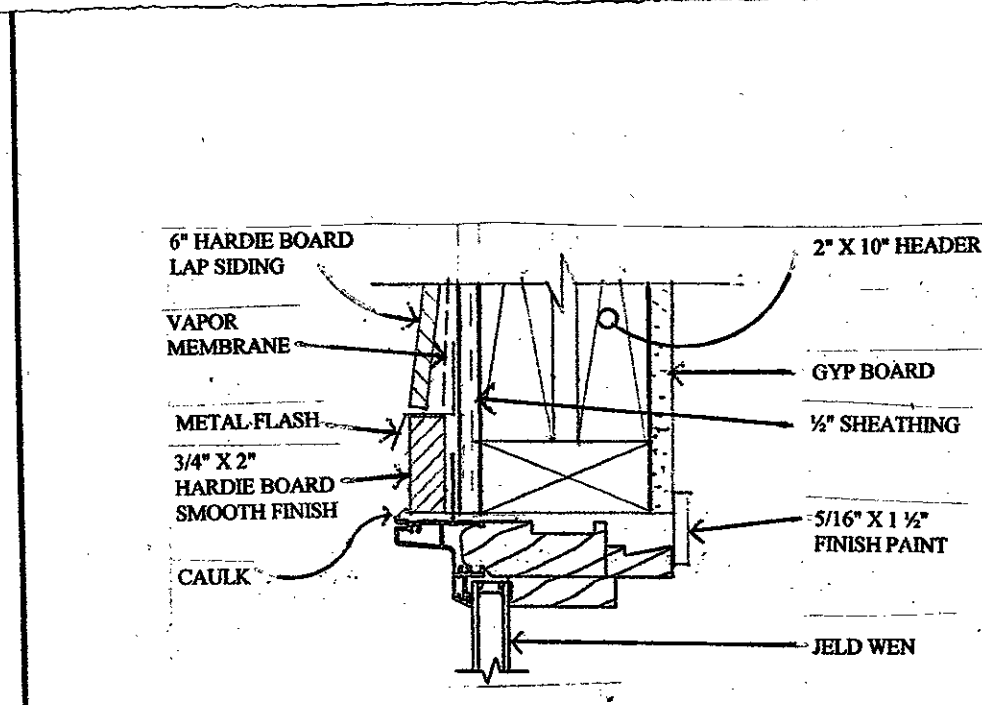
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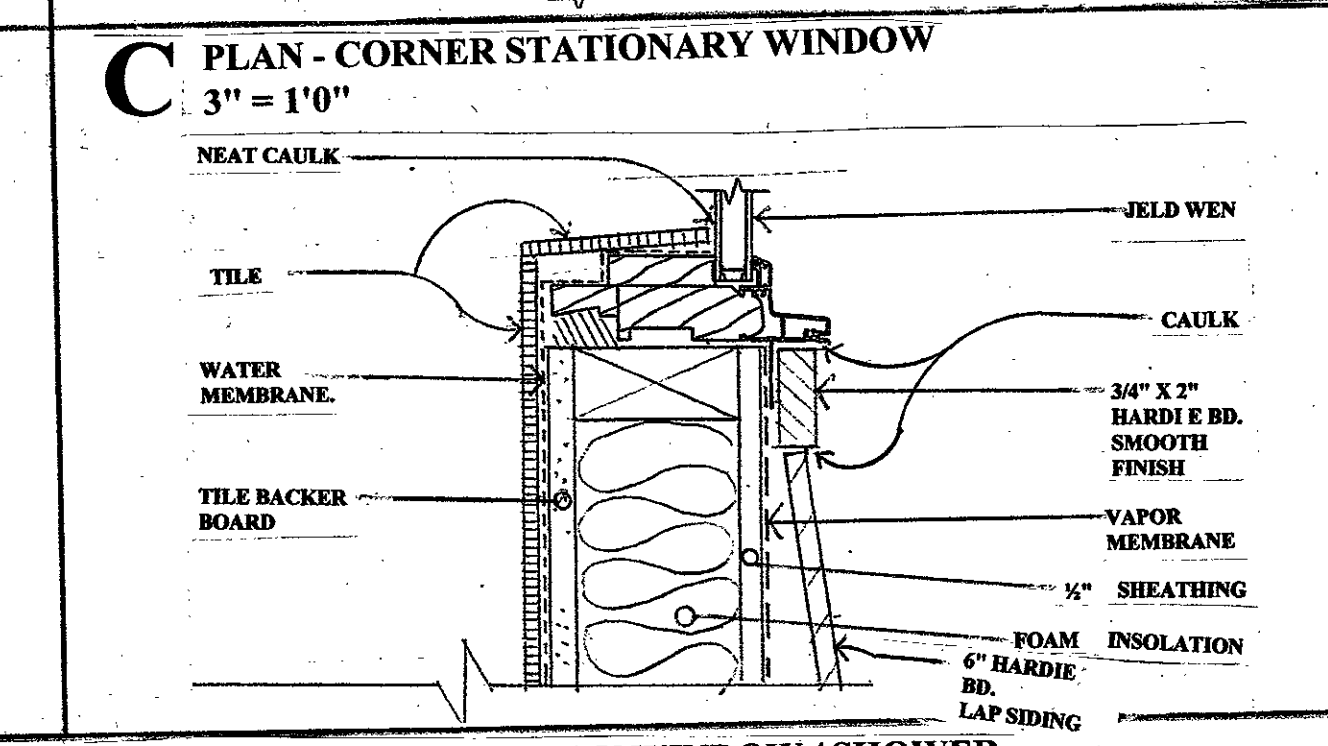
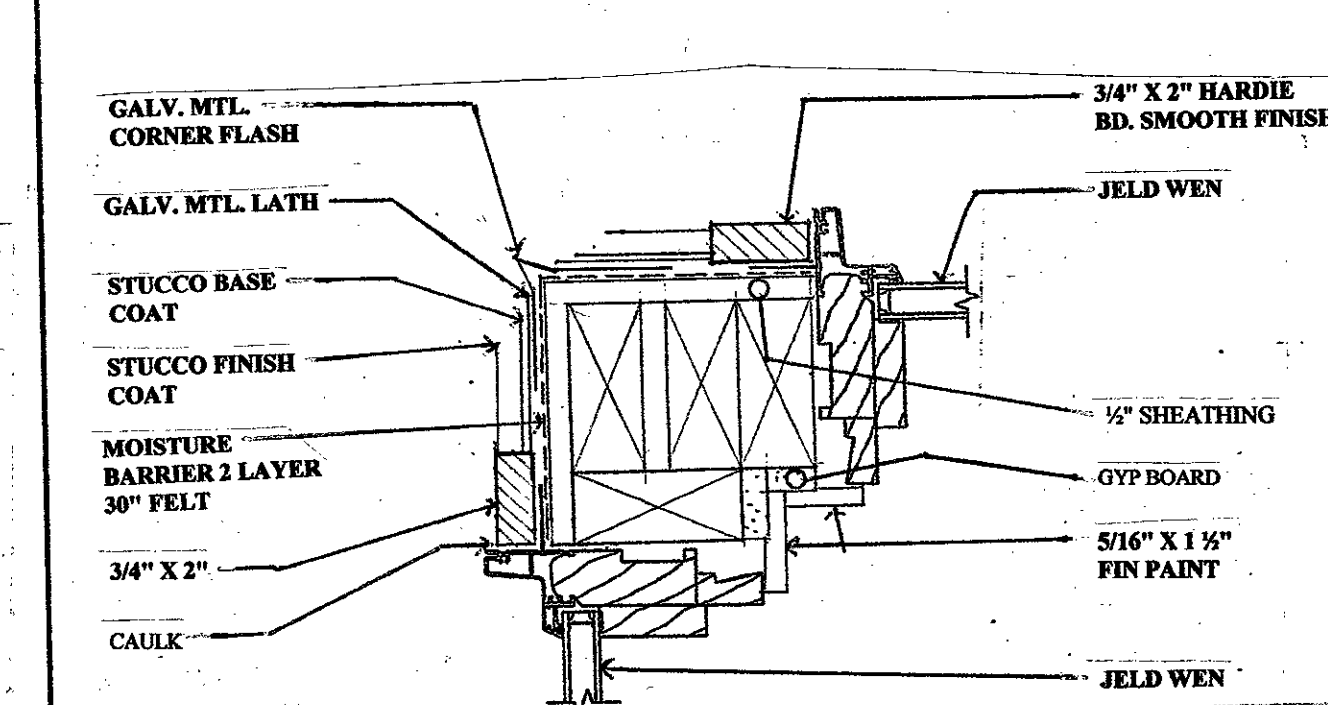
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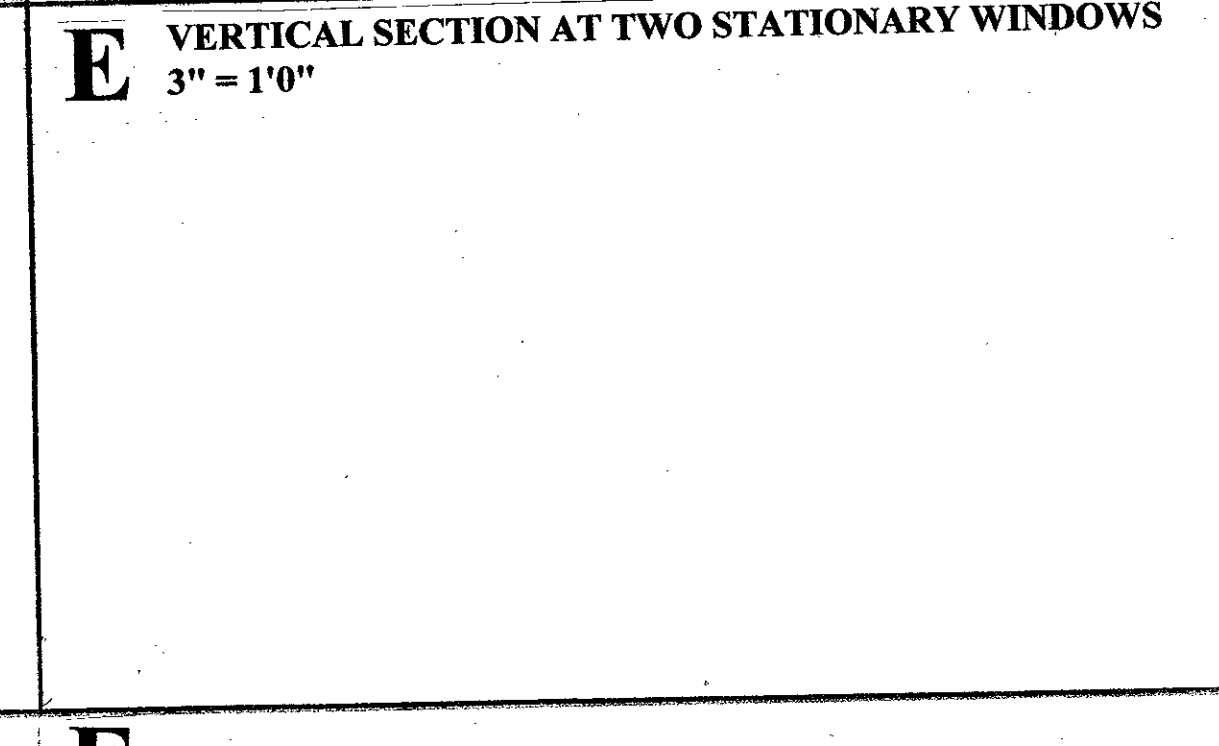
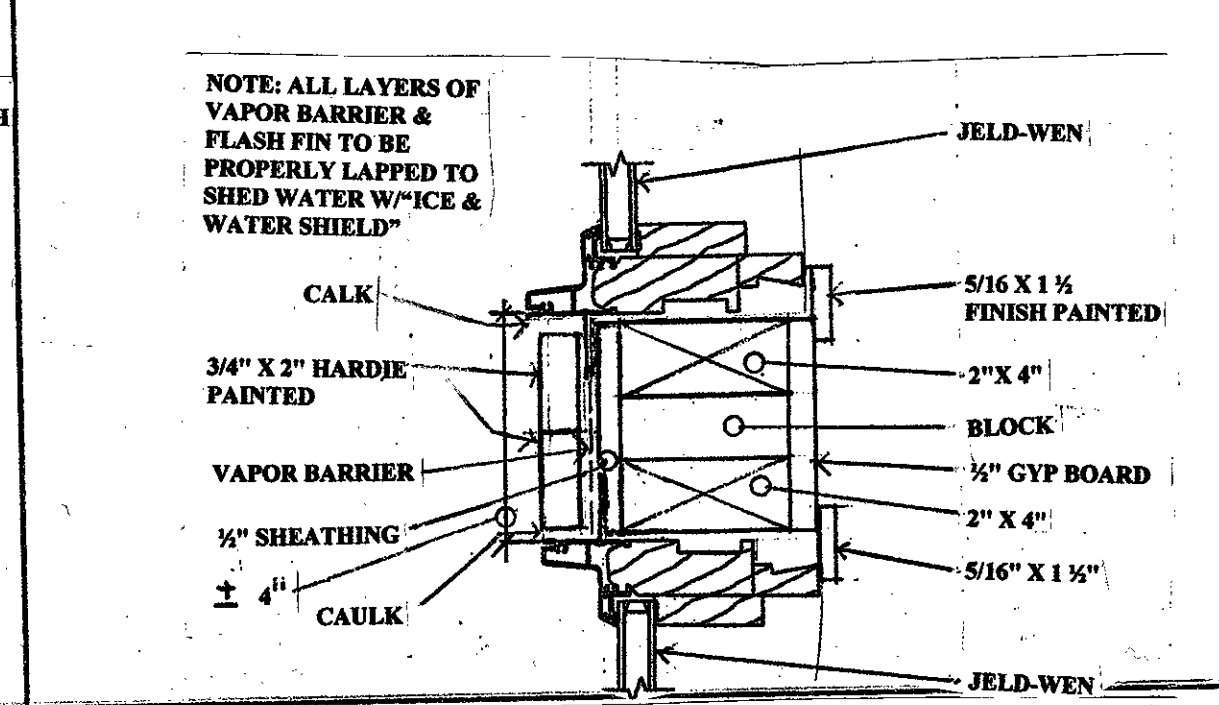
A SECTION CASEMENT WINDOW
3" = 1' 0"



