WINDSOR RESIDENCE

3908 Avenue H Austin, Texas 78751

100% Permit Set - 11/15/2021

TEAM

MEMBERS INFORMATION

SHEET INDEX

OWNER / CONTACT

STEPHAN WINDSOR

3908 AVENUE H AUSTIN, TEXAS 78751

ARCHITECT OF RECORD

DOUG FREY FREY ARCHITECTS, INC. P.O. BOX 5742 AUSTIN, TEXAS 78763 dfrey@freyarchitects.com (512) 330-0334

STRUCTURAL ENGINEER

SAMUEL COVEY P.E. FORT STRUCTURES PC 2235 EAST 6TH ST. #105 AUSTIN, TEXAS 78702 sam@fortstructures.com (512) 817-9264

GENERAL CONTRACTOR

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS

- INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION, AND LOCAL AUSTIN AMENDMENTS
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 EDITION, AND LOCAL AUSTIN AMENDMENTS
- CITY OF AUSTIN LDC CHAPTER 25-2 SUB-CHAPTER F

SCOPE OF WORK

- CITY OF AUSTIN LDC CHAPTER 25-6 APPENDIX A PARKING
- CITY OF AUSTIN 2012 ORDINANCE #20120112-086 PART 8, SECTION 8

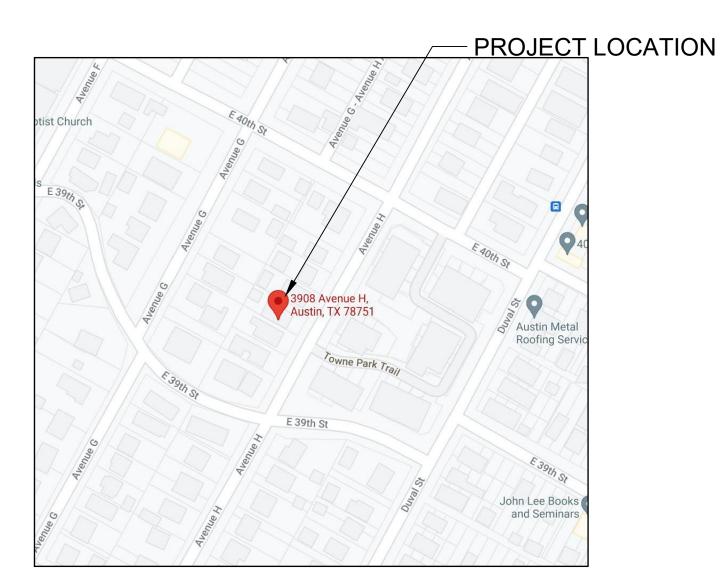
SHEET INDEX Sheet Name Number GENERAL PROPERTY SURVEY (11 x 17) PLOT PLAN (11 x 17) ARCHITECTURAL SITE PLAN ARCHITECTURAL LDC 25-2 SUB-CHAPTER F SITE AND BUILDING AREA CALCULATIONS SIDE SETBACK PLANES SITE PLAN BUILDING TENT ELEVATIONS BUILDING TENT ELEVATIONS ARCHITECTURAL LDC 25-2 SUB-CHAPTER F **EXISTING FLOOR PLAN WITH DEMOLITION PLAN NOTES** EXISTING EXTERIOR ELEVATIONS WITH DEMOLITION NOTES ARCHITECTURAL EXISTING BUILDING FLOOR PLAN NEW FIRST FLOOR BUILDING FLOOR PLAN NEW SECOND FLOOR BUILDING FLOOR PLAN EXISTING BUILDING ROOF PLAN NEW ROOF PLAN A1.40 POWER, DATA AND REFLECTED CEILING PLAN **EXISTING EXTERIOR ELEVATIONS** NEW EXTERIOR ELEVATIONS NEW EXTERIOR ELEVATIONS A2.12 BUILDING SECTIONS ELEVATIONS INTERIOR ELEVATIONS INTERIOR ELEVATIONS INTERIOR ELEVATIONS



SHEET INDEX

PROJECT DATA

VICINITY MAP



ARCHITECT OF RECORD SEAL

RESIDENC

WINDSOR

ISSUED

APPROVED FLOOR PLAN

REVIEW SET 50%

REVIEW SET 80%

REVIEW SET 95%

REVIEW SET 100%

WINDOW UPDATE

WINDOW UPDATE

PERMIT SET 100%

03-06-2021

03-30-2021

04-30-2021

05-27-2021

06-24-2021

07-20-2021

09-11-2021

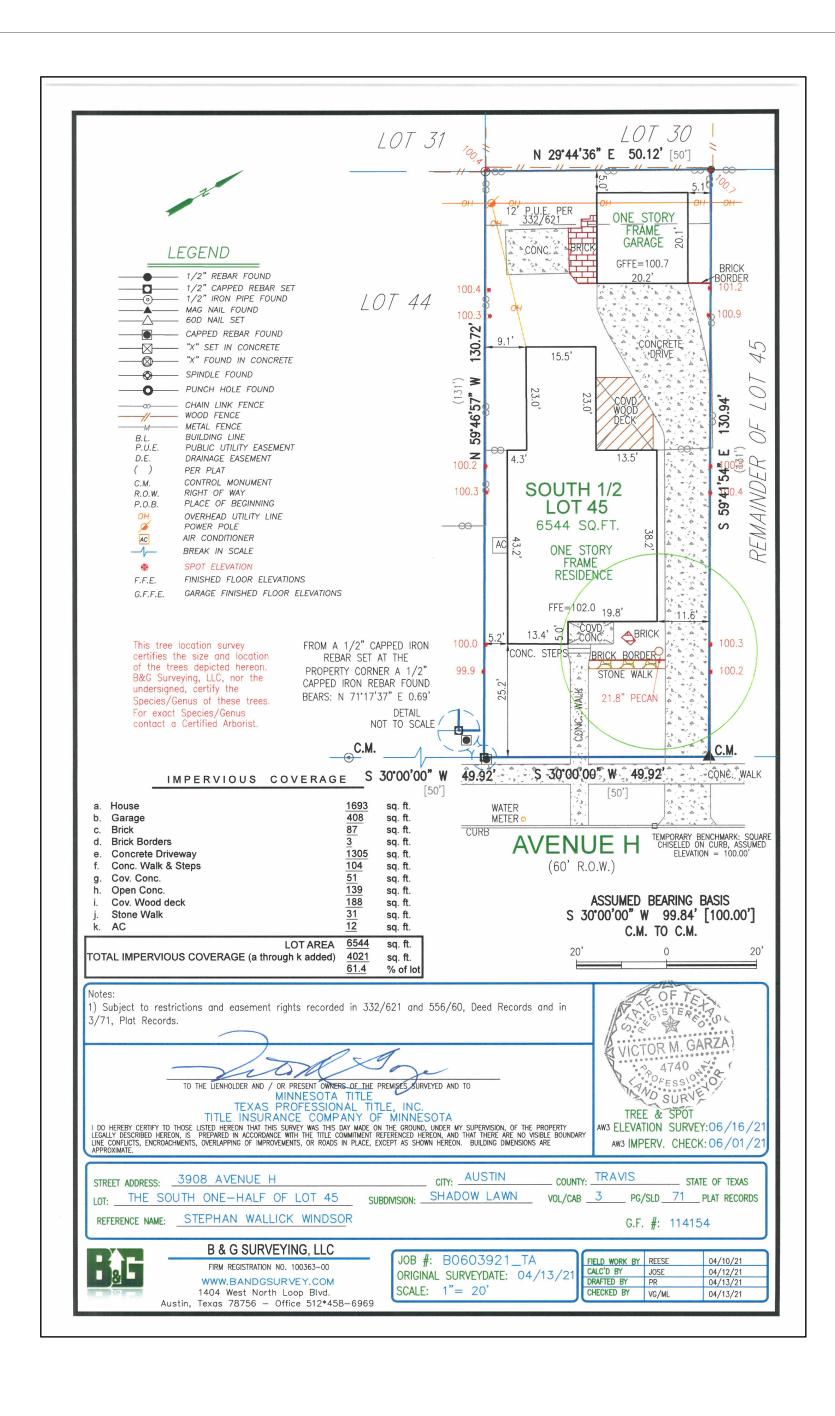
11-15-2021

DESCRIPTION AS BUILT

COVER SHEET (24x36)

Total Conditioned Building area for Addition and Renovations of existing Residence 2,396 SQ. FT.

PROJECT



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SURVEY (11x17) 981.01.21



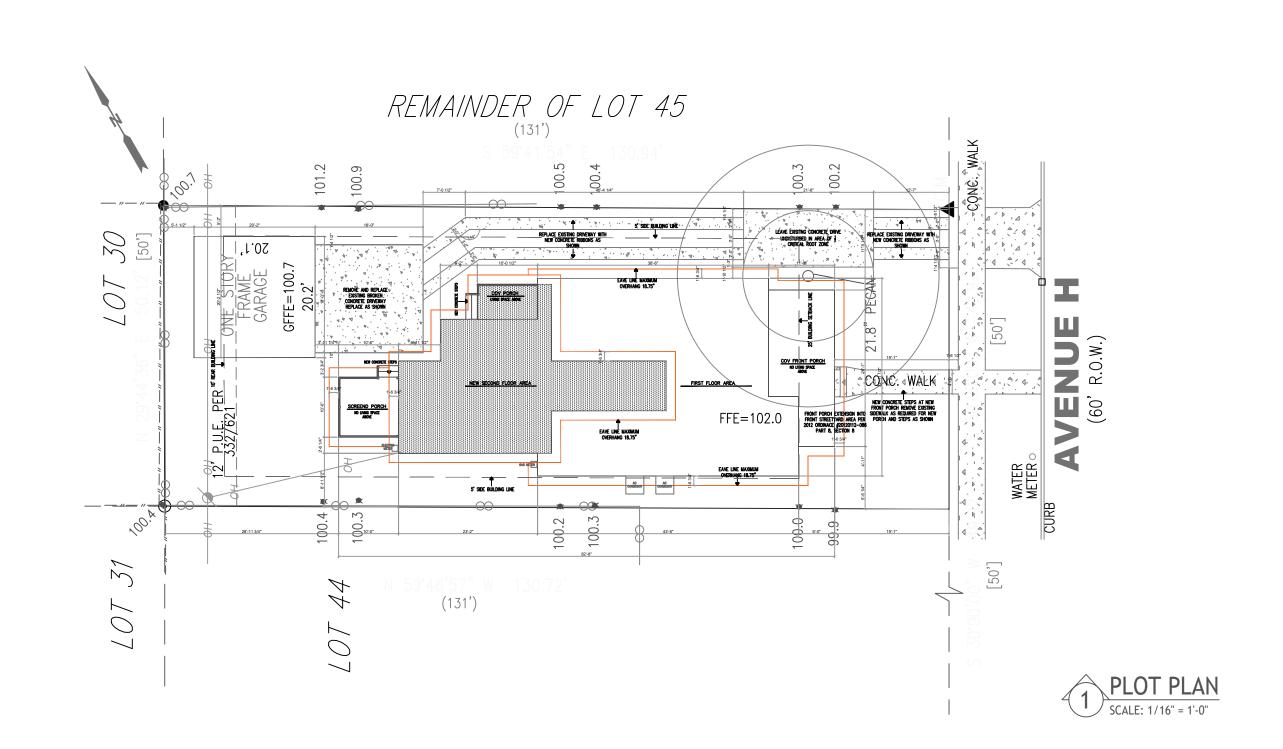












LEGAL DESCRIPTION:

THE SOUTH ONE-HALF OF LOT 45; SUBDIVISION SHADOW LAWN; VOL 3; PAGE 71 PLAT RECORDS IN TRAVIS COUNTY, TEXAS

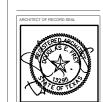
LOT SIZE:

(square feet) 6,544

WINDSOR RESIDENCE 9 O 8 Avenue AUSTIN, TEXAS 78751



ISSUED	DATE
AS BUILT	03-06-2021
APPROVED FLOOR PLAN	03-30-2021
REVIEW SET 50%	04-20-2021
REVIEW SET 80%	04-30-2021
REVIEW SET 95%	05-27-2021
REVIEW SET 100%	06-24-2021
REVISION NUMBER DESCRIPTION	DATE
WINDOW UPDATE	07-20-2021



