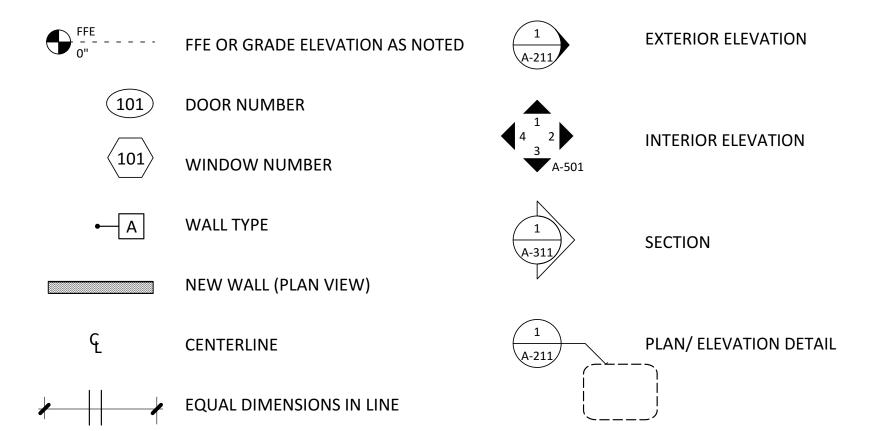
SYMBOL LEGEND



PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 27-29 BLK 16 HYDE PARK ADDITION No. 2

ZONING: SF-3-HD-NCCD-NP

YEAR CONSTRUCTED: 1930

APPLICABLE CODES: International Residential Code, 2021

OCCUPANCY: R-1 **CONSTRUCTION TYPE:** V-B

ABBREVIATIONS

EXST'G Existing EXT Exterior

& #	And	EQ	Equal Spacing, Equivalent	MFGR	Manufacturer	S	South
	Pound	EQUIP	Equipment	MAX	Maximum	SALV	Salvage
Ď.	At	EXH	Exhaust	MECH	Mechanical	SAU	Self-Adhering Underlayment
		EXST'G	<u> </u>	M/E	Mechanical/Electrical	SCH'D	Scheduled
./C	Air Conditioning	EXT	Exterior	MEP	Mechanical, Electrical,	SECT	Section
	Acoustical				& Plumbing	SEP	Seperate, Seperated
	Additional	FAR	Floor-Area Ratio	MIN	Minimum	SF	Square Feet
'DJ	Adjacent	FF(E)	Finished Floor (Elevation)	MISC	Miscellaneous	SHT	Sheet
AFF	Above Finish Floor	FIN	Finish(ed)	MTD	Mounted	SIM	Similar
\HJ	Authority Having Jurisdiction	FIXT	Fixture	MTL	Metal	SHTG	Sheathing
λHU	Air Handling Unit	FLR	Floor			SK	Sink
APPROX	Approximately	FT	Feet, Foot	N	North	SMACN	A Sheet Metal & Air Conditior
ARCH	Architect	FTG	Footing	NA	Not Applicable		National Association, Inc.
STM	American Society for Testing	FV	Field Verify	NIC	Not in Contract	SPECS	Specifications
	& Materials	FV HT	Field Verify Height	NO	Number	SPEC'D	Specified
			, 0	NSF	Net Square Feet	SQ	Square
BFE	Base Flood Elevation	GA	Gauge	NTE	Not to Exceed	SS	Stainless Steel
3RD	Board	GALV	Galvanized	NTS	Not to Scale	STL	Steel
BLDG	Building	GC	General Contractor			STRUCT	Structural
BDRM	Bedroom	GFCI	Ground Fault Circuit Interrupt	OC	On Center	SUSP	Suspended
BTM	Bottom	GL	Glass	OCEW	On Center Each Way	SW	Switch
BTWN	Between	GM	Gas Meter	OP'G	Opening	SYM	Symmetrical
		GPM	Gallons Per Minute	OVHD	Overhead	• • • • • • • • • • • • • • • • • • • •	· · · · · · · · · · · · · · · · · · ·
CAB	Cabinet	GR	Grade	OZ	Ounce	T&G	Tongue & Groove
В	Corner Bead	GRND	Ground	02	Carree	TEMP	Temporary, Tempered
CF	Cubic Feet	GSF	Gross Square Feet	P&I	Provide & Install	THK	Thick
CJ	Control Joint		Gypsum Wall Board	PC	Photo Cell	TOT	Total
CL	Centerline	GII DD	Gypsum wan board	PG	Page	TOW	Top of Wall
CLG	Ceiling	НВ	Hose Bib	PL	Plate or Plateline	TRTD	Treated
CLO	Closet	HDR	Header	1 L	riate of Flatenine	TYP	Typical
CLR	Clear	HDWR	Hardware	PR	Pair	H	Турісаі
COL	Column	HORIZ	Horizontal	PSF	Pounds Per Square Foot	UC	Under Counter
COMP	Composite	HR	Hour	PSI	Pounds Per Square Inch	UCR	Under Counter Refrigerator
CONC	Concrete				Pressure Treated		_
CONST	Construction	HT	Height	PT		UL	Underwriter's Laboratory
CONT	Continuous	HTG	Heating	PTD	Painted	UNFIN	Unfinished
	Coordinate, Coordination	HVAC	Heat/Ventilation/	PVC	Polyvinyl Chloride	UNO	Unless Noted Otherwise
CRZ	Critical Root Zone		Air Conditioning	PVMT	Pavement	\	
			115 . (71)	PWD	Plywood	VB	Vapor Barrier
CVR	Cover	I.E.	Id Est (That Is)			VERT	Vertical
CW	Cold Water	IN	Inches	QTR	Quarter	VFY	Verify
_	D D 11 D	INAC	Inaccessible	_			
)	Deep, Depth, Dryer	INCL	Including	R	Radius/Refrigerator	W	Wide, Width, West,
DBL	Double	INFO	Information	RCP	Reflected Ceiling Plan		Washing Machine
DEMO	Demolish, Demolition	INSUL	Insulation	-	Reference	W/	With
OH	Double Hung	INT	Interior	REINF	Reinforced	W/O	Without
NΑ	Diameter			REQ'D	Required	W/D	Stackable Washer Dryer
DIAG	Diagonal, Diagonally	JNT	Joint		S Requirements	WD	Wood
N	Down	JST	Joist	REV	Revision	WDW	Window
S	Downspout			RFG	Roofing	WH	Water Heater
W	Dishwasher	KIT	Kitchen	RM	Room	WM	Water Meter
WG	Drawing			RO	Rough Opening	WP	Waterproofing
WR	Drawer	L	Length	ROW	Right of Way	WT	Weight
		LAM	Laminated				
	East	LAV	Lavatory			YD	Yards
A	Each	LB(S)	Pound(s)				
J	Expansion Joint	LF	Linear Foot				
М	Electric Meter	LOC	Limits of Construction				
Q	Equal Spacing, Equivalent	LP	Light Pole or Lightning Protection				
QUIP	Equipment	LT	Light				
XST'G	Existing	LVR	Louver				
XT	Exterior	-•					



