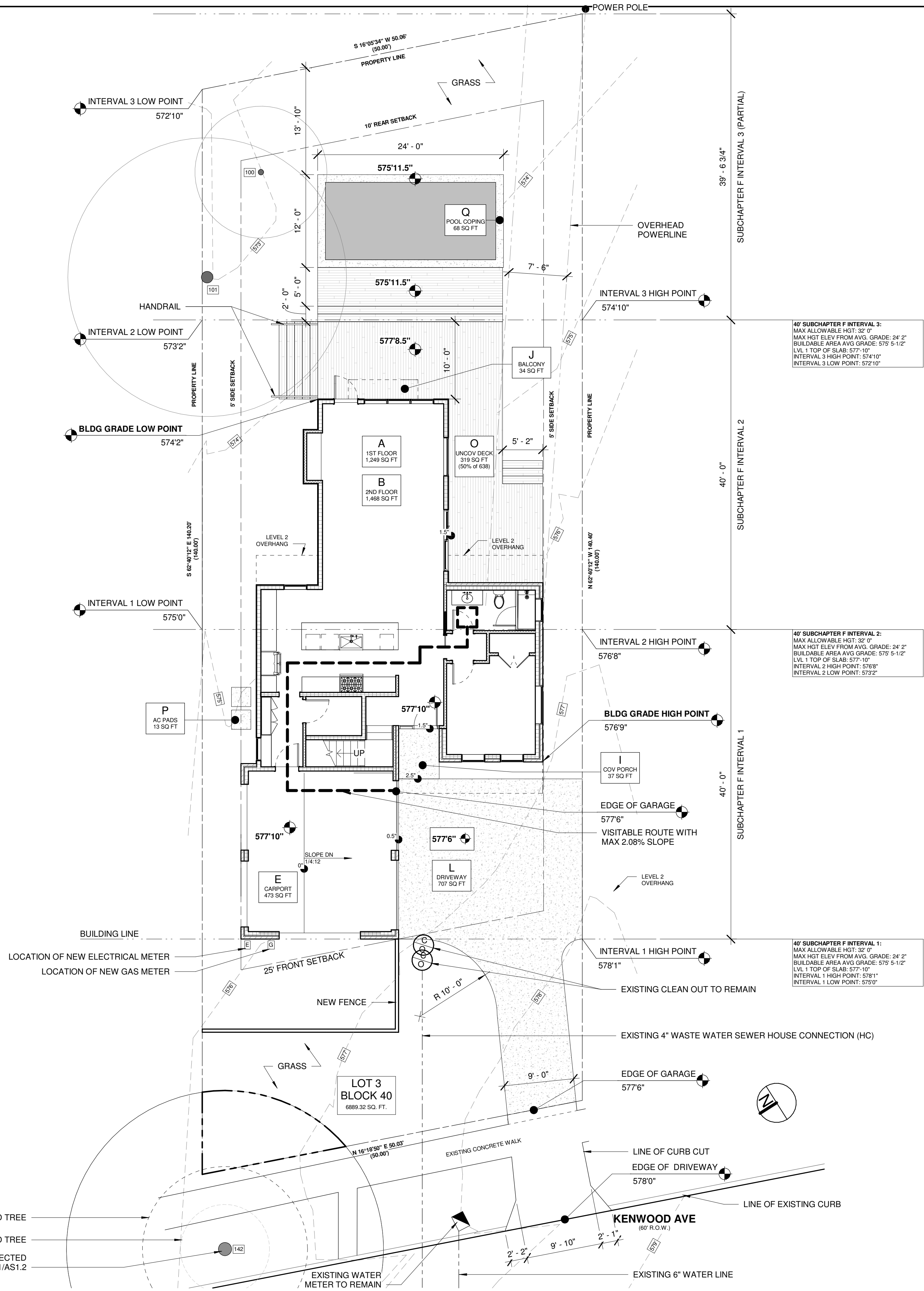


1 SITE PLAN  
1/8" = 1'-0"

1/2 CRZ PROTECTED TREE  
1/4 CRZ PROTECTED TREE  
20.5" PECAN, PROTECTED  
TREE, REFER TO 1/AS1.2



SITE PLAN NOTES

1. REFER TO SHEET AS1.2 FOR TREE PROTECTION INFORMATION.
2. REFER TO SURVEY ON SHEET AS1.0 FOR ADDITIONAL SITE INFORMATION.
3. PER IRC, SLOPE HARDSCAPE AWAY FROM STRUCTURES AT 1/4" PER 12" MIN FOR 10'
4. GRADE TO SLOPE 6" MIN AWAR FROM SLAB WITHIN 10'MIN.
5. SITE INFORMATION TAKEN FROM SURVEY PERFORMED BY ALL STAR LAND SURVEYORS ON 08/25/2020. REFER TO SHEET AS1.0.
6. BUILDING ELEVATION 100'-0" IS EQUIVALENT TO TOPOGRAPHY ELEVATION 558'-0".
7. ALL STRUCTURES MUST MAINTAIN 7'-6" CLEARANCE FROM AUSTIN ENERGY ENERGIZED DISTRIBUTION POWER LINES. ENFORCED BY AE AND NESC CODES.
8. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD, FACE OF MASONRY WALL, AND EDGE OF SLAB. TICK MARK INDICATED SELECTED FACE.
9. CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING CONDITIONS AND PROPERTY BOUNDARIES FOR COMPLIANCE WITH REQUIRED SETBACKS PRIOR TO CONSTRUCTING FORMWORK FOR FOUNDATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
10. CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITY LOCATIONS PRIOR TO STARTING WORK.
11. CONTRACTOR SHALL COORDINATE ALL UTILITIES TO RESIDENCE INCLUDING ELECTRIC POWER, WATER, WASTEWATER, GAS AND CABLE. COORDINATE ALL UNDERGROUND UTILITY PLACEMENT.
12. CONTRACTOR SHALL REGRADE LOT TO PROVIDE POSITIVE DRAINAGE SLOPE AWAY FROM HOUSE.
13. CONTRACTOR SHALL PROVIDE FRENCH DRAINS AROUND HOUSE PERIMETER AT REQUIRED LOCATIONS.
14. ALL DOWNSPOUT LOCATIONS SHALL BE COORDINATED WITH PLANTING AREAS.
15. TURFGRASS/LAWN IS APPROVED LOW-WATER VARIETY (I.E. BERMUDA, ZOYSIA JAPONICA, BUFFALO)
16. COORDINATE PLANTING BEDS WITH OWNER AND ARCHITECT.

SQUARE FOOTAGE CALCS.

LOT AREA	6,889
A 1ST FLOOR CONDITIONED AREA	1,267
B 2ND FLOOR CONDITIONED AREA	1,431
C 3RD FLOOR CONDITIONED AREA	0
D BASEMENT	0
E ATTACHED COVERED PARKING	444
F DETACHED COVERED PARKING	0
G COVERED WOOD DECK	77
H COVERED PATIO	0
I COVERED PORCH	37
J BALCONY	34
K OTHER	0
TOTAL BUILDING AREA (TBA)	3,290
(ADD: A THROUGH K)	
TOTAL BUILDING COVERAGE (TBC)	1,825 (26.49%)
(TBA - B, C, D, AND J IF APPLICABLE)	
L DRIVEWAY	707
M SIDEWALKS AND PAVERS	0
M.1 FRONT	0
M.2 SIDE	0
N UNCOVERED PATIO	0
O UNCOVERED WOOD DECKS	319 (50% OF 638 SF)
P PADS AND OTHER PLATWORK	13
Q OTHER (POOL COOPING)	68
TOTAL IMPERVIOUS COVER	2,932 (42.56%)

VISITABILITY

(SECTION R320 OF CITY CODE SECTION 25-12-243)

EXTERIOR ROUTE	LOCATION	ELEVATION
POINT OF ORIGIN	EDGE OF DRIVEWAY	577'-6"
VISITABLE ENTRANCE	INTERIOR GARAGE DOOR	577'-10"
VISITABLE ROUTE	GARAGE TO BATH 1	56'-9" LENGTH 0.5% SLOPE 1/16" / 12" (<1/12)

NOTE: REFER TO SHEET G1.0 FOR ADDITIONAL VISITABILITY ANALYSIS

TREE LIST

PROTECTED TREES (PER COA CODE)