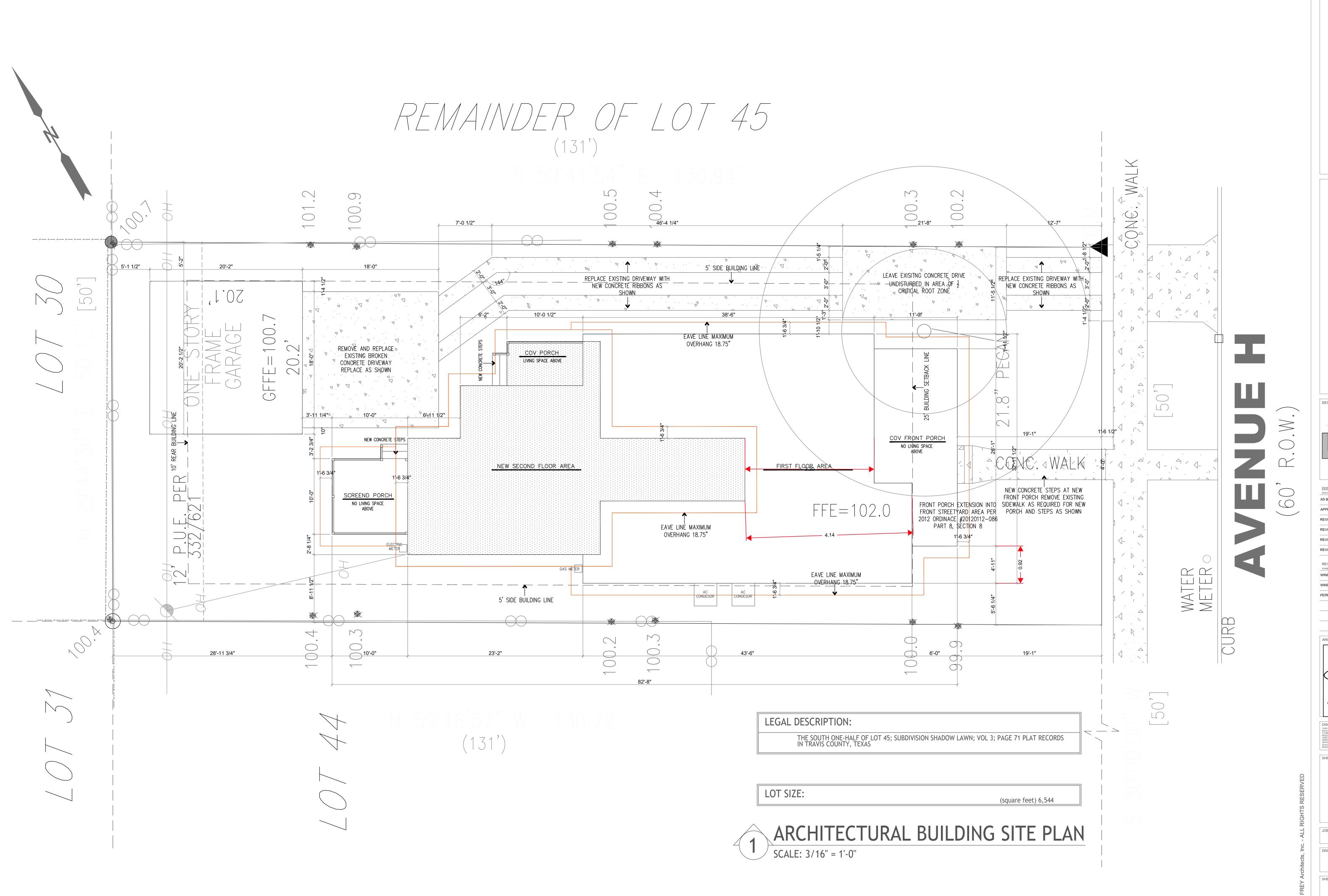


PLOT PLAN
(11x17)

981.01.21

VN BY: CHECKED BY:

A0.10



 REVIEW SET 80%
 04-30-2021

 REVIEW SET 95%
 05-27-2021

 REVIEW SET 100%
 06-24-2021

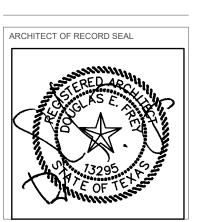
 REVISION DATE

 NUMBER
 DESCRIPTION

 WINDOW UPDATE
 07-20-2021

 WINDOW UPDATE
 09-11-2021

 PERMIT SET 100%
 11-15-2021



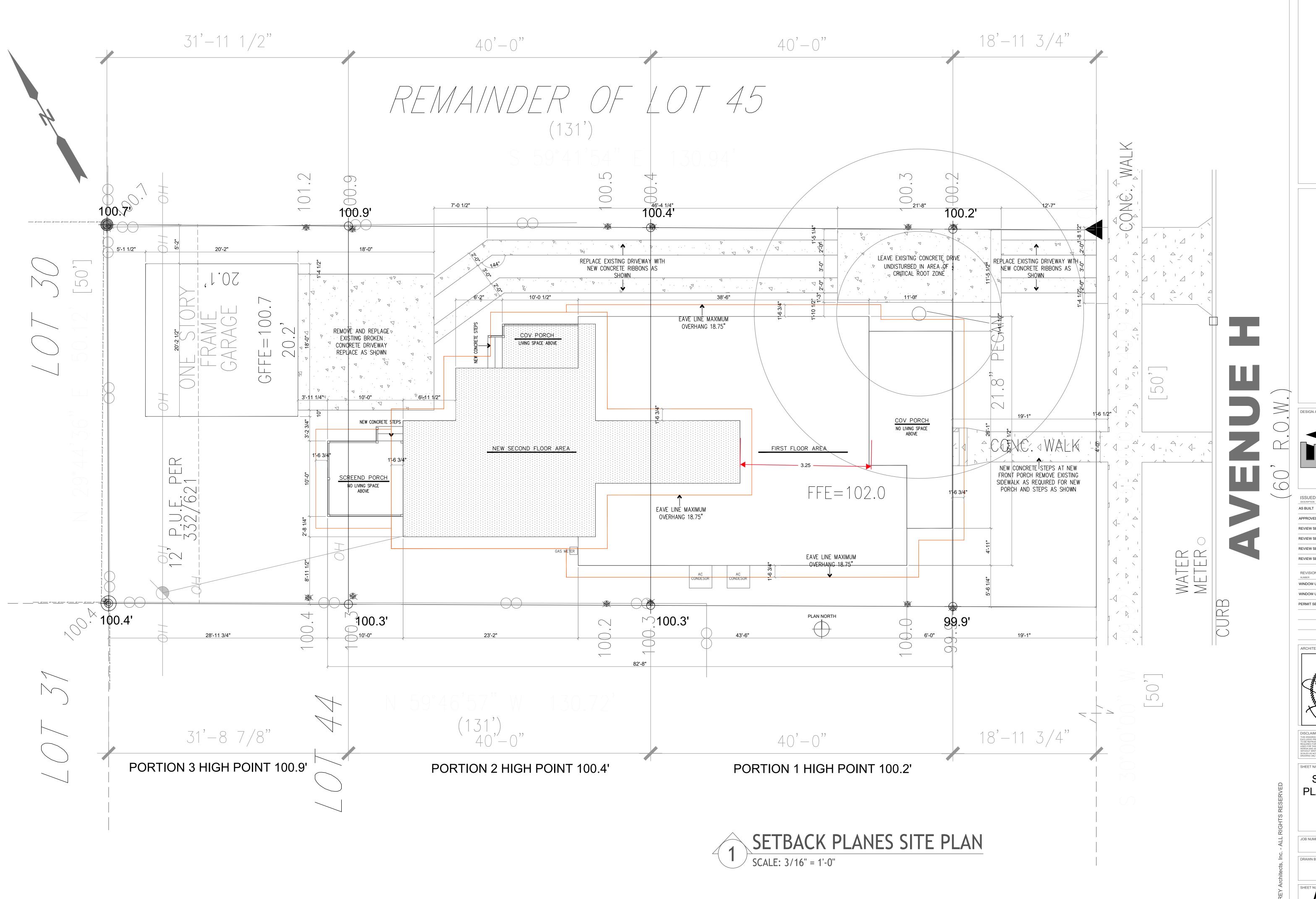
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SHEET NAME:

SITE PLAN
(24x36)

JOB NUMBER: 981.01.21

AO.11



SUED

SUED

SUED

SOURCE

BUILT

DATE

PROVED FLOOR PLAN

03-30-2021

VIEW SET 50%

04-20-2021

VIEW SET 80%

04-30-2021

 REVIEW SET 95%
 05-27-2021

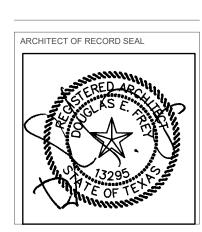
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 06-24-2021

 REVISION NUMBER
 DESCRIPTION
 DATE

 WINDOW UPDATE
 07-20-2021

 WINDOW UPDATE
 09-11-2021

 PERMIT SET 100%
 11-15-2021



DISCLAIMER:

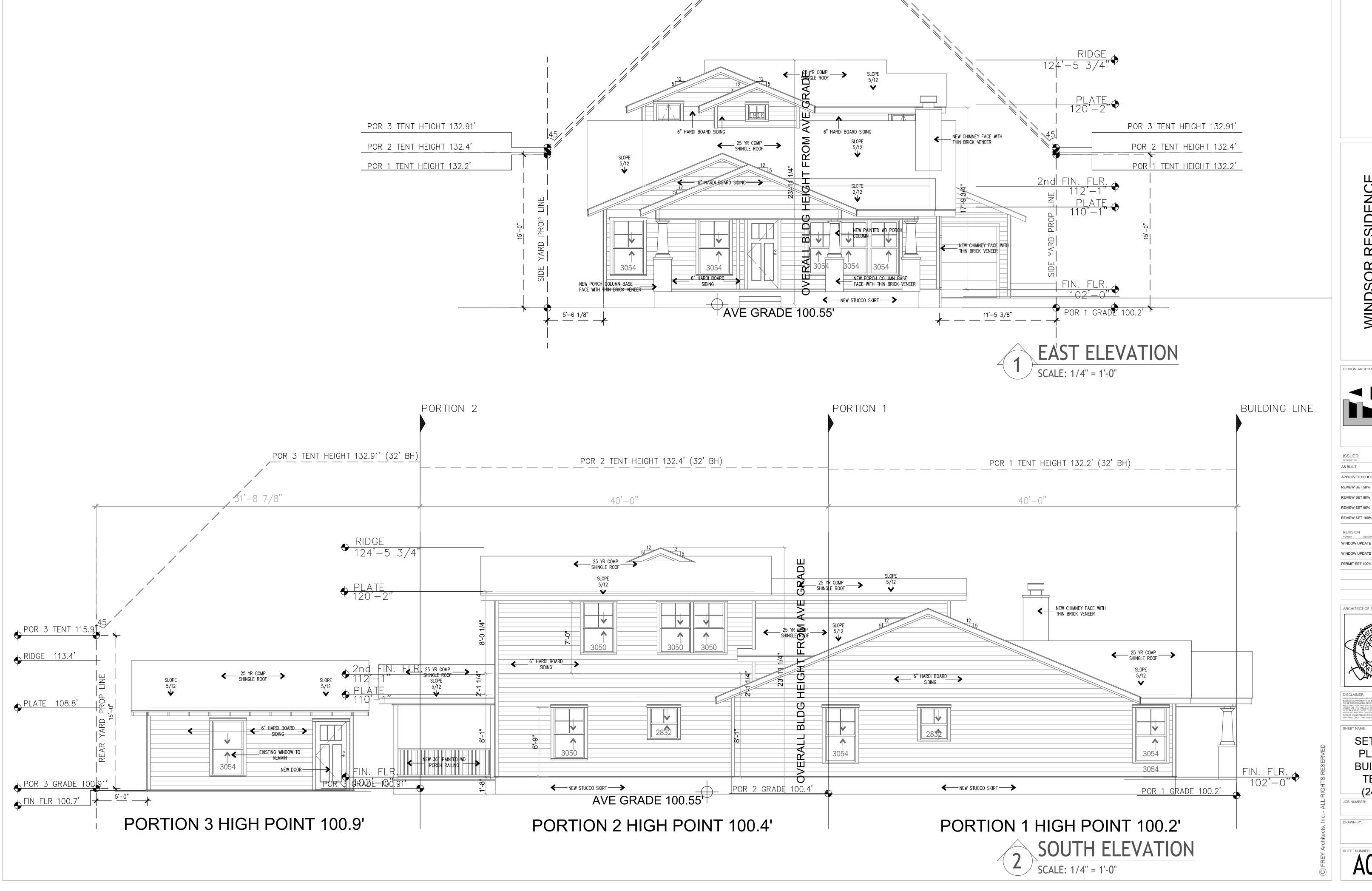
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SHEET NAME:

SETBACK PLANES SITE PLAN (24x36)

981.01.21

AO.21



POR 3 TENT HEIGHT 132.91' (32' BH)

POR 2 TENT HEIGHT 132.4' (32' BH)

POR 1 TENT HEIGHT 132.2' (32' BH)

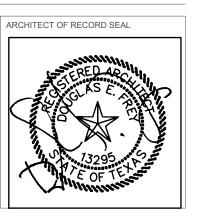
_ _ _ _ _ _ _ _ _ _ _

WINDSOR RESIDENCE

3 9 0 8 Avenue H

AUSTIN, TEXAS 78751

FREY ARCHITECTS, INC.
P.O. BOX 5742
AUSTIN, TEXAS 78763
512.330.0334 V
512.306.8128 F
FREYARCHITECTS.COM



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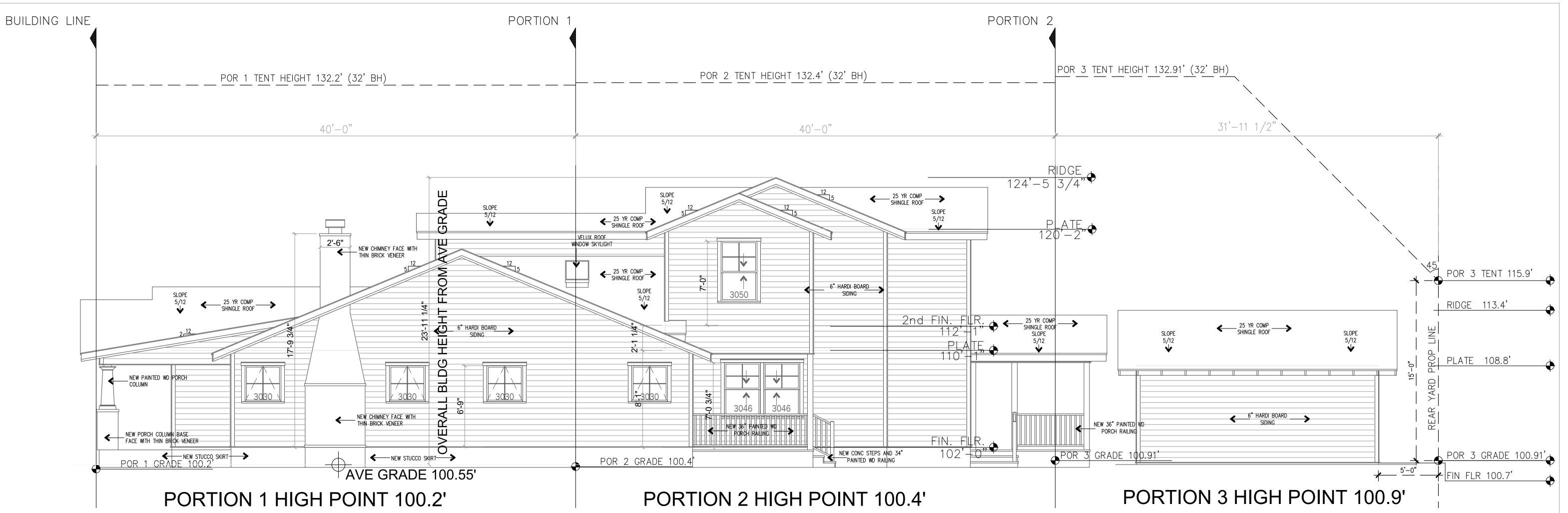
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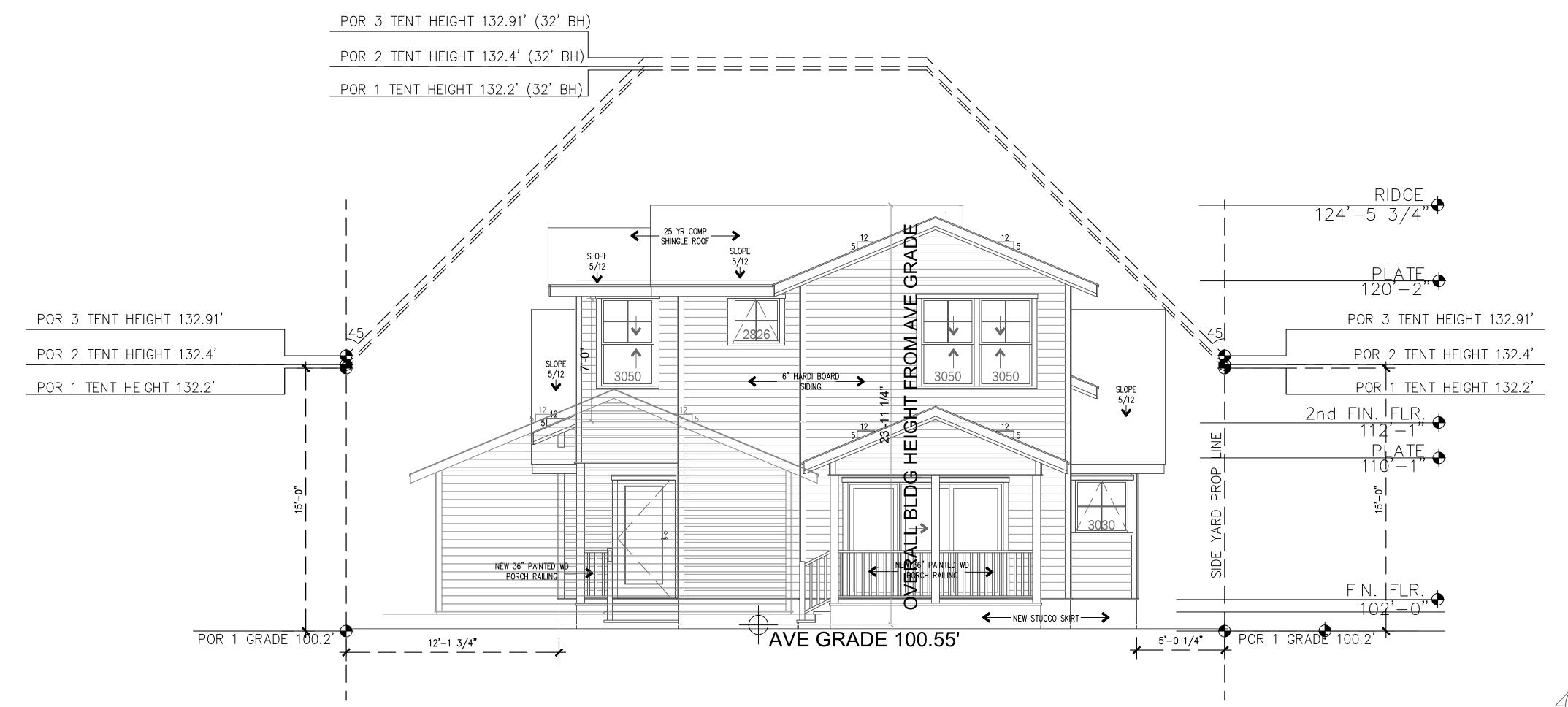
SETBACK
PLANES
BUILDING
TENTS
(24x36)

981.01.21

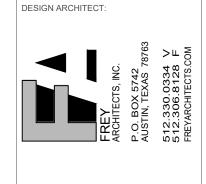
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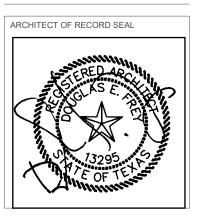








ISSUED DESCRIPTION	DATE
AS BUILT	03-06-202
APPROVED FLOOR PLAN	03-30-202
REVIEW SET 50%	04-20-202
REVIEW SET 80%	04-30-202
REVIEW SET 95%	05-27-202
REVIEW SET 100%	06-24-202
REVISION NUMBER DESCRIPTION	DATE
WINDOW UPDATE	07-20-202
WINDOW UPDATE	09-11-202 ⁻
PERMIT SET 100%	11-15-202

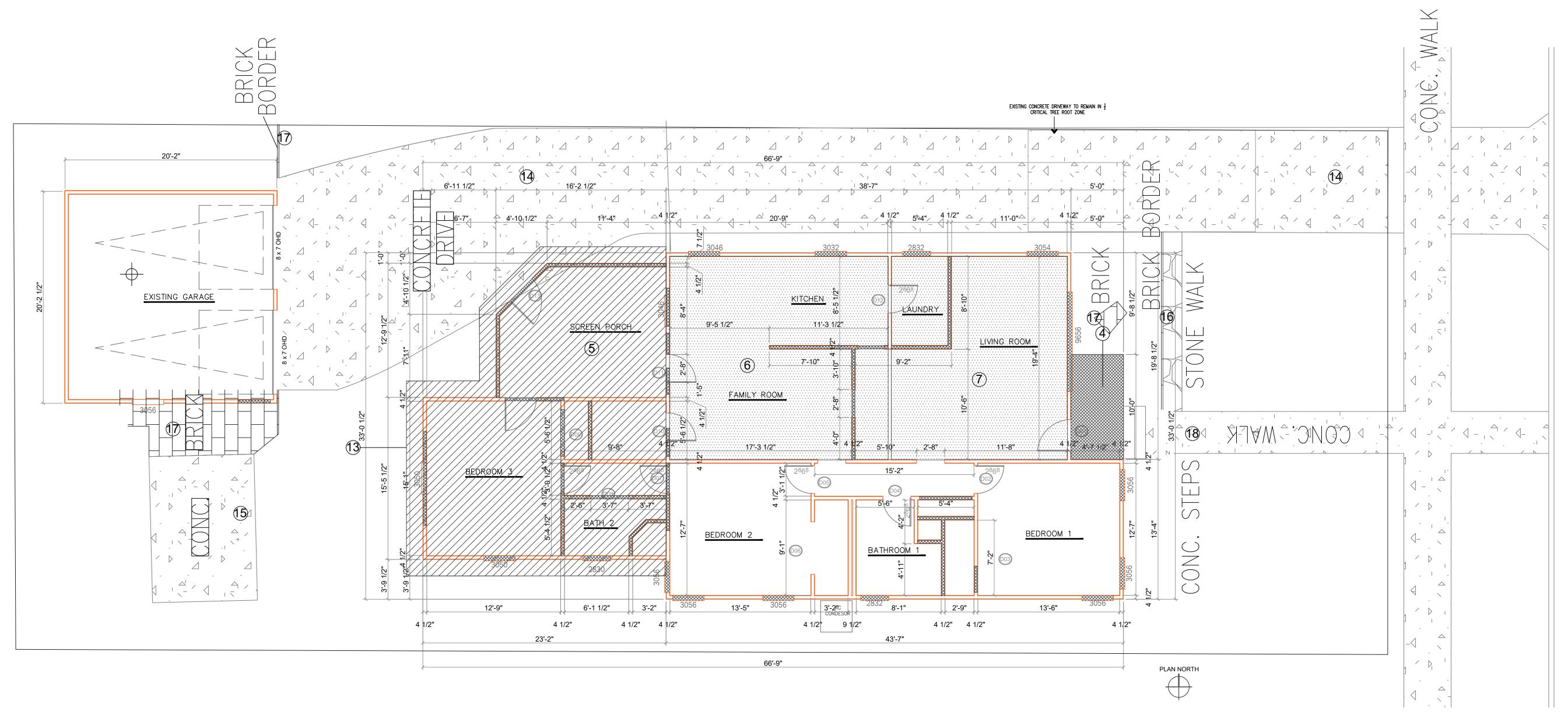




SETBACK
PLANES
BUILDING
TENTS
(24x36)