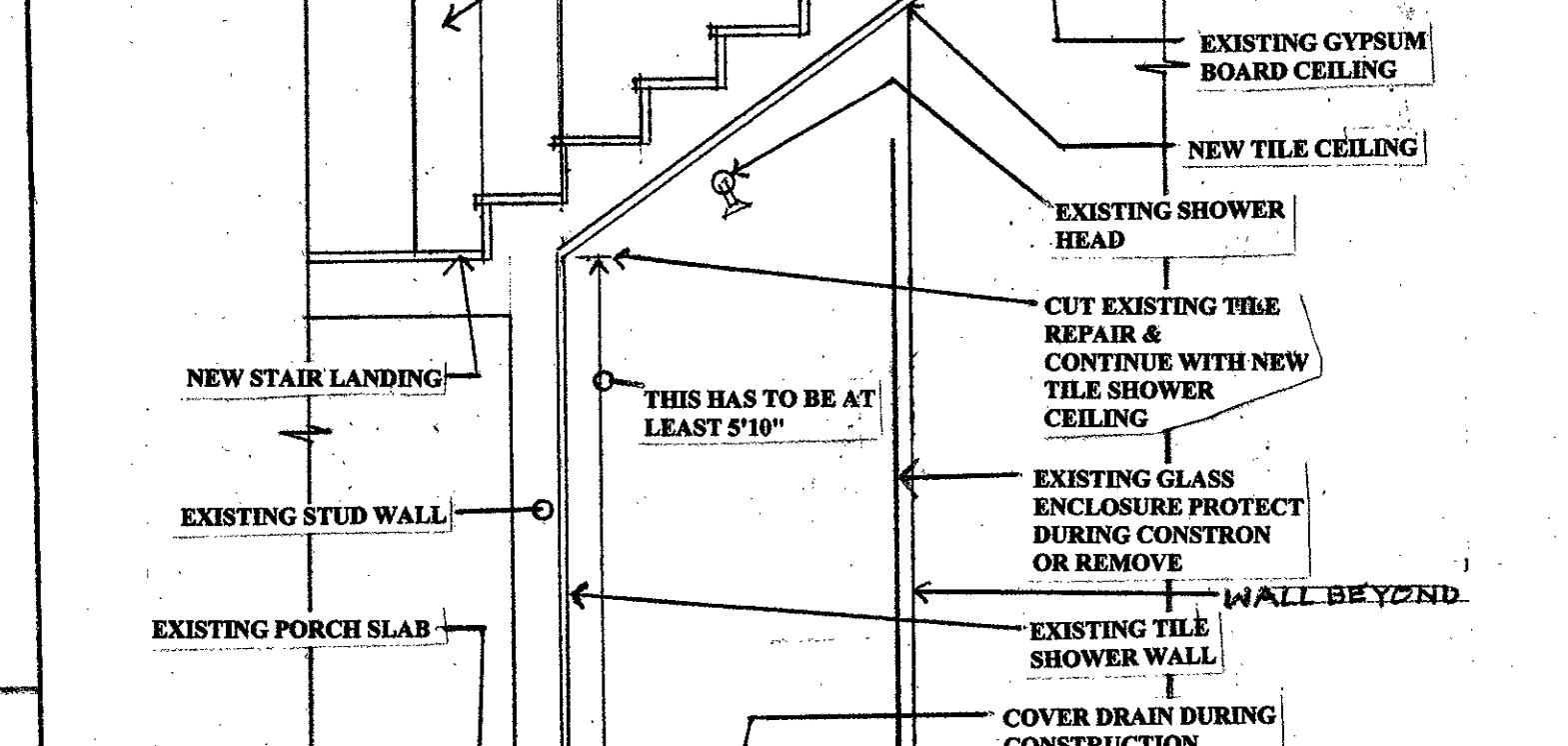
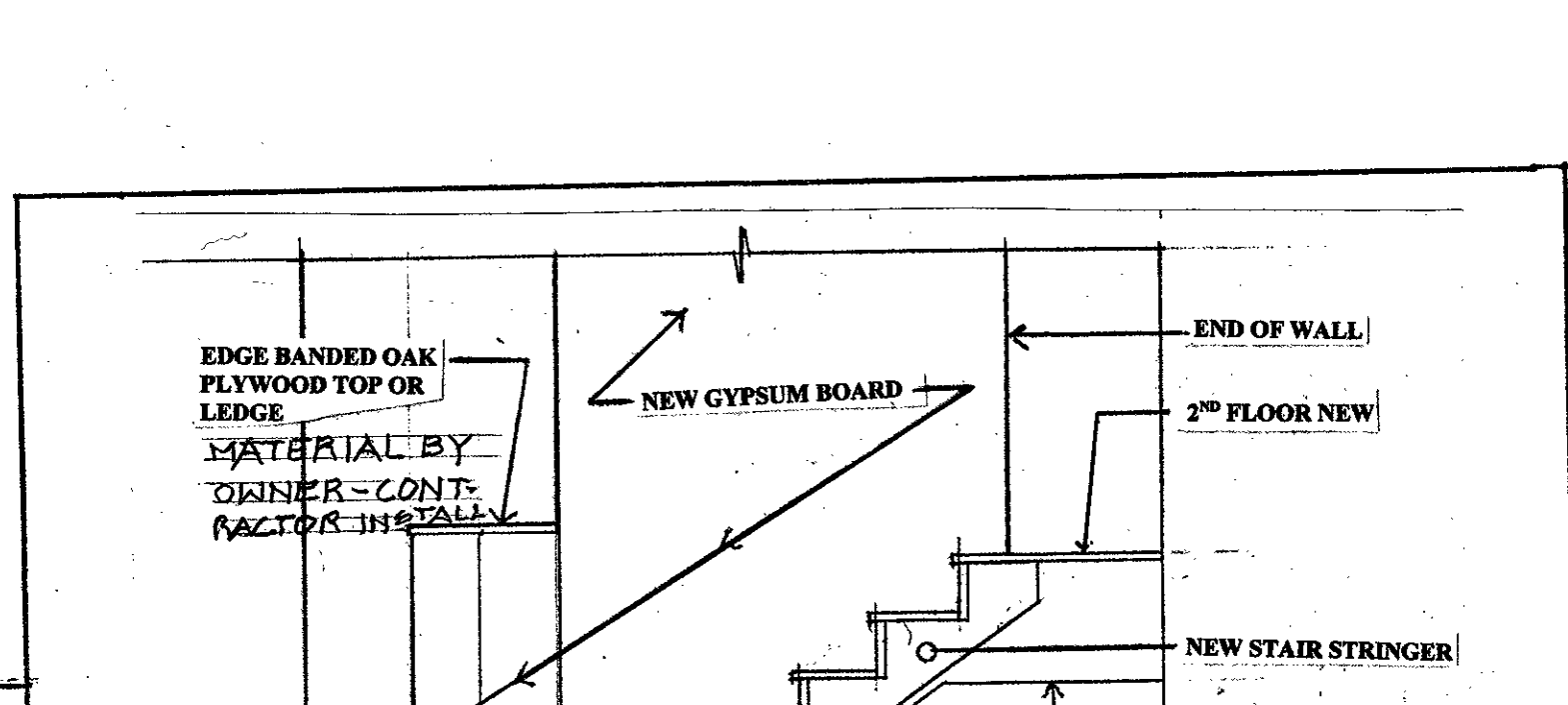
B SECTION STATIONARY WINDOW
3" = 1' 0"



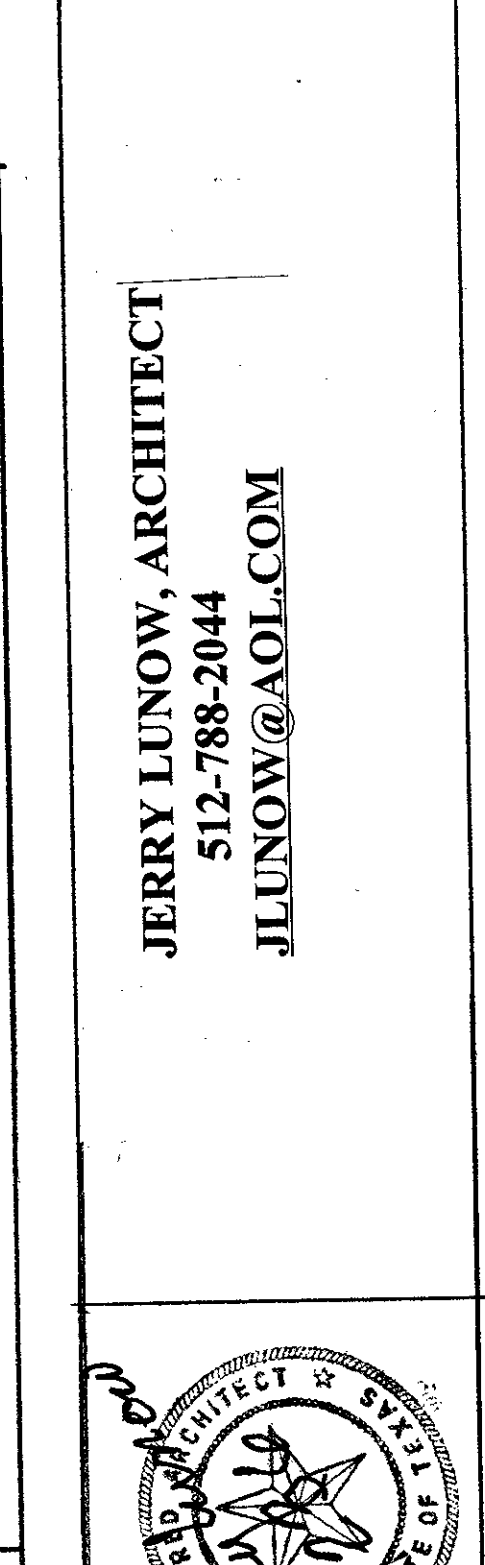
C PLAN - CORNER STATIONARY WINDOW
3" = 1' 0"



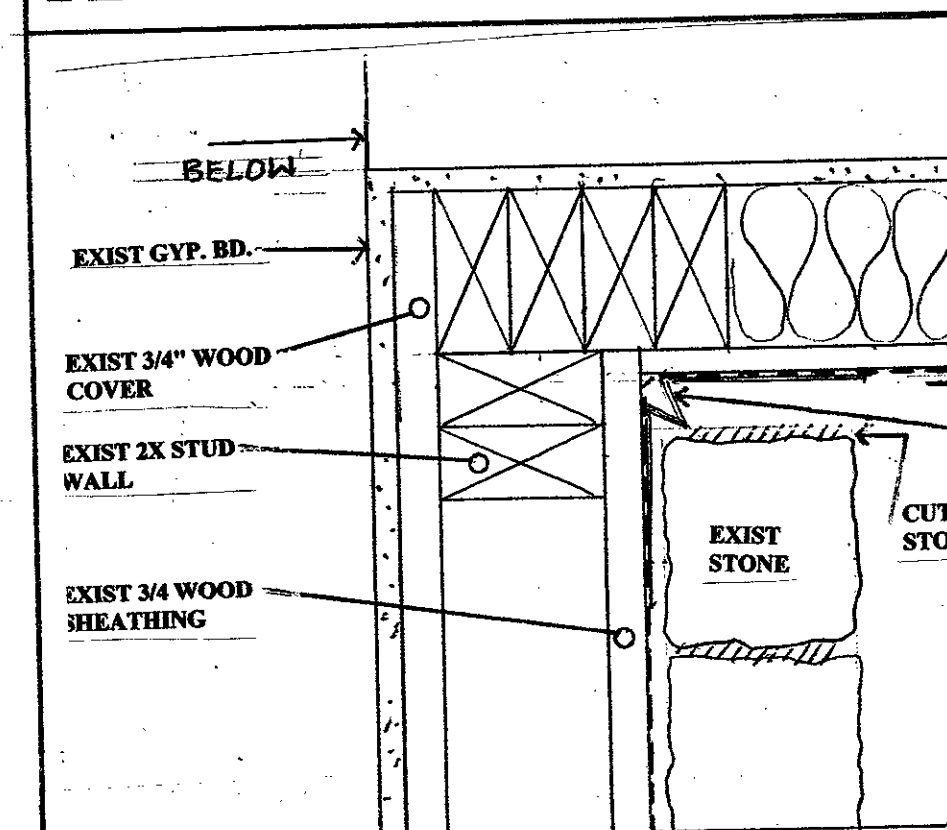
D SECTION STATIONARY WINDOW / SHOWER
3" = 1' 0"



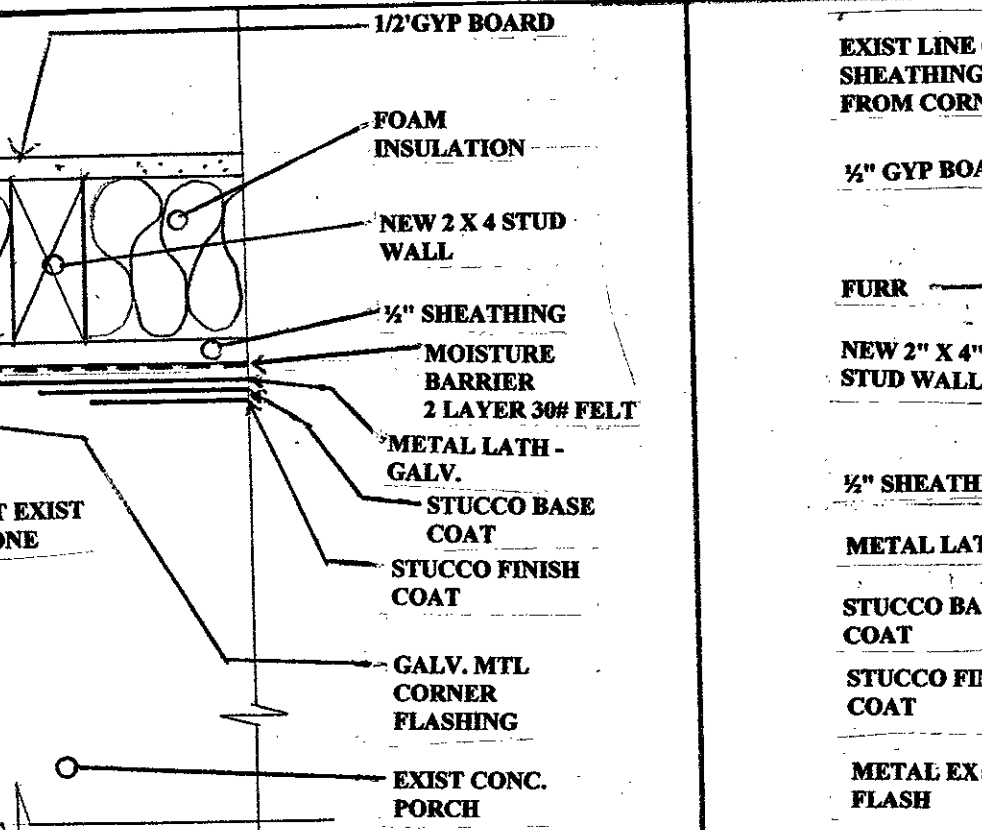
E VERTICAL SECTION AT TWO STATIONARY WINDOWS
3" = 1' 0"



