





GENERAL NOTES

1. WORK PERFORMED SHALL COMPLY WITH ALL STATE, COUNTY, LOCAL, AND ANY OTHER APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS PERTAINING TO CONSTRUCTION. ALL APPROVALS SHALL BE OBTAINED FROM ALL AUTHORITIES HAVING JURISDICTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD. AS REQUIRED CONSTRUCT WITH DIMENSIONS INDICATED ON CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE INSUFFICIENT OR IF DISCREPANCIES EXIST, CONSULT ARCHITECT OR DESIGN ASSOCIATE.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR OTHER JOB SITE CONDITIONS.
4. THE INTENT OF THE DRAWINGS IS TO PROVIDE A COMPLETE AND FINISHED PROJECT. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, LABOR AND EQUIPMENT AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS INCLUDING ALL ITEMS REASONABLY INFERABLE AS BEING NECESSARY FOR THE COMPLETION OF THE PROJECT. THESE SHALL INCLUDE, BUT NOT BE LIMITED TO FASTENERS, PREPARATION OF MATERIALS, AND OTHER ACCESSORIES AS WELL AS THE NECESSARY LABOR AND EQUIPMENT TO INSTALL THEM.
5. ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, ETC., IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH PUBLISHED INDUSTRY STANDARDS.
6. ARCHITECTURAL DRAWINGS ARE LIMITED IN SCOPE. THEY ARE INTENDED TO INDICATE THE GENERAL DESIGN INTENT AND CONSTRUCTION OF THE PROJECT. LIMITED CONSTRUCTION DETAILS ARE PROVIDED ONLY WHERE DEEMED NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FABRICATION TECHNIQUES AND INSTALLATION METHODS.
7. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING THE SITE PRIOR TO SUBMITTING BIDS AND SHALL TAKE INTO CONSIDERATION EXISTING CONDITIONS THAT MAY AFFECT THE WORK. AFTER SUBMISSION OF BID, NO ADDITIONAL COST WILL BE ALLOWED FOR ADDITIONAL WORK THAT COULD HAVE BEEN DETERMINED OR ANTICIPATED BY SUCH INSPECTION.
8. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE. USE OF SALVAGED MATERIALS WILL ONLY BE PERMITTED WITH OWNER'S PRIOR APPROVAL.
9. THE GENERAL CONDITION OF THE CONTRACT FOR CONSECUTION A201, 1997 EDITION, OF THE AMERICAN INSTITUTE OF ARCHITECTS ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS TO THE SAME EXTENT AS IF BOUND HEREIN.
10. ALL REQUESTS FOR SUBSTITUTION OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING WITH ANY NECESSARY DOCUMENTATION TO EVALUATE THE PRODUCT. SUBSTITUTIONS WILL BE CONSIDERED ONLY IF BETTER SERVICE IS PROVIDED, A MORE ADVANTAGEOUS DELIVERY DATE, OR A LOWER PRICE WITH CREDIT TO THE OWNER WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE PROJECT REPRESENTATIVE BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED
11. CONTRACTOR SHALL DOCUMENT AS-BUILT CONDITIONS WHEN DIFFERENT FROM CONSTRUCTION DOCUMENTS, AND SHALL TRANSMIT IT TO THE PROJECT REPRESENTATIVE UPON COMPLETION OF CONSTRUCTION.
12. ALL WORK SHALL BE ERECTED PLUMB AND TRUE-TO-LINE IN ACCORDANCE WITH BEST PRACTICES OF THE TRADE AND MANUFACTURER'S RECOMMENDATIONS FOR THE PARTICULAR ITEM.



PROJECT INFORMATION

PROJECT NAME:	METRO 2400
ADDRESS:	1702 HARTFORD ROAD AUSTIN, TX 78703
CLIENT NAME:	S&L LAND DESIGN
PROPERTY LEGAL DESCRIPTION:	LOT 14 ENFIELD F
ZONING:	SF-3
CLIMATE ZONE:	ZONE #2A, 2B APPLICABLE FOR LOCATIONS WITH THE MONTHLY AVERAGE OUTSIDE AIR TEMPERATURE OF THE THREE COLDEST MONTHS IS ABOVE 45 DEG F.
CODE:	2021 IRC W/ AMENDMENT 2021 IECC 2020 NEC
CONSTRUCTION TYPE: OCCUPANCY GROUP:	TYPE VB - WOOD FRAME R3 - SINGLE FAMILY DWELLING

DRAWING INDEX METRO

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COVER SHEET

A0.0



METRO 2400
1702 HARTFORD ROAD
AUSTIN, TX 78703



2301 ELEANOR TINSLEY WAY
HOUSTON, TX 77023
P: 713.236.0072

TREES NOTES:

1. SEE SHEET 1.3 FOR TREE PROTECTION GUIDELINES
2. REFER TO SITE PLAN FOR TREE PROTECTION FENCING. FENCING IS REQUIRED TO BE CHAIN-LINK AT A MINIMUM HEIGHT OF FIVE FEET.
3. ANYWHERE TREE PROTECTION FENCE DOES NOT EXTEND TO THE EDGE OF THE 1/2 CRZ, AN 8" LAYER OF MULCH SHALL BE SPREAD TO PROTECT THE ROOT ZONE FROM COMPACTION.
4. PROVIDE 3/4" PLYWOOD OVER 6' TALL MINIMUM 2X4 LUMBER OVER 12" LAYER OF MULCH STRAPPED SECURELY AROUND PROTECTED TREE TRUNKS AND ROOT FLARES WHERE PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ.TREE PROTECTION FENCING MUST BE ON GRADE (FLAT POST BASES WEIGHTED DOWN WITH SANDBAGS) AND MUST ENCOMPASS THE 1/4 CRZ AT A MINIMUM.
5. AFTER CONSTRUCTION IS OVER SPREAD MULCH AROUND SITE TO LEAVE MAX LAYER OF 3" WITHIN ROOT ZONE.

1702 Hartford				
Area Description	Existing Sq Ft	Metro 2400 Building 1	Building 2	Total Sq Ft
1st floor		1167.00		1167.00
2nd floor		1180.00		1180.00
3rd floor				0.00
Basement				0.00
Covered parking		200.00		200.00
Covered deck				0.00
Covered porch		190.00		190.00
Covered patio				0.00
Balcony				0.00
Other roofed areas				0.00
Total Building Area	0.00	2737.00	0.00	2737.00
Total Building Coverage	0.00	1557.00	0.00	1557.00
Driveway		280.00		280.00
Sidewalks		42.00		42.00
Uncovered patio				0.00
Uncovered wood deck (50%)		400.00		200.00
AC pads and other concrete flatwork		9.00		9.00
Other flatwork (pool coping, retaining walls, etc.)				0.00
Total Impervious Coverage	0.00	2288.00	0.00	2088.00
Pool (surface area)		448.00		448.00
Spa (surface area)				0.00

