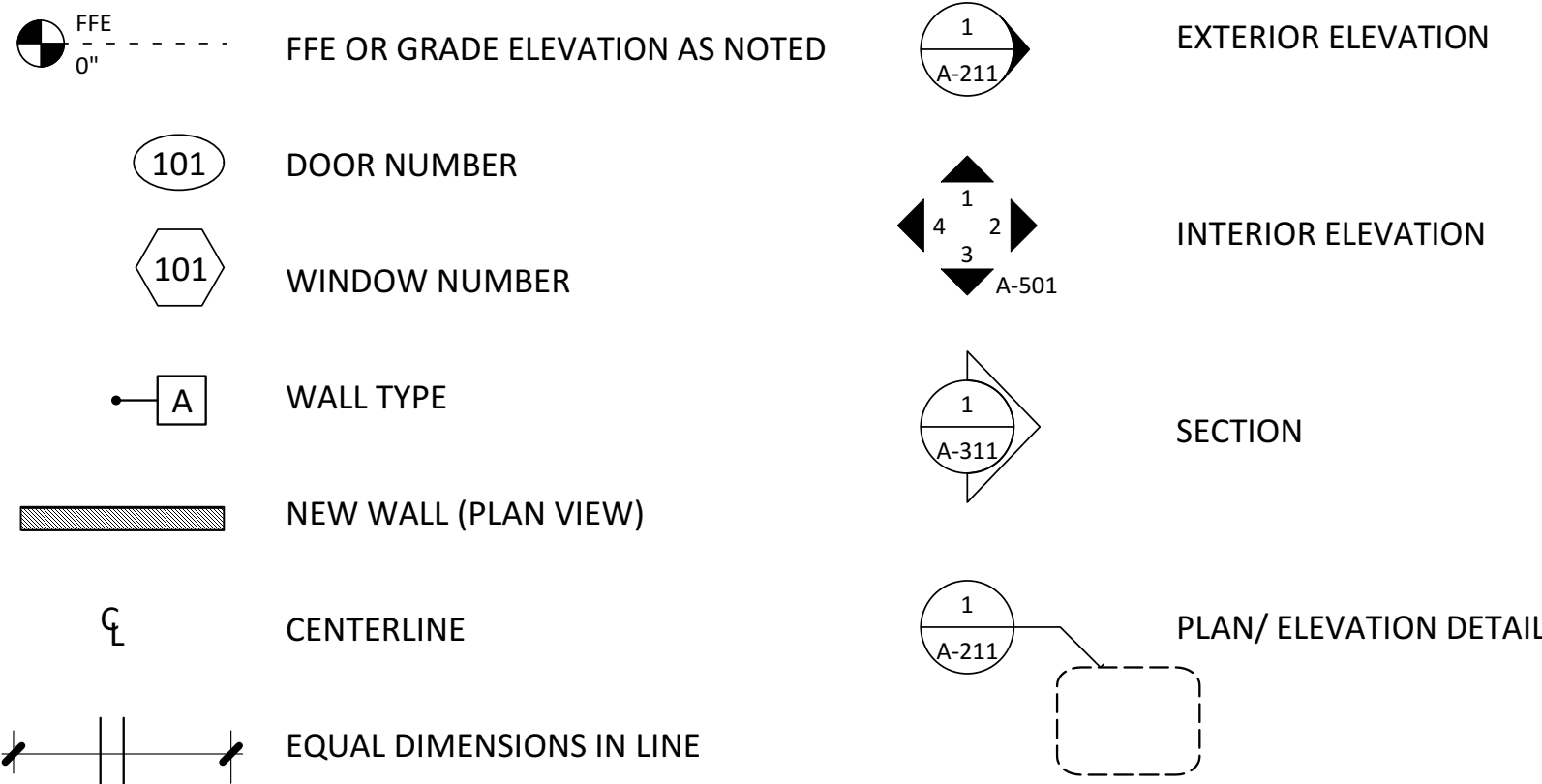
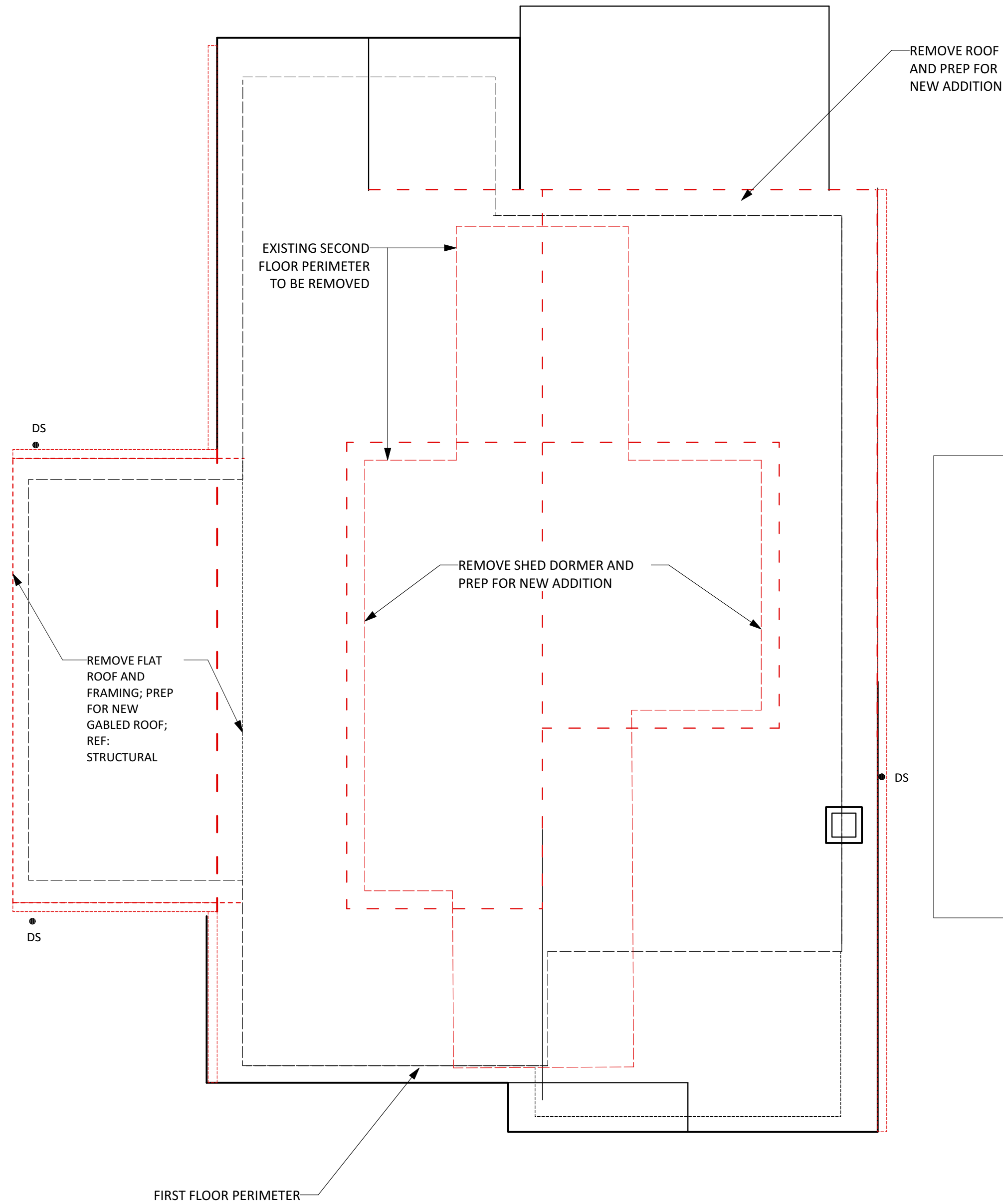