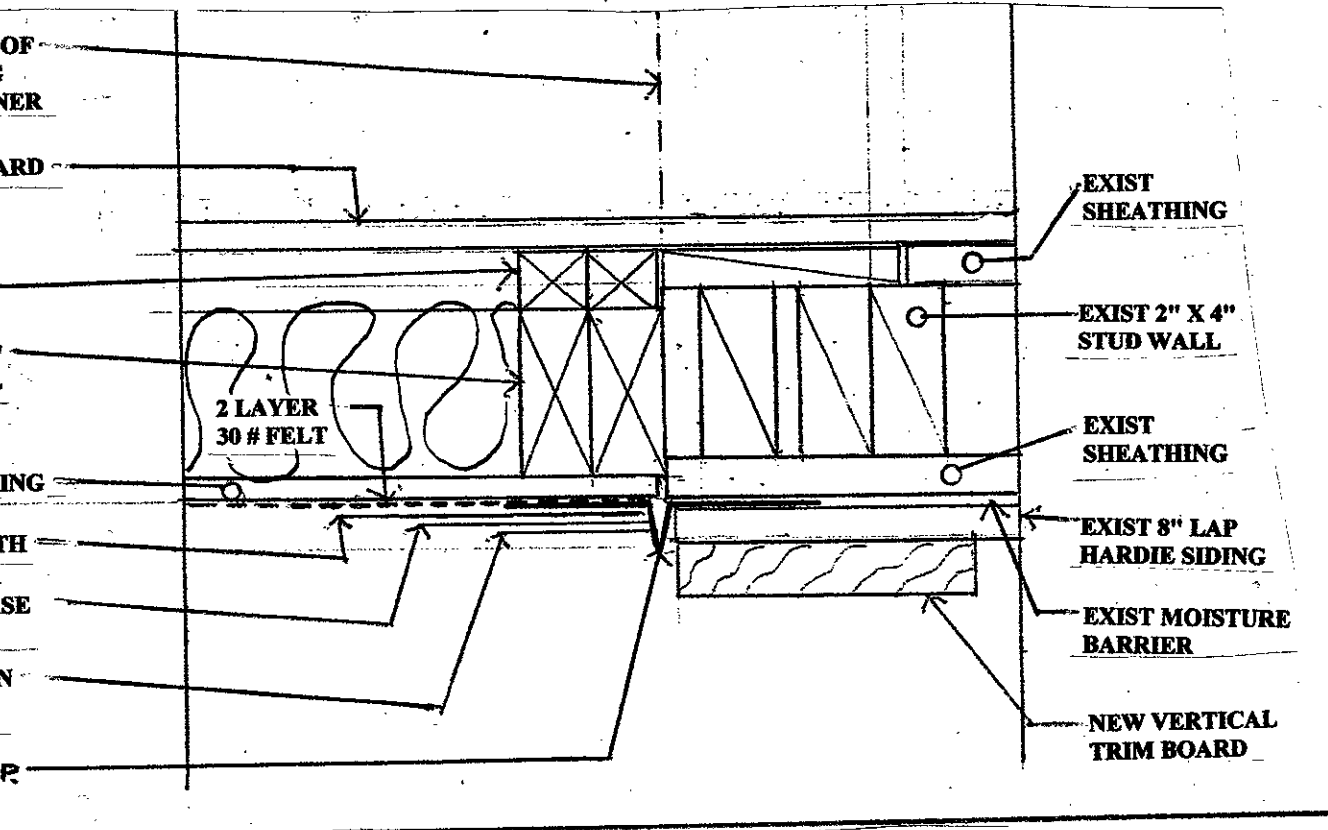
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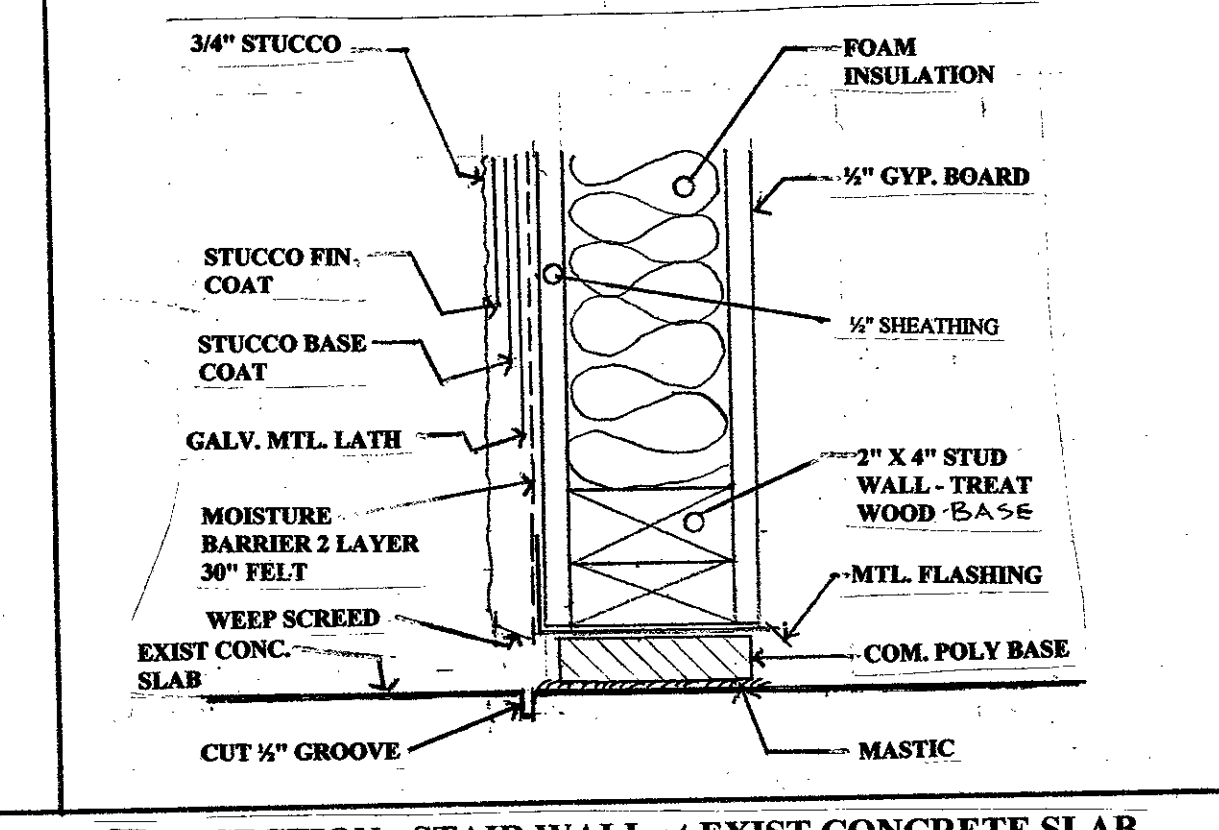
G PLAN - EXISTING HOUSE TO STAIR WALL
3" = 1' 0"



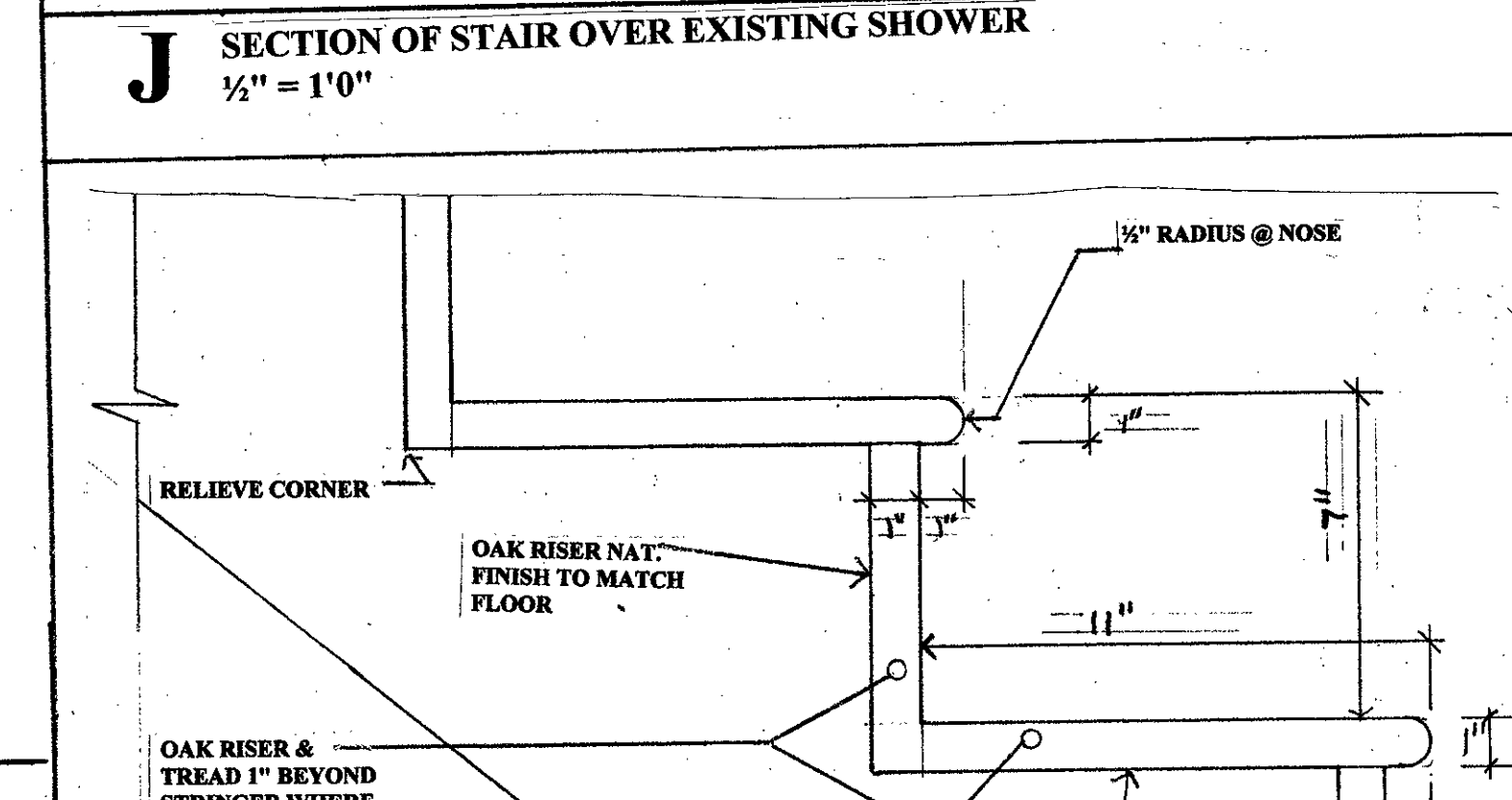
H PLAN - STAIR WALL CONTINUE WITH EXISTING HOUSE WALL
3" = 1' 0"



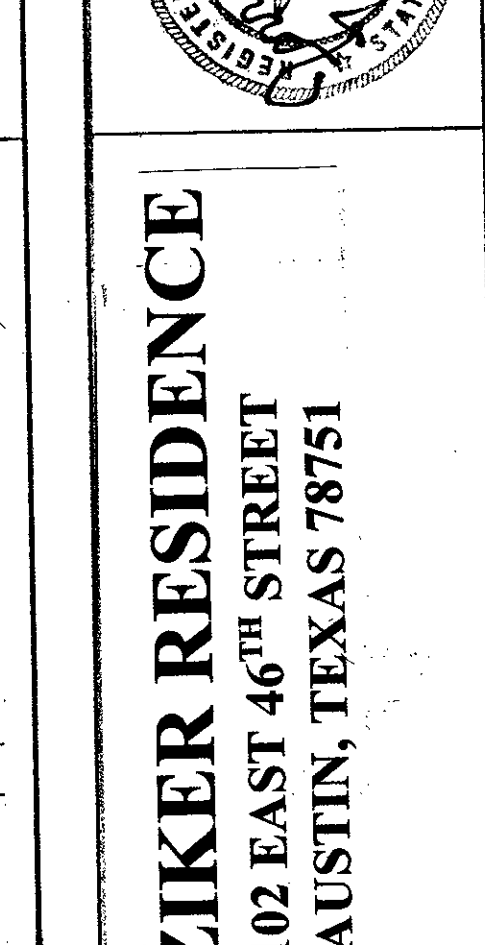
I SECTION - STAIR WALL AT EXIST CONCRETE SLAB
3" = 1' 0"



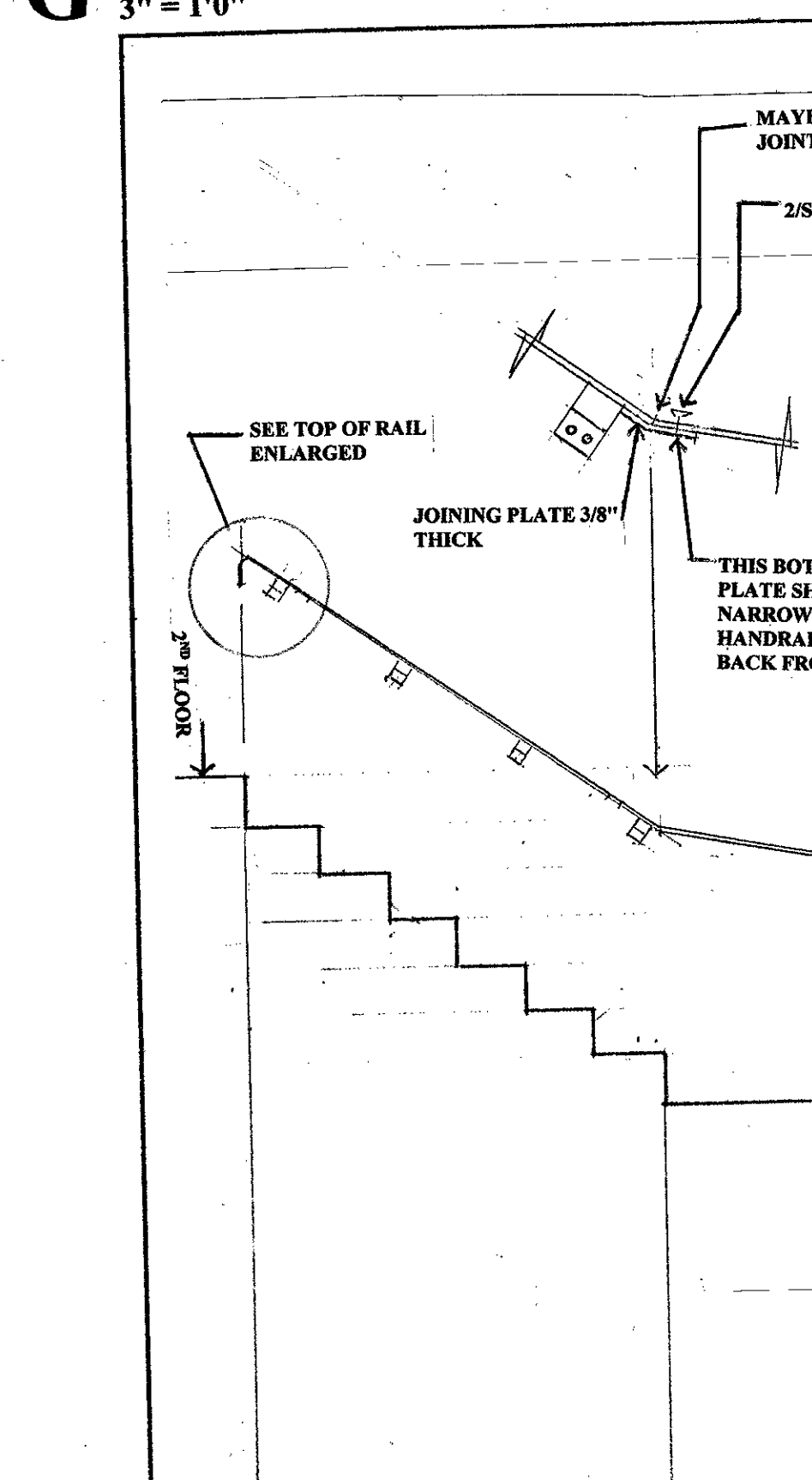
J SECTION OF STAIR OVER EXISTING SHOWER
1/2" = 1' 0"