142 20.5" PECAN TREE

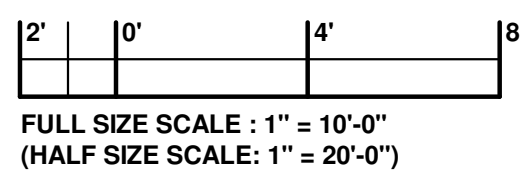
NOTE: REFER TO SHEET AS1.2 FOR TREE LIST AND PROTECTION ANALYSIS

NON-PROTECTED TREES (PER COA CODE)

101 18" PECAN TREE

100 8.5" HACKBERRY TREE

LEGEND AND SCALE



RIVENDALE HOMES TEXAS, LLC  
1114 LOST CREEK BLVD. SUITE 200  
AUSTIN, TX 78746  
T 512-900-8797  
WWW.RIVENDALEHOMESTEXAS.COM  
© RIVENDALE HOMES TEXAS, LLC



RESIDENCE  
RIVENDALE HOMES

1803 KENWOOD AVE, AUSTIN, TX 78704

REVISIONS

NO.	DESCRIPTION	DATE

STAMP:

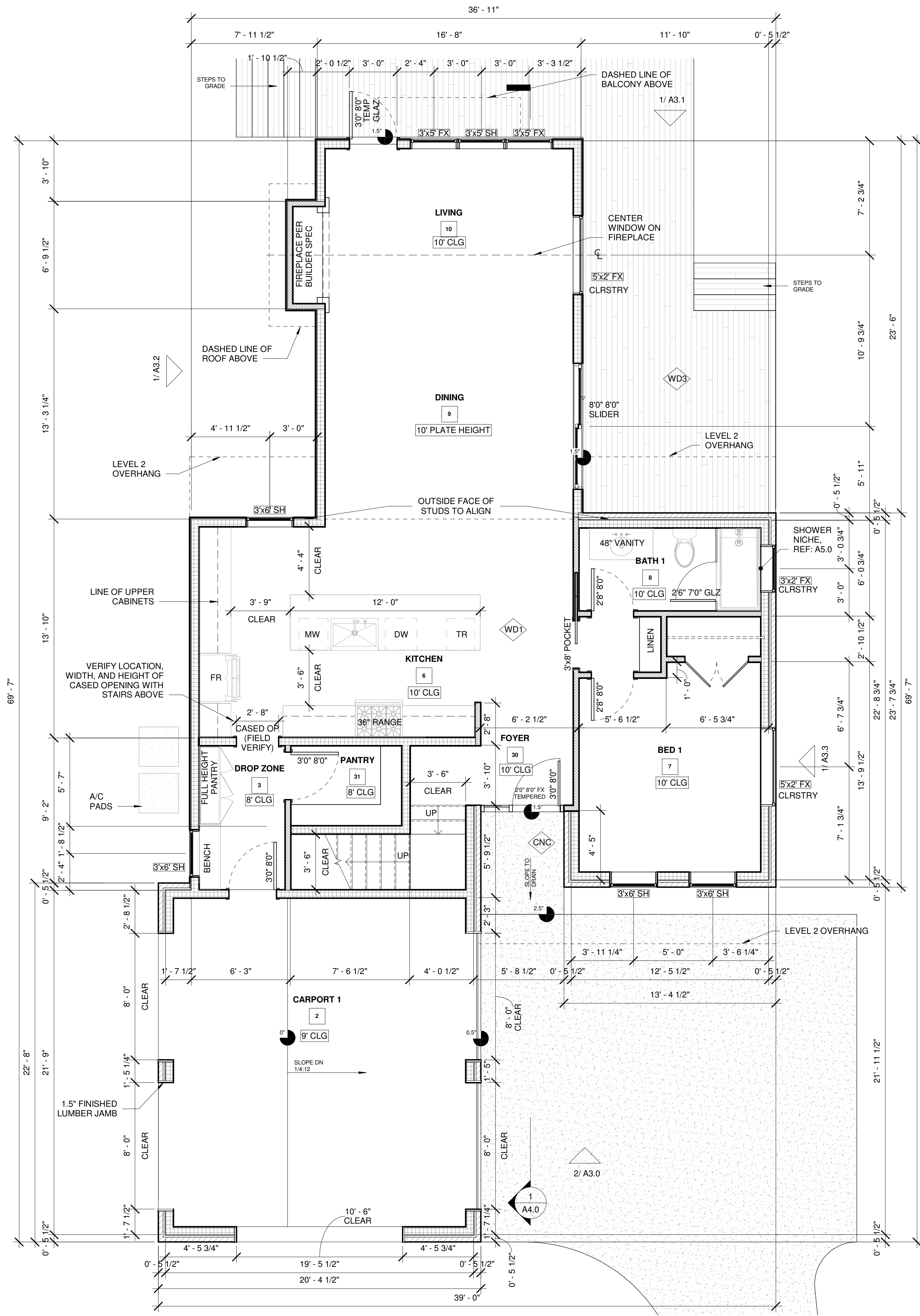
CURRENT ISSUE:  
SET DATE  
CHECK SET 03.04.22  
PROJECT NO: ---  
SCALE 1/8" = 1'-0"  
DRAWING TITLE

SITE PLAN

SHEET NUMBER

AS1.1

\*1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36

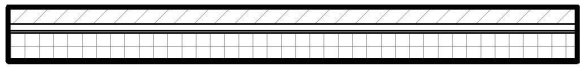


1 LVL 1 FF  
1/4" = 1'-0"

## SHEET NOTES

1. REFER TO SHEET G1.0 FOR CODE COMPLIANCE.
2. REFER TO SHEET G2.0 FOR GENERAL NOTES.
3. REFER TO SHEET G1.0 FOR VISITABILITY REQUIREMENTS.
4. REFER TO A3.0 SERIES FOR EXTERIOR ELEVATIONS AND ADDITIONAL WINDOW TAGS.
5. DO NOT SCALE DRAWINGS.
6. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK.
7. ALL DOOR FRAMES SHALL BE LOCATED 4" FROM NEAREST PERPENDICULAR WALL OR CENTER ON WALL SEGMENT AS ILLUSTRATED, UNLESS DIMENSIONED OTHERWISE.
8. WALL FRAMING SHALL BE AS NOTED BELOW UNLESS NOTED OTHERWISE BY STRUCTURAL ENGINEER. CONSULT ARCHITECT ON ANY DISCREPANCIES.
  - A. ALL EXTERIOR & LOADING BEARING WALLS SHALL BE CONSTRUCTED WITH 2X6 OR 2X4 WOOD FRAMING AT 18" ON CENTER, U.N.O. REFER TO WALL LEGEND BELOW.
  - B. ALL SIMPLE (NON-LOAD BEARING) INTERIOR PARTITIONS SHALL BE CONSTRUCTED WITH 2X4 WOOD FRAMING AT 24" ON CENTER, U.N.O.
  - C. ALL INTERIOR AND EXTERIOR PLUMBING WALLS TO BE CONSTRUCTED WITH 2X6 FRAMING, U.N.O.
  - D. ALL INTERIOR PARTITIONS SUPPORTING POCKET DOORS TO BE CONSTRUCTED WITH 2X6 FRAMING, U.N.O.
9. ROOF AND FLOOR FRAMING SHALL BE PER STRUCTURAL DRAWINGS. TRUSS MANUFACTURER SHALL SUPPLY SHOP DRAWINGS SEALED BY AN ENGINEER TO DESIGN TEAM AND CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
10. EXTERIOR WALL INSULATION - ALL EXTERIOR WALLS SHALL RECEIVE MIN. R-19 CELLULOSE BLOWN-IN INSULATION WITH OPTIONAL SPRAY FOAM LAYER ADJACENT TO EXTERIOR WALL.
11. ROOF INSULATION - ALL ROOF SHALL RECEIVE MIN. R-36 OPEN CELL SPRAY FOAM INSULATION.
12. FLOOR INSULATION - ALL SPACES BETWEEN FLOORS SHALL RECEIVE MIN. R-30 BATT INSULATION BETWEEN FLOORS.
13. INTERIOR WALL INSULATION - ALL BEDROOMS, BATHROOM AND LAUNDRY ROOM WALLS SHALL RECEIVE SOUND BATT INSULATION.
14. CONTRACTOR SHALL PROVIDE BLOCKING IN WALLS AND CEILINGS AS REQUIRED FOR ALL ACCESSORIES, WALL MOUNTED ITEMS, CEILING FANS, ETC.
15. USE 1/2" WATER RESISTANT GYP BD IN BATHROOM AND KITCHEN ON ALL WALLS EXCEPT BEHIND CERAMIC TILE AND BATH TUB WHERE TILE BACKER BOARD (DENSshield) IS USED.
16. TRUSS MANUFACTURER SHALL SUPPLY SHOP DRAWINGS SEALED BY AN ENGINEER TO ARCHITECT AND CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
17. CONTACT ARCHITECT/OWNER WITH ANY FRAMING QUESTIONS/DISCREPANCIES.