RESTORATION AND NEW ADDITION

4210 AVENUE C

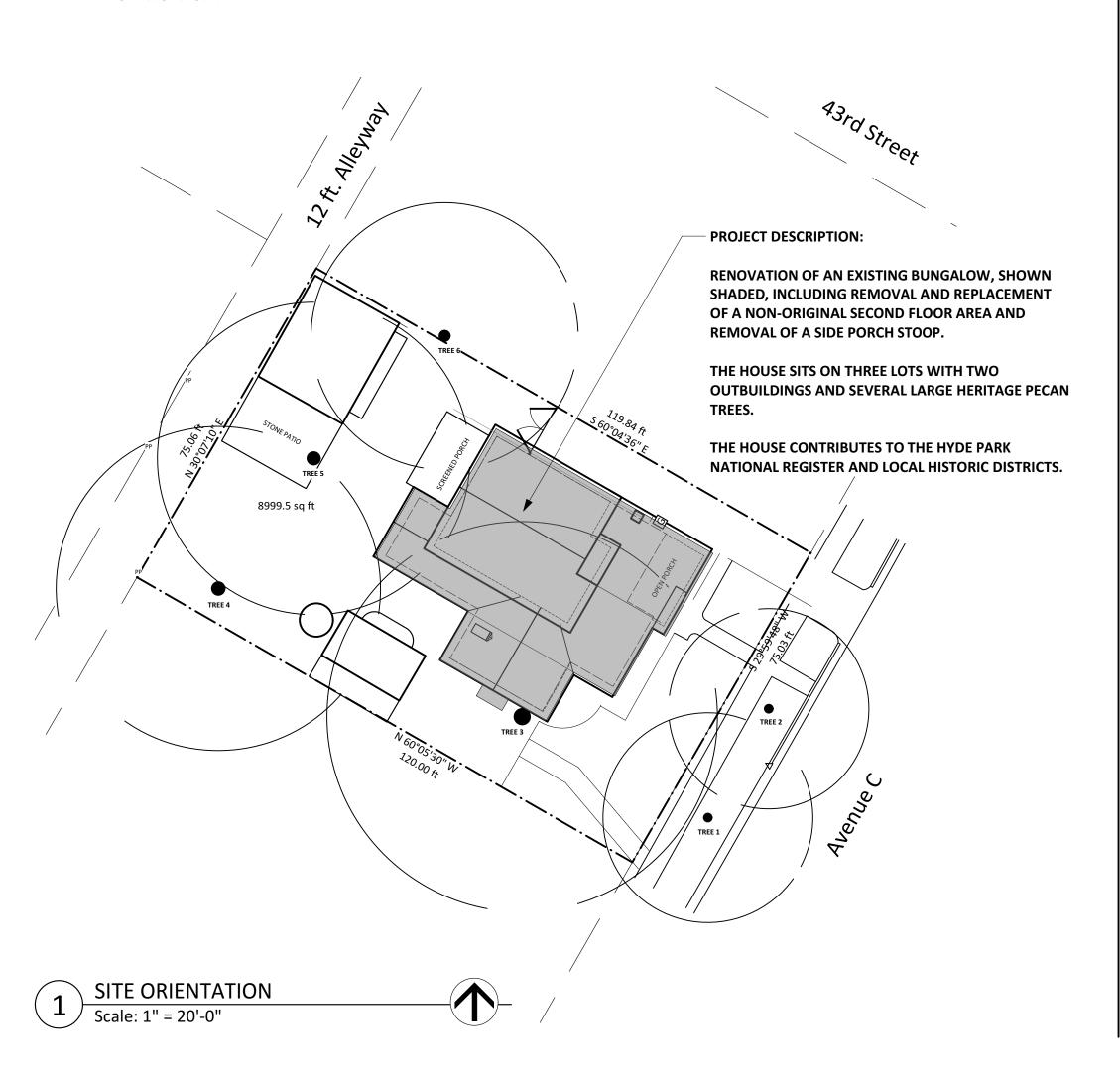
HYDE PARK

ARCHITECTURE

O'CONNELL ARCHITECTURE, LLC TERESA O'CONNELL, AIA 3908 AVENUE B, SUITE 309 AUSTIN, TEXAS 78751 512.751.1374

STRUCTURAL ENGINEERING

TSEN ENGINEERING 210 BARTON SPRINGS RD., SUITE 250 AUSTIN, TEXAS 78704 512.474.4001



HISTORIC LANDMARK COMMISSION LIST OF DRAWINGS

ADCHITECTUDAL

ARCHITECTURAL				
A-000	COVER SHEET			
A-101	SITE PLAN			
A-102	SETBACK COMPLIANCE PLAN			
A 103	SUBCHAPTER F TENT			
A-110	DEMOLITION PLANS			
A-121	FIRST FLOOR PLAN			
A-122	SECOND FLOOR PLAN			
A-123	ROOF PLAN			
A 131	REFLECTED CEILING PLANS			
A-211	DEMOLITION ELEVATIONS			
A-221	NORTH AND EAST ELEVATIONS			
A-222	SOUTH AND WEST ELEVATIONS			
A 301	BUILDING & WALL SECTIONS			
A 501	KITCHEN ELEVATIONS			
A-502	BATH ELEVATIONS			

WINDOW AND DOOR SCHEDULES FINISH SCHEDULE AND WALL TYPES S-001 **STRUCTURAL NOTES**

STRUCTURAL NOTES S-002 **FOUNDATION PLAN** S-121 **SECOND FLOOR FRAMING PLAN** S-122 S-123 **CEILING FRAMING PLAN** S-124 **ROOF FRAMING PLAN** S-125 **BRACED WALL PLANS FRAMING DETAILS** S-401 FRAMING DETAILS S-402 **WOOD DETAILS - FROM IRC**

GENERAL NOTES

- 1. All work shall be performed in a professional matter, and in accordance with the International Residential Code, 2021, related trade codes, and applicable local codes, ordinances
- 2. Base drawings used in these documents may contain small dimensional discrepancies. Contractor shall verity critical dimensions before beginning work. Do not scale drawings. Ask Architect for needed dimensions if not provided.
- 3. This property is a contributing building in the Hyde Park National Register Historic District and the Hyde Park Local Historic District. Historic designation of this building requires the Contractor and his subcontractors to exercise special caution in executing the work to prevent unnecessary damage to historic features, conditions, or materials. Contractor shall inform all subcontractors and workmen of these requirements.
- 4. The Contractor shall thoroughly example and familiarize himself with the requirements of the Contract Documents. Any conflicts shall be brought to the Architect's attention for resolution prior to the work being installed.
- 5. Perform all work in a safe and conscientious manner to prevent injuries and damage to the building and workers. Contractor shall maintain OSHA Standards for job safety and worker protection, and comply with applicable state and local government requirements.
- 6. Building permitting will be coordinated by the Owner and Architect prior to construction. Contractor is responsible for all trade permits, inspections, and compliance requirements.
- 7. Maintain the building and site in a safe, clean and orderly
- 8. The Contractor shall visit the site of the proposed work and full acquaint himself with the existing conditions regarding site access, staging, parking limitations, security, and other aspects of constructibility.
- 9. The Contractor shall coordinate work between all trades in this contract to ensure a smooth and timely workflow.
- 10. All work to be warranted for one year from the date of Substantial Completion unless otherwise noted.