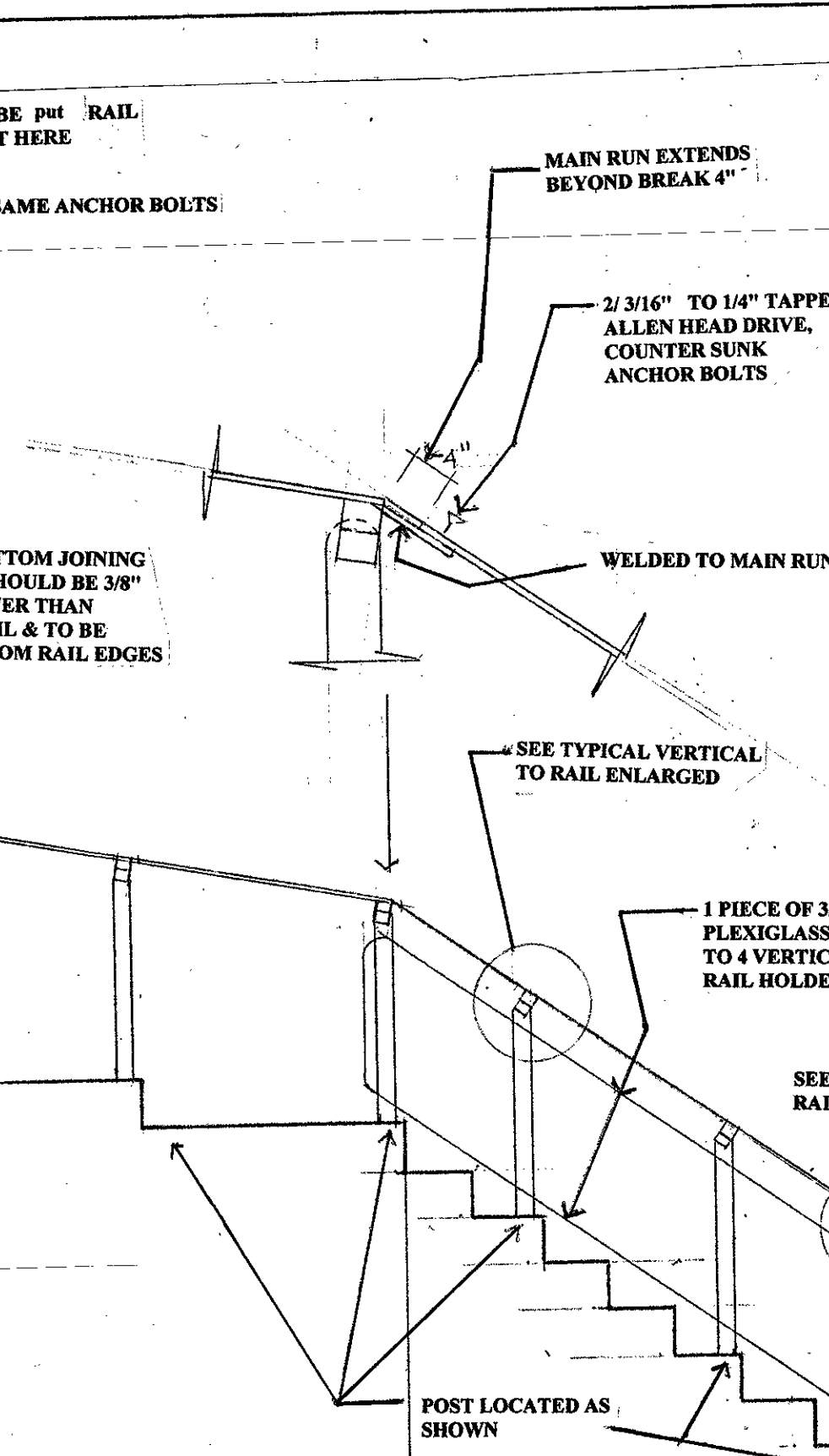
K STAIR RISER & TREAD
3" = 1' 0"



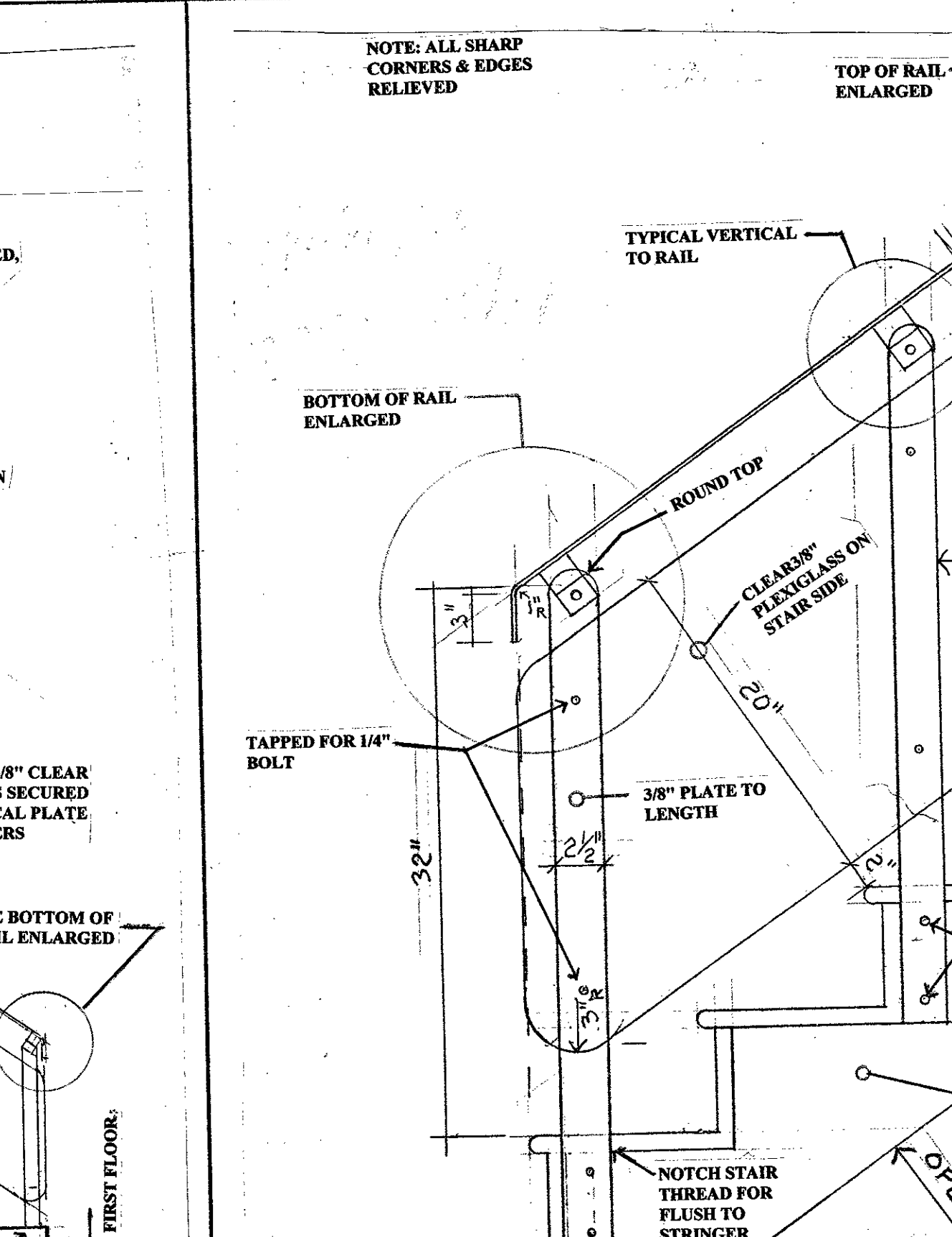
L SPREAD OUT DIAGRAM ELEVATION OF HAND RAIL
1/2" = 1' 0"



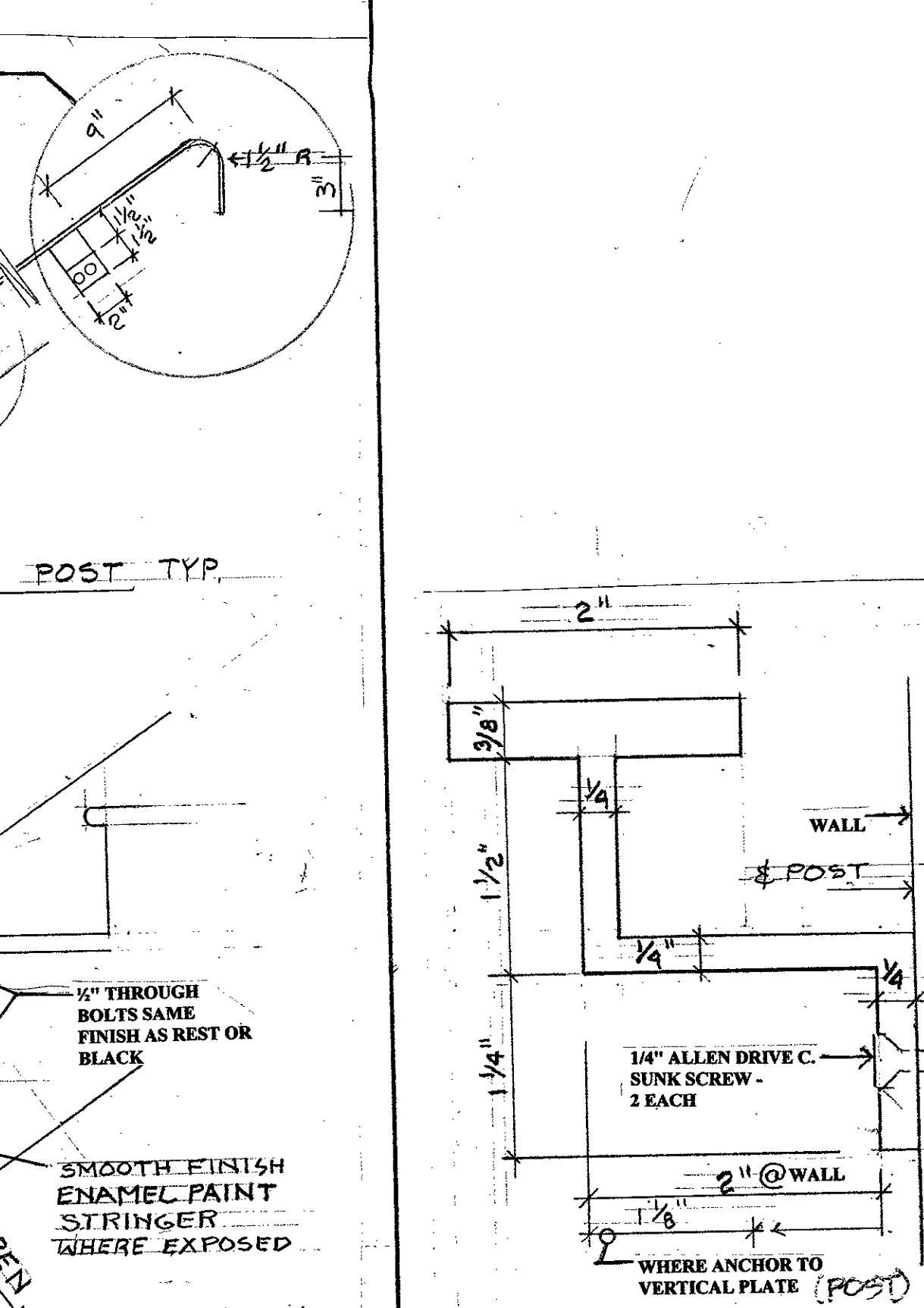
M HAND RAIL - POST - ANCHORS
1 1/2" = 1' 0"