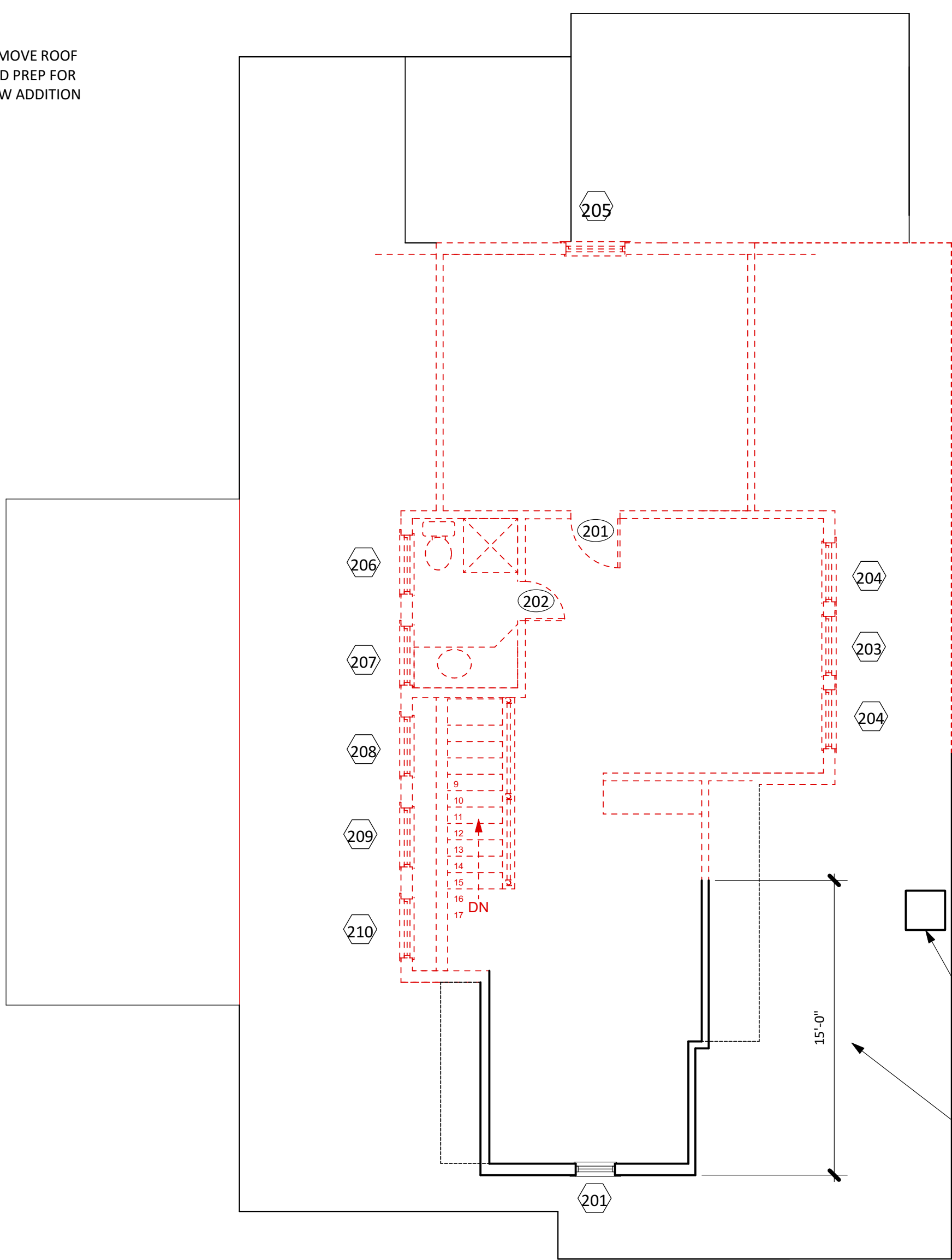