AUSTIN, TEXAS 78751

and .

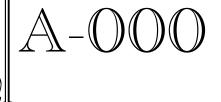
Mark Floreani

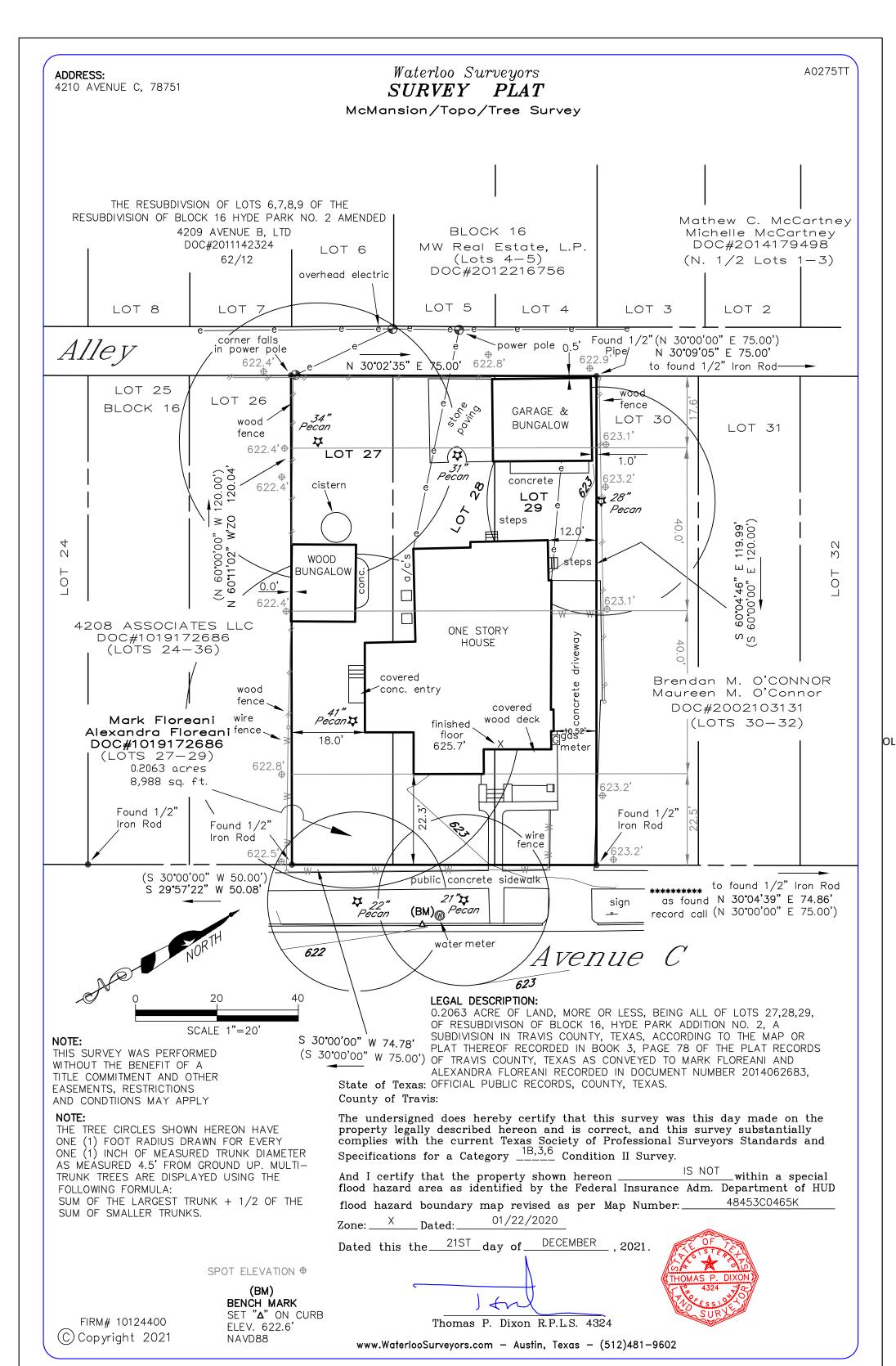
ISSUE DATE PERMIT SET: 2/9/2022

SHEET NAME

COVER SHEET

SHEET NUMBER





TREE SURVEY:

Location Notes Not in Area of Construction Protected Median near street Not in Area of Construction 2 21" Pecan Protected Median near street

3	41"	Pecan	Heritage	South corner of house	Install wired 2x4 trunk protection; prune no more than 20% of canopy by certified arborist; provide mulch topping in full exposed area of CRZ
4	34"	Pecan	Heritage	West corner of site	Ref: Protection Notes
5	31"	Pecan	Heritage	Center rear of site	Ref: Protection Notes
6	28"		Heritage	Adjacent property to the north	Ref: Protection Notes

SITE PROTECTION NOTES:

HOUSE: 1) Protect house from water infiltration, unauthorized access, during selective demo and

1) No grading required. Utility excavation, if required, must include additional tree protection as identified by a certified arborist, and may include air spading.

2) Erect tree protection fencing at perimeter of LOC. Where CRZ is unprotected outside of the fencing, install 6" mulch in unprotected area. Where fence is within 4" of trunk, install 2x4 strapped on planking up to 8', in addition to fence installation.

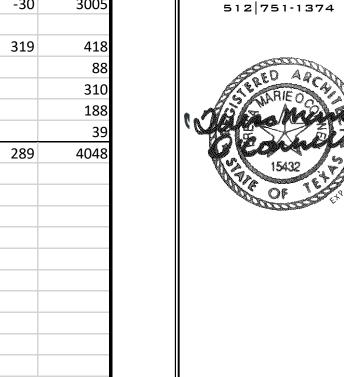
1) Should existing vegetation be damaged or lost during construction activities, install erosion and sedimentation controls per 25-8-181 of the Austin Land Development Code.

2) Debris disposal shall be provided by trailer, removed from site when full and on weekends. 3) The limited concrete needed for foundation pads will be bagged mix, no wash-out will be

4) Protect existing outbuildings and fencing from damage during construction activities.

SITE DEVELOPMENT CALCULATIONS:

		Existing	New	Total
First Floor	а	1852		1852
Second Floor	b	705	298	1003
Ground Floor Porches	i	484	-30	454
ADU		493		493
Outbuilding	k	206		206
Total Building Area		3740	268	4008
Total Building Coverage		3035	-30	3005
Driveway	ı	737	319	418
SIdewalks	m	88		88
Stone Patio	n	310		310
Concrete Pads	р	188		188
Rainwater Tank	q	39		39
Total Site Impervious Coverage		4397	289	4048
Lot Area		9000		
Existing Building Coverage		33.72%		
Final Building Coverage		33.39%		
Existing Impervious Coverage		48.86%		
Final Impervious Coverage		44.98%		
Existing FAR		0.36		
Final FAR		0.39		