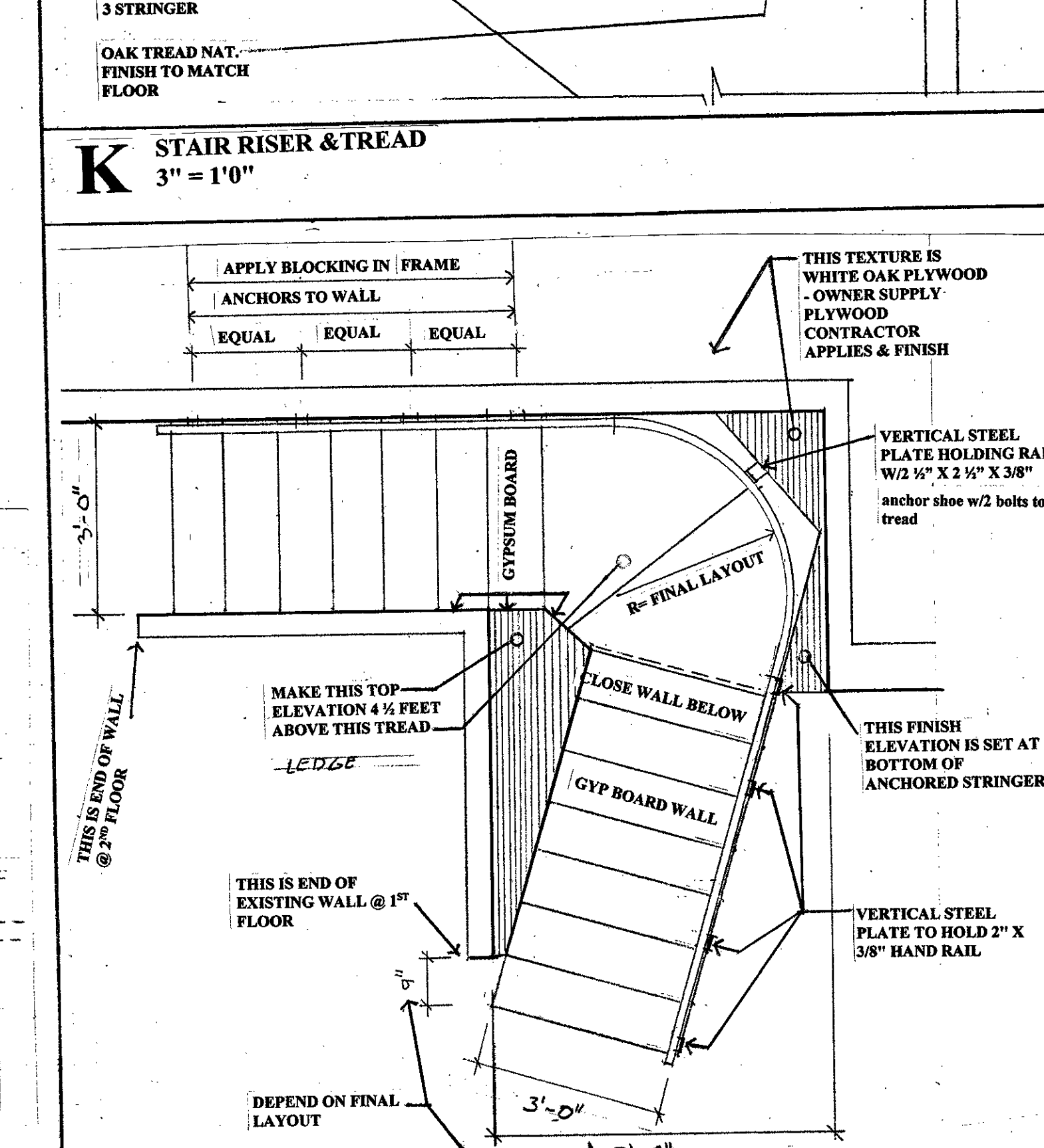
N HANDRAIL & ANCHOR
ACTUAL SIZE



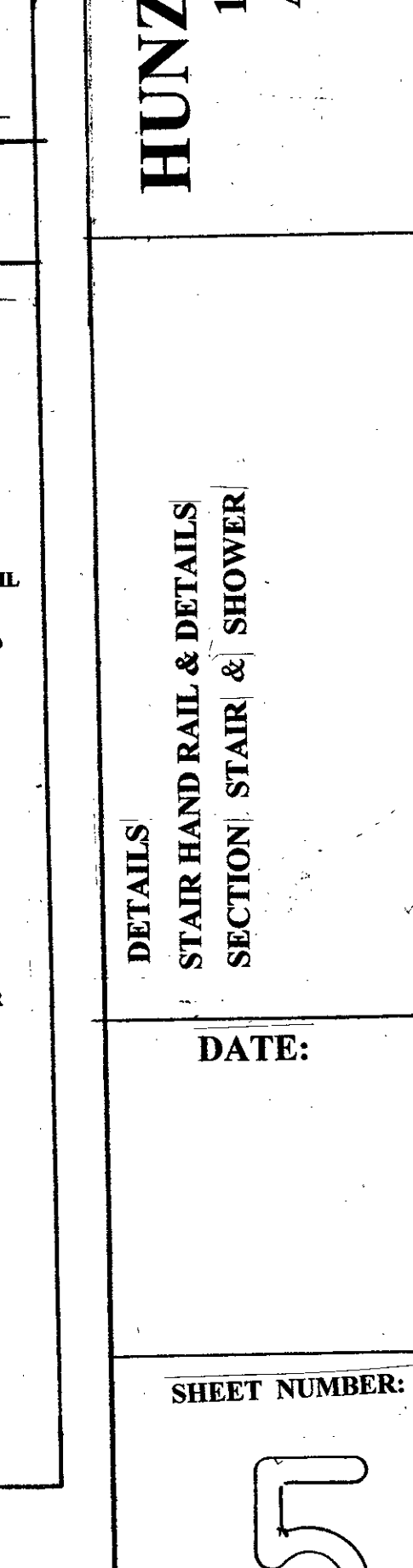
O PLAN LAYOUT STAIR & RAIL
1/2" = 1' 0"



P

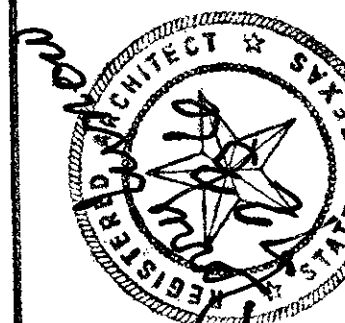


Q



R

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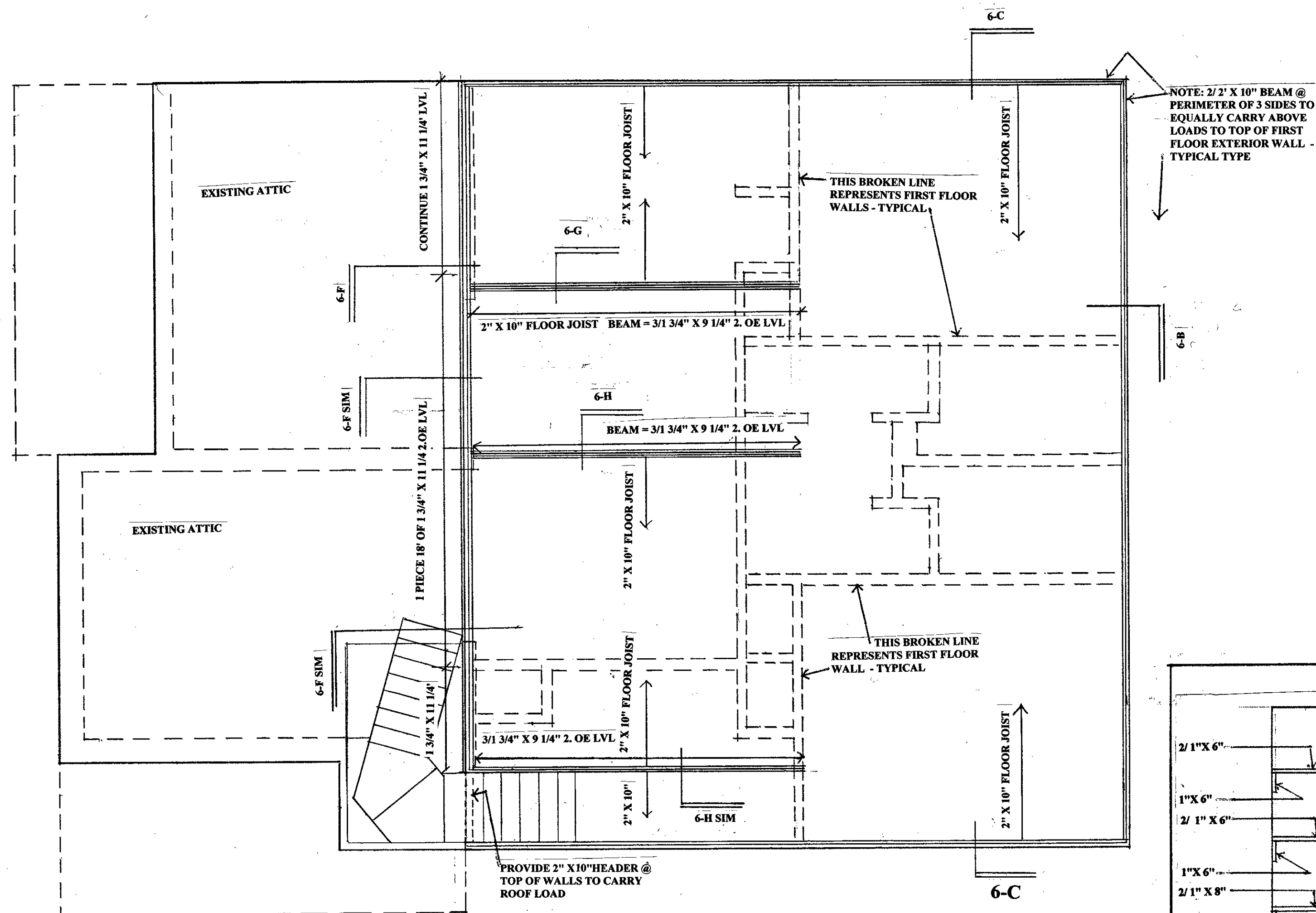
HUNZIKER RESIDENCE
102 EAST 46TH STREET
AUSTIN, TEXAS 78751

DETAILS
STAIR HAND RAIL & DETAILS
SECTION STAIR & SHOWER

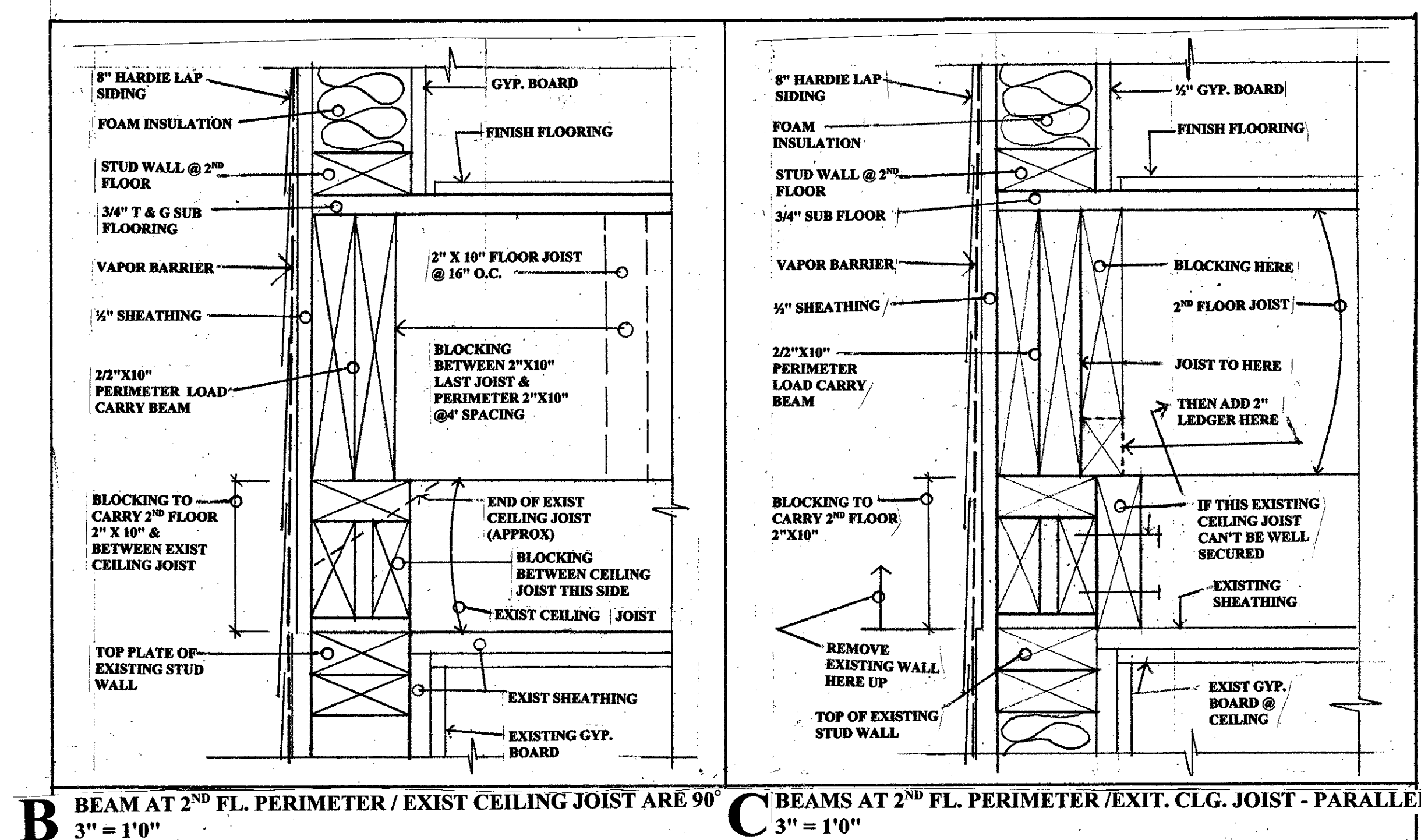
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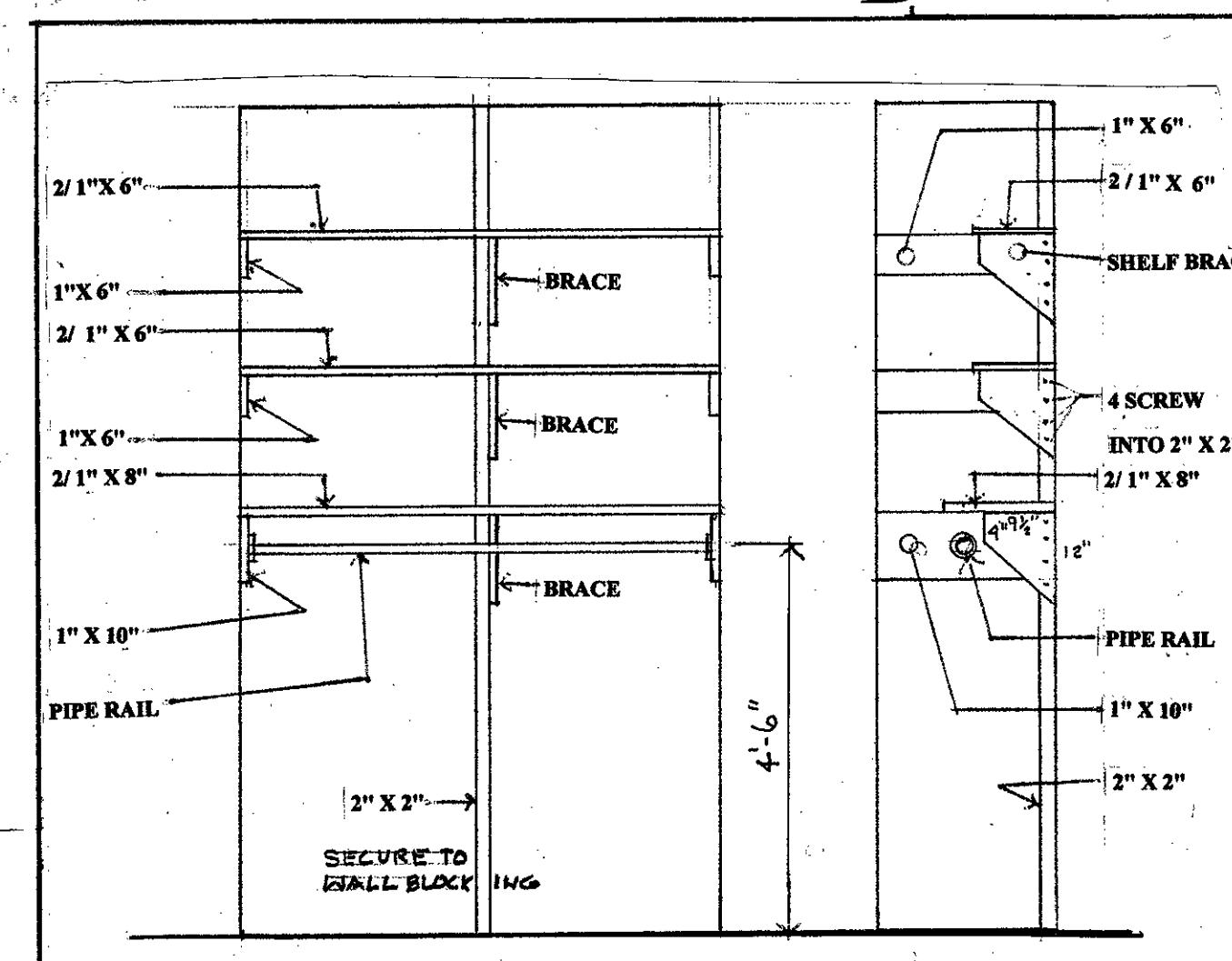


A PLAN AT 2ND FL. NOTING BEAMS FOR FLOOR, WALL, ROOF, LOAD
1/4" = 1'0"