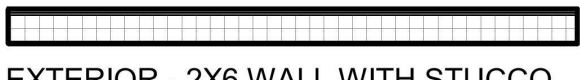
## LEGEND AND SCALE



EXTERIOR - 2X6 WALL WITH BRICK



EXTERIOR - 2X4 WALL WITH BRICK



EXTERIOR - 2X6 WALL WITH STUCCO



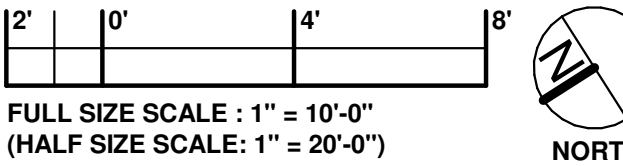
EXTERIOR - 2X4 WALL WITH STUCCO



INTERIOR 2X6 WALL



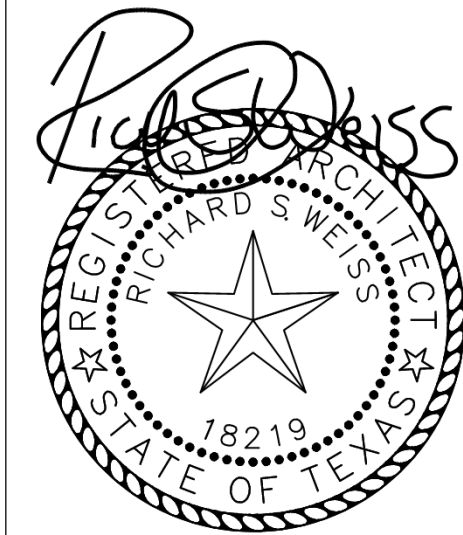
INTERIOR 2X4 WALL



FULL SIZE SCALE : 1" = 10'-0"  
(HALF SIZE SCALE: 1" = 20'-0")



RIVENDALE HOMES TEXAS, LLC  
1114 LOST CREEK BLVD. SUITE 200  
AUSTIN, TX 78746  
T 512-900-8797  
WWW.RIVENDALEHOMESTEXAS.COM  
© RIVENDALE HOMES TEXAS, LLC



# RESIDENCE RIVENDALE HOMES

1803 KENWOOD AVE, AUSTIN, TX 78704

REVISIONS	

STAMP:

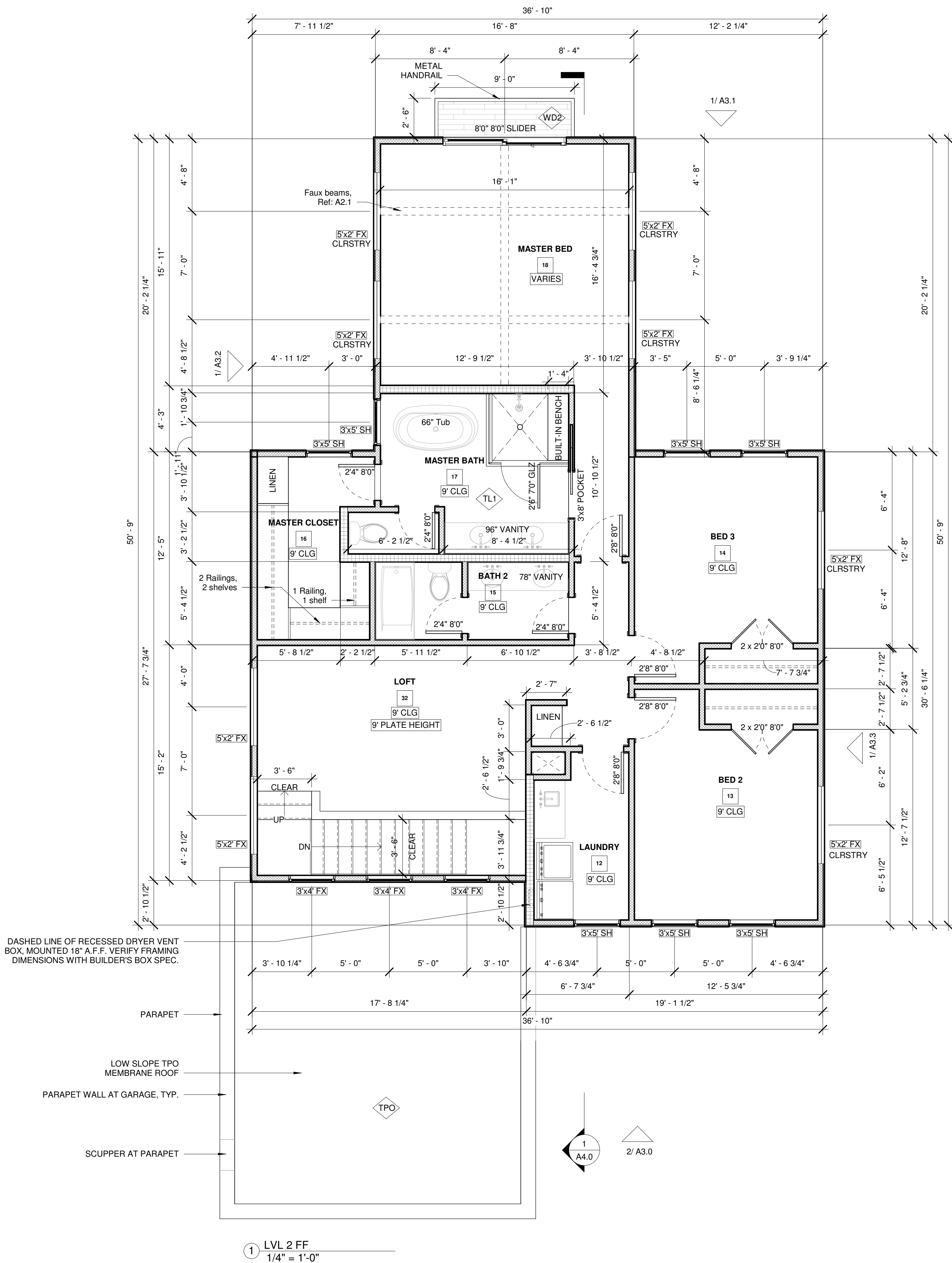
CURRENT ISSUE:	
SET	DATE
CHECK SET	03.04.22
PROJECT NO: ---	
SCALE	1/4" = 1'-0"
DRAWING TITLE	