ARCHITECTURE 3908 AVENUE B, #309

AUSTIN, TEXAS 78751

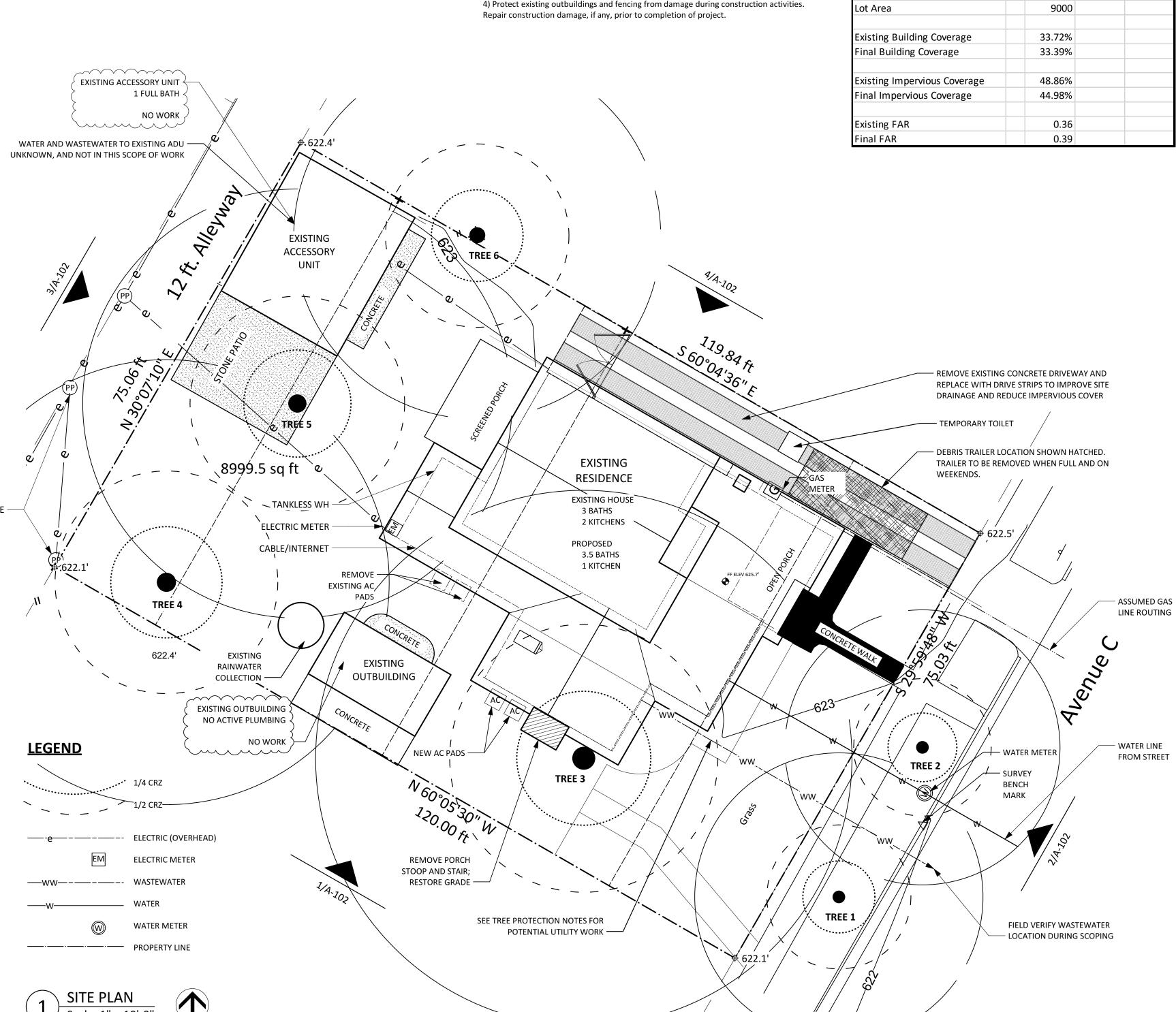
Floreani Mark and

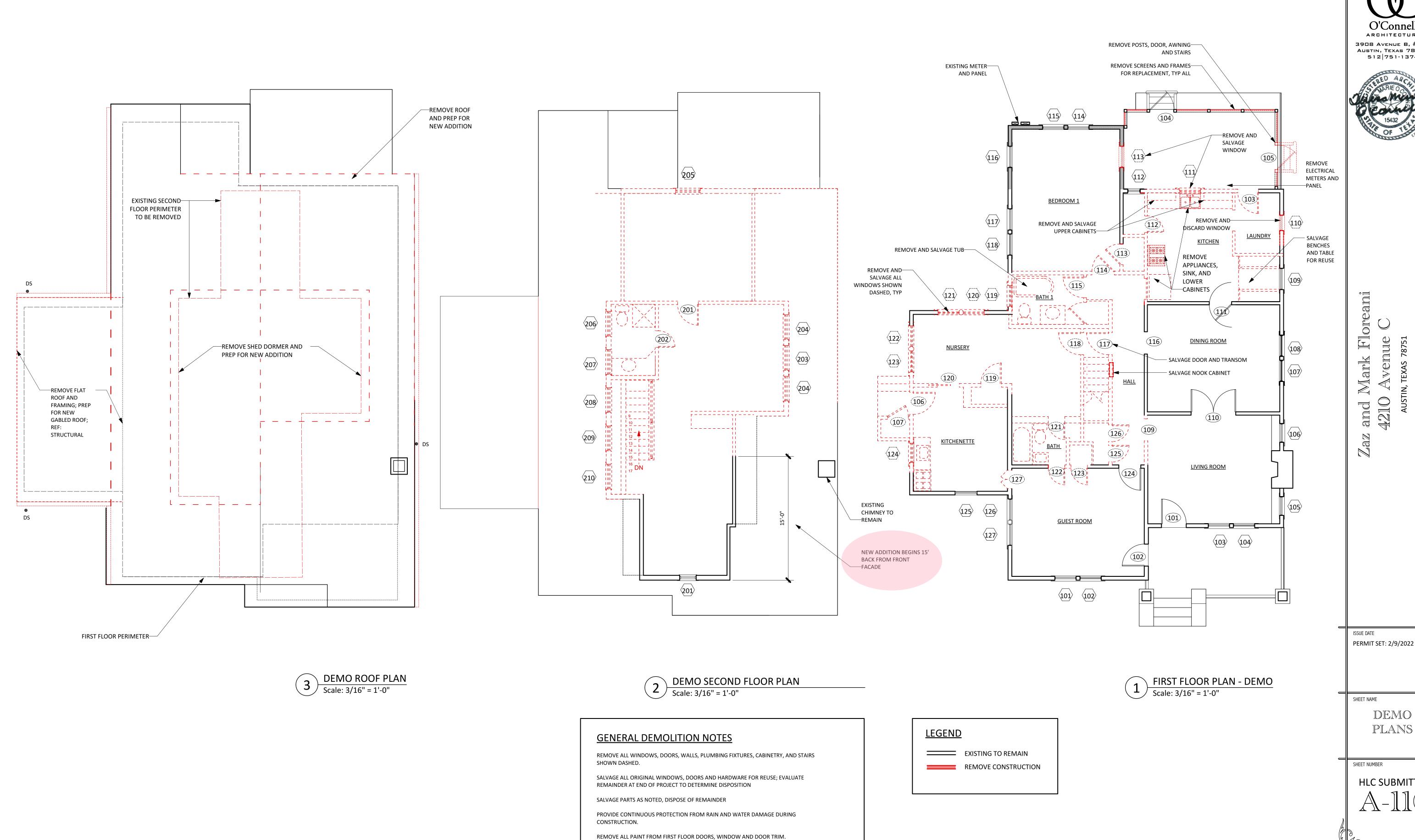
ISSUE DATE PERMIT SET: 2/4/2022

SHEET NAME

SITE PLAN

SHEET NUMBER





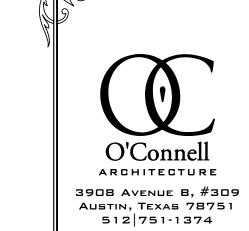
ARCHITECTURE





DEMO PLANS

HLC SUBMITTAL





Zaz and Mark Floreani 4210 Avenue C

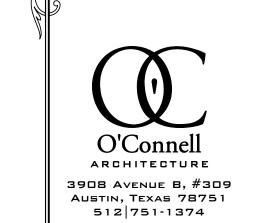
ISSUE DATE
PERMIT SET: 2/9/2022

SHEET NAME

FIRST FLOOR PLAN

SHEET NUMBER

HLC SUBMITTAL
A-121





and Mark Floreani 4210 Avenue C

ISSUE DATE

SHEET NAME

PERMIT SET: 2/9/2022

SECOND

FLOOR

PLAN

PLAN NOTES

1) Note of layout point for dimensions; confirm layout with architect prior to framing.

2) Refer to door, window, and finish schedules for additional information.

3) All interior and exterior painted surfaces to receive new paint unless noted otherwise. Remove paint and refinish trim where noted in finish schedule. Refinish wood floors.



NEW SECOND FLOOR PLAN



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and Mark Floreani 4210 Avenue C

ISSUE DATE PERMIT SET: 2/9/2022

SHEET NAME ROOF PLAN

SHEET NUMBER

HLC SUBMITTAL

NEW ROOF PLAN
Scale: 1/4" = 1'-0"