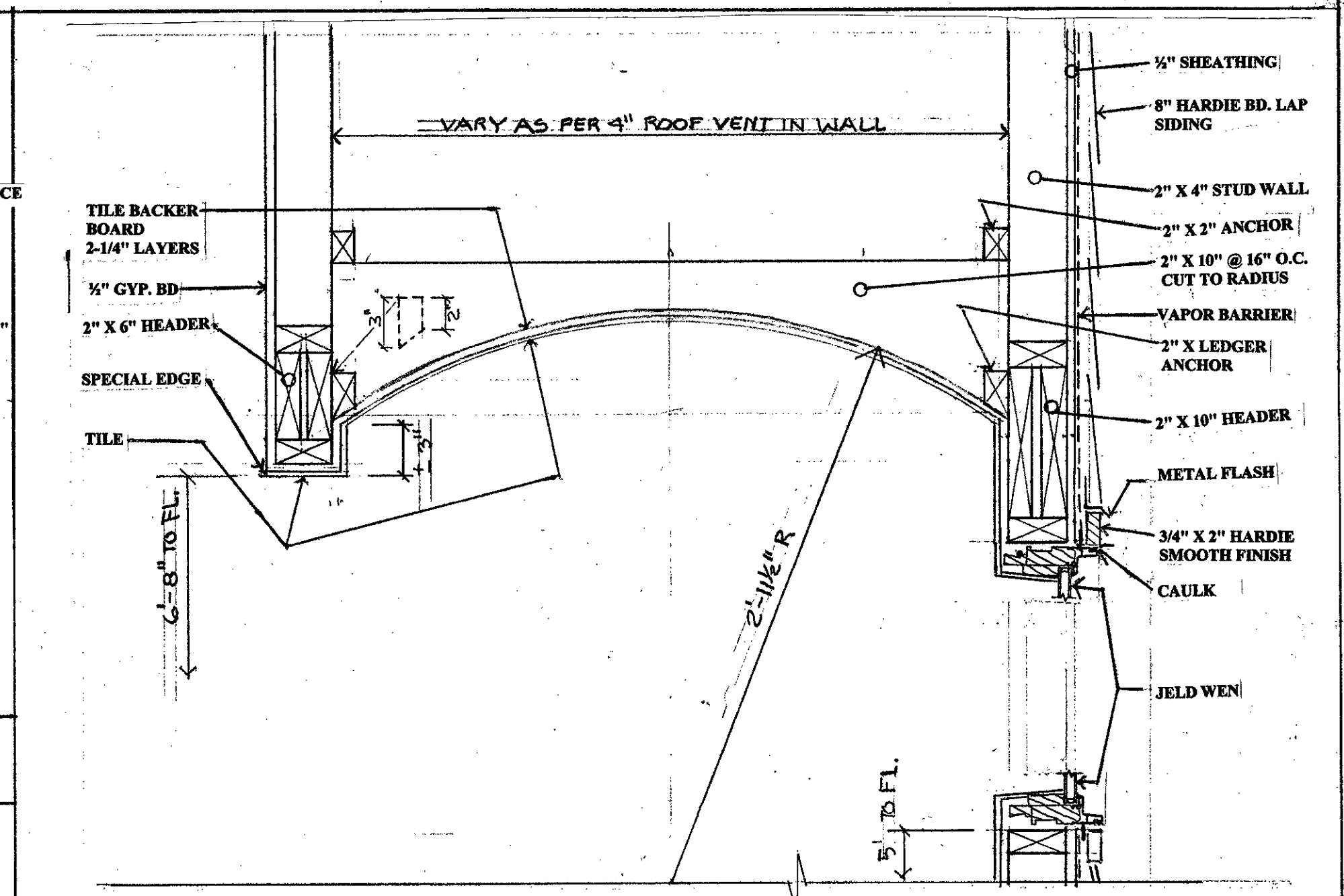


B BEAM AT 2ND FL. PERIMETER / EXIST CEILING JOIST ARE 90°
3" = 1'0"

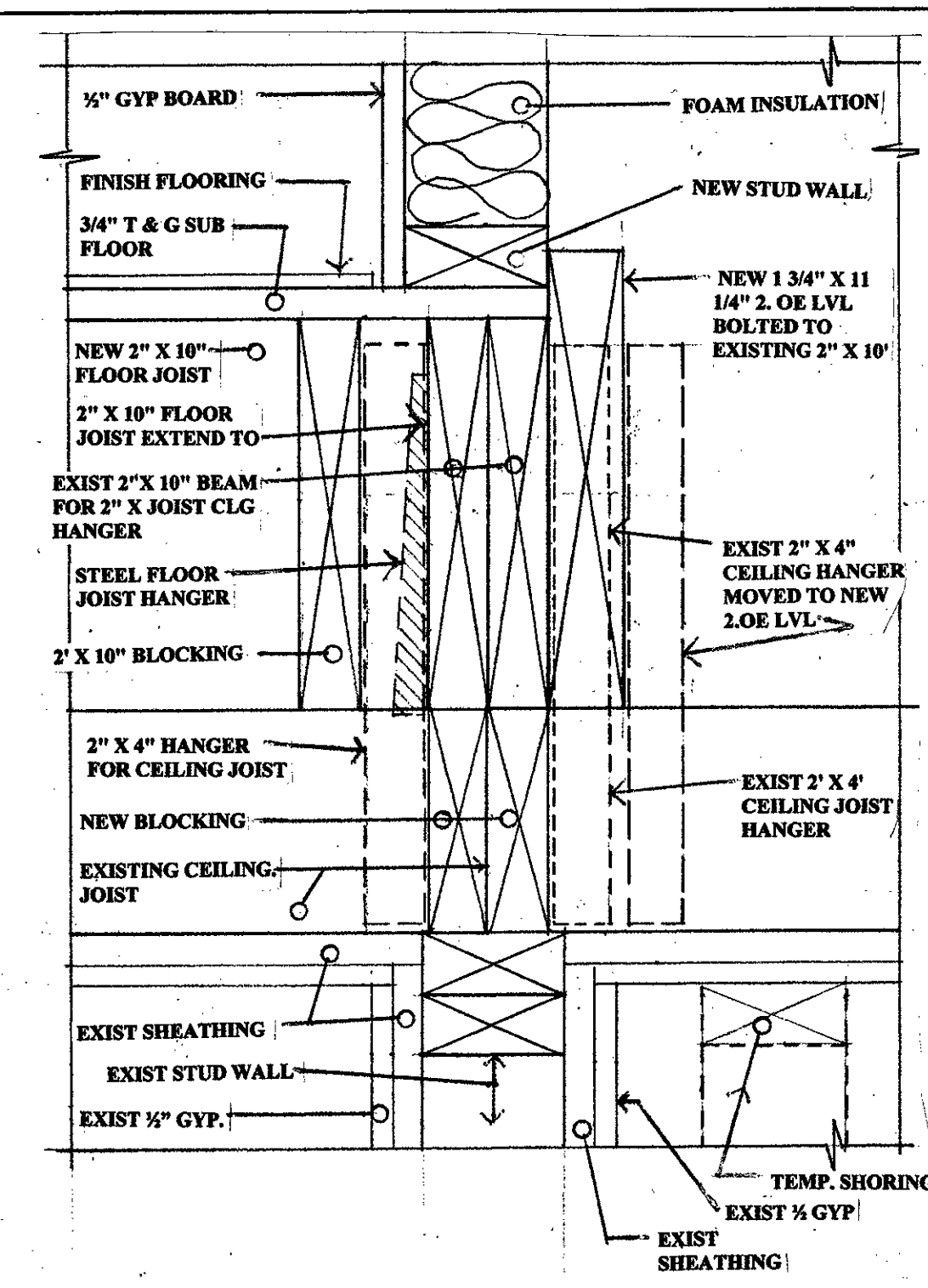
C BEAMS AT 2ND FL. PERIMETER / EXIT. CLG. JOIST - PARALLEL
3" = 1'0"



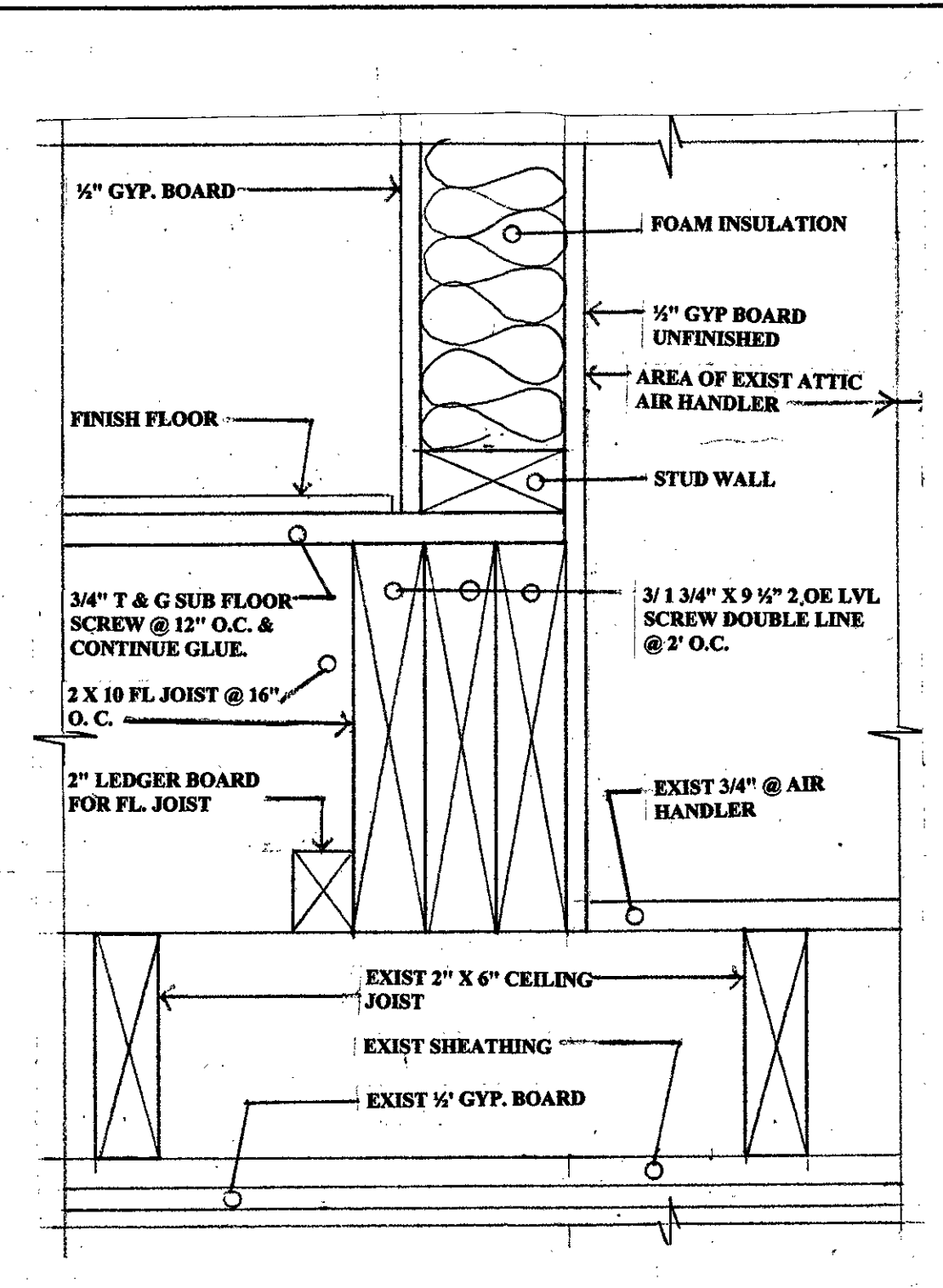
D CLOSET
1/2" = 1'0"



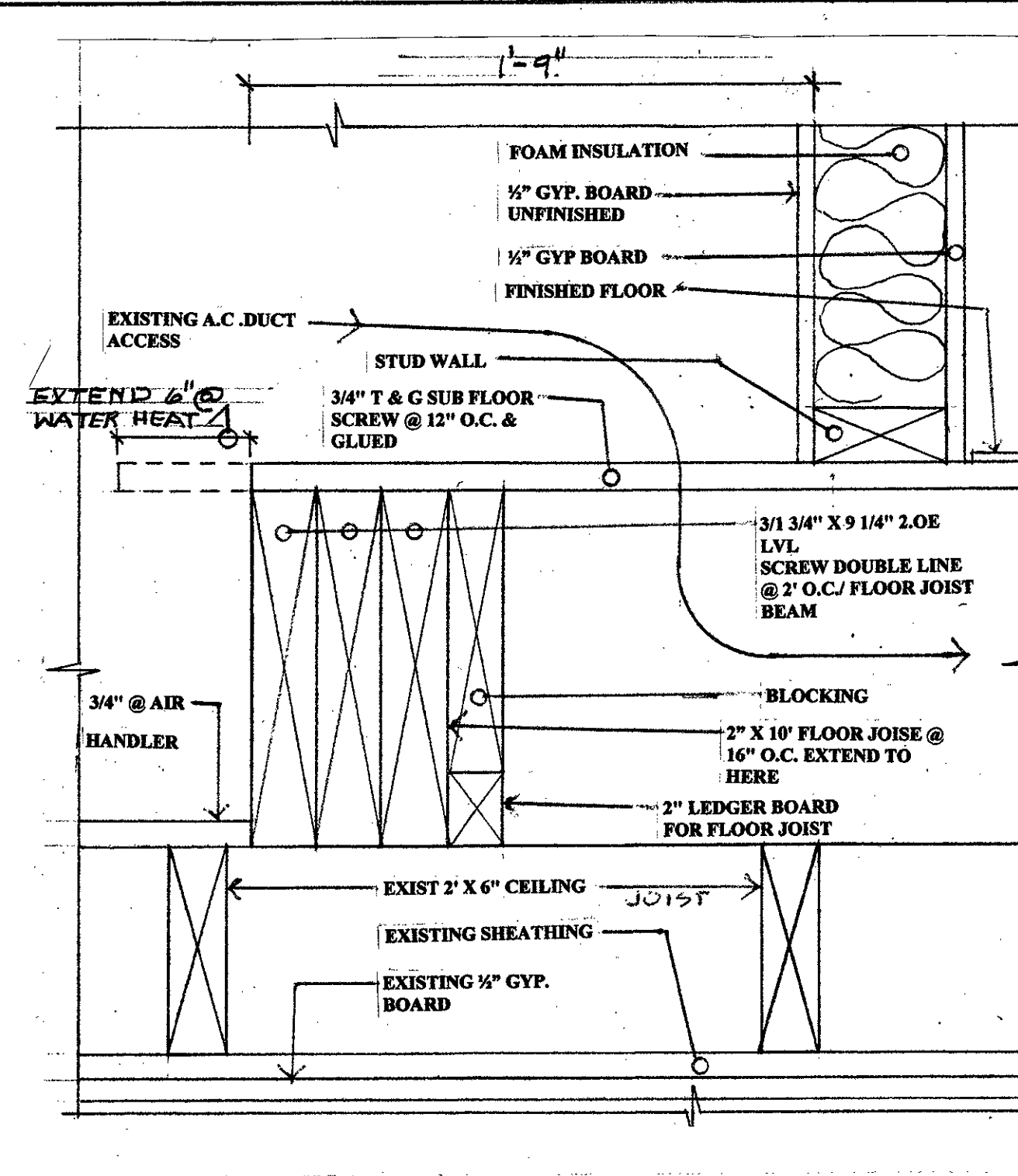
E SHOWER/SECTION AT CEILING
1 1/2" = 1'0"