Lot size 6098.00

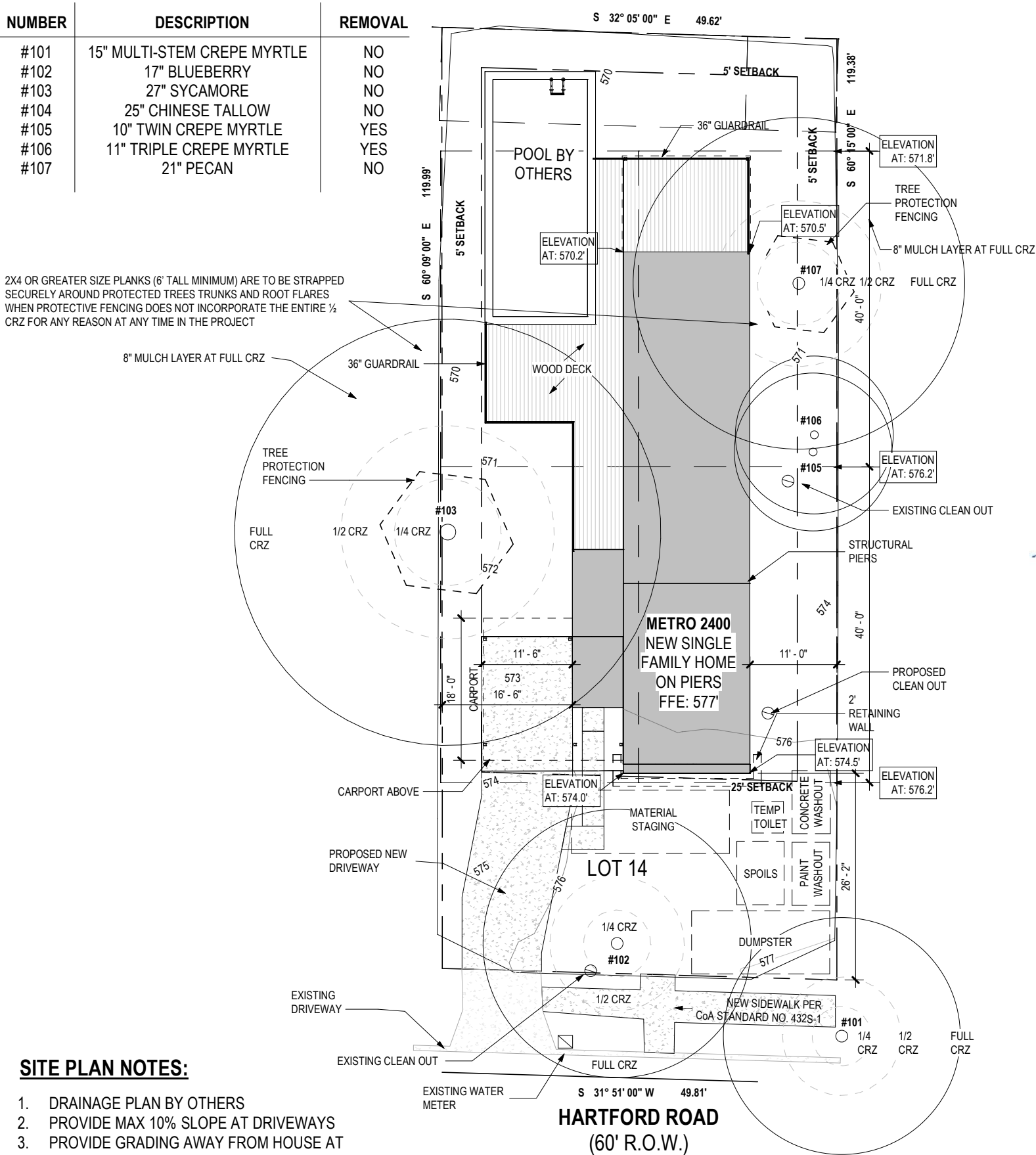
Existing Building Coverage % 0.00%
Total Building Coverage % 25.53%

Existing Impervious Coverage % 0.00%
Total Impervious Coverage % 34.24%
Max Impervious Coverage @ 45% 2744.10

1702 Hartford						
GROSS FLOOR AREA	Existing SF	New/Added SF	Proposed Exemption	Applied Exemption	Total SF	
1st Floor		1167.00			1167.00	
2nd Floor		1180.00			1180.00	
3rd Floor						
Areas w/ ceilings >15'			Must follow article 3.3.5			
Ground Floor Porch (check article utilized)		190.00	Exemption Full Porch or 200 Sq.Ft	200.00	0.00	
Basement			Must follow article 3.3.3B			
Attic (unconditioned)			Must follow article 3.3.3C			
Garage	Attached		200 Sq.Ft			
	Detached		450 Sq.Ft or 200 Sq.Ft			
Carport	Attached	200.00	450 S.Ft or 200 Sq.Ft	200.00	0.00	
	Detached		450 Sq.Ft			
Accessory Building(s)						
Detached						
Totals		2737.00			2347.00	
Total Gross Floor Area					2347.00	
Lot Area					6098.00	
(Total Gross Floor Area/ Lot Area) x 100 = FAR						38.49

NUMBER	DESCRIPTION	REMOVAL
#101	15" MULTI-STEM CREPE MYRTLE	NO
#102	17" BLUEBERRY	NO
#103	27" SYCAMORE	NO
#104	25" CHINESE TALLOW	NO
#105	10" TWIN CREPE MYRTLE	YES
#106	11" TRIPLE CREPE MYRTLE	YES
#107	21" PECAN	NO

2X4 OR GREATER SIZE PLANKS (6" TALL MINIMUM) ARE TO BE STRAPPED SECURELY AROUND PROTECTED TREES TRUNKS AND ROOT FLARES WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT



SITE PLAN NOTES:

1. DRAINAGE PLAN BY OTHERS
2. PROVIDE MAX 10% SLOPE AT DRIVEWAYS
3. PROVIDE GRADING AWAY FROM HOUSE AT A RATE OF 5% MIN.
4. ALL BUILDING SETBACK AND EASEMENTS PROVIDED BY SURVEYORS. GC TO CONFIRM LOCATIONS RPIOR TO START CONSTRUCTION.

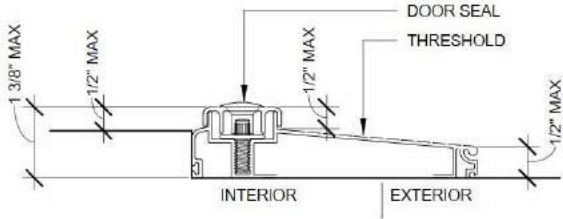


NO.	DATE	ISSUE DESCRIPTION
	11/05/21	PERMIT SET

VISITABILITY NOTES:

- 1. LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL
- 2. OUTLETS AND RECEPTACLES MINIMUM 15" ABOVE INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS

VISITABILITY THRESHOLD DETAIL



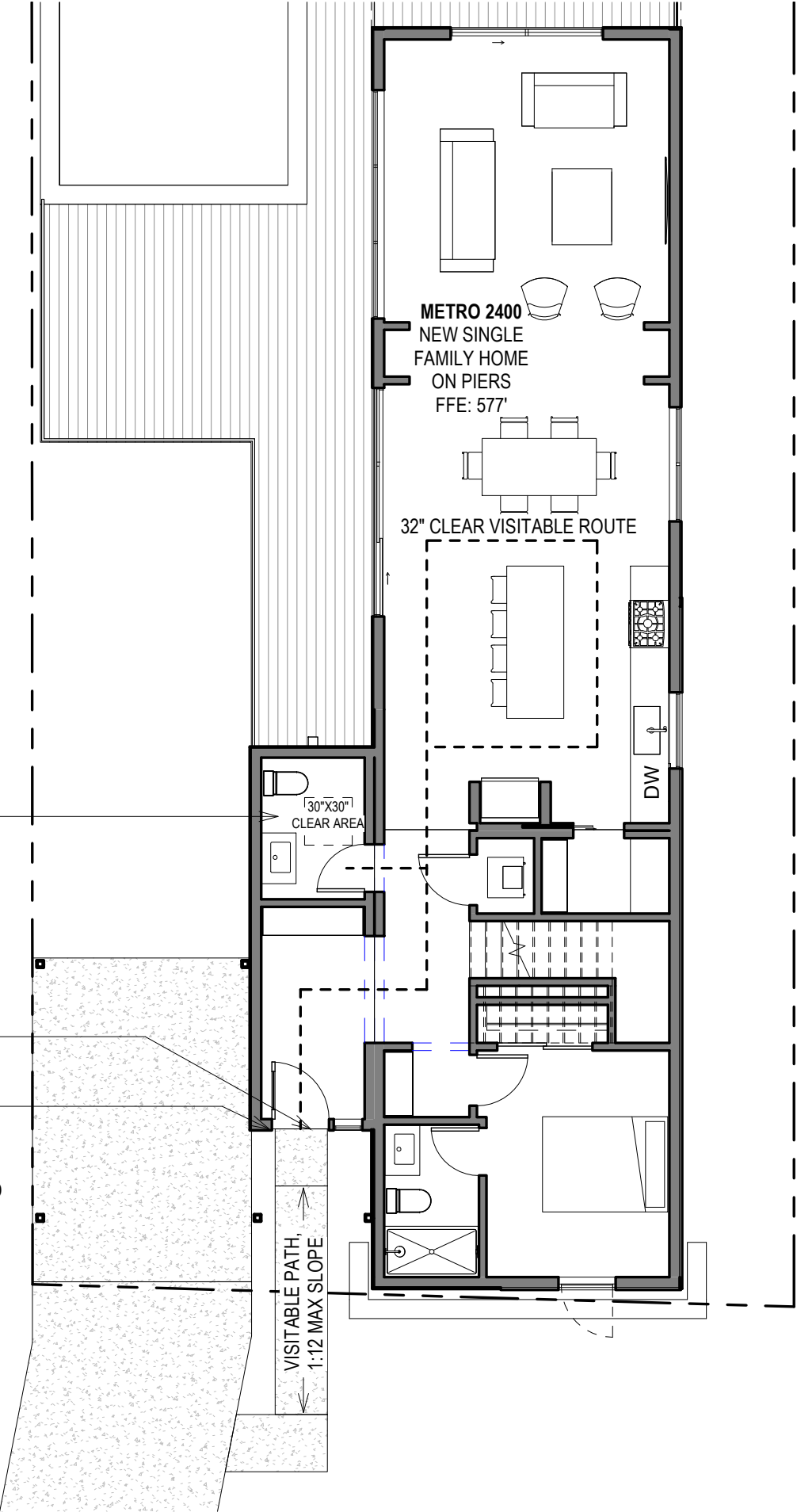
VISITABLE BATHROOM

- DOOR: 2'-10" X 8'-0"
- 2X6 BLOCKING CENTERLINE AT 34" ABOVE FINISH FLOOR (EXCEPT BEHIND LAVATORY)
- DOOR SHALL NOT IMPEDE 30"X30" CLEAR FLOOR SPACE

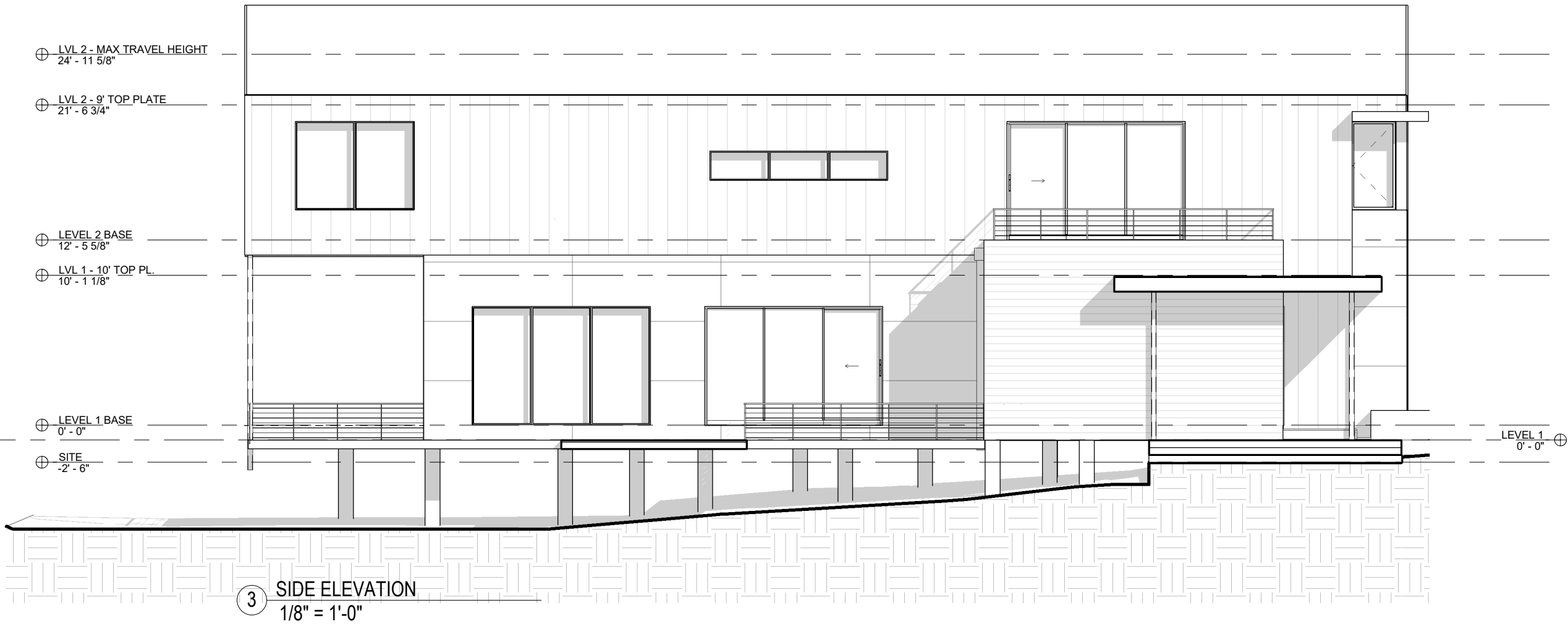
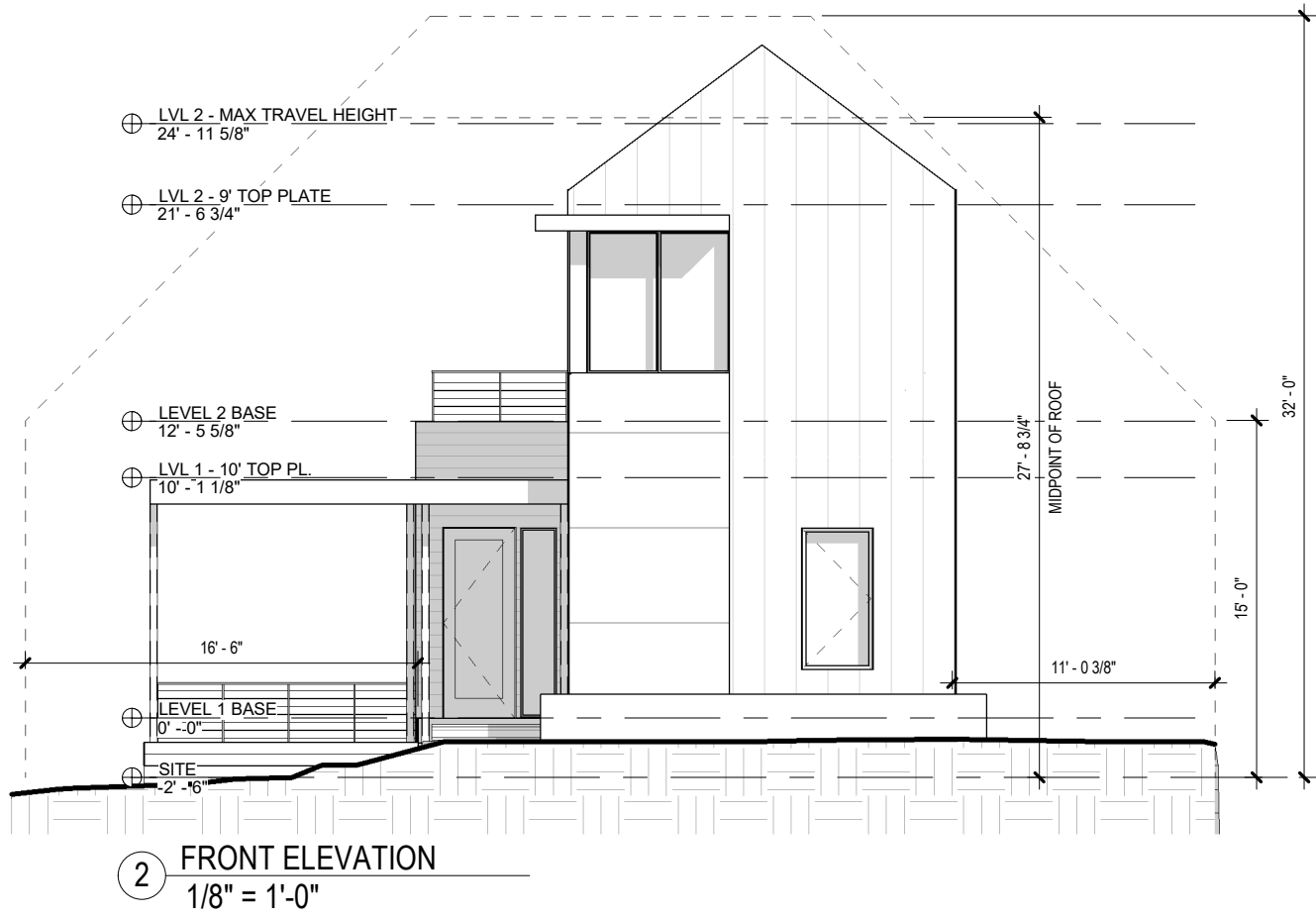
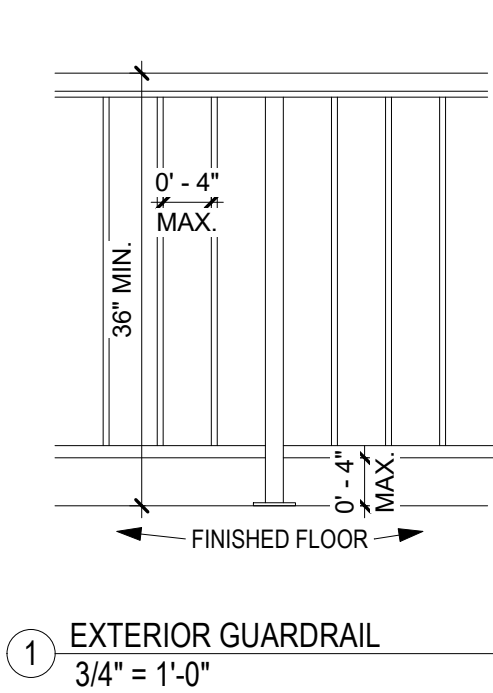
1/2" MAX BEVELED THRESHOLD PER DETAIL 2