981.01.21

AO.23

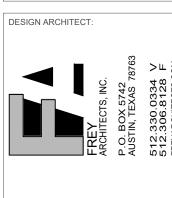


DEMOLITION NOTES

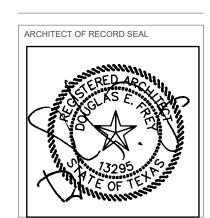
- 1. EXISTING WALLS SHOWN IN RED TO REMAIN.
- 2. DEMO HATCHED WALLS, REFERENCE STRUCTURAL AND NEW WORK PLANS.
- DEMO HATCHED WINDOWS, COORDINATE WITH NEW SCHEDULED WINDOWS.
- 4. DEMO EXISTING FRONT PORCH.
- 5. DEMO REAR SCREENED PORCH.
- DEMO ROOF AT NEW KITCHEN AND DINING ROOM AREA, COORDINATE WITH NEW ARCHITECTURAL PLANS AND STRUCTURAL.
- DEMO CEILING AT FRONT LIVING ROOM FOR NEW VAULTED CEILING BRACE ROOF STRUCTURE AND COORDINATE WITH STRUCTURAL DRAWINGS.
- 8. ALL EXISTING WOOD FLOORS TO REMAIN, PROTECT FOR PATCH AND REPAIR IN NEW RENOVATED SPACE.
- TEST FOR LEAD BASED PAINT AND IF FOUND REMEDIATE AS REQUIRED FOR DEMOLITION WORK.
- 10. DEMO ALL INTERIOR GYPSUM BOARD WALLS AND CEILINGS AND ALL EXISTING INSULATION.
- 11. DEMO ALL EXISTING ELECTRICAL, PLUMBING AND MECHANICAL.
- 12. REMOVE ALL EXTERIOR ASBESTOS SIDING FROM EXISTING HOUSE AND GARAGE BUILDINGS.
- 13. DEMO FLAT ROOF STRUCTURE AT REAR OF EXISTING HOUSE FOR NEW SECOND FLOOR ADDITION.
- 14. REMOVE EXISTING CONCRETE DRIVEWAY FROM FRONT PROPERTY LINE TO GARAGE EXCEPT AT AREA NOTED AS $\frac{1}{2}$ CRITICAL ROOT ZONE AND SHOWN ON PLAN.
- 15. REMOVE REAR CONCRETE PAD
- 16. REMOVE FRONT STONE WALK
- 17. REMOVE BRICK AREAS NOTED ON PLAN
- 18. REMOVE FRONT WALK AND CONCRETE STEPS TO ALLOW FOR TIE IN TO NEW EXPANDED FRONT PORCH



RESIDENC WINDSOR



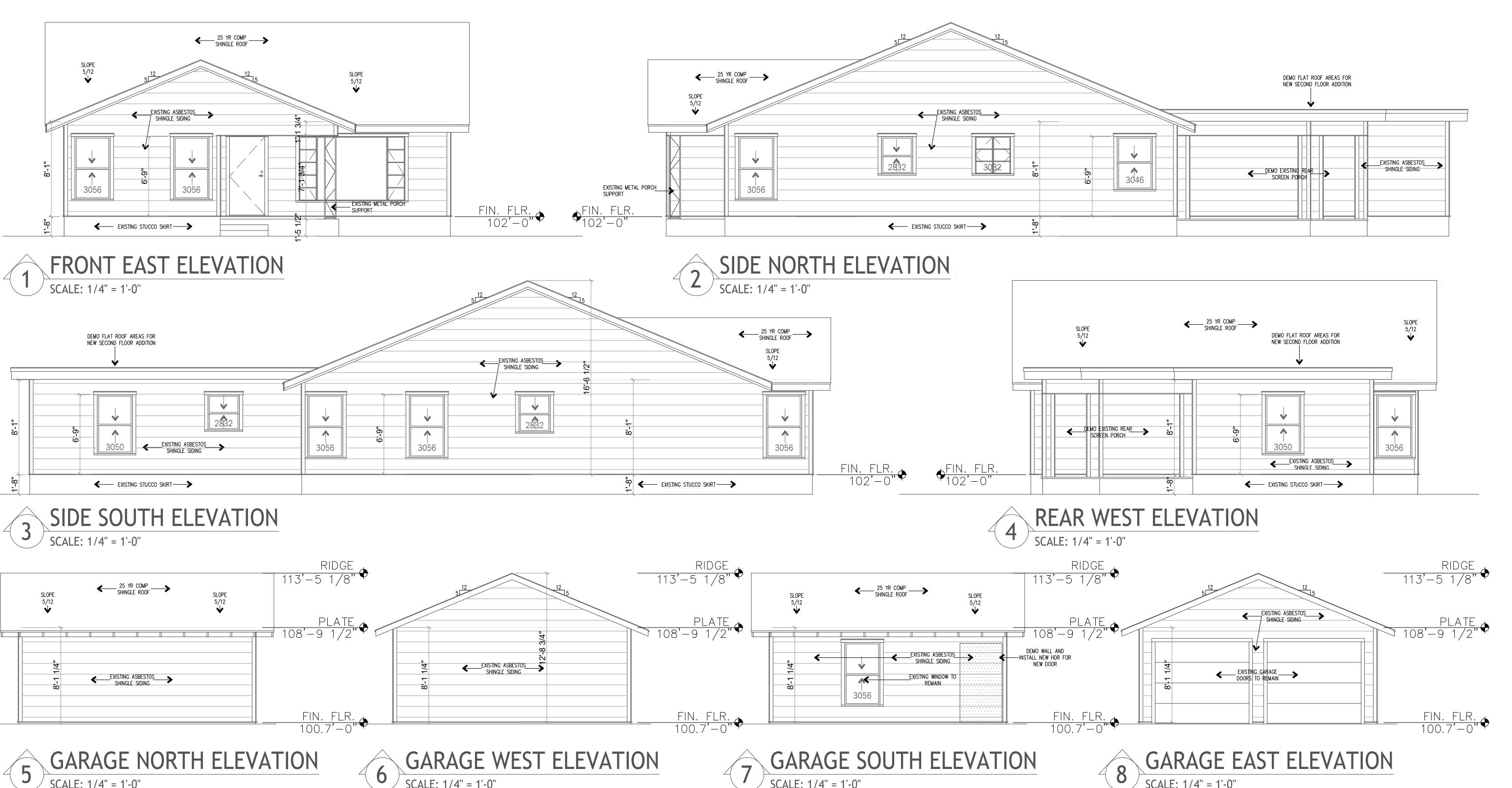
DATE
03-06-202
03-30-202
04-20-202
04-30-202
05-27-202
06-24-202
DATE
07-20-202
09-11-202
11-15-202



DEMOLITION PLAN (24x36)

981.01.21

D0.10



DEMOLITION NOTES

- DEMO WINDOWS, COORDINATE R.O. REQUIREMENTS WITH NEW SCHEDULED WINDOWS.
- DEMO EXISTING FRONT PORCH.
- DEMO REAR SCREENED PORCH.
- DEMO PORTION OF SOUTH GARAGE WALL FOR NEW DOOR.
- DEMO ROOF AT NEW KITCHEN AND DINING ROOM AREA, COORDINATE WITH NEW ARCHITECTURAL PLANS AND STRUCTURAL.
- DEMO ALL EXISTING ELECTRICAL, PLUMBING AND MECHANICAL.
- REMOVE ALL EXTERIOR ASBESTOS SIDING FROM EXISTING HOUSE AND GARAGE BUILDINGS.
- DEMO FLAT ROOF STRUCTURE AT REAR OF EXISTING HOUSE FOR NEW SECOND FLOOR ADDITION.

8 GARAGE EAST ELEVATION

ARCHITECT OF RECORD SEAL

REVISION

NUMBER DESCRIPTION

07-20-2021

RESIDENCE

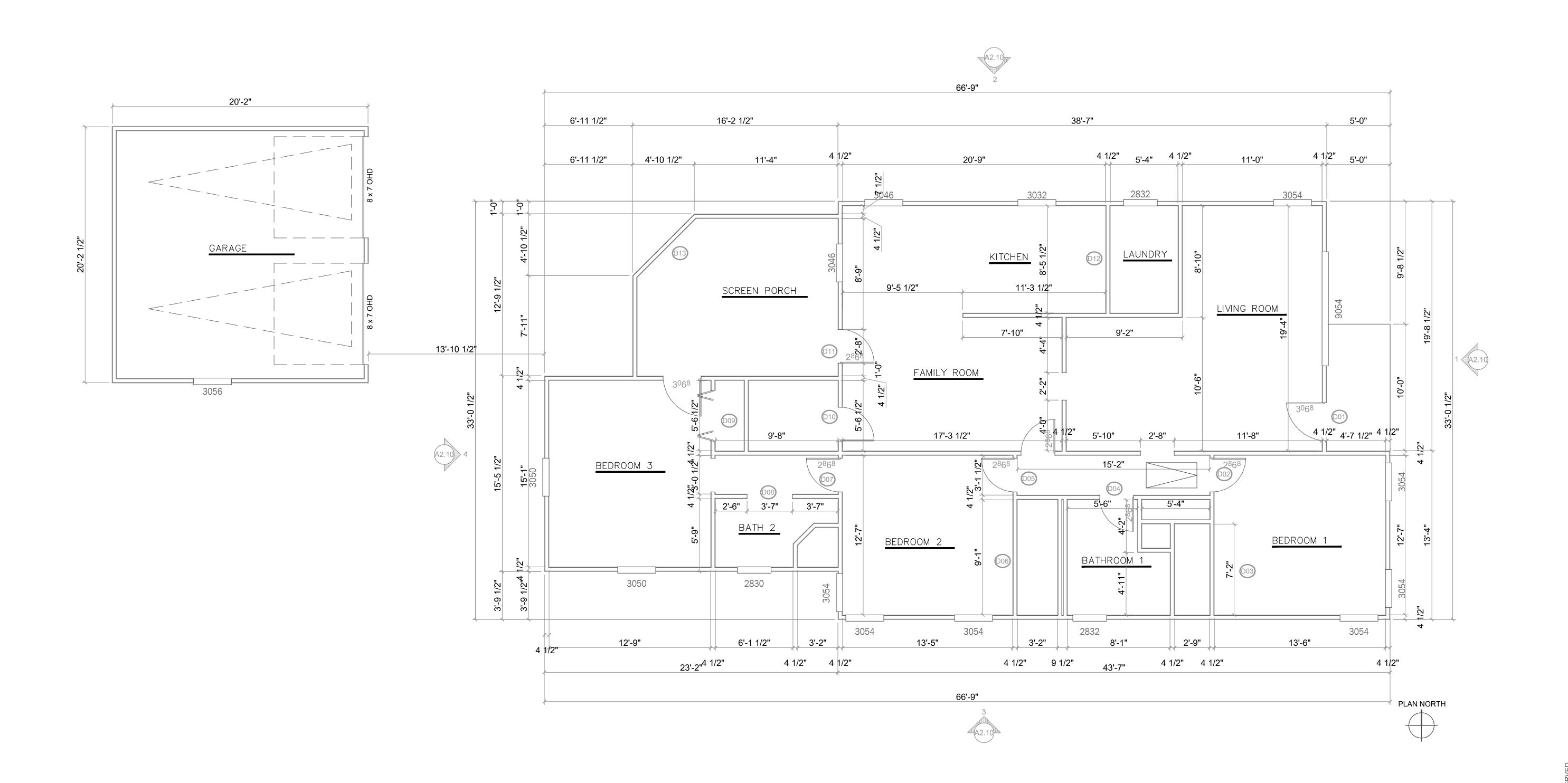
WINDSOR

DESIGN ARCHITECT

EXISTING ELEVATIONS DEMOLITION NOTES (24x36)

981.01.21

D0.20





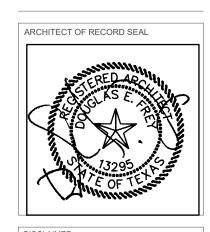
Xref DWFLL 24x36 TB 2018 0104 dwg

WINDSOR RESIDENCE

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ARCHITECTS, INC.
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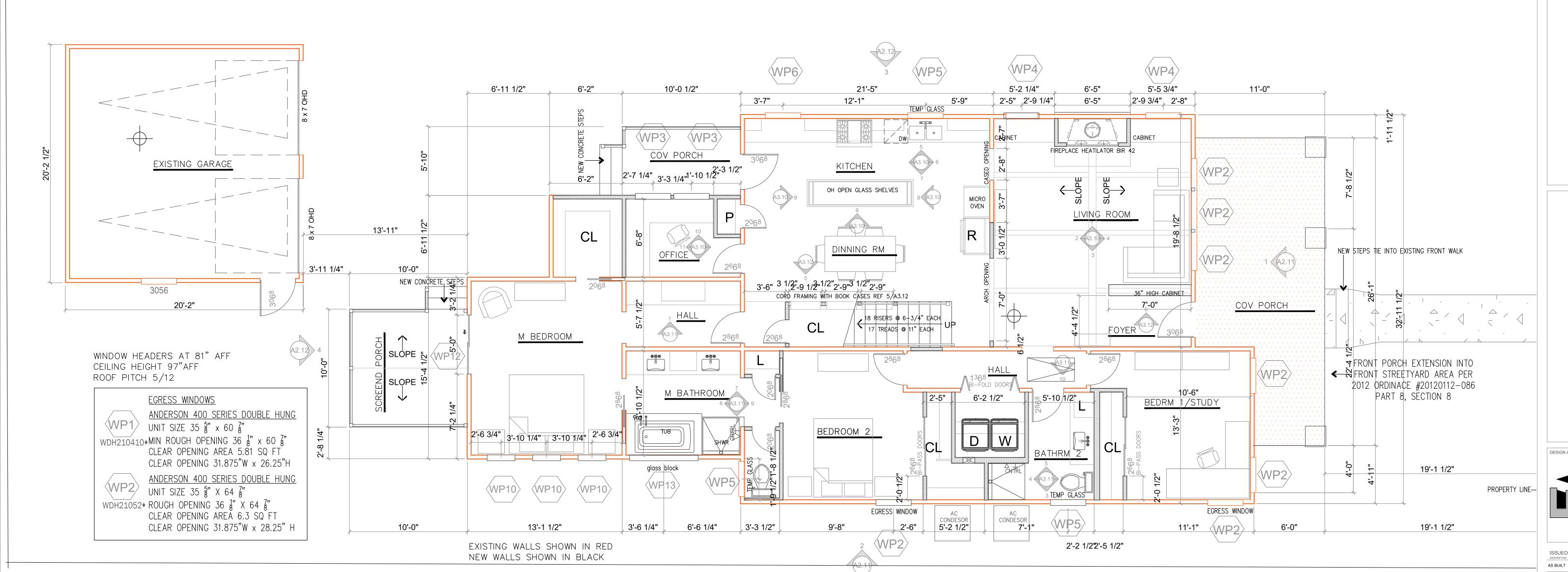
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EXISTING
BUILDING
FLOOR PLAN
(24x36)