SYMBOL LEGEND

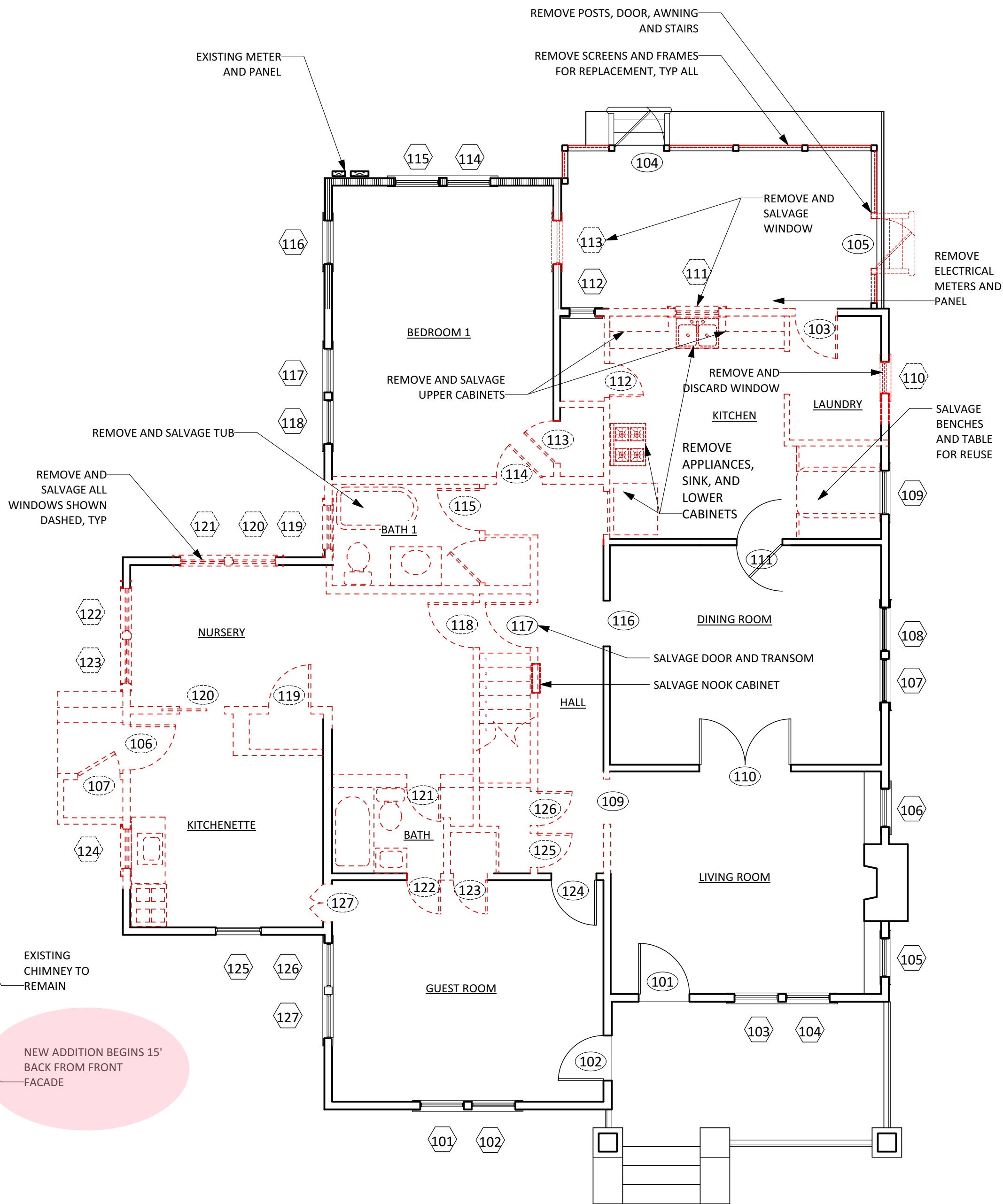




3 DEMO ROOF PLAN
Scale: 3/16" = 1'-0"



2 DEMO SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"



1 FIRST FLOOR PLAN - DEMO
Scale: 3/16" = 1'-0"

GENERAL DEMOLITION NOTES

REMOVE ALL WINDOWS, DOORS, WALLS, PLUMBING FIXTURES, CABINETRY, AND STAIRS SHOWN DASHED.