## FIRST FLOOR PLAN

SHEET NUMBER

A1.0

\*1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36



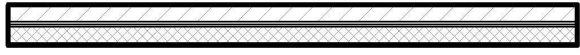
## SHEET NOTES

- REFER TO SHEET G1.0 FOR CODE COMPLIANCE.
- REFER TO SHEET G2.0 FOR GENERAL NOTES.
- REFER TO SHEET G1.0 FOR VISITABILITY REQUIREMENTS.
- REFER TO A3.0 SERIES FOR EXTERIOR ELEVATIONS AND ADDITIONAL WINDOW TAGS.
- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD AND REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK.
- ALL DOOR FRAMES SHALL BE LOCATED 4" FROM NEAREST PERPENDICULAR WALL OR CENTER ON WALL SEGMENT AS ILLUSTRATED, UNLESS DIMENSIONED OTHERWISE.
- WALL FRAMING SHALL BE AS NOTED BELOW UNLESS NOTED OTHERWISE BY STRUCTURAL ENGINEER. CONSULT ARCHITECT ON ANY DISCREPANCIES.
  - ALL EXTERIOR & LOADING BEARING WALLS SHALL BE CONSTRUCTED WITH 2X6 OR 2X4 WOOD FRAMING AT 18" ON CENTER, U.N.O. REFER TO WALL LEGEND BELOW.
  - ALL SIMPLE (NON-LOAD BEARING) INTERIOR PARTITIONS SHALL BE CONSTRUCTED WITH 2X4 WOOD FRAMING AT 24" ON CENTER, U.N.O.
  - ALL INTERIOR AND EXTERIOR PLUMBING WALLS TO BE CONSTRUCTED WITH 2X6 FRAMING, U.N.O.
  - ALL INTERIOR PARTITIONS SUPPORTING POCKET DOORS TO BE CONSTRUCTED WITH 2X6 FRAMING, U.N.O.
- ROOF AND FLOOR FRAMING SHALL BE PER STRUCTURAL DRAWINGS. TRUSS MANUFACTURER SHALL SUPPLY SHOP DRAWINGS SEALED BY AN ENGINEER TO DESIGN TEAM AND CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
- EXTERIOR WALL INSULATION - ALL EXTERIOR WALLS SHALL RECEIVE MIN. R-19 CELLULOSE BLOWN-IN INSULATION WITH OPTIONAL SPRAY FOAM LAYER ADJACENT TO EXTERIOR WALL.
- ROOF INSULATION - ALL ROOF SHALL RECEIVE MIN. R-36 OPEN CELL SPRAY FOAM INSULATION.
- FLOOR INSULATION - ALL SPACES BETWEEN FLOORS SHALL RECEIVE MIN. R-30 BATT INSULATION BETWEEN FLOORS.
- INTERIOR WALL INSULATION - ALL BEDROOMS, BATHROOM AND LAUNDRY ROOM WALLS SHALL RECEIVE SOUND BATT INSULATION.
- CONTRACTOR SHALL PROVIDE BLOCKING IN WALLS AND CEILINGS AS REQUIRED FOR ALL ACCESSORIES, WALL MOUNTED ITEMS, CEILING FANS, ETC.
- USE 1/2" WATER RESISTANT GYP BD IN BATHROOM AND KITCHEN ON ALL WALLS EXCEPT BEHIND CERAMIC TILE AND BATH TUB WHERE TILE BACKER BOARD (DENSshield) IS USED.
- TRUSS MANUFACTURER SHALL SUPPLY SHOP DRAWINGS SEALED BY AN ENGINEER TO ARCHITECT AND CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
- CONTACT ARCHITECT/OWNER WITH ANY FRAMING QUESTIONS/DISCREPANCIES.

## LEGEND AND SCALE



EXTERIOR - 2X6 WALL WITH BRICK



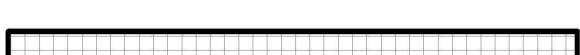
EXTERIOR - 2X4 WALL WITH BRICK



EXTERIOR - 2X6 WALL WITH STUCCO



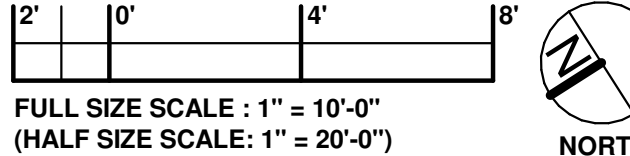
EXTERIOR - 2X4 WALL WITH STUCCO



INTERIOR 2X6 WALL



INTERIOR 2X4 WALL



RIVENDALE HOMES TEXAS, LLC  
1114 LOST CREEK BLVD. SUITE 200  
AUSTIN, TX 78746  
T 512-900-8797  
WWW.RIVENDALEHOMESTEXAS.COM  
© RIVENDALE HOMES TEXAS, LLC



# RESIDENCE RIVENDALE HOMES

1803 KENWOOD AVE, AUSTIN, TX 78704

## REVISIONS

NO.	DESCRIPTION	DATE

STAMP:

CURRENT ISSUE:	DATE
SET	03.04.22
CHECK SET	03.04.22
PROJECT NO: ---	
SCALE	1/4" = 1'-0"
DRAWING TITLE	

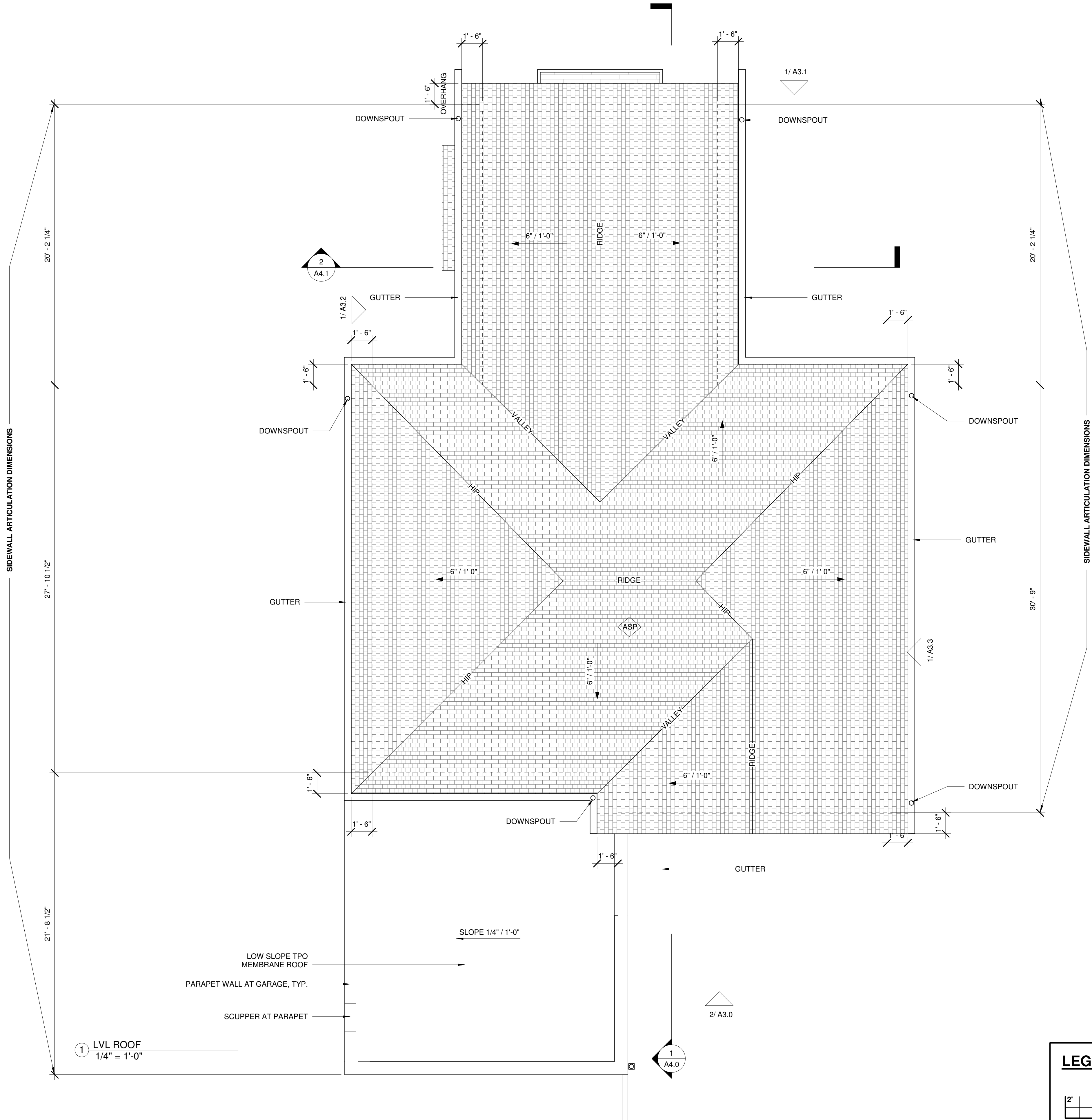
## SECOND FLOOR PLAN

SHEET NUMBER

# A1.1

\*1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36

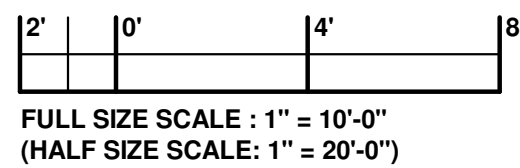




**SHEET NOTES**

1. PROVIDE GUTTERS AND DOWNSPOUTS.
2. BASIS OF DESIGN IS COMPOSITE SHINGLE ROOF. TPO OVER GARAGE.
3. VENT FOR ALL MECH/PLUMBING FIXTURES.
4. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
5. PROVIDE R-30 INSULATION BETWEEN ROOF AND CEILING.
6. PROVIDE RADIANT BARRIER ROOF DECKING.
7. FLASHING, UNDERLAYMENT, AND FASTENING DETAILS PER ROOF MANUF. INSTALLER. VERIFY WITH ARCHITECT.
8. COMPLETELY SEAL ROOF. PROVIDE FRESH AIR INTAKES AS PART OF HVAC SYSTEM.
9. SPRAY-FOAM INSULATION AT TRUSS AND SECOND FLOOR CEILING. SHEET ROCK BARRIER AROUND ALL MECHANICAL UNITS.
10. PROVIDE DECKING FOR MECHANICAL EQUIPMENT AND STORAGE.