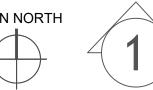
981.01.21

A1.10



GENERAL NOTES

- All Construction shall fully comply with IRC 2021 with local Austin amendments, IEEC 2021 with Local Austin amendments and Austin LDC requirements including Sub—Chapter F.
- 2. The Contractor, and Sub-Contractors are responsible for confirming and correcting dimensions at the job site and prior to commencing work. The Architect is not responsible for construction means and methods, techniques, sequences or procedures, and for safety precautions and programs related to the project.
- 3. Fully review Structural Drawings for new foundation design and alterations to existing pier and beam foundation system and all framing requirements.
- 4. Dimensions shown on floor plan sheets are to face of framing, dimensions shown on interior elevation sheets are to face of finish wall. Verify that actual site dimensions conform with dimensions shown on plans prior to framing layout, notify Architect if significant deviations are present and ask for direction.
- 5. Framing for partitions shall be with wood studs at 16" O.C., reference Structural drawings for any specific requirements. Provide Dow Weathermate sill seal at all new walls.
- Windows and Doors are not "self-flashing", and require a complete flashing system for a weather-tight seal. This project may require more than one type of flashing system depending on what will work best with existing building conditions to ensure a weather-tight envelop.
- 7. Provide 🖁 "Zip" System roof sheathing at all existing roof areas that are altered and al new roof areas. Provide 1" (R3) Zip System Exterior sheathing at all new addition area walls. Install and seal per Structural Engineer requirements and manufacturer requirements.
- 8. Seal all wall and roof penetrations for complete weather—tight seal.
- Door jambs typically set 4" from adjacent wall to edge of wood frame.
- 10. Provide continuous 2x wood blocking for all shelving, grab bars, millwork. vanity tops and misc. hardware that is shown on plans and elevations. Wood blocking in walls behind all grab bar locations must be able to withstand loads of 250 pounds.
- 11. Provide continuous 2x6 and 2x8 wood blocking in wall behind all cabinets, shelves and closet areas, toilet accessories, future grab bar locations in all bath tub and shower areas.
- 12. Fully insulate all interior partitions and underside of all interior second floor decking with minimum 3" Therma Fiber SAFB mineral fiber batts.
- 13. Windows and Sliding Doors shall be Anderson 100 series with southern Lo "E"insulated thermal break type windows as a minimum standard.
- 14. Building has been designed as a fully sealed envelop, Provide Icynene spray foam insulation (open cell) min R—38 at underside of all roof decks, minimum R—15 at all exterior walls and minimum R—19 under first floor at all pier and beam foundation areas.
- 15. Use 🖁 Type X Gypsum Board at all interior ceiling areas except wet areas unless otherwise noted. Wet areas use Type 🖁 X Mold and Moisture Resistant (MMR) Gypsum Board. Provide tile backer board on all wall surfaces behind tile areas.
- 16. Provide square metal metal corner bead at all gypsum board edges. Install casing beads wherever gypsum board abutts a dissimilar finish material. Provide full waterproofing system at all shower wall and floor areas; such as Schulter Kerdi type system or equal. Waterproofing at Showers shall extend full height.
- 17. Provide metal trim at all exposed tile edges, such as Schluter Jolly A80, A100 in Owner selected finish or equal.
- 18. Provide minimum level 4 smooth finish Gypsum Wall Finish at all walls and ceilings.



NEW FIRST FLOOR PLAN

ANDERSON 400 SERIES DOUBLE HUNG UNIT SIZE 35 \(\frac{5}{8} \) x 60 \(\frac{7}{8} \) WDH210410+MIN ROUGH OPENING 36 1 x 60 7 CLEAR OPENING AREA 5.81 SQ FT CLEAR OPENING 31.875"W x 26.25"H

ANDERSON 400 SERIES DOUBLE HUNG UNIT SIZE 35 5" X 64 7" WDH21052 ROUGH OPENING 36 1 X 64 7 CLEAR OPENING AREA 6.3 SQ FT CLEAR OPENING 31.875"W x 28.25" H

ANDERSON 400 SERIES DOUBLE HUNG UNIT SIZE 35 \(\frac{8}{8} \) x 52 \(\frac{7}{8} \) WDH21042 ROUGH OPENING 36 1 x 52 7 8 CLEAR OPENING AREA 4.92 SQ FT CLEAR OPENING 31.875"W x 22.25" H

ANDERSON 400 SERIES AWNING FIXED UNIT SIZE 35 $\frac{15}{16}$ x 24 $\frac{1}{8}$ " ROUGH OPENING 36 $\frac{7}{16}$ " x 24 $\frac{5}{8}$ "

ANDERSON 400 SERIES DOUBLE HUNG WP5 UNIT SIZE 35 $\frac{5}{8}$ x 36 $\frac{7}{8}$ WDH210210 ROUGH OPENING 36 \(\frac{1}{8} \) x 36 \(\frac{7}{8} \) TEMPERED GLASS

ANDERSON 400 SERIES DOUBLE HUNG UNIT SIZE 35 \(\frac{5}{8} \) x 36 \(\frac{7}{8} \) WDH210210 ROUGH OPENING 36 1 x 36 7 x

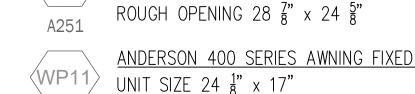


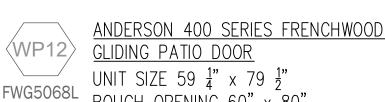






 $\langle WP9 \rangle$ UNIT SIZE 31 $\frac{1}{2}$ " x 31 $\frac{1}{2}$ "





GLASS BLOCK

FWG5068L ROUGH OPENING 60" x 80" CLEAR OPENING AREA 13.11 SQ FT CLEAR OPENING 24 $\frac{7}{8}$ "W x 75 $\frac{7}{8}$ "H TEMPERED GLASS

ROUGH OPENING 24 $\frac{5}{8}$ " x 17 $\frac{1}{8}$ "

HY-LITE GLASS BLOCK WINDOW GB6939 UNIT SIZE 69 $\frac{1}{4}$ " x 39" ROUGH OPENING 69 $\frac{3}{4}$ " x 39 $\frac{1}{2}$ "

A1.20

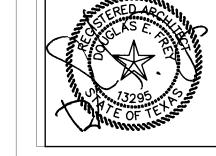
REVISED 11 Sept 2021



REVIEW SET 95% REVIEW SET 100% REVISION WINDOW UPDATE WINDOW UPDATE ANDERSON 400 SERIES AWNING FIXED

ARCHITECT OF RECORD SEAL

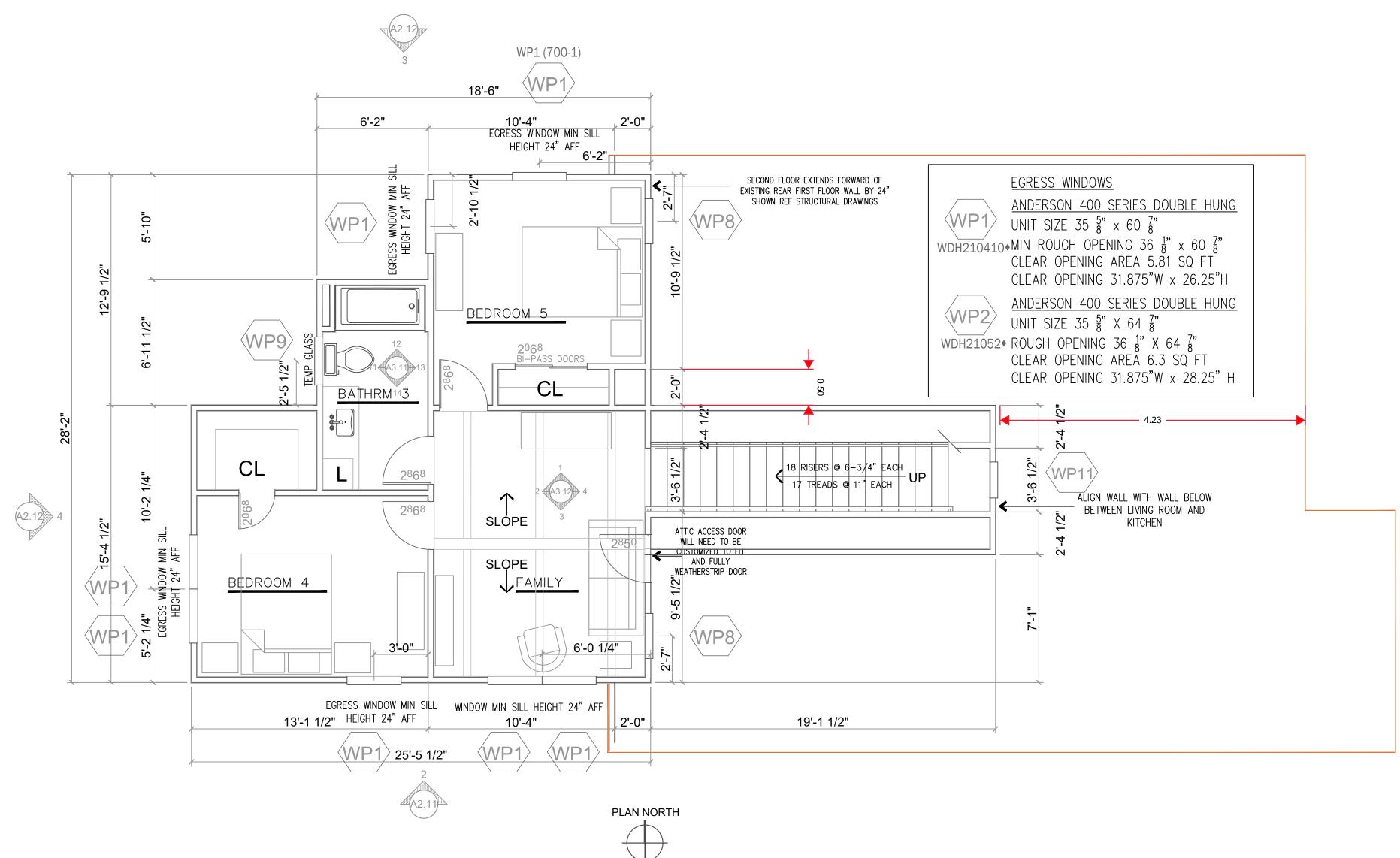
WIND:





DIMENSION FIRST FLOOR PLAN (24x36)

981.01.21



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- 5. Framing for partitions shall be with wood studs at 16" O.C., reference Structural drawings for any specific requirements. Provide Dow Weathermate sill seal at all new walls.
- 6. Windows and Doors are not "self-flashing", and require a complete flashing system for a weather-tight seal. This project may require more than one type of flashing system depending on what will work best with existing building conditions to ensure a weather—tight envelop.
- 7. Provide 🖔 "Zip" System roof sheathing at all existing roof areas that are altered and al new roof areas. Provide 1" (R3) Zip System Exterior sheathing at all new addition area walls. Install and seal per Structural Engineer requirements and manufacturer requirements.
- 8. Seal all wall and roof penetrations for complete weather—tight seal.
- 9. Door jambs typically set 4" from adjacent wall to edge of wood frame.
- 10. Provide continuous 2x wood blocking for all shelving, grab bars, millwork. vanity tops and misc. hardware that is shown on plans and elevations. Wood blocking in walls behind all grab bar locations must be able to withstand loads of 250 pounds.
- 11. Provide continuous 2x6 and 2x8 wood blocking in wall behind all cabinets, shelves and closet areas, toilet accessories, future grab bar locations in all bath tub and shower areas.
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- 13. Windows and Sliding Doors shall be Anderson 100 series with southern Lo "E"insulated thermal break type windows as a minimum standard.
- 14. Building has been designed as a fully sealed envelop, Provide Icynene spray foam insulation (open cell) min R—38 at underside of all roof decks, minimum R—15 at all exterior walls and minimum R—19 under first floor at all pier and beam foundation areas.
- 15. Use §" Type X Gypsum Board at all interior ceiling areas except wet areas unless otherwise noted. Wet areas use Type §" X Mold and Moisture Resistant (MMR) Gypsum Board. Provide tile backer board on all wall surfaces behind tile areas.
- 16. Provide square metal metal corner bead at all gypsum board edges. Install casing beads wherever gypsum board abutts a dissimilar finish material. Provide full waterproofing system at all shower wall and floor areas; such as Schulter Kerdi type system or equal. Waterproofing at Showers shall extend full height.
- 17. Provide metal trim at all exposed tile edges, such as Schluter Jolly A80, A100 in Owner selected finish or equal.
- 18. Provide minimum level 4 smooth finish Gypsum Wall Finish at all walls and ceilings.