VISITABLE ENTRANCE:

- 1. DOOR: 3'-0" X 8'-0"
- 2. VISITABLE NO-STEP ENTRY MAX 1/2" BEVELED THRESHOLD
- 3. 3'X3' LANDING WITH MAX SLOP 1/4"/FT
- 4. IF FOUNDATION PLAN SHOWS MORE THAN 1-1/2" DROP, DESIGN PROFESSIONAL MUST PROVIDE THRESHOLD DETAIL.

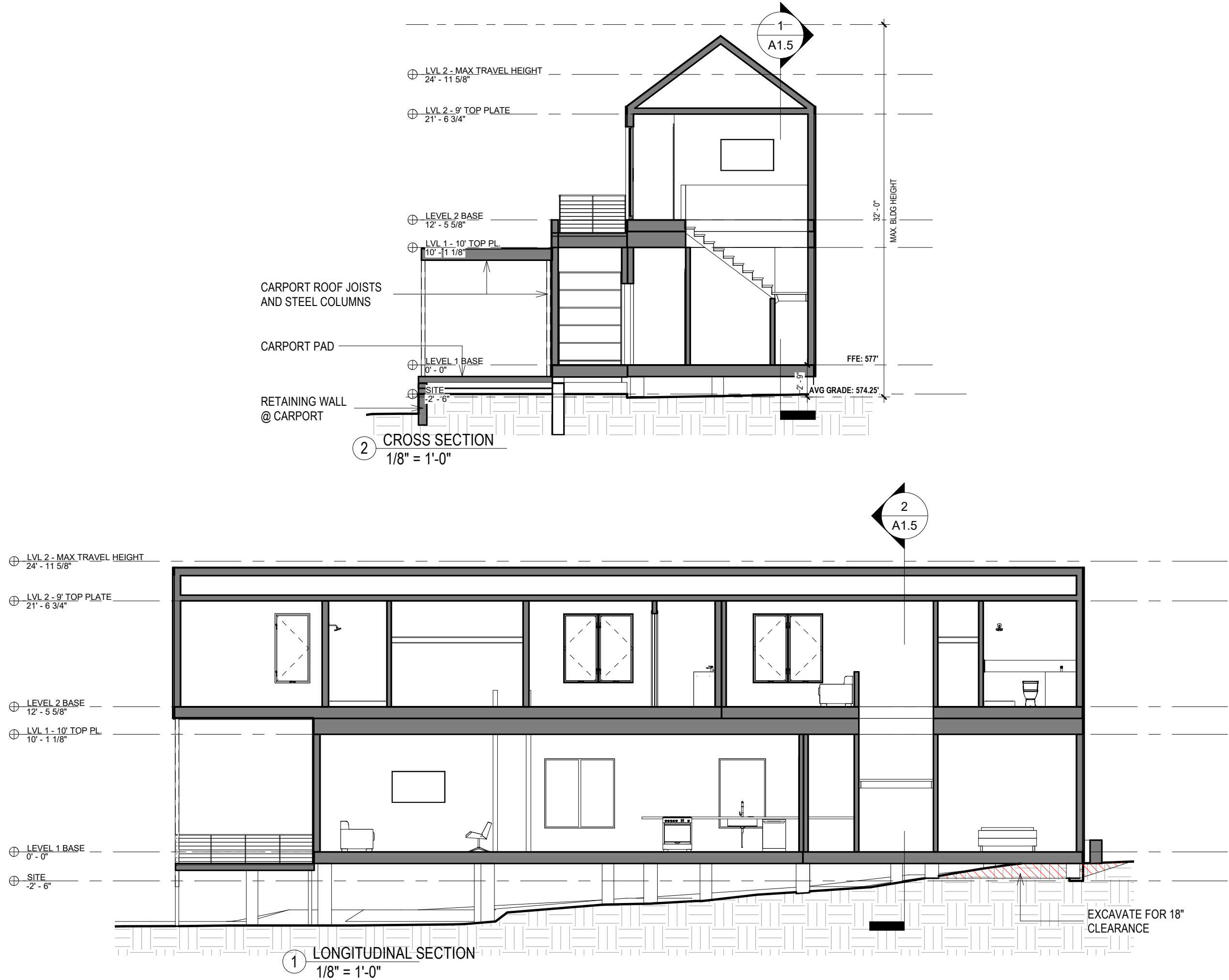


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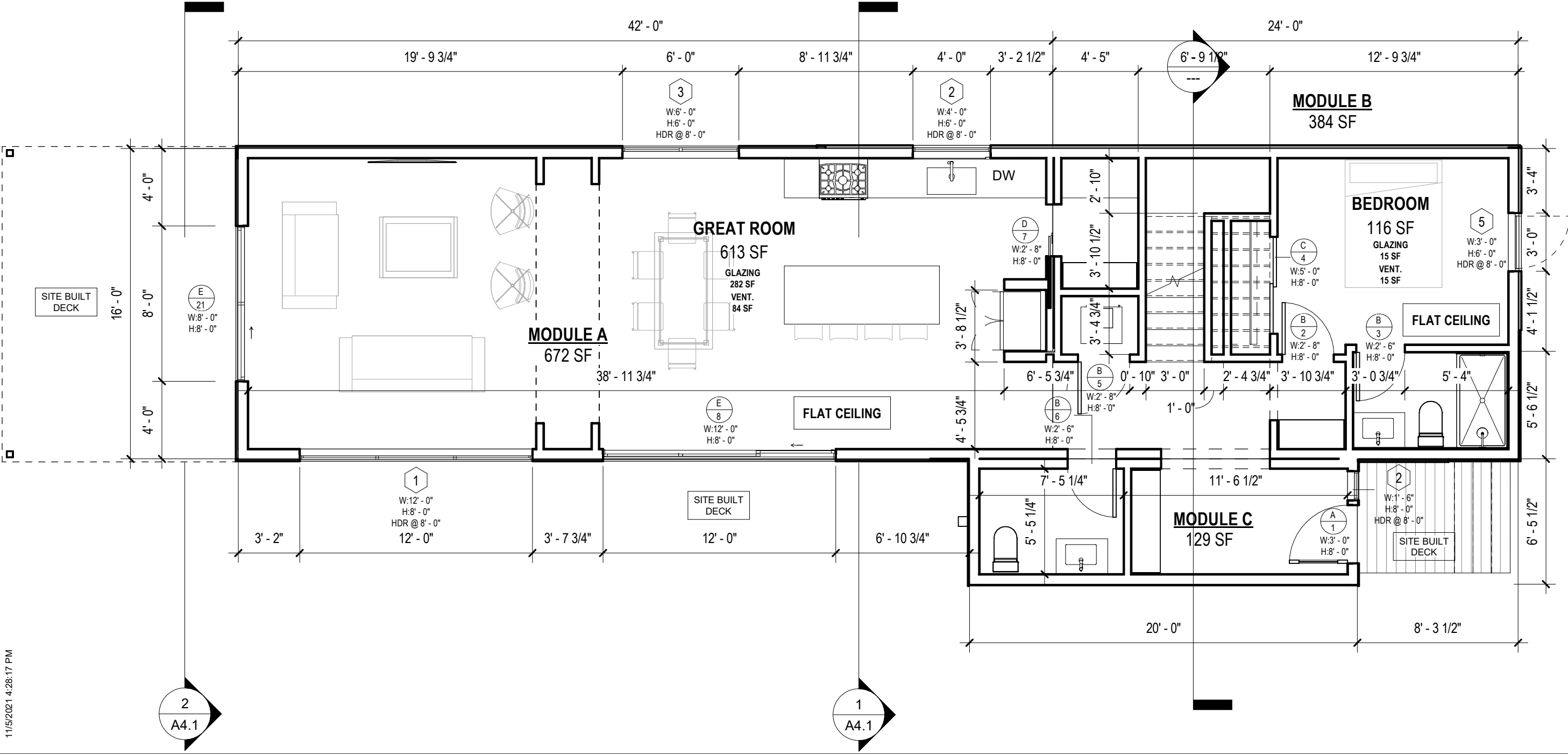
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- GENERAL NOTES:**
1. PLAN MAY BE BUILT AS MIRROR IMAGE OR ROTATED.
 2. ALL GYPSUM BOARD SHALL BE 1/2" THROUGHOUT ENTIRE STRUCTURE EXCEPT FOR 5/8" TYPE X AT UNDERSIDE OF STAIR
 3. SAFETY GLASS IS REQUIRED PER SECTION 308 OF THE IRC. REFER TO A3.2- WINDOW AND DOOR SCHEDULE FOR SAFETY GLASS LOCATIONS.
 4. SMOKE DETECTORS REQUIRE 110V CONNECTION TO MAIN SERVICE WITH BATTERY BACK-UP PER R314 OF THE IRC.
 5. BATHROOM VENTS ARE DUCTED TO EXTERIOR.
 6. STAIRWAY SHALL COMPLY WITH IRC SECTION R311. ALL GUARDRAILS TO BE A MINIMUM OF 36" HIGH AND COMPLY WITH IRC SECTION R312. HANDRAILS TO BE 34" TO 38" ABOVE NOSE OF TREAD OVER THE FULL LENGTH OF THE STAIR AND SHALL COMPLY WITH IRC R311. BALUSTERS TO BE 4" O.C. MAX.