ARCHITECTURE

3908 AVENUE B, #309 Austin, Texas 78751 512 | 751-1374



PERMIT SET: 2/9/2022

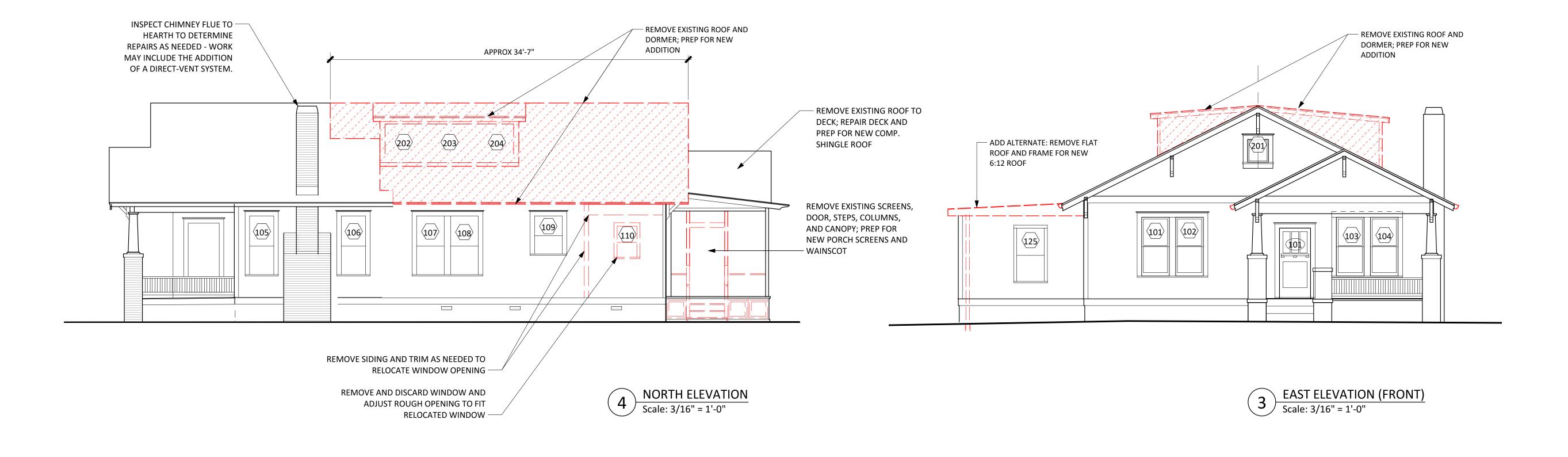
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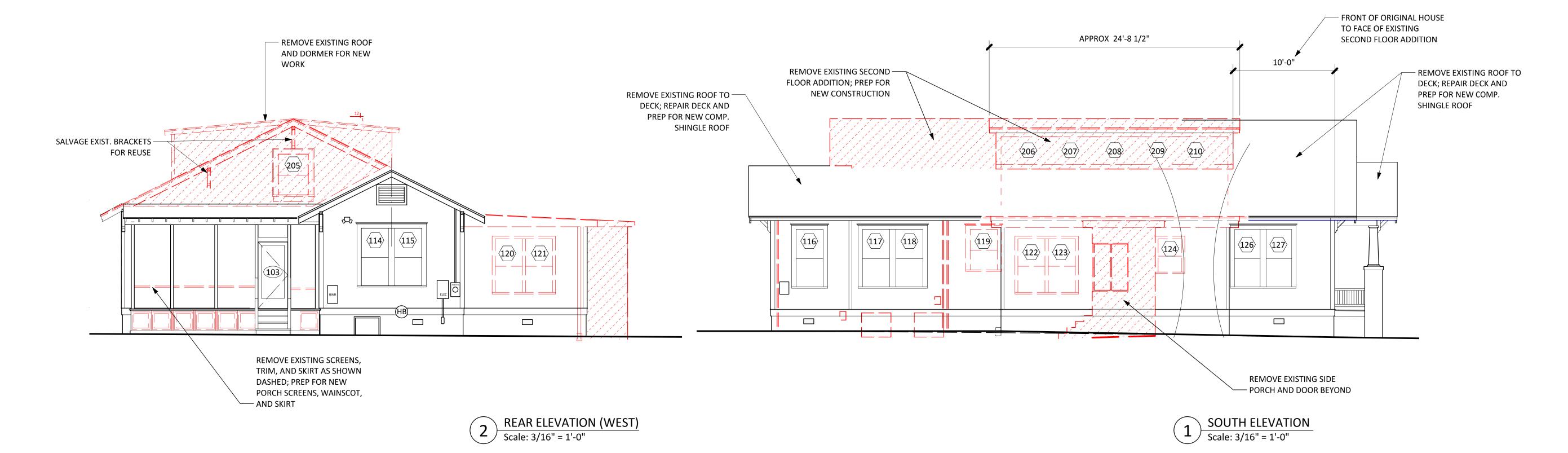
DEMO

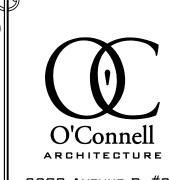
ELEVATIONS

SHEET NUMBER
HLC SUBMITTAL

A-211







3908 AVENUE B, #309 Austin, Texas 78751 512 | 751-1374



Mark Floreani Navenue C

and 4210

ISSUE DATE PERMIT SET: 2/9/2022

SHEET NAME NORTH & EAST ELEVATIONS

SHEET NUMBER **HLC SUBMITTAL**



O'Connell ARCHITECTURE

3908 AVENUE B, #309 Austin, Texas 78751 512|751-1374

ISSUE DATE PERMIT SET: 2/9/2022

SHEET NAME SOUTH & WEST ELEVATIONS

SHEET NUMBER

HLC SUBMITTAL