NEW SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

ANDERSON 400 SERIES DOUBLE HUNG UNIT SIZE 35 $\frac{5}{8}$ " x 60 $\frac{7}{8}$ " WDH210410+MIN ROUGH OPENING 36 1 x 60 7 x 60 7 CLEAR OPENING AREA 5.81 SQ FT CLEAR OPENING 31.875"W x 26.25"H

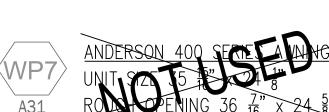
ANDERSON 400 SERIES DOUBLE HUNG UNIT SIZE 35 5" X 64 7" WDH21052 ROUGH OPENING 36 1 X 64 7 CLEAR OPENING AREA 6.3 SQ FT CLEAR OPENING 31.875"W x 28.25" H

ANDERSON 400 SERIES DOUBLE HUNG WP3 UNIT SIZE 35 5" x 52 7" WDH21042 ROUGH OPENING 36 $\frac{1}{8}$ " x 52 $\frac{7}{8}$ " CLEAR OPENING AREA 4.92 SQ FT CLEAR OPENING 31.875"W x 22.25" H

ANDERSON 400 SERIES AWNING FIXED WP4 UNIT SIZE 35 15 x 24 8 ROUGH OPENING 36 $\frac{7}{16}$ x 24 $\frac{5}{8}$

ANDERSON 400 SERIES DOUBLE HUNG UNIT SIZE 35 § x 36 7 7 WDH210210 ROUGH OPENING 36 1 x 36 7" TEMPERED GLASS

ANDERSON 400 SERIES DOUBLE HUNG WP6 UNIT SIZE 35 5" x 36 7" WDH210210 ROUGH OPENING 36 1 x 36 7 x



ANDERSON 400 SERIES AWNING FIXED $\langle WP8 \rangle$ UNIT SIZE 31 $\frac{1}{2}$ " x 31 $\frac{1}{2}$ " ROUGH OPENING 32" x 32"

ANDERSON 400 SERIES AWNING $\langle WP9 \rangle$ UNIT SIZE 31 $\frac{1}{2}$ " x 31 $\frac{1}{2}$ " ROUGH OPENING 32" x 32" TEMPERED GLASS

ANDERSON 400 SERIES AWNING FIXED UNIT SIZE 28 $\frac{3}{8}$ x 24 $\frac{1}{8}$ " ROUGH OPENING 28 $\frac{7}{8}$ x 24 $\frac{5}{8}$

GLASS BLOCK

ANDERSON 400 SERIES AWNING FIXED UNIT SIZE 24 $\frac{1}{8}$ " x 17" ROUGH OPENING 24 $\frac{5}{8}$ " x 17 $\frac{1}{8}$ "

ANDERSON 400 SERIES FRENCHWOOD GLIDING PATIO DOOR UNIT SIZE 59 $\frac{1}{4}$ " x 79 $\frac{1}{2}$ " ROUGH OPENING 60" x 80" CLEAR OPENING AREA 13.11 SQ FT

> CLEAR OPENING 24 $\frac{7}{8}$ "W x 75 $\frac{7}{8}$ "H TEMPERED GLASS HY-LITE GLASS BLOCK WINDOW GB6939 UNIT SIZE 69 $\frac{1}{4}$ " x 39" ROUGH OPENING 69 $\frac{3}{4}$ " x 39 $\frac{1}{2}$ "

REVISED 11 Sept 202

AS BUILT APPROVED FLOOR PLAN **REVIEW SET 50% REVIEW SET 80% REVIEW SET 95% REVIEW SET 100%** REVISION WINDOW UPDATE

WINDOW UPDATE

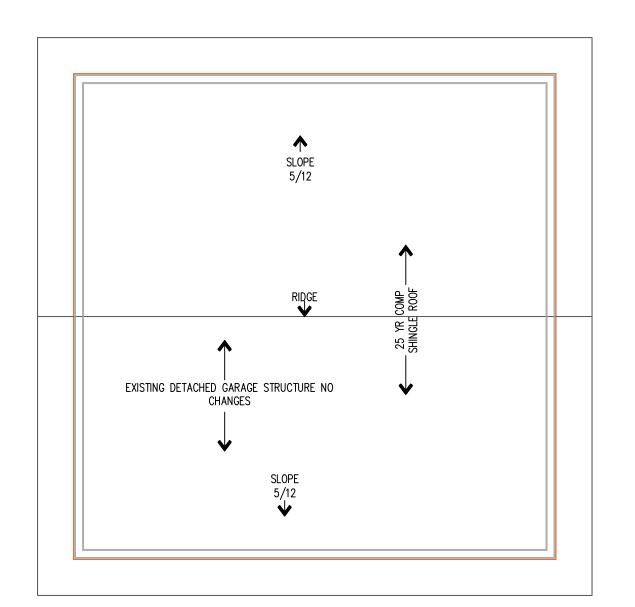
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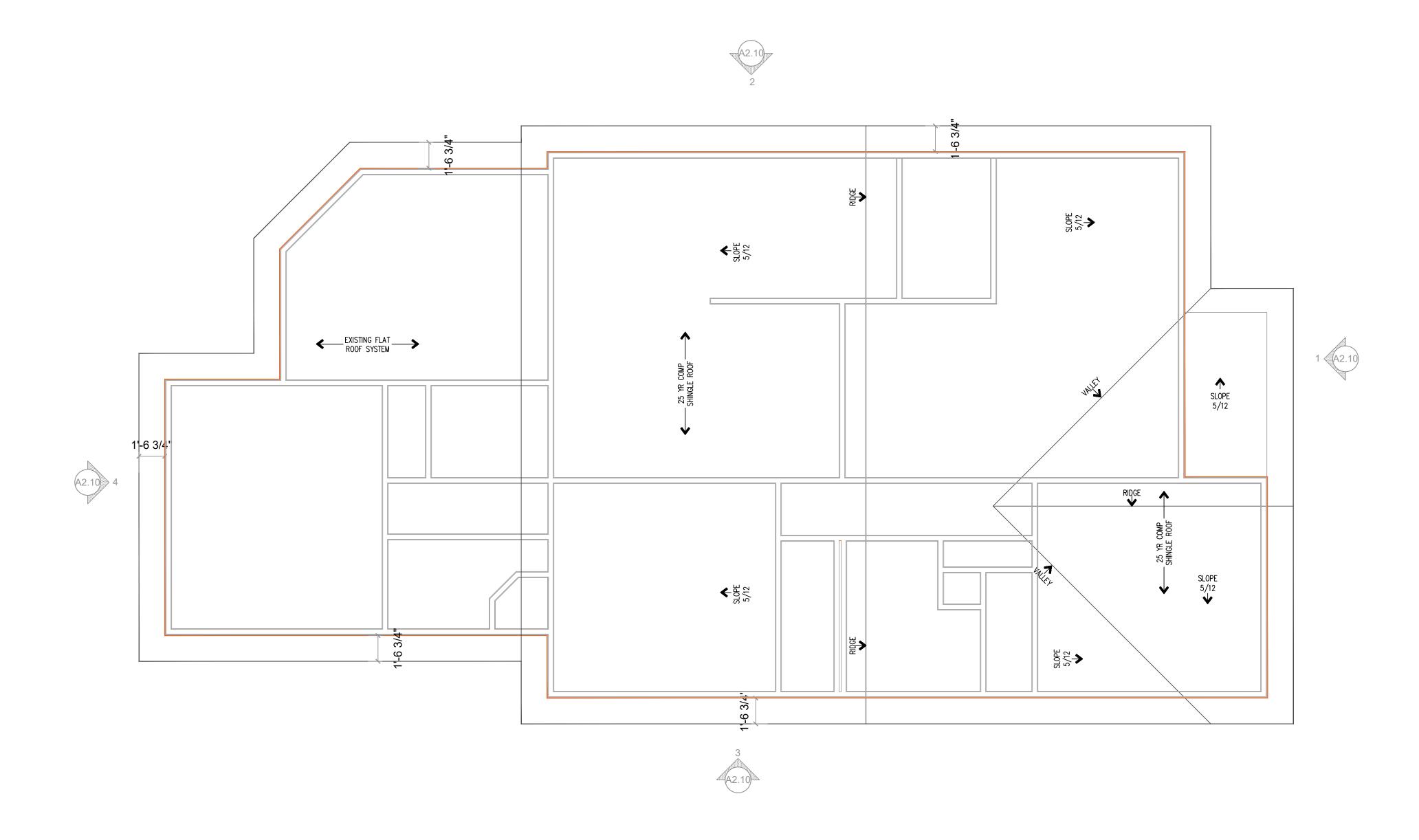
WINDSO

ARCHITECT OF RECORD SEAL

DIMENSION SECOND FLOOR PLAN (24x36)

981.01.21





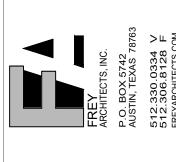
EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

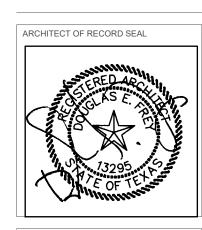
WINDSOR RESIDENCE

3908 Avenue H
AUSTIN, TEXAS 78751

DESIGN ARCHITECT



ISSUED DESCRIPTION	DATE
AS BUILT	03-06-20
APPROVED FLOOR PLAN	03-30-20
REVIEW SET 50%	04-20-20
REVIEW SET 80%	04-30-20
REVIEW SET 95%	05-27-20
REVIEW SET 100%	06-24-20
REVISION NUMBER DESCRIPTION	DATE
WINDOW UPDATE	07-20-20
WINDOW UPDATE	09-11-20
PERMIT SET 100%	11-15-20