 7. OPENINGS IN THE THERMAL ENVELOPE CANNOT HAVE AIR LEAKAGE RATES WHEN TESTED IN ACCORDANCE WITH AAMA/WDMA 101/1.S.2 AND/OR NFRC 400 EXCEEDING THE VALUES SPECIFIED BELOW:
A. WINDOWS: 0.3 CFM/SQFT OF WINDOW AREA.
B. SLIDING DOORS: 0.3 CFM/SQFT OF DOOR AREA.
C. SWINGING DOORS: 0.5 CFM/SQFT OF DOOR AREA.
 8. UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURERS INSTALLATION INSTRUCTION OR APPROVED BY BUILDING OFFICIAL, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 35 FEET FOR MAX DRYER DUCT LENGTH WITH 5' REDUCTION FOR EACH 90 DEGREE ELBOW.
 9. WHEN GAS IS USED IN THE UTILITY ROOM PROVIDE COMBUSTION AND DRYING AIR (LOUVERED DOORS OR UNDERCUT DOORS)
 10. FIRE BLOCKING SHALL BE PROVIDED IN ACCORDANCE WITH IRC 2015 R602.8

FACTORY FRAMED AREA	
MODULE	AREA
MODULE A	672 SF
MODULE B	384 SF
MODULE C	129 SF
MODULE D	752 SF
MODULE E	496 SF
TOTAL FRAMED AREA	2433 SF

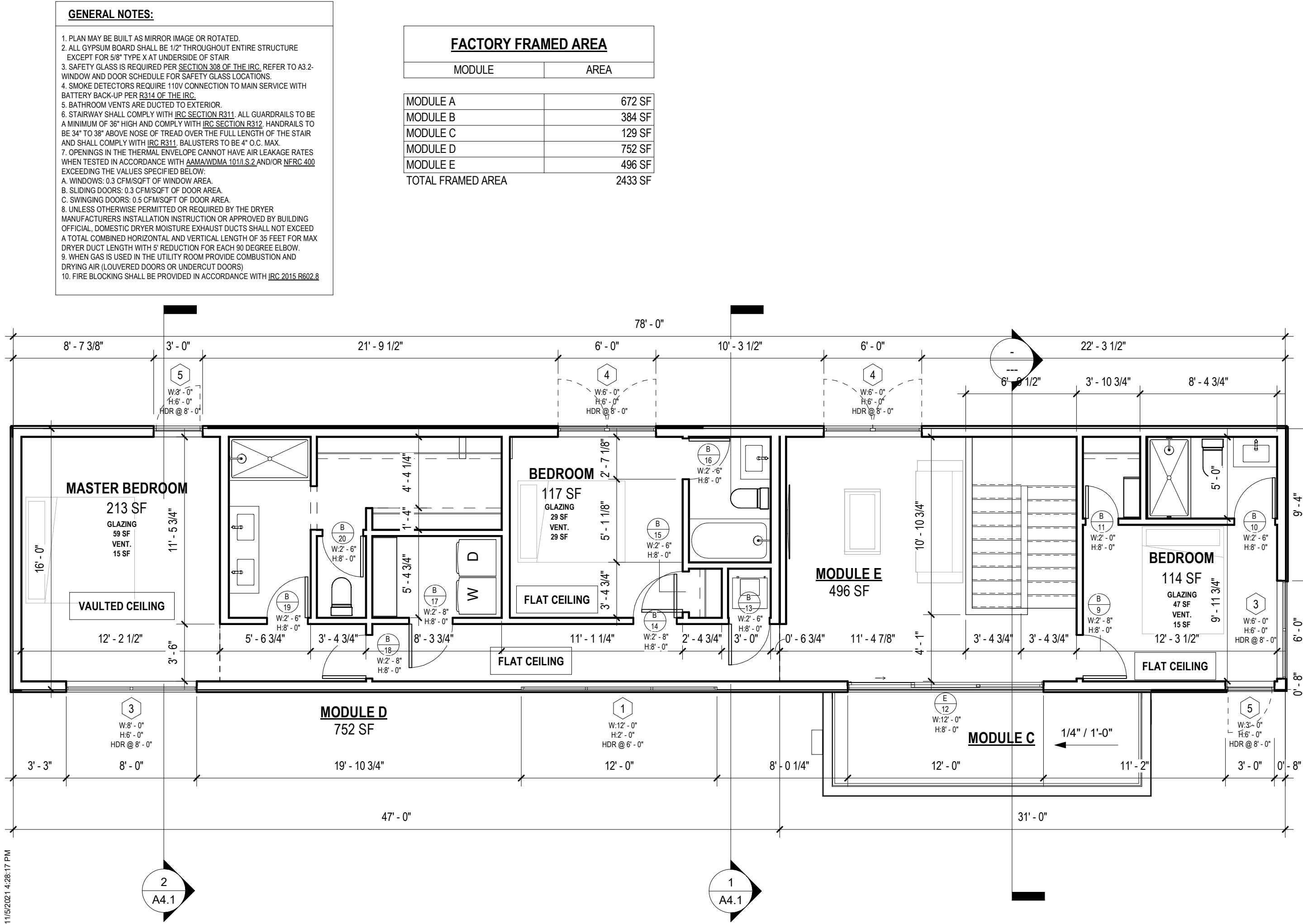
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FIRST FLOOR PLAN