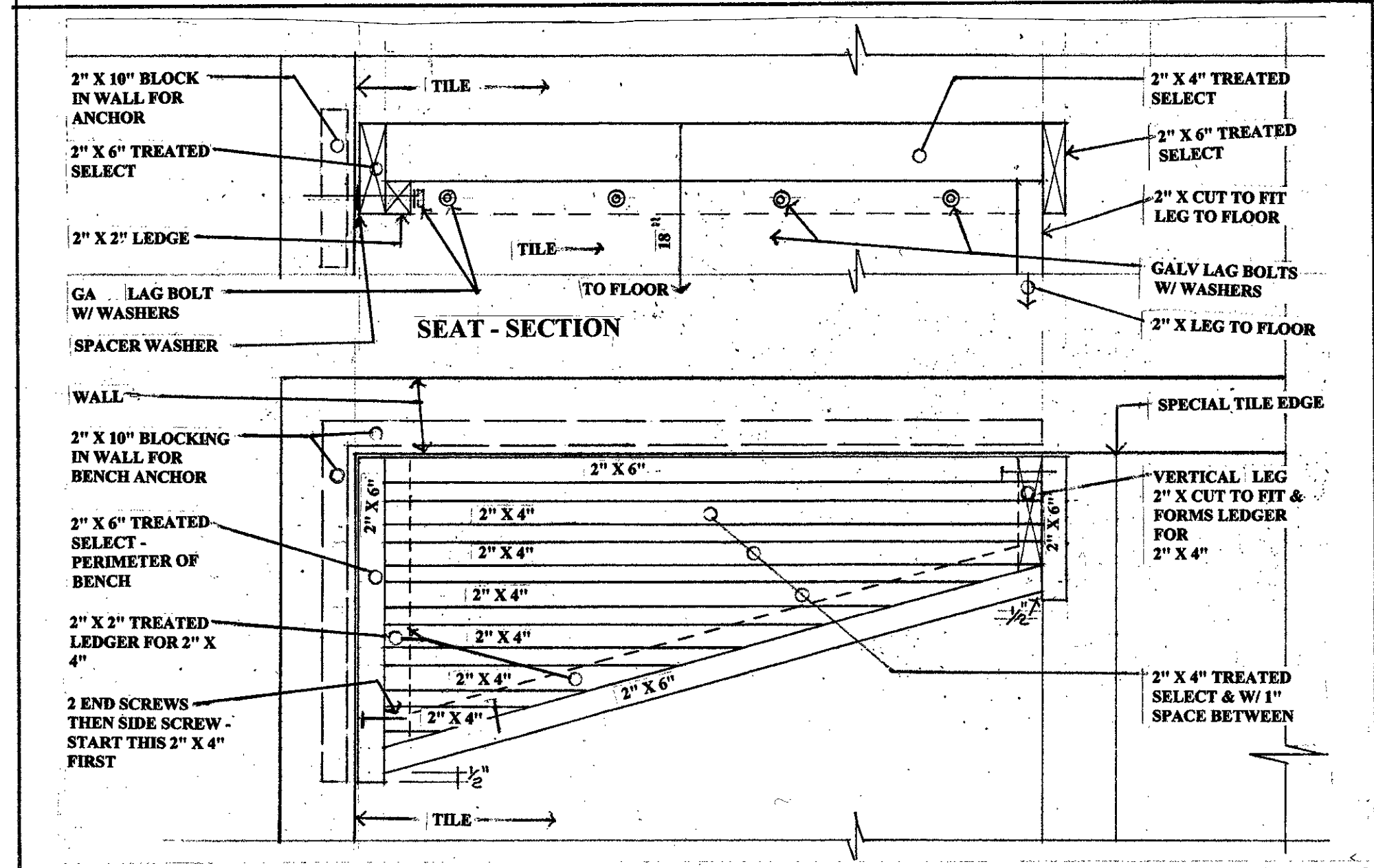
F BEAM AT WEST WALL @ OPEN TO DINING
3" = 1'0"



G BEAM CARRY FL. JOIST & S. WALL OFFICE
3" = 1'0"



H BEAM CARRY FL. JOIST & N. WALL OF FAMILY
3" = 1'0"



I SEAT/PLAN AT SHOWER
1 1/2" = 1'0"

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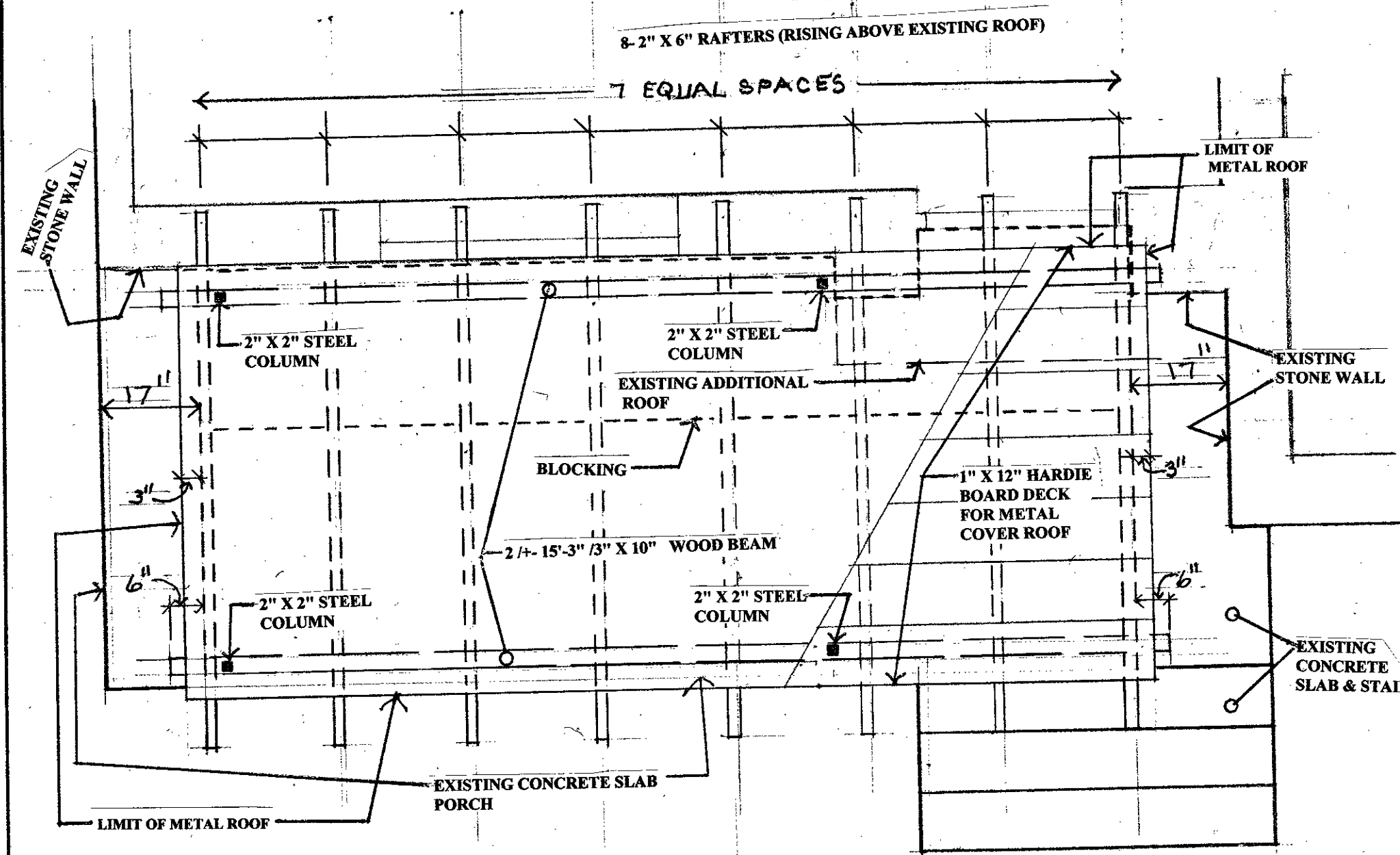
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SECOND FLOOR PLAN BEAM LOCATIONS
SECOND FLOOR BEAM DETAILS
CLOSET DETAIL
SHOWER CEILING DETAIL
SHOWER SEAT DETAIL

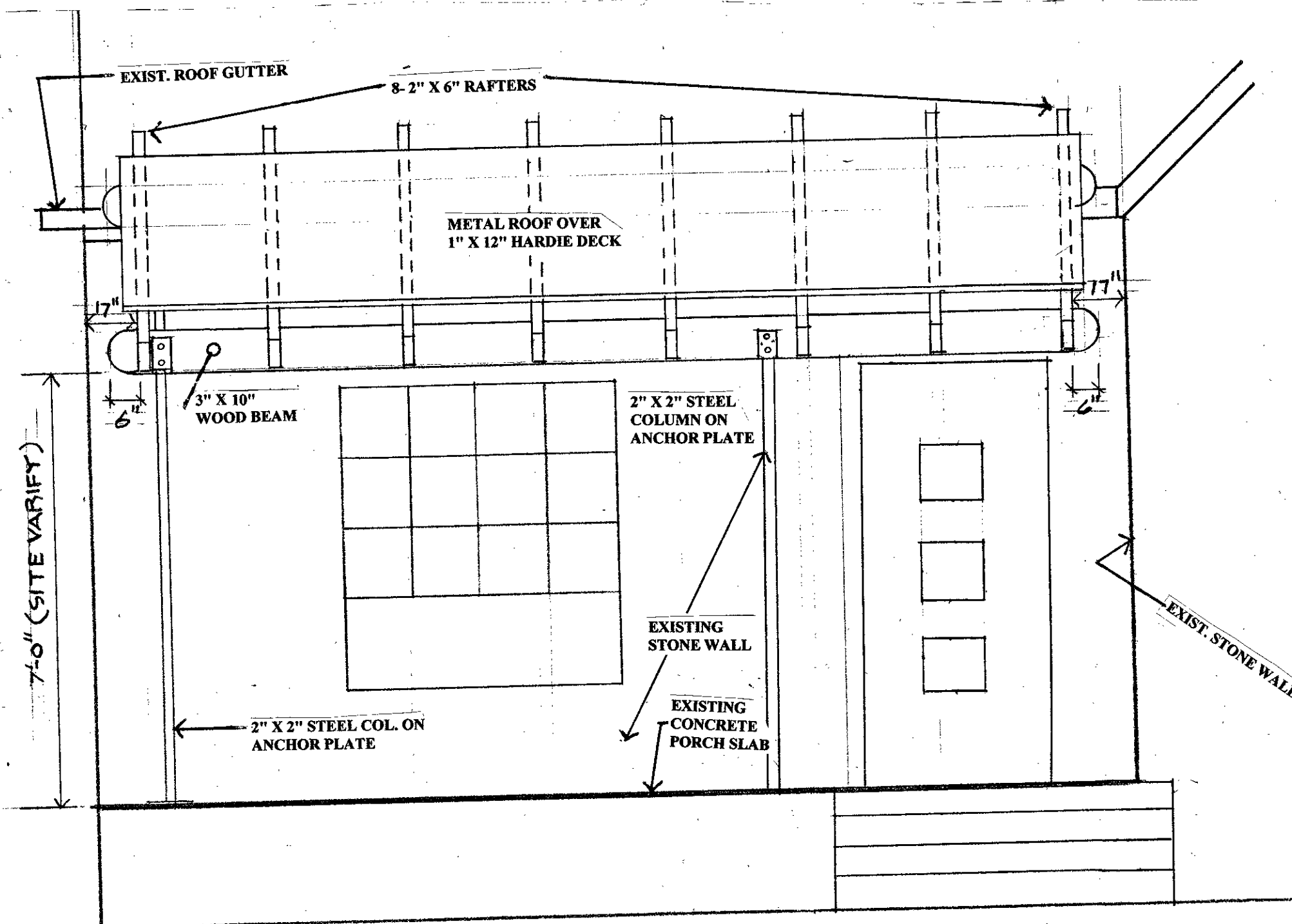
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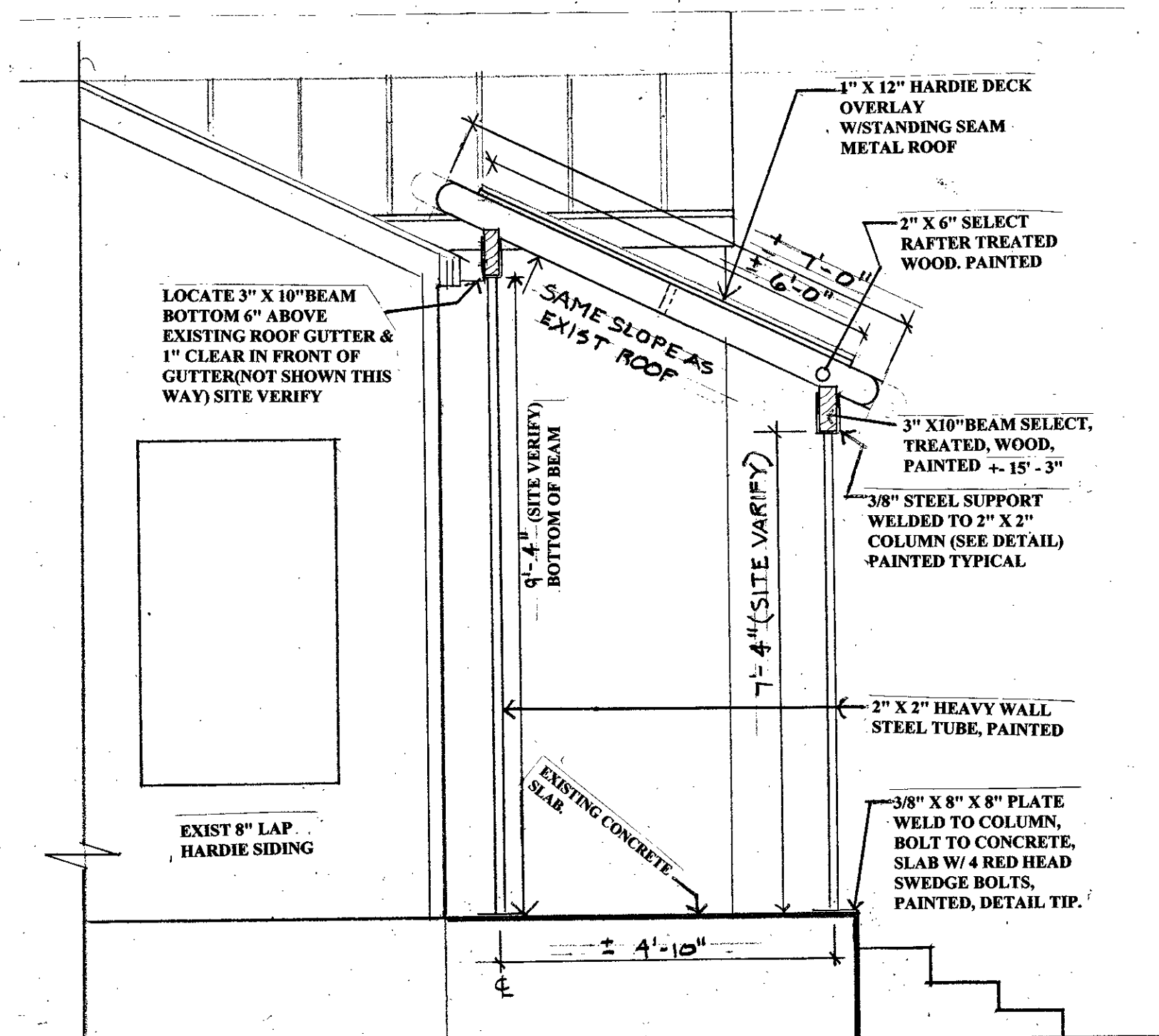