**LEGEND AND SCALE**



RIVENDALE HOMES TEXAS, LLC  
1114 LOST CREEK BLVD. SUITE 200  
AUSTIN, TX 78746  
T 512-900-8797  
WWW.RIVENDALEHOMESTEXAS.COM  
© RIVENDALE HOMES TEXAS, LLC



**RESIDENCE  
RIVENDALE HOMES**

1803 KENWOOD AVE, AUSTIN, TX 78704

REVISIONS

NO.	DESCRIPTION	DATE

STAMP:

CURRENT ISSUE:	
SET	DATE
CHECK SET	03.04.22
PROJECT NO: ---	
SCALE	1/4" = 1'-0"
DRAWING TITLE	

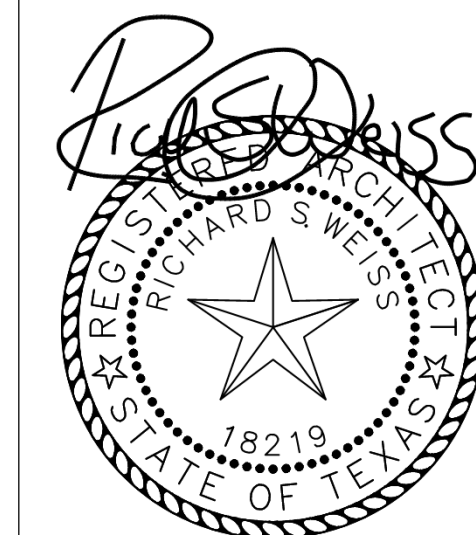
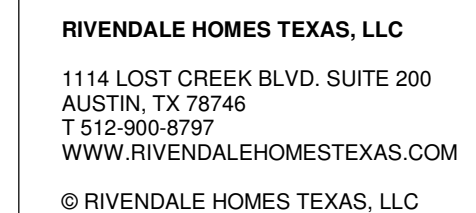
ROOF PLAN

SHEET NUMBER

**A1.2**

\*1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36

1. REFER TO G1.0 FOR CODE COMPLIANCE.
2. REFER TO G2.0 FOR GENERAL NOTES.
3. REFER TO XXX FOR EXTERIOR ASSEMBLY NOTES AND SPECIFICATIONS.
4. REFER TO XXX FOR DOOR AND WINDOW TYPES & SCHEDULE
5. CONTRACTOR SHALL PROVIDE GUTTER AND DOWNSPOUT SYSTEM TO POSITIVELY DRAIN ROOF AWAY FROM BUILDING AND INTO LANDSCAPE BEDS.
6. ALL WINDOW HEADER HEIGHTS ON LOWER AND UPPER FLOOR SHALL BE 7'-8" AFF UNO.
7. ALL WINDOWS LOCATED WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR SHALL RECEIVE TEMPERED SAFETY GLASS PER IRC 2021. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL TEMPERED GLASS LOCATIONS PER APPLICABLE CODES.
8. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL EGRESS WINDOWS ARE INSTALLED PER APPLICABLE CODE REQUIREMENTS.
9. ALL WINDOWS SHALL HAVE U-FACTOR 0.40 OR LESS PER CITY OF AUSTIN CODE AMENDMENT.
10. ALL WINDOWS SHALL BE ALUMINUM CLAD AND FACTORY MULLED WHEN POSSIBLE.
11. PROVIDE MIN. 4" TRIM AT ALL SIDES OF ALUMINUM WINDOWS.
12. EXPOSED FOUNDATION SHALL BE MIN. 8" AND A MAXIMUM OF X INCHES ABOVE GRADE. UNDERPIN ALL EXPOSED FOUNDATIONS.
13. GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE AND NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES PRIOR TO STARTING WORK.
14. ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
15. ALL PLUMBING, APPLIANCE, AND GAS VENTS TO BE GANGED TO THE LEAST POSSIBLE NUMBER OF ROOF PENETRATIONS AND KEPT TO REAR OF ROOF WHENEVER POSSIBLE.
16. CONTRACTOR SHALL INSTALL ALL PRODUCTS AND ASSEMBLIES PER MANUFACTURER'S RECOMMENDED INSTALLATION.
17. ALL EXTERIOR SYSTEMS SHALL BE INSTALLED TO ASSURE ADEQUATE DRAINAGE IS PROVIDED.
18. **TEMP GLZ** = PROVIDE TEMPERED SAFETY GLASS AT ALL REQUIRED LOCATIONS AS REQUIRED BY CODE.



**RESIDENCE  
RIVENDALE HOMES**

REVISIONS	

STAMP:

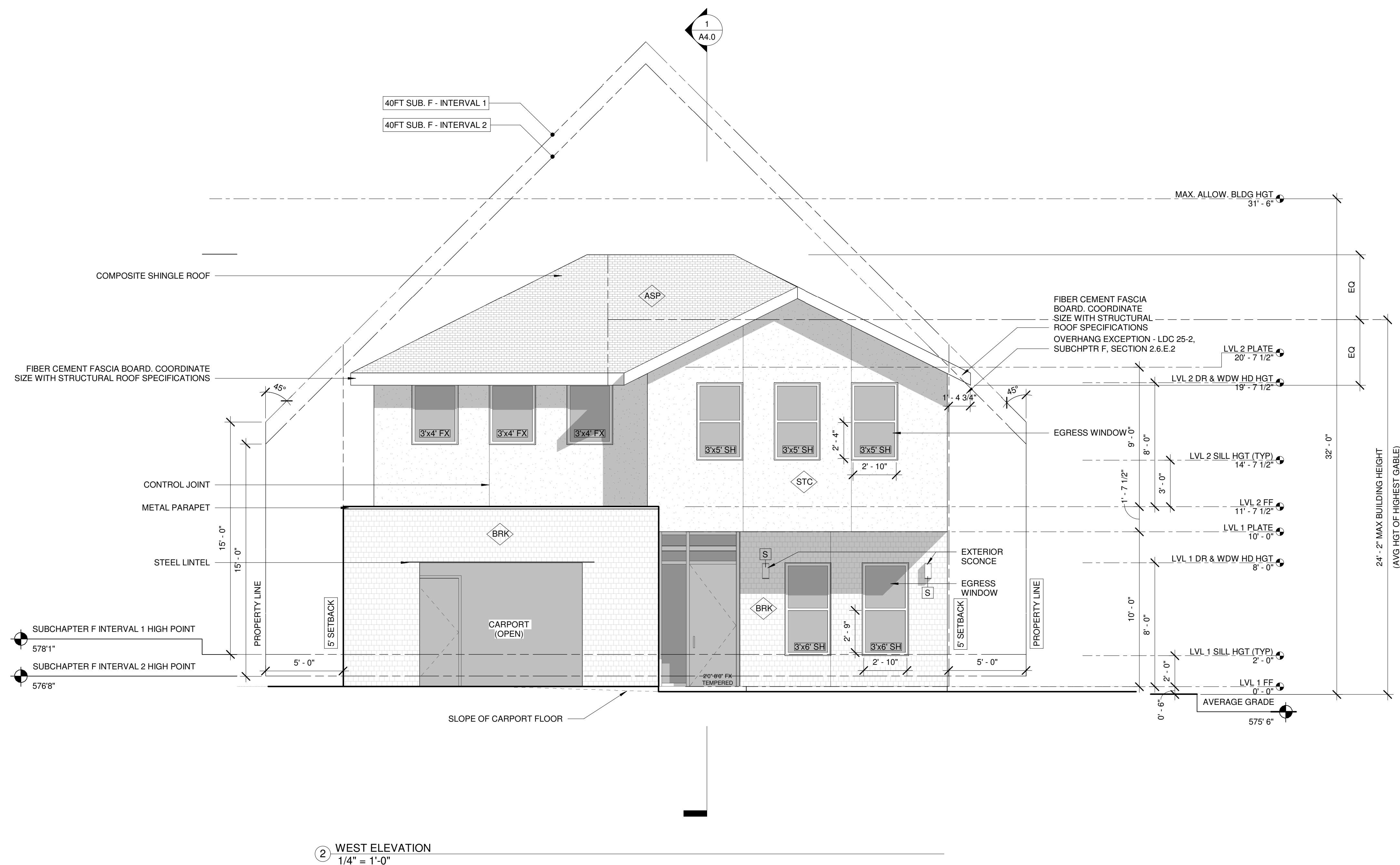
CURRENT ISSUE:	
SET	DATE
CHECK SET	03.04.22
PROJECT NO: ----	
SCALE	1/4" = 1'-0"
DRAWING TITLE	