A2.1

METRO ARIA 2400

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NOTES:

1. LIGHTING REQUIREMENT = MIN. 8% OF FLOOR AREA
VENTILATION REQUIREMENT = MIN. 4% OF FLOOR AREA
2. EMERGENCY EGRESS WINDOWS TO HAVE 5.7 SQUARE FEET NET FREE AREA WITH 20" WIDE AND 24" HIGH MINIMUM CLEAR OPENINGS, MAXIMUM 44" ABOVE FINISHED FLOOR. WHEN DOORS ARE USED FOR EMERGENCY EGRESS, IT SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.
3. SAFETY GLAZING REQUIREMENTS PER SECTION 308 OF THE IRC:

A. GLASS PANES IN ALL DOORS INCLUDING SIDE-HINGED, SLIDING OR BI-FOLD DOORS.

B. SIDELITES WITHIN 24" OF EITHER EDGE OF THE DOOR WHERE THE WINDOW SILL IS LESS THAN 60" A.F.F.

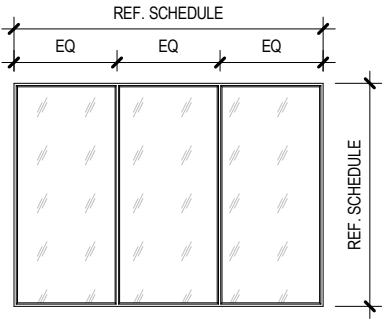
C. WINDOWS THAT MEET ALL 4 OF THE FOLLOWING CONDITIONS: GREATER THAN 9 SQUARE FEET, AND LOWER EDGE LESS THAN 18 INCHES FROM THE FLOOR, AND UPPER EDGE MORE THAN 36 INCHES FROM THE FLOOR, AND A WALKING SURFACE WITHIN 36 INCHES HORIZONTALLY OF THE WINDOW.
4. ATTIC ACCESS REQUIREMENT = MIN. 22 1/2" X 30"
5. REFER TO ATTACHED RESCHECK FOR DOOR AND WINDOW U-VALUES AND SHGC.

WINDOW SCHEDULE

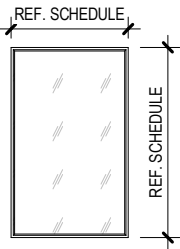
WINDOW	DESCRIPTION	WIDTH	HEIGHT	R. WIDTH	R. HEIGHT	HEADER	GLAZING	VENT.	U-VALUE	SHGC	COMMENTS
1	FIXED - 3 PANE - VERTICAL	11' - 11 1/2"	7' - 11 1/2"	12' - 0"	8' - 0"	8' - 0"	88 SF	0 SF	0.33	0.24	
2	FIXED - 1 PANE	1' - 5 1/2"	7' - 11 1/2"	1' - 6"	8' - 0"	8' - 0"	10 SF	0 SF	0.33	0.24	
2	FIXED - 1 PANE	3' - 11 1/2"	5' - 11 1/2"	4' - 0"	6' - 0"	8' - 0"	22 SF	0 SF	0.33	0.24	
3	FIXED - 2 PANE	5' - 11 1/2"	5' - 11 1/2"	6' - 0"	6' - 0"	8' - 0"	32 SF	0 SF	0.33	0.24	
5	CASEMENT - 1 PANE	2' - 11 1/2"	5' - 11 1/2"	3' - 0"	6' - 0"	8' - 0"	15 SF	15 SF	0.33	0.24	
1	FIXED - 3 PANE - VERTICAL	11' - 11 1/2"	1' - 11 1/2"	12' - 0"	2' - 0"	6' - 0"	20 SF	0 SF	0.33	0.24	
3	FIXED - 2 PANE	5' - 11 1/2"	5' - 11 1/2"	6' - 0"	6' - 0"	8' - 0"	32 SF	0 SF	0.33	0.24	
3	FIXED - 2 PANE	7' - 11 1/2"	5' - 11 1/2"	8' - 0"	6' - 0"	8' - 0"	44 SF	0 SF	0.33	0.24	
4	CASEMENT - 2 PANE	5' - 11 1/2"	5' - 11 1/2"	6' - 0"	6' - 0"	8' - 0"	29 SF	29 SF	0.33	0.24	
4	CASEMENT - 2 PANE	5' - 11 1/2"	5' - 11 1/2"	6' - 0"	6' - 0"	8' - 0"	29 SF	29 SF	0.33	0.24	
5	CASEMENT - 1 PANE	2' - 11 1/2"	5' - 11 1/2"	3' - 0"	6' - 0"	8' - 0"	15 SF	15 SF	0.33	0.24	
5	CASEMENT - 1 PANE	2' - 11 1/2"	5' - 11 1/2"	3' - 0"	6' - 0"	8' - 0"	15 SF	15 SF	0.33	0.24	

DOOR SCHEDULE

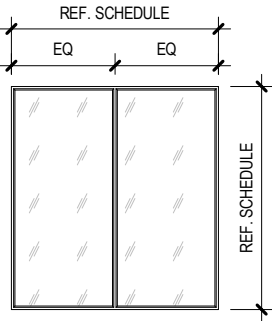
DOOR	TYPE	DESCRIPTION	WIDTH	HEIGHT	R. WIDTH	R. HEIGHT	GLAZING	VENT.	U-VALUE	SHGC	COMMENTS	FUNCTION
1	A	SWING DOOR - FULL GLASS	3' - 0"	8' - 0"	3' - 2 1/2"	8' - 2 1/2"	24 SF	24 SF	0.44	0.23		Exterior
2	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 8"	8' - 0"	2' - 10 1/2"	8' - 2 1/2"				0		Interior
3	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
4	C	INTERIOR - DOUBLE SLIDER	5' - 0"	8' - 0"	5' - 2 1/2"	8' - 2 1/2"				0		Interior
5	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 8"	8' - 0"	2' - 10 1/2"	8' - 2 1/2"				0		Interior
6	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
7	D	INTERIOR - SOLID CORE - POCKET DOOR	2' - 8"	8' - 0"	5' - 6 1/2"	8' - 2 1/2"				0		Interior
8	E	SLIDING GLASS - 3 PANELS	12' - 0"	8' - 0"	12' - 0 1/2"	8' - 0 1/2"	84 SF	56 SF	0.44	0.23		Exterior
9	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 8"	8' - 0"	2' - 10 1/2"	8' - 2 1/2"				0		Interior
10	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
11	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 0"	8' - 0"	2' - 2 1/2"	8' - 2 1/2"				0		Interior
12	E	SLIDING GLASS - 3 PANELS	12' - 0"	8' - 0"	12' - 0 1/2"	8' - 0 1/2"	84 SF	56 SF	0.44	0.23		Exterior
13	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
14	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 8"	8' - 0"	2' - 10 1/2"	8' - 2 1/2"				0		Interior
15	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
16	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
17	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 8"	8' - 0"	2' - 10 1/2"	8' - 2 1/2"				0		Interior
18	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 8"	8' - 0"	2' - 10 1/2"	8' - 2 1/2"				0		Interior
19	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
20	B	INTERIOR - SOLID CORE - SWING DOOR	2' - 6"	8' - 0"	2' - 8 1/2"	8' - 2 1/2"				0		Interior
21	E	SLIDING GLASS - 2 PANELS	8' - 0"	8' - 0"	8' - 0 1/2"	8' - 0 1/2"	56 SF	28 SF	0.44	0.23		Exterior