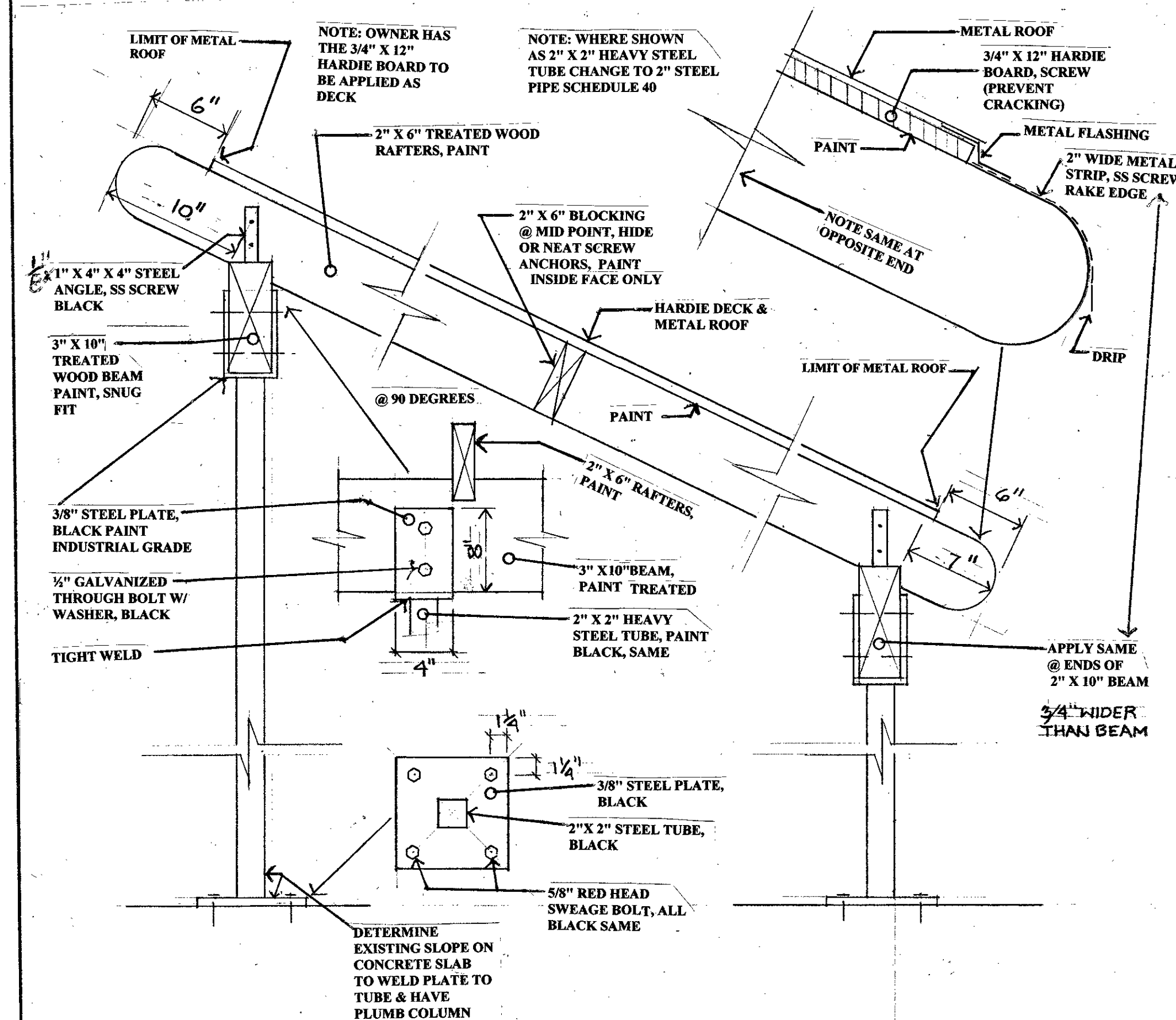
A PLAN - FRONT PORCH ROOF
1/2" = 1'-0"



B ELEVATION LOOKING EAST - PORCH ROOF
1/2" = 1'-0"



C ELEVATION LOOKING SOUTH - PORCH ROOF
1/2" = 1'-0"



D DETAILS - PORCH ROOF
1 1/2" = 1'-0"

FINISH SCHEDULE

ALL STAIR RAIL: GUN METAL FINISH BY METAL FABRICATOR
ALL PAINT: VERIFIED LOW VOC PAINT
ALL CEILINGS, EXCEPT SHOWER & EXISTING ATTIC/HVAC: SMOOTH FINISH GYP BOARD LATEX. (CEILINGS - 58")
CEILING IN SHOWER: TILE
CEILING IN ATTIC HVAC ROOM: GYP BOARD ON CEILING, TAPE, FLOAT, PAINT WITH SEALER.
ALL WALLS: EXCEPT SHOWER, GYPSUM BOARD SMOOTH FINISH (WALLS - 54")
WALLS IN SHOWER: TILE
REFERENCE SHEET 7 BOARD FOR FINISHES ON PORCH ROOF
FOR EXTERIOR: HARDIE BOARD USE QUALITY LATEX PAINT
STUCCO WALLS @ STAIRS USE QUALITY STUCCO FINISH PAINT

ROOM	FLOOR	WALL	DOOR, CABINET & WINDOW	BASE DOOR TRIM
STAIR		OAK TREAD & RISER FINISH TO MATCH OAK FLOOR STAIR BEGINS ON	OAK PLY. @ TOP OF SEVERAL AREA FINISH SAME AS TREADS, STRINGER (EXPOSED) HARD ENAMEL FINISH, WINDOWS SATIN LATEX	KICK BOARD TREADS SATIN PAINT LATEX
FAMILY ROOM	PRE FINISHED SELECTED WITH LAMINATE FLOORING	4 WALLS GYPSUM BOARD SMOOTH FINISH PAINT LATEX	WINDOWS ARRIVE PRIMED PAINT W/ SATIN LATEX	WOOD: PAINT HARD SATIN LATEX
BEDROOM TWO	PRE FINISHED SELECTED WITH LAMINATE FLOORING	SMOOTH FINISH 4 WALLS GYP. BOARD PAINT LATEX 3 WALLS IN CLOSET: GYP. BOARD PAINT LATEX	DOORS ARE FACTORY PAINT, WINDOW ARRIVES PRIMED PAINT W/ SATIN LATEX CLOSET SHELVES: PAINT SATIN LATEX	BASE & DOOR TRIM IS PT. W/HARD SATIN LATEX
HALL	PRE FINISHED SELECTED WITH LAMINATE FLOORING	4 WALLS GYPSUM BOARD SMOOTH FINISH PAINT LATEX PULL DOWN STAIR (IN CEILING) PAINT SATIN LATEX	DOORS ARE FACTORY PAINT	BASE & DOOR TRIM IS PT. W/HARD SATIN LATEX
BEDROOM ONE	PRE FINISHED SELECTED WITH LAMINATE FLOORING	SMOOTH FINISH 4 WALLS GYPSUM BOARD PAINT LATEX 3 WALLS IN CLOSET GYP. BD SMOOTH FINISH PAINT LATEX	DOOR: FACTORY PAINT, CLOSET SHELVES: PT. W/ SATIN LATEX WINDOW ARRIVES PRIMED PAINT W/ SATIN LATEX	BASE & DOOR TRIM IS PT. W/HARD SATIN LATEX
STORAGE/ OFFICE	PRE FINISHED SELECTED WITH LAMINATE FLOORING	4 WALLS GYPSUM BOARD SMOOTH FINISH PAINT LATEX 3 WALLS IN CLOSET GYP. BOARD SMOOTH FINISH PAINT LATEX	DOOR ARRIVES FACTORY PAINTED CLOSET SHELVES PT. W/ SATIN LATEX WINDOW ARRIVES PRIMED PAINT W/ SATIN LATEX	BASE & DOOR TRIM ARE WOOD, PAINT W/ HARD SATIN LATEX
EXISTING ATTIC W/ EXISTING HVAC	LEFT AS IS W/ ROUGH WALKING SURFACE BUILD STEP BOX, SUB FLOOR LEFT ON A PART	GYP BOARD ON 3 WALLS, TAPE & FLOAT 3 WALLS PAINT ONE COAT LATEX SEALER	DOOR IS FACTORY PAINT, PIECE OF WINDOW ARRIVES PRIMED PAINT W/ SATIN LATEX, ANY TRIM AS NECESSARY TO WEATHER SEAL WINDOW & DOOR	NO BASE OR DOOR TRIM, ONLY AS NECESSARY TO WEATHER SEAL DOOR
BATH	MAIN FLOOR: LARGE TILE SHOWER: SMALLER TILE	SMOOTH FINISH 4 WALLS: GYPSUM BOARD PAINT LATEX 4 WALLS SHOWER: TILE	DOOR IS FACTORY PAINT, CABINETS ARRIVE PRIMED, PAINT W/ SATIN LATEX WINDOW ARRIVES PRIMED PAINT W/ SATIN LATEX CABINET TOP: SILSTONE (SELECTED BY OWNER) SHOWER SEAT: TREAT WOOD W/ DUCKS BACK SEALER LAUNDRY DROP CHUTE & LID: PAINT W/ SATIN LATEX	BASE & DOOR TRIM IS PT. W/HARD SATIN LATEX

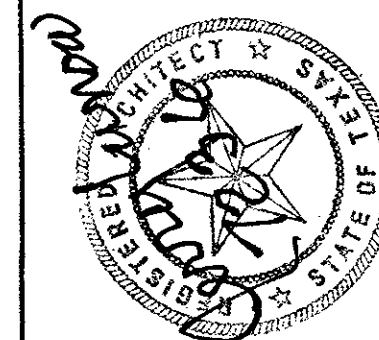
WINDOW SCHEDULE

A	JELD-WEN, <i>Siteline</i> , CLAD - WOOD WINDOW CASEMENT STANDARD OPERATOR. DOUBLE UNIT OF 28" WD. X 54" HT.. CLAD BRILLIANT WHITE, INTERIOR ARRIVES PRIMED, INSULATED LOW - E 366 ANNEALED GLASS NESTING HANDLE - SATIN NICKEL
B	JELD-WEN, <i>Siteline</i> , CLAD - WOOD WINDOW CASEMENT STANDARD OPERATOR. DOUBLE UNIT OF 24" WD. X 54" HT. CLAD BRILLIANT WHITE, INTERIOR ARRIVES PRIMED, INSULATED LOW - E 366 ANNEALED GLASS NESTING HANDLE - SATIN NICKEL
C	JELD-WEN, <i>Siteline</i> , CLAD - WOOD CASEMENT STANDARD OPERATOR. TRIPLE UNIT: WIDTH EACH UNIT OF 24" WD. BEGIN WITH TWO OUTSIDE UNITS, OPERABLE. CENTER UNIT FIXED & ALL UNITS 54" HIGH, CLAD BRILLIANT WHITE, INTERIOR. ARRIVES PRIMED, INSULATED LOW - E 366 ANNEALED GLASS. NESTING HANDLE - SATIN NICKEL
D	JELD-WEN, <i>Siteline</i> , CLAD - WOOD WINDOW DIRECT SET, 60" WIDE X 18" HT. CLAD BRILLIANT WHITE, INTERIOR ARRIVES PRIMED, INSULATED LOW - E 366 ANNEALED GLASS
E	JELD-WEN, <i>Siteline</i> , CLAD - WOOD WINDOW DIRECT SET, 72" WIDE X 12" HT. CLAD BRILLIANT WHITE, INTERIOR ARRIVES PRIMED, INSULATED LOW - E 366 GRAY TINTED ANNEALED GLASS
F	JELD-WEN, <i>Siteline</i> , CLAD - WOOD WINDOW DIRECT SET, 20" WIDE X 12" HT. CLAD BRILLIANT WHITE, INTERIOR ARRIVES PRIMED, INSULATED LOW - E 366 MATTE FROST (ACID ETCH) ANNEALED GLASS
G	JELD-WEN, <i>Siteline</i> , CLAD - WOOD CASEMENT STANDARD OPERATOR. TRIPLE UNIT: WIDTH TWO OUTSIDE UNITS OF 24" WD & OPERABLE. CENTER UNIT 30" & FIXED. ALL UNITS 54" HT. CLAD BRILLIANT WHITE, INTERIOR. ARRIVES PRIMED, INSULATED LOW - E 366 ANNEALED GLASS. NESTING HANDLE - SATIN NICKEL (THIS WINDOW IS REPLACING AN EXISTING WINDOW, VERIFY IT WILL FIT EXISTING ROUGH OPENING BEFORE ORDERING.)

DOOR SCHEDULE

A	JELD-WEN MADISON 32" x 6' - 8" (COLOR SELECTED) 1-PANEL SQUARE SOLID CORE PRE-FINISHED MOLDED COMPOSITE SINGLE PRE-HUNG INTERIOR DOOR
B	JELD-WEN MADISON 36" x 6' - 8" (COLOR SELECTED) 1-PANEL SQUARE SOLID CORE PRE-FINISHED MOLDED COMPOSITE SINGLE PRE-HUNG INTERIOR DOOR
C	JELD-WEN MADISON 30" x 6' - 8" (COLOR SELECTED) 1-PANEL SQUARE SOLID CORE PRE-FINISHED MOLDED COMPOSITE SINGLE PRE-HUNG INTERIOR DOOR
D	JELD-WEN MADISON 36" x 6' - 8" (COLOR SELECTED) 1-PANEL SQUARE SOLID CORE PRE-FINISHED MOLDED COMPOSITE SINGLE TRACK MOUNTED PRE-HUNG ALL HARDWARE INTERIOR DOOR
E	JELD-WEN MADISON 24" x 6' - 8" (COLOR SELECTED) 1-PANEL SQUARE SOLID CORE PRE-FINISHED MOLDED COMPOSITE PAIR OF PRE-HUNG PUSH LATCH HARDWARE INTERIOR DOOR
F	JELD-WEN MADISON 30" x 6' - 8" (COLOR SELECTED) 1-PANEL SQUARE SOLID CORE PRE-FINISHED MOLDED COMPOSITE PAIR OF PRE-HUNG PUSH LATCH HARDWARE INTERIOR DOOR

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PLAN - FRONT PORCH ROOF
ELEVATION LOOKING EAST PORCH ROOF
ELEVATION LOOKING SOUTH - PORCH ROOF
DETAILS PORCH ROOF

DATE:

SHEET NUMBER:

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