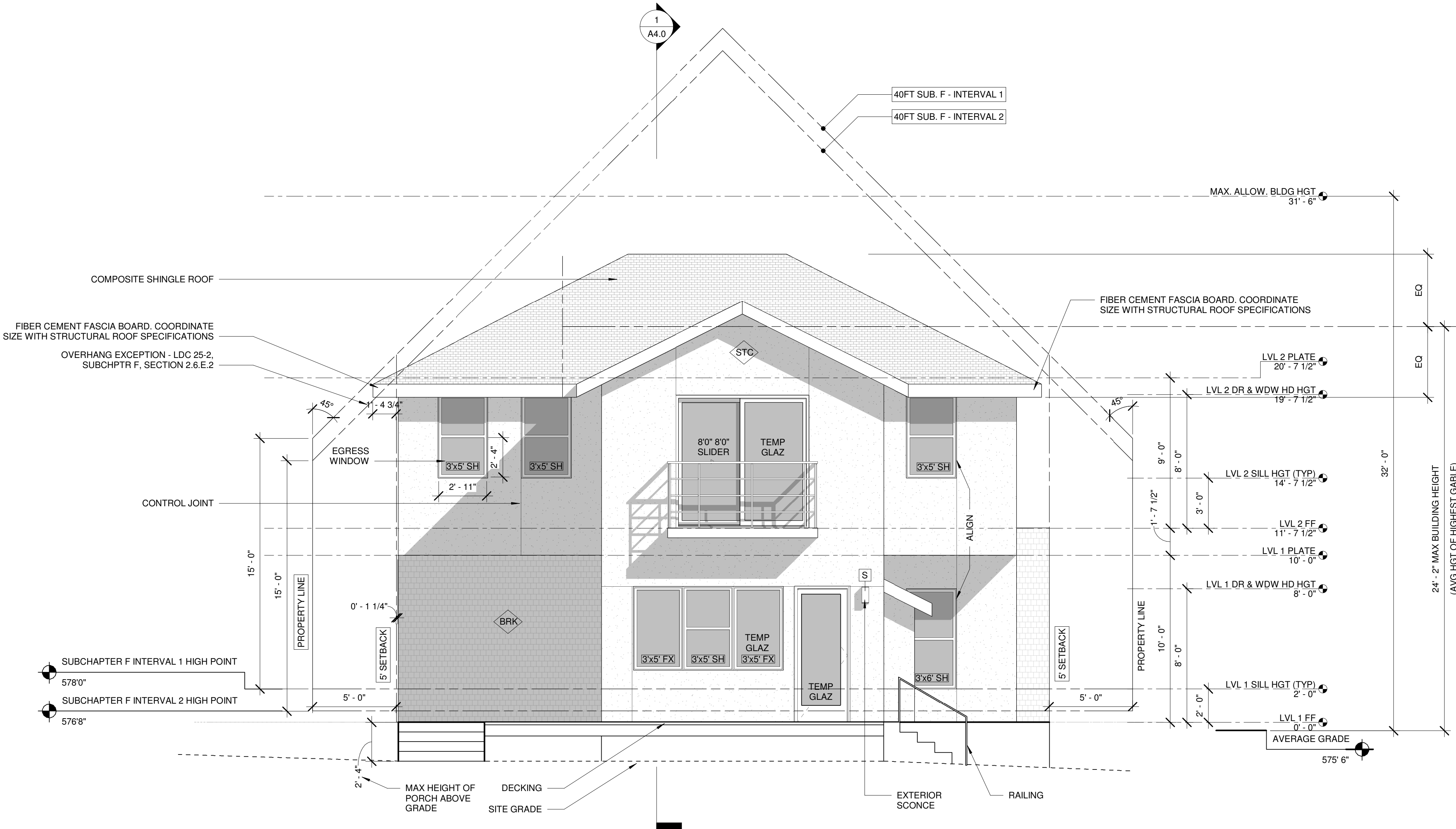
## BUILDING ELEVATIONS

SHEET NUMBER

### A3.0

\*1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36





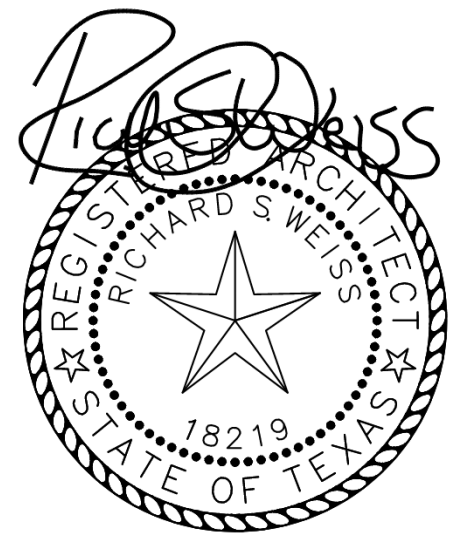
1 EAST ELEVATION  
1/4" = 1'-0"

## SHEET NOTES

1. REFER TO G1.0 FOR CODE COMPLIANCE.
2. REFER TO G2.0 FOR GENERAL NOTES.
3. REFER TO XXX FOR EXTERIOR ASSEMBLY NOTES AND SPECIFICATIONS.
4. REFER TO XXX FOR DOOR AND WINDOW TYPES & SCHEDULE
5. CONTRACTOR SHALL PROVIDE GUTTER AND DOWNSPOUT SYSTEM TO POSITIVELY DRAIN ROOF AWAY FROM BUILDING AND INTO LANDSCAPE BEDS.
6. ALL WINDOW HEADER HEIGHTS ON LOWER AND UPPER FLOOR SHALL BE 7'-8" AFF UNO.
7. ALL WINDOWS LOCATED WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR SHALL RECEIVE TEMPERED SAFETY GLASS PER IRC 2021. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL TEMPERED GLASS LOCATIONS PER APPLICABLE CODES.
8. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL EGRESS WINDOWS ARE INSTALLED PER APPLICABLE CODE REQUIREMENTS.
9. ALL WINDOWS SHALL HAVE U-FACTOR 0.40 OR LESS PER CITY OF AUSTIN CODE AMENDMENT.
10. ALL WINDOWS SHALL BE ALUMINUM CLAD AND FACTORY MULLED WHEN POSSIBLE.
11. PROVIDE MIN. 4" TRIM AT ALL SIDES OF ALUMINUM WINDOWS.
12. EXPOSED FOUNDATION SHALL BE MIN. 8" AND A MAXIMUM OF x INCHES ABOVE GRADE. UNDERPIN ALL EXPOSED FOUNDATIONS.
13. GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE AND NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES PRIOR TO STARTING WORK.
14. ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
15. ALL PLUMBING, APPLIANCE, AND GAS VENTS TO BE GANGED TO THE LEAST POSSIBLE NUMBER OF ROOF PENETRATIONS AND KEPT TO REAR OF ROOF WHENEVER POSSIBLE.
16. CONTRACTOR SHALL INSTALL ALL PRODUCTS AND ASSEMBLIES PER MANUFACTURER'S RECOMMENDED INSTALLATION.
17. ALL EXTERIOR SYSTEMS SHALL BE INSTALLED TO ASSURE ADEQUATE DRAINAGE IS PROVIDED.
18. **TEMP GLZ** = PROVIDE TEMPERED SAFETY GLASS AT ALL REQUIRED LOCATIONS AS REQUIRED BY CODE.