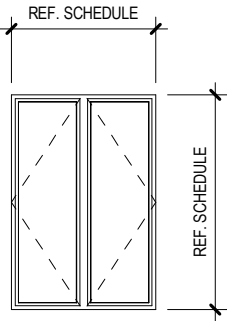
ALUMINUM - 3 PANE FIXED WINDOW



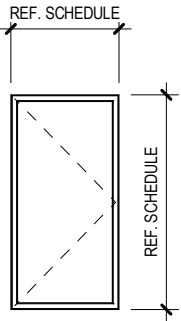
ALUMINUM - 1 PANE
FIXED WINDOW



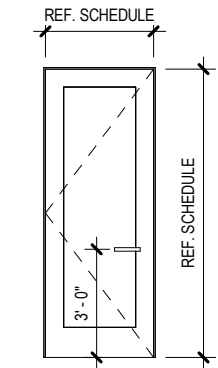
ALUMINUM - 2 PANE FIXED WINDOW



ALUMINUM CASEMENT
2 PANE WINDOW

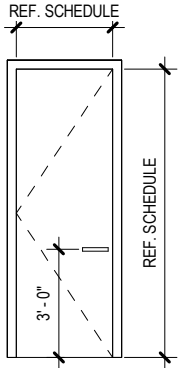


ALUMINUM CASEMENT
2 PANE WINDOW



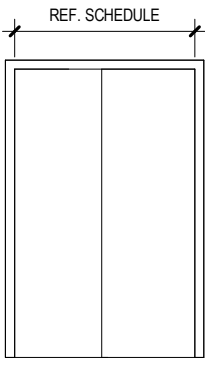
A EXTERIOR DOOR - WOOD
FRAME, METAL DOOR