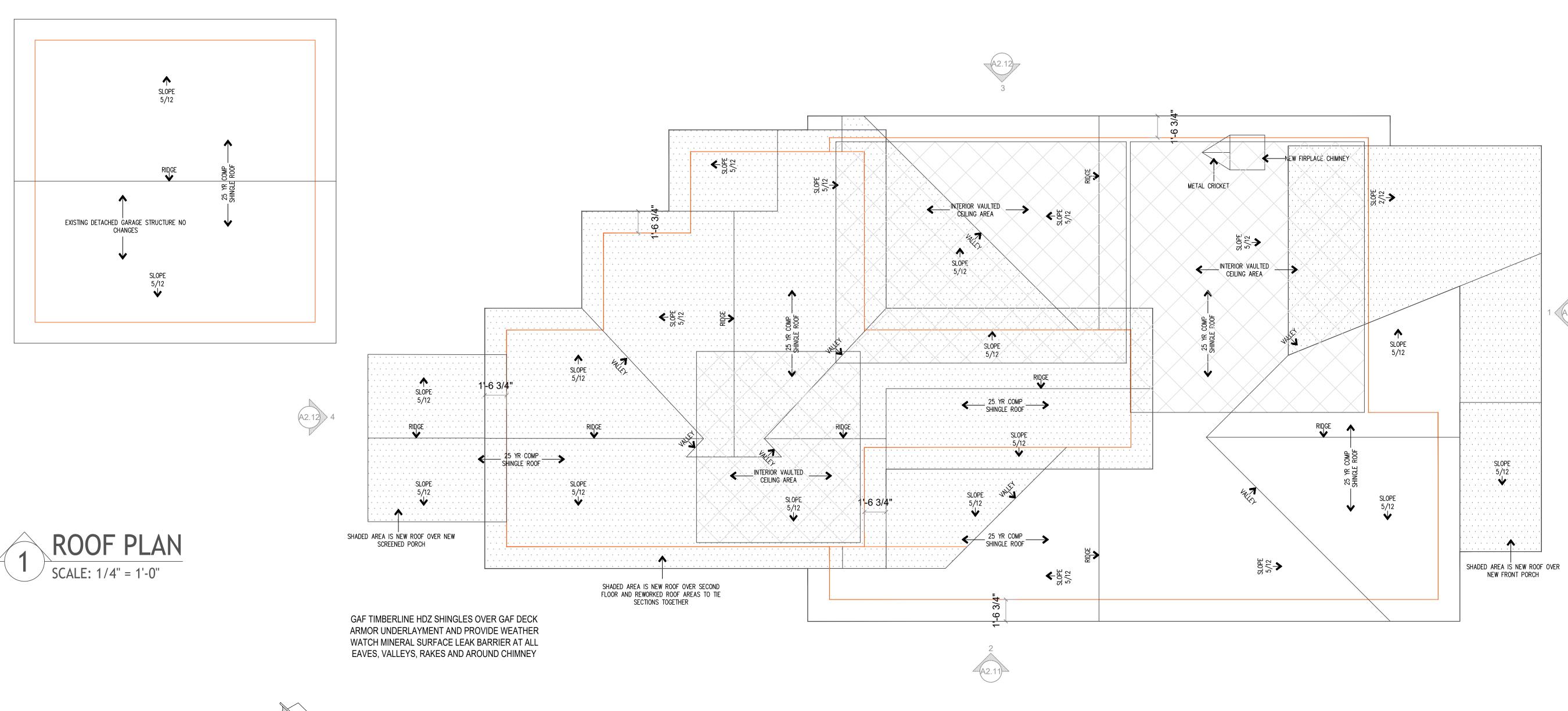
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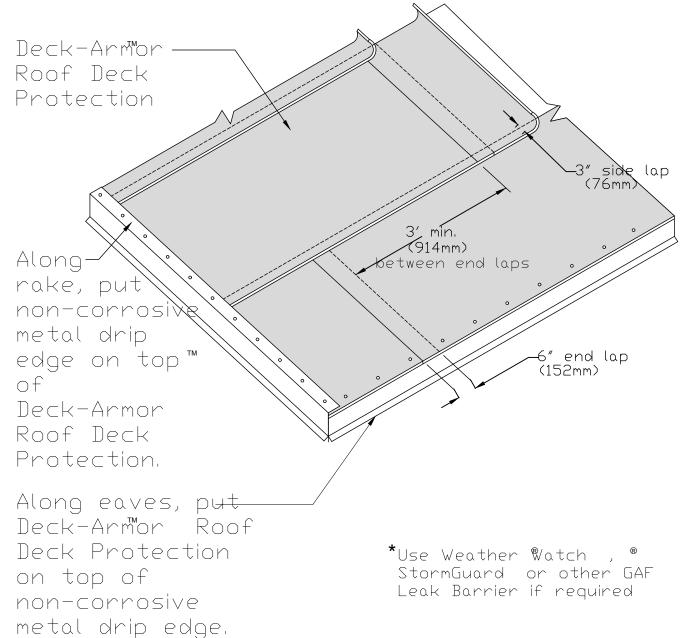
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EXISTING ROOF
PLAN
(24x36)

JOB NUMBER: 981.01.21

SHEET NUMBER: A1.30





GENERAL NOTES

- . All Construction shall fully comply with IRC 2021 with local Austin amendments, IEEC 2021 with Local Austin amendments and Austin LDC requirements including Sub—Chapter F.
- 2. The Contractor, and Sub-Contractors are responsible for confirming and correcting dimensions at the job site and prior to commencing work. The Architect is not responsible for construction means and methods, techniques, sequences or procedures, and for safety precautions and programs related to the project.
- 3. Fully review Structural Drawings for new foundation design and alterations to existing pier and beam foundation system and all framing requirements.
- 4. Dimensions shown on floor plan sheets are to face of framing, dimensions shown on interior elevation sheets are to face of finish wall. Verify that actual site dimensions conform with dimensions shown on plans prior to framing layout, notify Architect if significant deviations are present and ask for direction.
- 5. Framing for partitions shall be with wood studs at 16" O.C., reference Structural drawings for any specific requirements. Provide Dow Weathermate sill seal at all new walls.
- 6. Windows and Doors are not "self-flashing", and require a complete flashing system for a weather-tight seal. This project may require more than one type of flashing system depending on what will work best with existing building conditions to ensure a weather-tight envelop.
- 7. Provide $\frac{5}{8}$ "Zip" System roof sheathing at all existing roof areas that are altered and al new roof areas. Provide 1" (R3) Zip System Exterior sheathing at all new addition area walls. Install and seal per Structural Engineer requirements and manufacturer requirements.
- 8. Seal all wall and roof penetrations for complete weather—tight seal.
- 9. Door jambs typically set 4" from adjacent wall to edge of wood frame.
- 10. Provide continuous 2x wood blocking for all shelving, grab bars, millwork. vanity tops and misc. hardware that is shown on plans and elevations. Wood blocking in walls behind all grab bar locations must be able to withstand loads of 250 pounds.
- 11. Provide continuous 2x6 and 2x8 wood blocking in wall behind all cabinets, shelves and closet areas, toilet accessories, future grab bar locations in all bath tub and shower areas.
- 12. Fully insulate all interior partitions and underside of all interior second floor decking with minimum 3" Therma Fiber SAFB mineral fiber batts.
- 13. Windows and Sliding Doors shall be Anderson 100 series with southern Lo "E"insulated thermal break type windows as a minimum standard.
- 14. Building has been designed as a fully sealed envelop, Provide Icynene spray foam insulation (open cell) min R—38 at underside of all roof decks, minimum R—15 at all exterior walls and minimum R—19 under first floor at all pier and beam foundation areas.
- 15. Use §" Type X Gypsum Board at all interior ceiling areas except wet areas unless otherwise noted. Wet areas use Type §" X Mold and Moisture Resistant (MMR) Gypsum Board. Provide tile backer board on all wall surfaces behind tile areas.
- 16. Provide square metal metal corner bead at all gypsum board edges. Install casing beads wherever gypsum board abutts a dissimilar finish material. Provide full waterproofing system at all shower wall and floor areas; such as Schulter Kerdi type system or equal. Waterproofing at Showers shall extend full height.
- 17. Provide metal trim at all exposed tile edges, such as Schluter Jolly A80, A100 in Owner selected finish or equal.
- 18. Provide minimum level 4 smooth finish Gypsum Wall Finish at all walls and ceilings.

APPROVED FLOOR PLAN 03-30-2021

REVIEW SET 50% 04-20-2021

REVIEW SET 80% 04-30-2021

REVIEW SET 95% 05-27-2021

REVIEW SET 100% 06-24-2021

REVISION DATE 07-20-2021

WINDOW UPDATE 09-11-2021

PERMIT SET 100% 11-15-2021

SIDENCE

RE

WINDSOR

ARCHITECT OF RECORD SEAL

RED 46

AS E.

13295

10 OF TEXAS

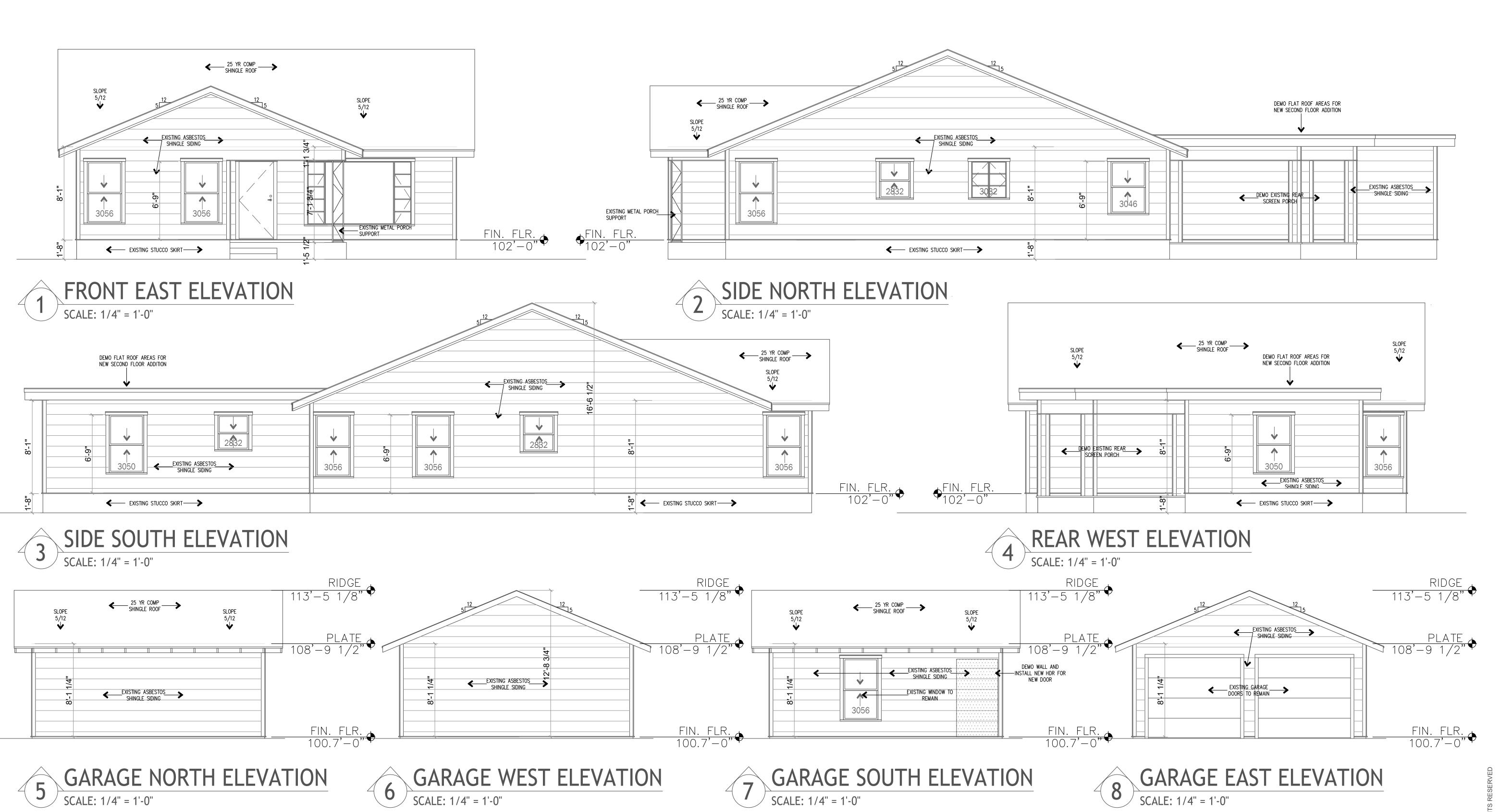
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ROOF PLAN AND DETAILS (24x36)

JOB NUMBER: 981.01.21

A1.31

2 ROOF UNDERLAYMENT DETAIL
SCALE: NTS



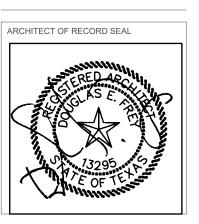
FREY
ARCHITECTS, INC.
P.O. BOX 5742
AUSTIN, TEXAS 78763
512.306.8128 F
FREYARCHITECTS.COM