RIVENDALE HOMES TEXAS, LLC  
1114 LOST CREEK BLVD. SUITE 200  
AUSTIN, TX 78746  
T 512-900-8797  
WWW.RIVENDALEHOMESTEXAS.COM  
© RIVENDALE HOMES TEXAS, LLC



**RESIDENCE  
RIVENDALE HOMES**  
1803 KENWOOD AVE, AUSTIN, TX 78704

REVISIONS	

STAMP:

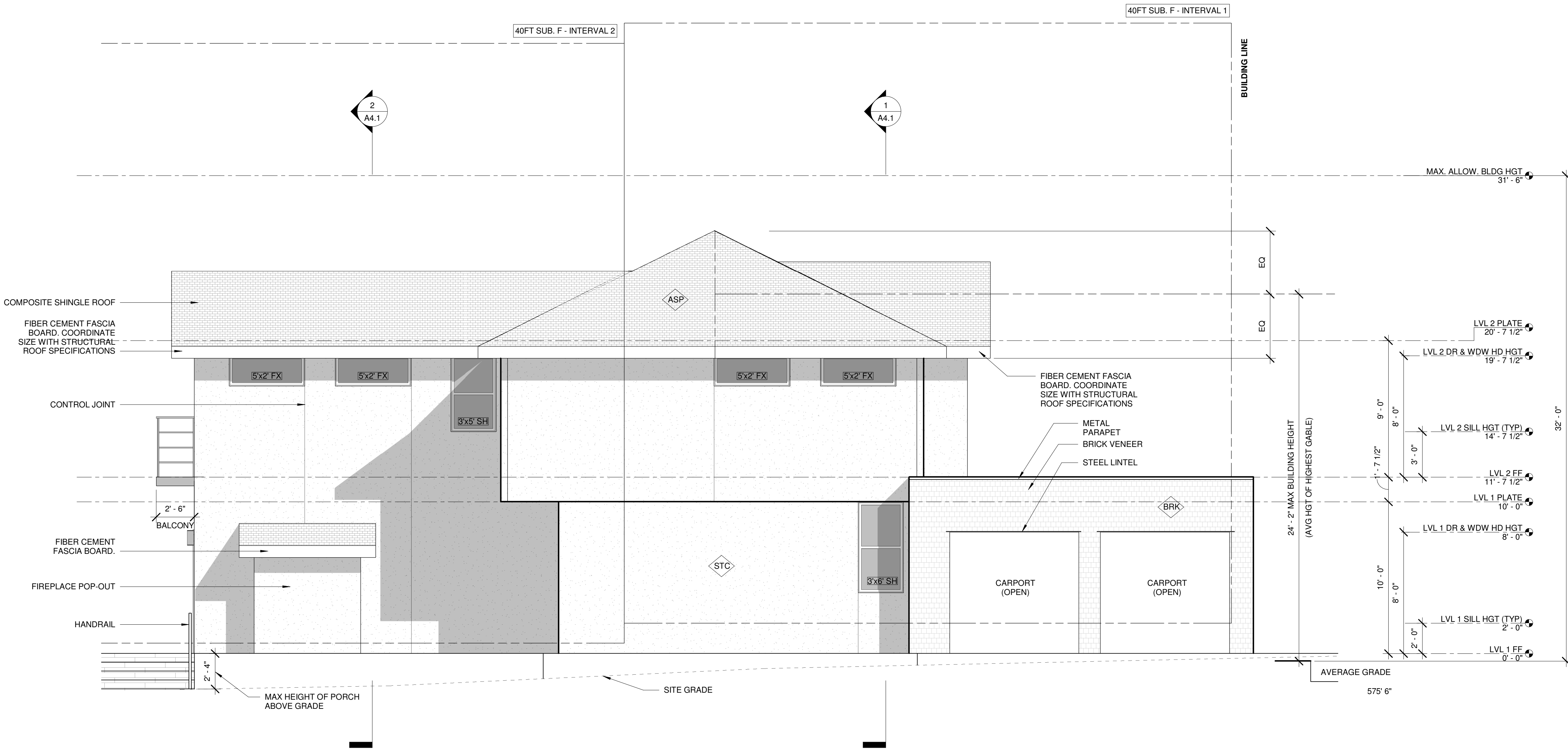
CURRENT ISSUE:	
SET	DATE
CHECK SET	03.04.22
PROJECT NO: ---	
SCALE	1/4" = 1'-0"
DRAWING TITLE	

**BUILDING  
ELEVATIONS**

SHEET NUMBER

**A3.1**

\*1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36



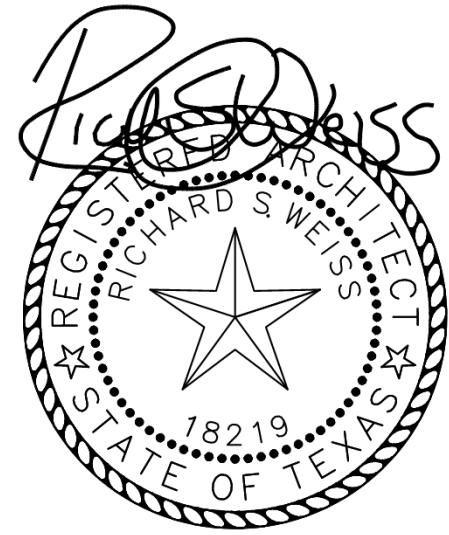
1 NORTH ELEVATION  
1/4" = 1'-0"

## SHEET NOTES

1. REFER TO G1.0 FOR CODE COMPLIANCE.
2. REFER TO G2.0 FOR GENERAL NOTES.
3. REFER TO XXX FOR EXTERIOR ASSEMBLY NOTES AND SPECIFICATIONS.
4. REFER TO XXX FOR DOOR AND WINDOW TYPES & SCHEDULE
5. CONTRACTOR SHALL PROVIDE GUTTER AND DOWNSPOUT SYSTEM TO POSITIVELY DRAIN ROOF AWAY FROM BUILDING AND INTO LANDSCAPE BEDS.
6. ALL WINDOW HEADER HEIGHTS ON LOWER AND UPPER FLOOR SHALL BE 7'-8" AFF UNO.
7. ALL WINDOWS LOCATED WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR SHALL RECEIVE TEMPERED SAFETY GLASS PER IRC 2021. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL TEMPERED GLASS LOCATIONS PER APPLICABLE CODES.
8. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL EGRESS WINDOWS ARE INSTALLED PER APPLICABLE CODE REQUIREMENTS.
9. ALL WINDOWS SHALL HAVE U-FACTOR 0.40 OR LESS PER CITY OF AUSTIN CODE AMENDMENT.
10. ALL WINDOWS SHALL BE ALUMINUM CLAD AND FACTORY MULLED WHEN POSSIBLE.
11. PROVIDE MIN. 4" TRIM AT ALL SIDES OF ALUMINUM WINDOWS.
12. EXPOSED FOUNDATION SHALL BE MIN. 8" AND A MAXIMUM OF x INCHES ABOVE GRADE. UNDERPIN ALL EXPOSED FOUNDATIONS.
13. GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE AND NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES PRIOR TO STARTING WORK.
14. ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
15. ALL PLUMBING, APPLIANCE, AND GAS VENTS TO BE GANGED TO THE LEAST POSSIBLE NUMBER OF ROOF PENETRATIONS AND KEPT TO REAR OF ROOF WHENEVER POSSIBLE.
16. CONTRACTOR SHALL INSTALL ALL PRODUCTS AND ASSEMBLIES PER MANUFACTURER'S RECOMMENDED INSTALLATION.
17. ALL EXTERIOR SYSTEMS SHALL BE INSTALLED TO ASSURE ADEQUATE DRAINAGE IS PROVIDED.
18. **TEMP GLZ** = PROVIDE TEMPERED SAFETY GLASS AT ALL REQUIRED LOCATIONS AS REQUIRED BY CODE.