SALVAGE ALL ORIGINAL WINDOWS, DOORS AND HARDWARE FOR REUSE; EVALUATE REMAINDER AT END OF PROJECT TO DETERMINE DISPOSITION

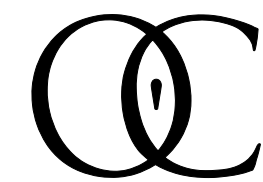
SALVAGE PARTS AS NOTED, DISPOSE OF REMAINDER

PROVIDE CONTINUOUS PROTECTION FROM RAIN AND WATER DAMAGE DURING CONSTRUCTION.

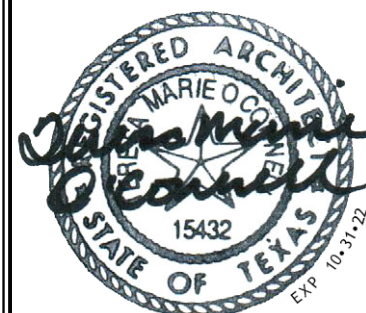
REMOVE ALL PAINT FROM FIRST FLOOR DOORS, WINDOW AND DOOR TRIM.

LEGEND

- EXISTING TO REMAIN
- REMOVE CONSTRUCTION



O'Connell
ARCHITECTURE
3908 AVENUE B, #309
AUSTIN, TEXAS 78751
512|751-1374

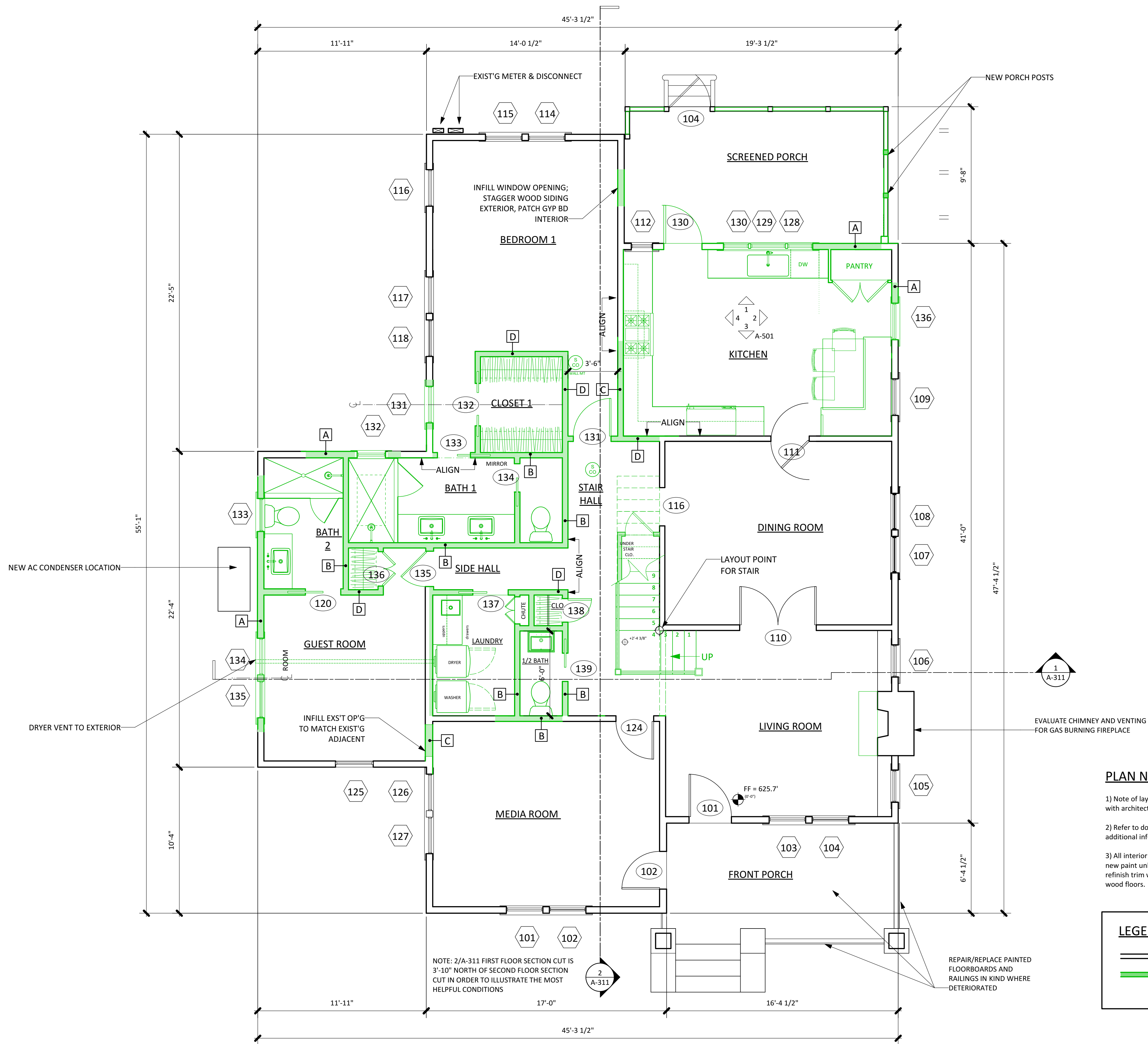