HARDWARE
HANDLE SET LEVER



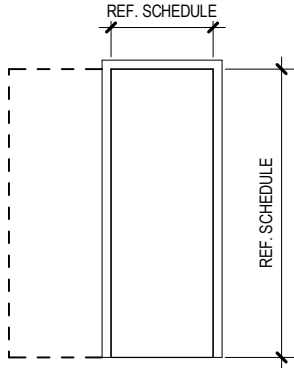
B INTERIOR DOOR
SWING DOOR

HARDWARE
PRIVACY LEVER /
PASSAGE LEVER



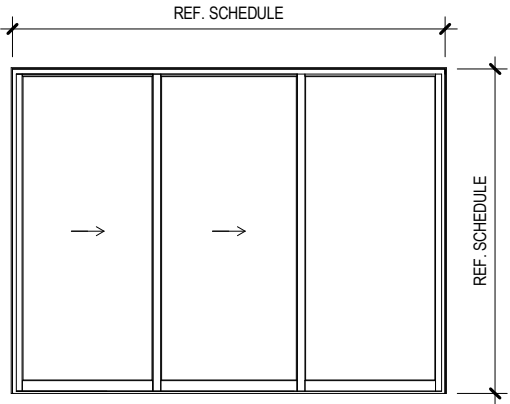
C NTERIOR DOUBLE
SLIDER

HARDWARE
PER MFR



D INTERIOR DOOR
POCKET DOOR

HARDWARE
PER MFR



E EXTERIOR SLIDING GLASS DOOR
SLIDE DIRECTION PER PLAN

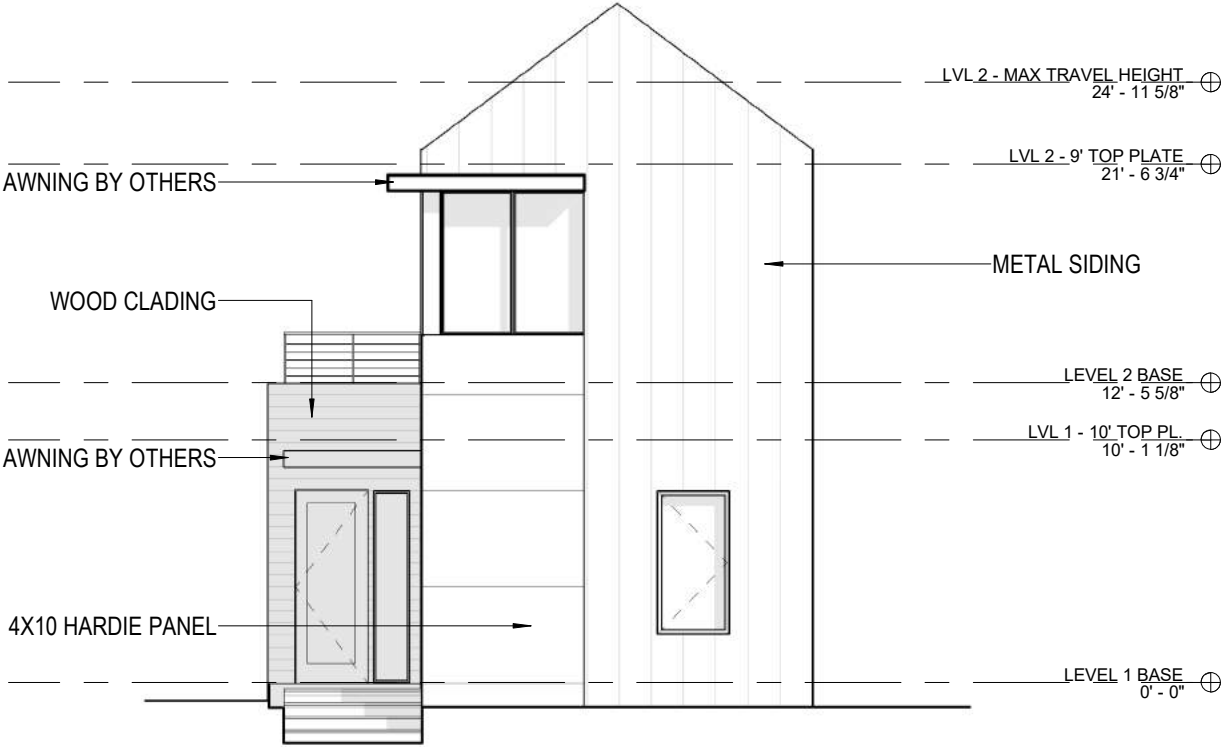
HARDWARE
PER MFR

NO.	DATE	ISSUE DESCRIPTION

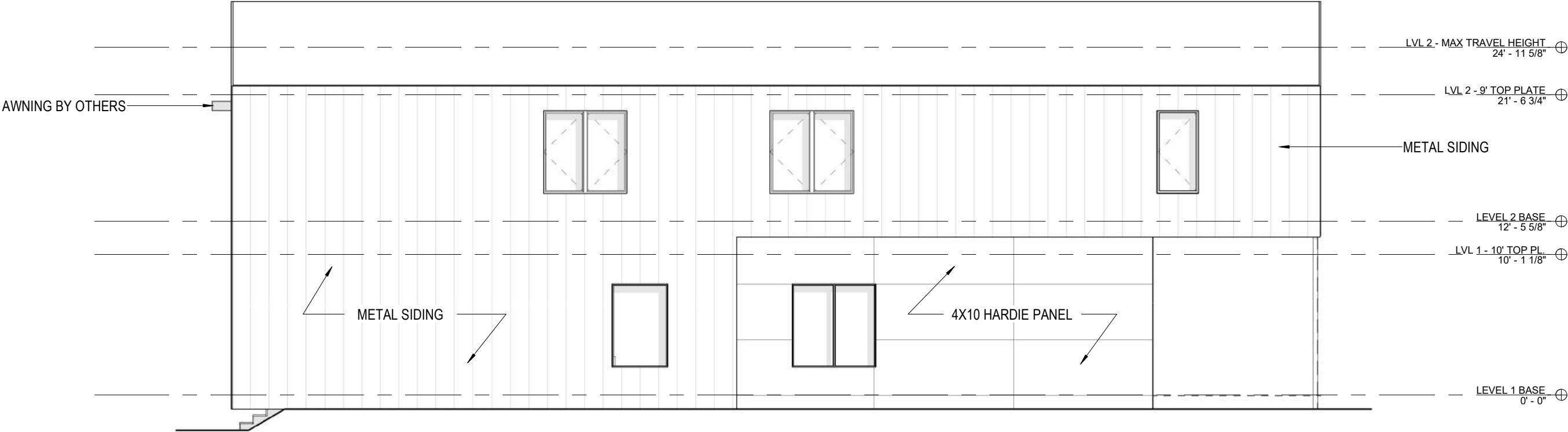
SCHEDULES

NOTES:

1. FOUDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET VENT AREA PER 1/150TH OF THE FLOOR AREA AND 18"X24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION, REVIEW AND APPROVAL.



FRONT ELEVATION

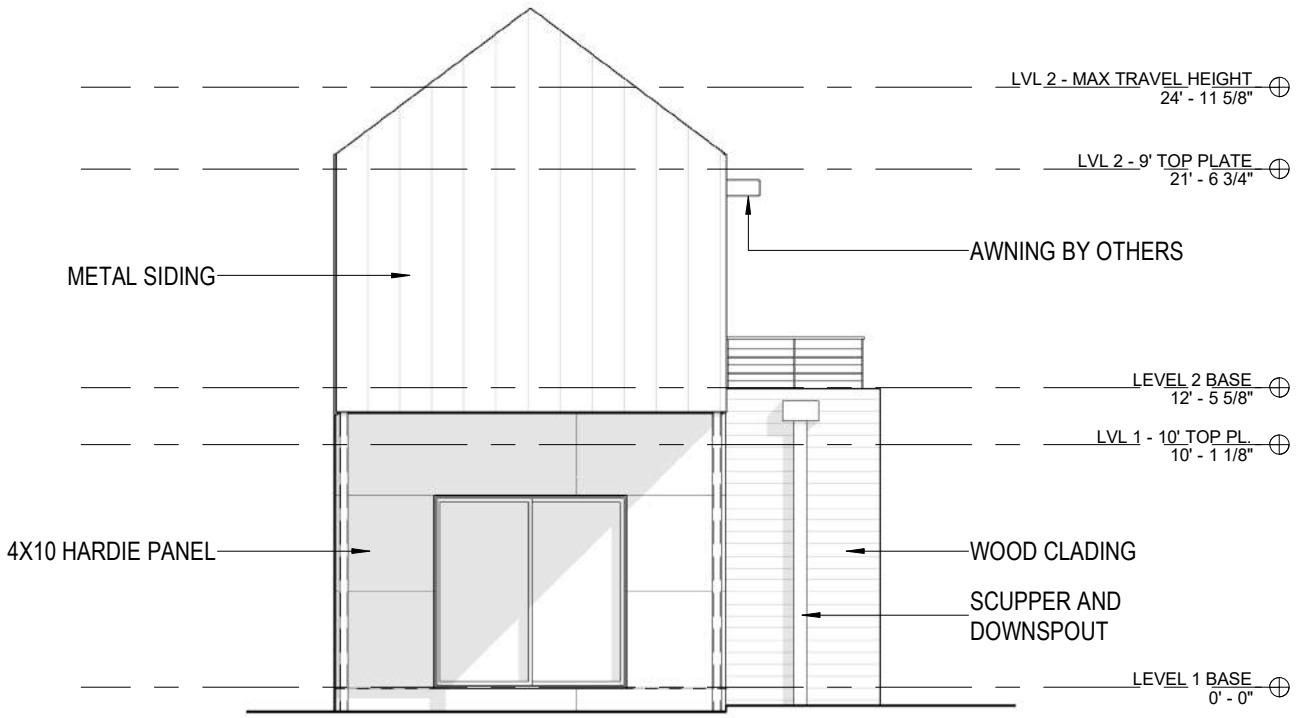


RIGHT

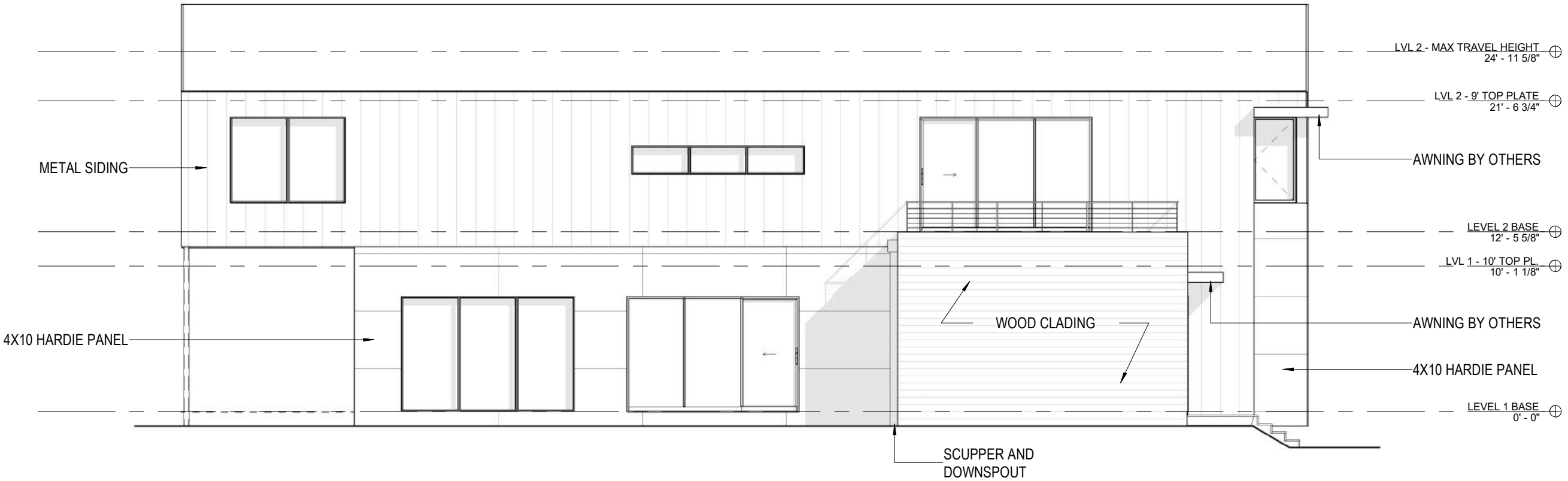
NO.	DATE	ISSUE DESCRIPTION

NOTES:

1. FOUDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET VENT AREA PER 1/150TH OF THE FLOOR AREA AND 18"X24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION, REVIEW AND APPROVAL.



BACK ELEVATION



LEFT ELEVATION

NO.	DATE	ISSUE DESCRIPTION