RIVENDALE HOMES TEXAS, LLC  
1114 LOST CREEK BLVD. SUITE 200  
AUSTIN, TX 78746  
T 512-900-8797  
WWW.RIVENDALEHOMESTEXAS.COM  
© RIVENDALE HOMES TEXAS, LLC



# RESIDENCE RIVENDALE HOMES

1803 KENWOOD AVE, AUSTIN, TX 78704

## REVISIONS

NO.	DESCRIPTION	DATE

STAMP:

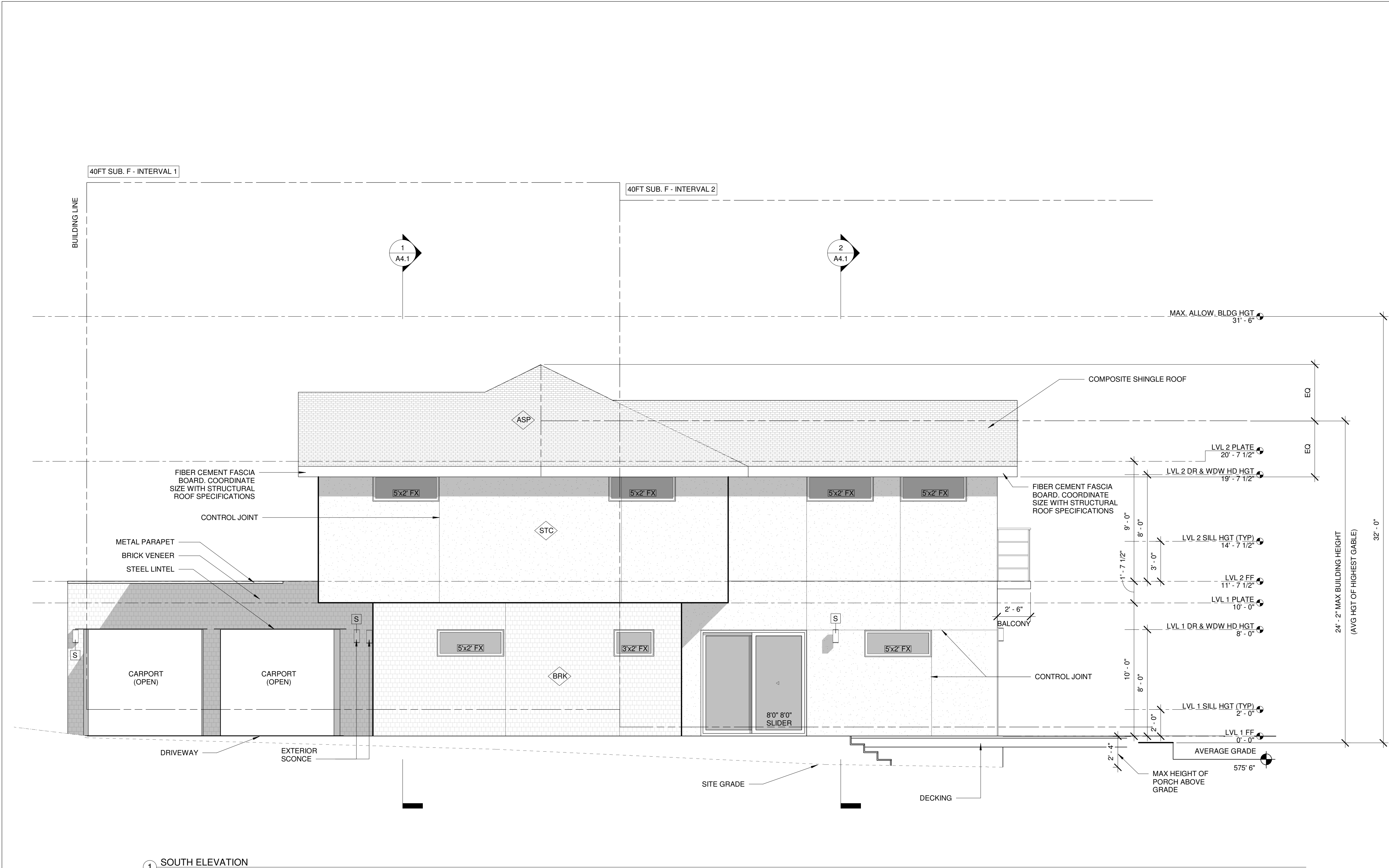
CURRENT ISSUE:	
SET	DATE
CHECK SET	03.04.22
PROJECT NO: ---	
SCALE	1/4" = 1'-0"
DRAWING TITLE	

## BUILDING ELEVATIONS

SHEET NUMBER

# A3.2

1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36



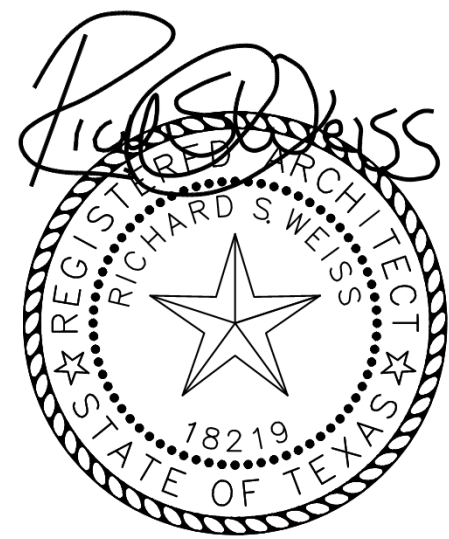
1 SOUTH ELEVATION  
1/4" = 1'-0"

## SHEET NOTES

1. REFER TO G1.0 FOR CODE COMPLIANCE.
2. REFER TO G2.0 FOR GENERAL NOTES.
3. REFER TO XXX FOR EXTERIOR ASSEMBLY NOTES AND SPECIFICATIONS.
4. REFER TO XXX FOR DOOR AND WINDOW TYPES & SCHEDULE
5. CONTRACTOR SHALL PROVIDE GUTTER AND DOWNSPOUT SYSTEM TO POSITIVELY DRAIN ROOF AWAY FROM BUILDING AND INTO LANDSCAPE BEDS.
6. ALL WINDOW HEADER HEIGHTS ON LOWER AND UPPER FLOOR SHALL BE 7'-8" AFF UNO.
7. ALL WINDOWS LOCATED WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR SHALL RECEIVE TEMPERED SAFETY GLASS PER IRC 2021. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL TEMPERED GLASS LOCATIONS PER APPLICABLE CODES.
8. WINDOW MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL EGRESS WINDOWS ARE INSTALLED PER APPLICABLE CODE REQUIREMENTS.
9. ALL WINDOWS SHALL HAVE U-FACTOR 0.40 OR LESS PER CITY OF AUSTIN CODE AMENDMENT.
10. ALL WINDOWS SHALL BE ALUMINUM CLAD AND FACTORY MULLED WHEN POSSIBLE.
11. PROVIDE MIN. 4" TRIM AT ALL SIDES OF ALUMINUM WINDOWS.
12. EXPOSED FOUNDATION SHALL BE MIN. 8" AND A MAXIMUM OF x INCHES ABOVE GRADE. UNDERPIN ALL EXPOSED FOUNDATIONS.
13. GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE AND NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES PRIOR TO STARTING WORK.
14. ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
15. ALL PLUMBING, APPLIANCE, AND GAS VENTS TO BE GANGED TO THE LEAST POSSIBLE NUMBER OF ROOF PENETRATIONS AND KEPT TO REAR OF ROOF WHENEVER POSSIBLE.
16. CONTRACTOR SHALL INSTALL ALL PRODUCTS AND ASSEMBLIES PER MANUFACTURER'S RECOMMENDED INSTALLATION.
17. ALL EXTERIOR SYSTEMS SHALL BE INSTALLED TO ASSURE ADEQUATE DRAINAGE IS PROVIDED.
18. **TEMP GLZ** = PROVIDE TEMPERED SAFETY GLASS AT ALL REQUIRED LOCATIONS AS REQUIRED BY CODE.



RIVENDALE HOMES TEXAS, LLC  
1114 LOST CREEK BLVD. SUITE 200  
AUSTIN, TX 78746  
T 512-900-8797  
WWW.RIVENDALEHOMESTEXAS.COM  
© RIVENDALE HOMES TEXAS, LLC



# RESIDENCE RIVENDALE HOMES

1803 KENWOOD AVE, AUSTIN, TX 78704

## REVISIONS

NO.	DESCRIPTION	DATE

STAMP:

CURRENT ISSUE:	
SET	DATE
CHECK SET	03.04.22
PROJECT NO: ---	
SCALE	1/4" = 1'-0"
DRAWING TITLE	

## BUILDING ELEVATIONS

SHEET NUMBER

# A3.3

1/2 SCALE WHEN PRINTED ON 11X17  
FULL SCALE WHEN PRINTED ON 24X36