 REVISION NUMBER
 DESCRIPTION
 DATE

 WINDOW UPDATE
 07-20-2021

 WINDOW UPDATE
 09-11-2021

 PERMIT SET 100%
 11-15-2021

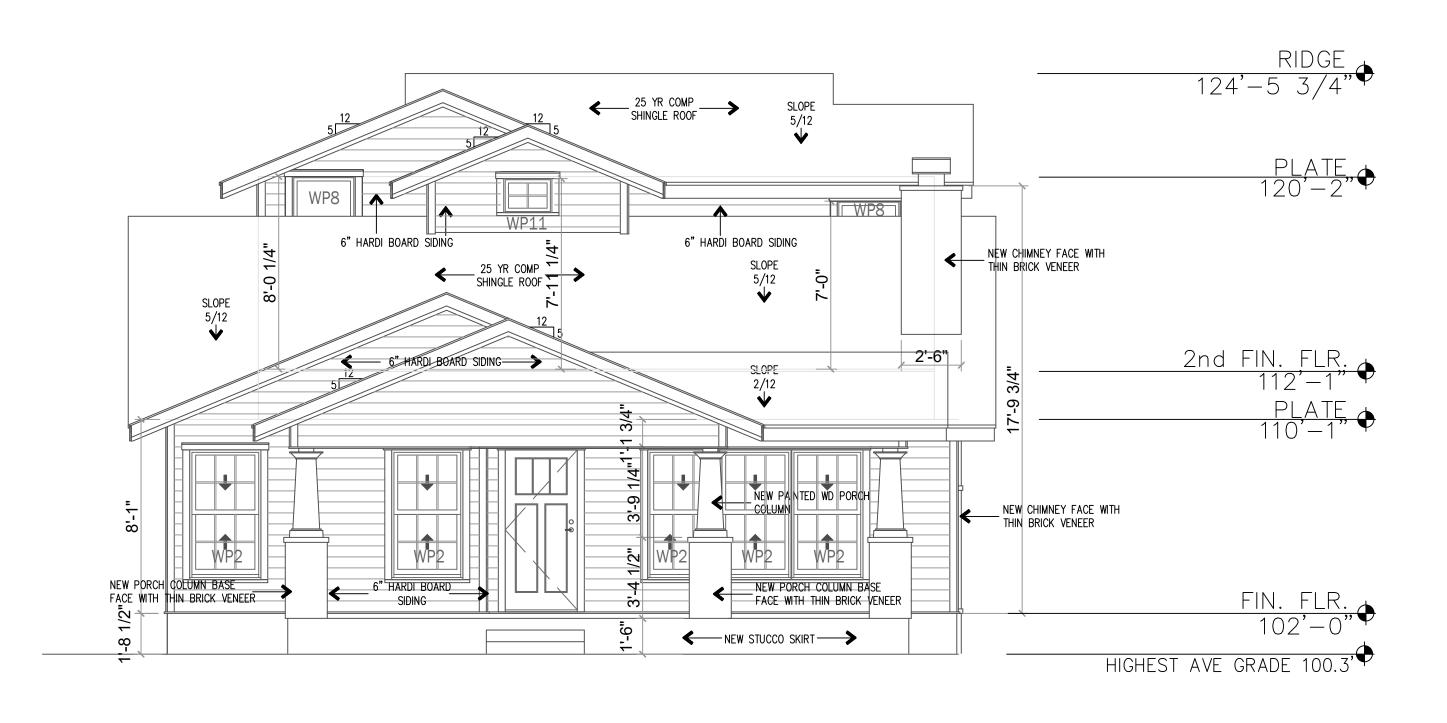


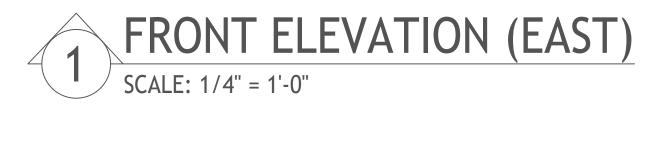
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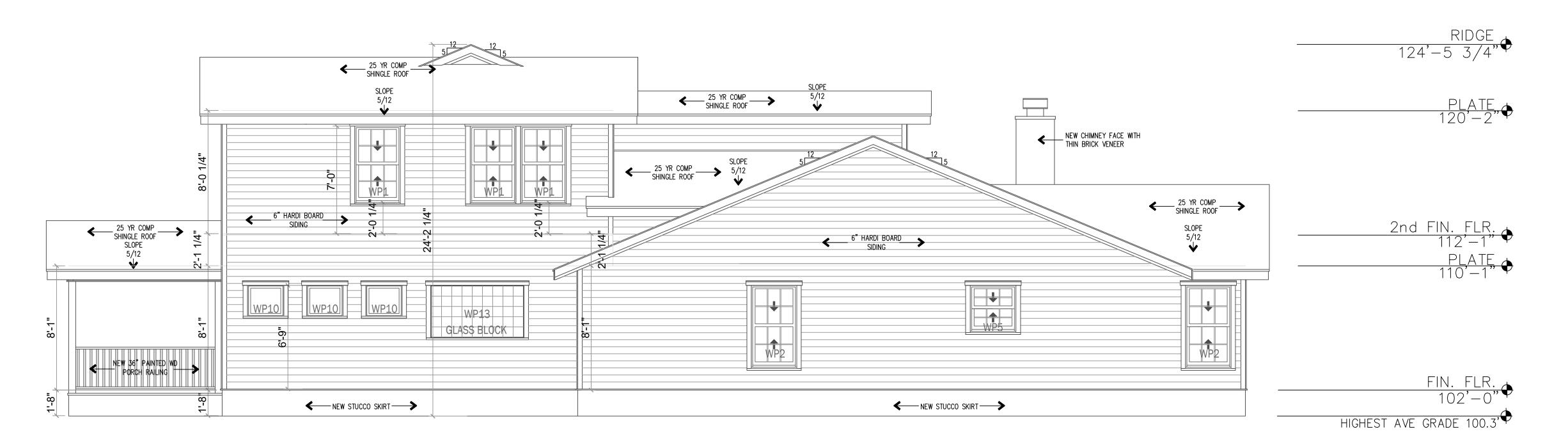
EXISTING EXTERIOR ELEVATIONS (24x36)

981.01.21

A2.10





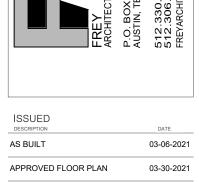




ECTS, INC.

X 5742

TEXAS 78763



04-20-2021

REVIEW SET 80% 04-30-2021

REVIEW SET 95% 05-27-2021

REVIEW SET 100% 06-24-2021

REVISION
NUMBER DESCRIPTION DATE

WINDOW UPDATE 07-20-2021

WINDOW UPDATE 09-11-2021

PERMIT SET 100% 11-15-2021

REVIEW SET 50%

ARCHITECT OF RECORD SEAL

RED AG

AS E.

3295

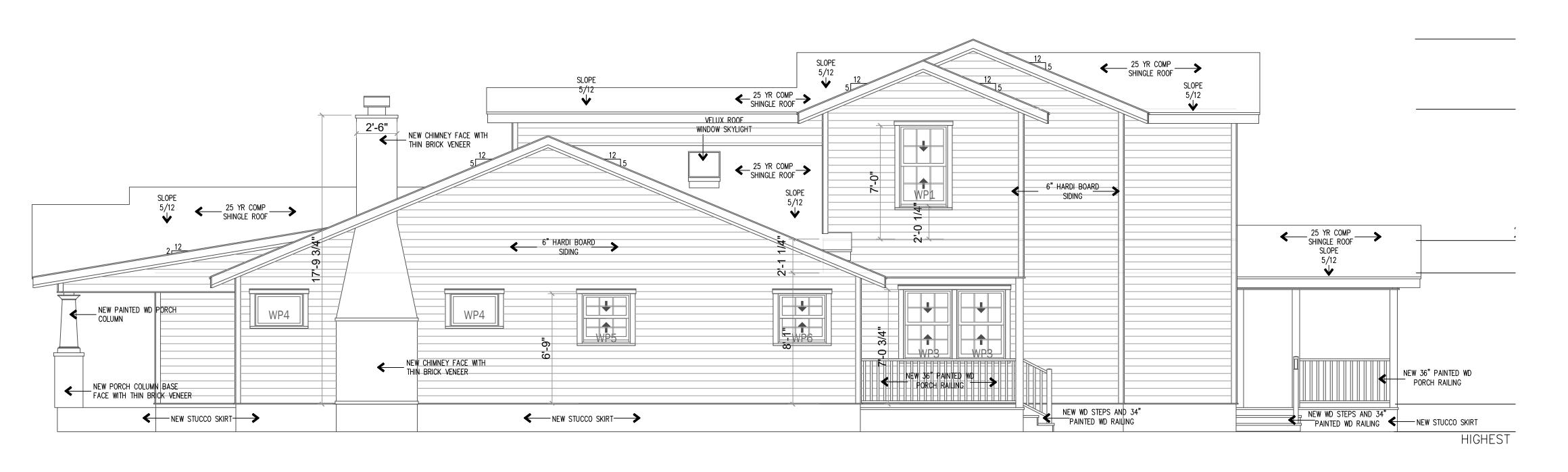
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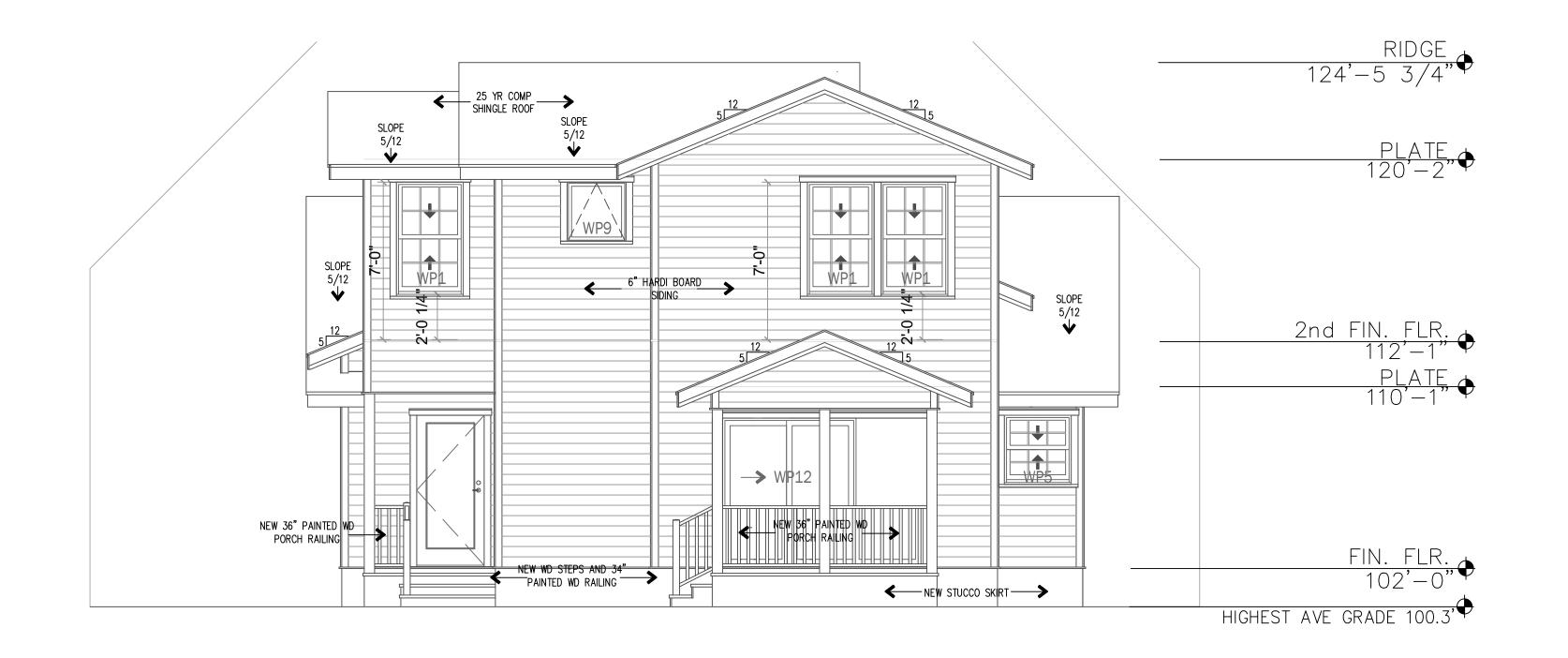
NEW EXTERIOR
ELEVATIONS
(24x36)

JOB NUMBER: 981.01.21

A2.11









ECTS, INC.
OX 5742
I, TEXAS 78763

DESIGN ARCHITECT:

ARCHITECT OF RECORD SEAL

FRED ARCHITECT OF RECORD SEAL

13295

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NEW EXTERIOR
ELEVATIONS
(24x36)

JOB NUMBER: 981.01.21

T NUMBER:

A2.12