Zaz and Mark Floreani
4210 Avenue C
AUSTIN, TEXAS 78751

ISSUE DATE
PERMIT SET: 2/9/2022

SHEET NAME
DEMO
PLANS

SHEET NUMBER
HLC SUBMITTAL
A-110



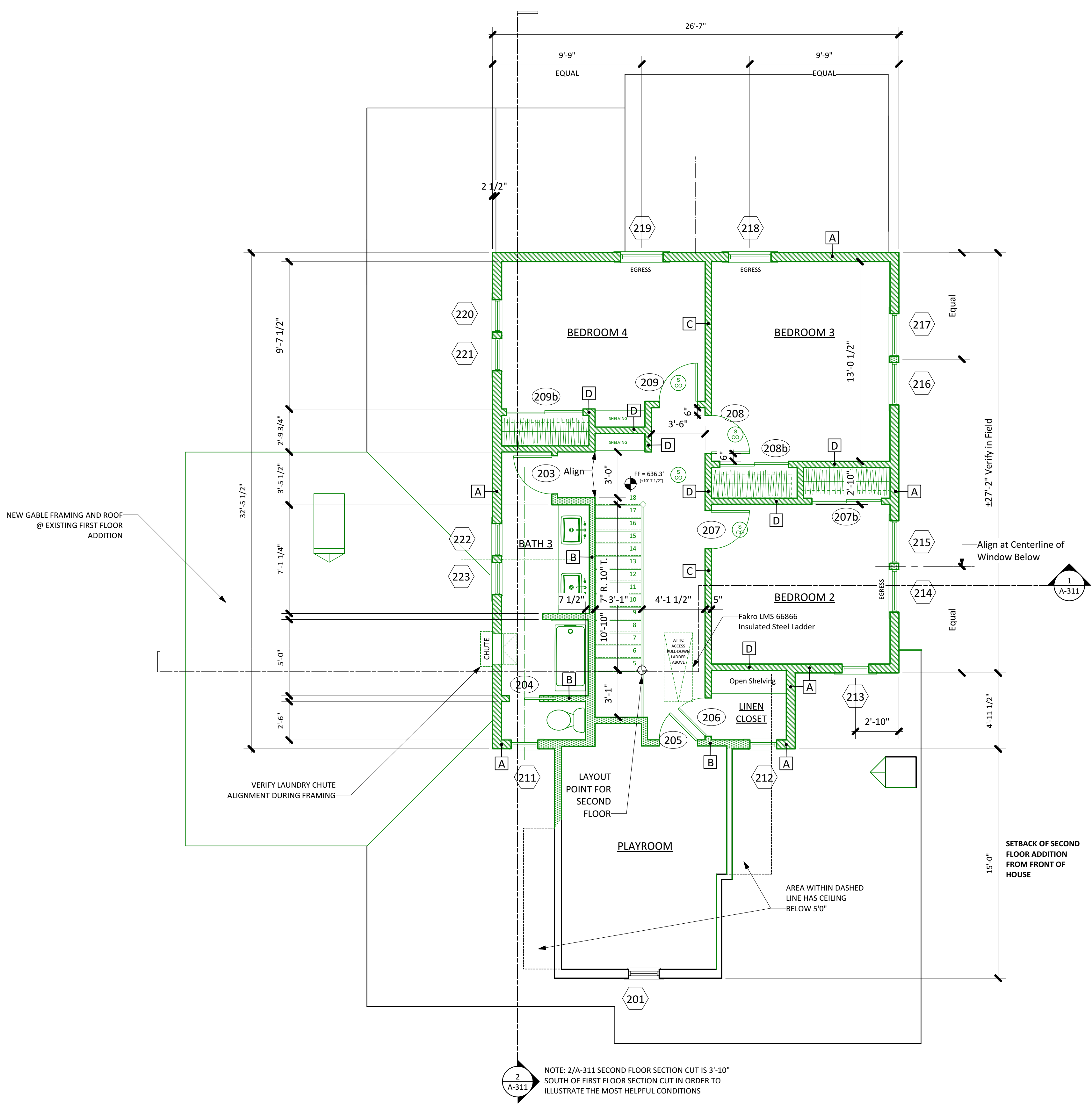
1 FIRST FLOOR PLAN - NEW
Scale: 1/4" = 1'-0"

PLAN NOTES

- Note of layout point for dimensions; confirm layout with architect prior to framing.
- Refer to door, window, and finish schedules for additional information.
- All interior and exterior painted surfaces to receive new paint unless noted otherwise. Remove paint and refinish trim where noted in finish schedule. Refinish wood floors.

LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- * DIMENSION MAY CHANGE PENDING LAYOUT



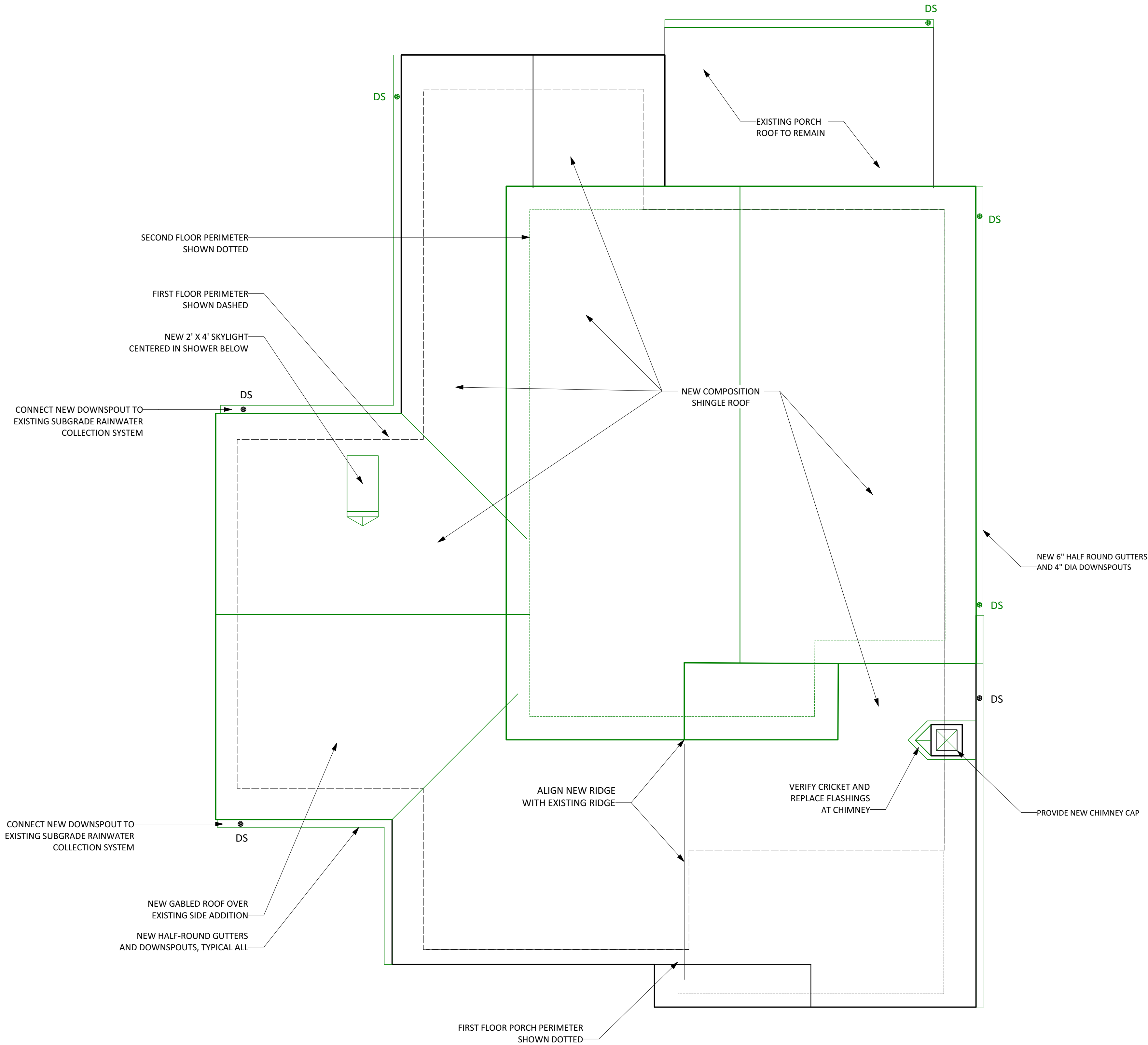
PLAN NOTES

- 1) Note of layout point for dimensions; confirm layout with architect prior to framing.
- 2) Refer to door, window, and finish schedules for additional information.
- 3) All interior and exterior painted surfaces to receive new paint unless noted otherwise. Remove paint and refinish trim where noted in finish schedule. Refinish wood floors.

LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION

1 NEW SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

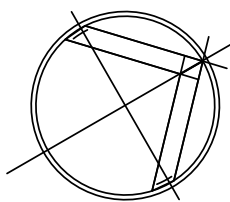


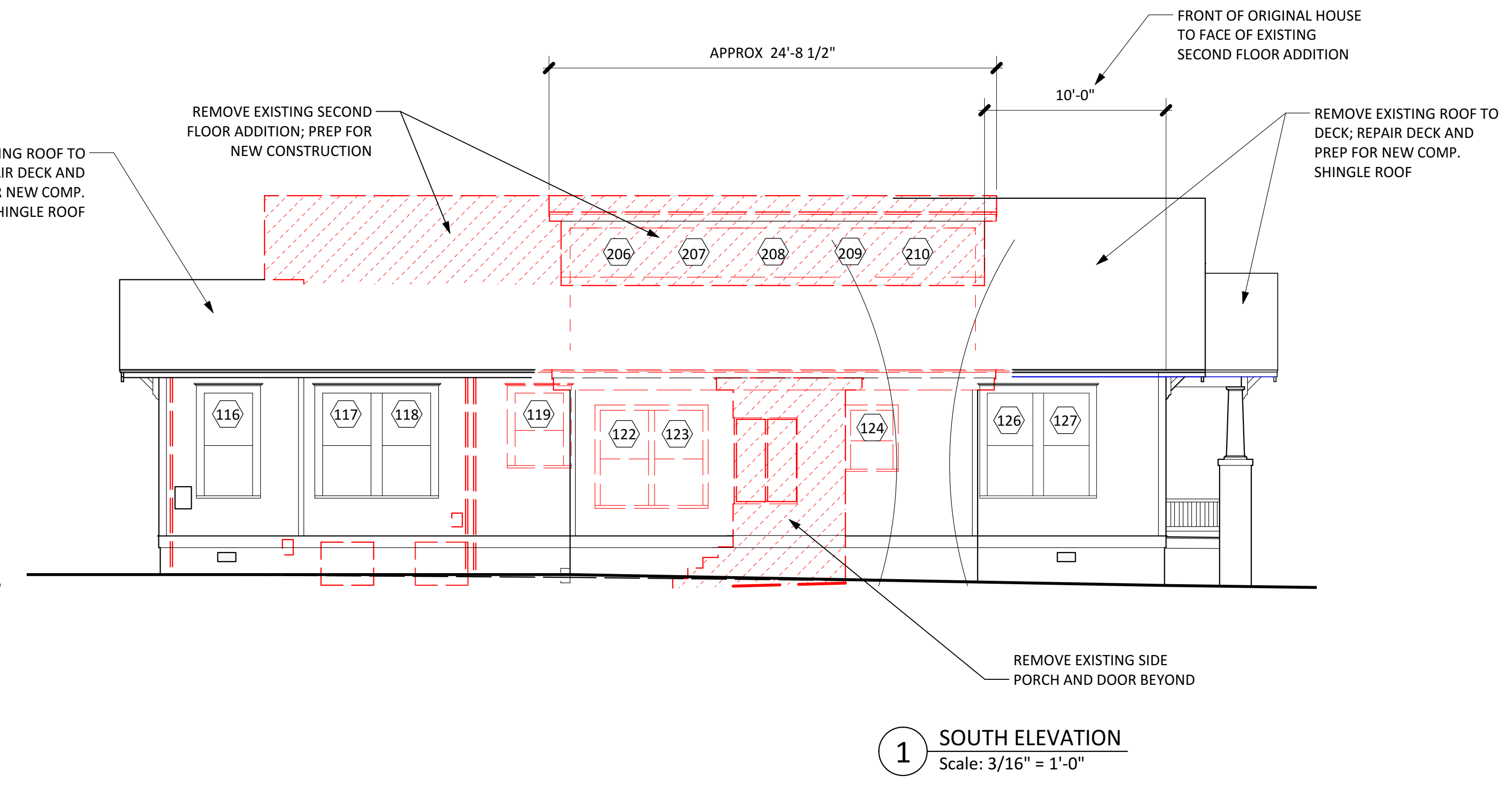
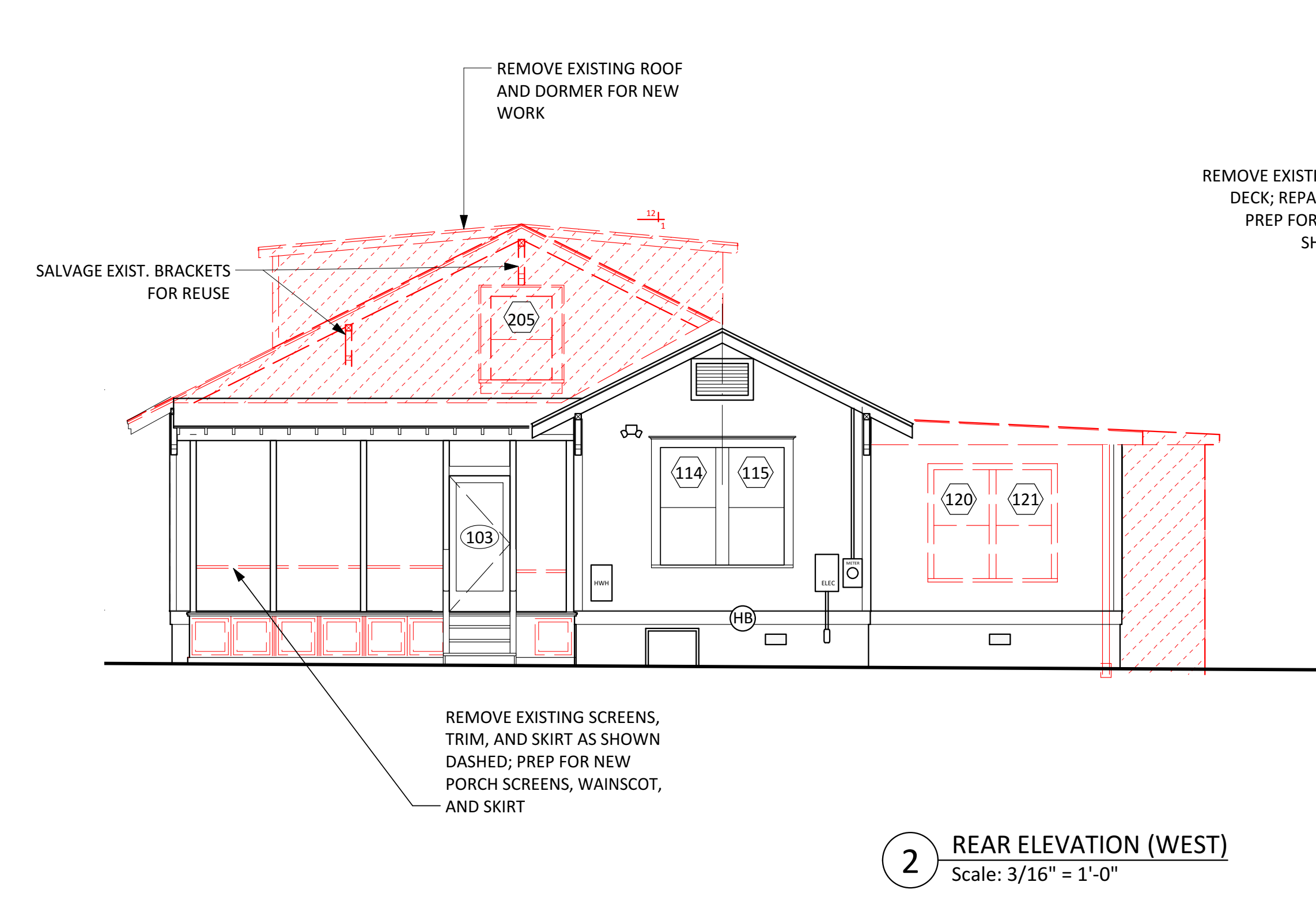
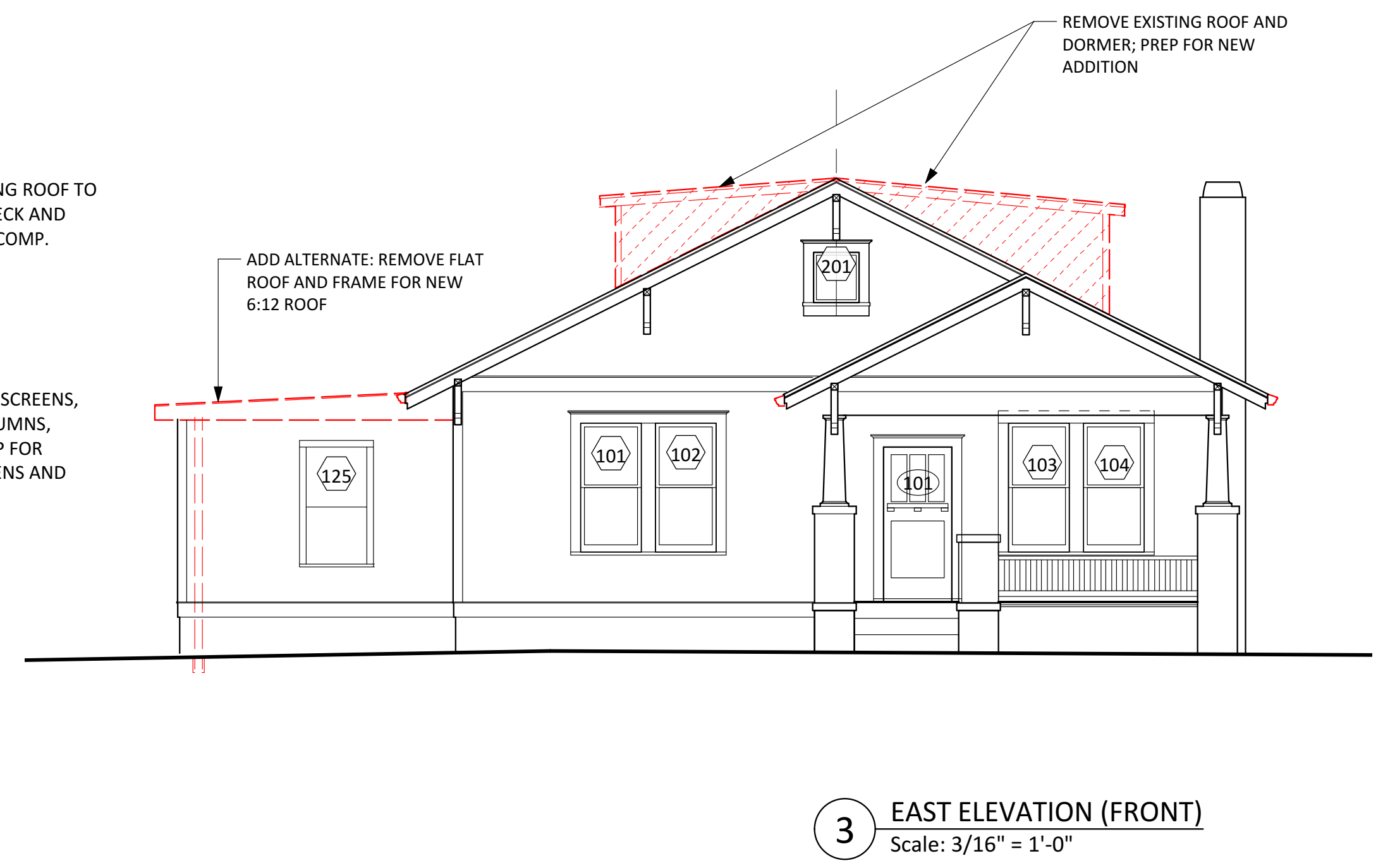
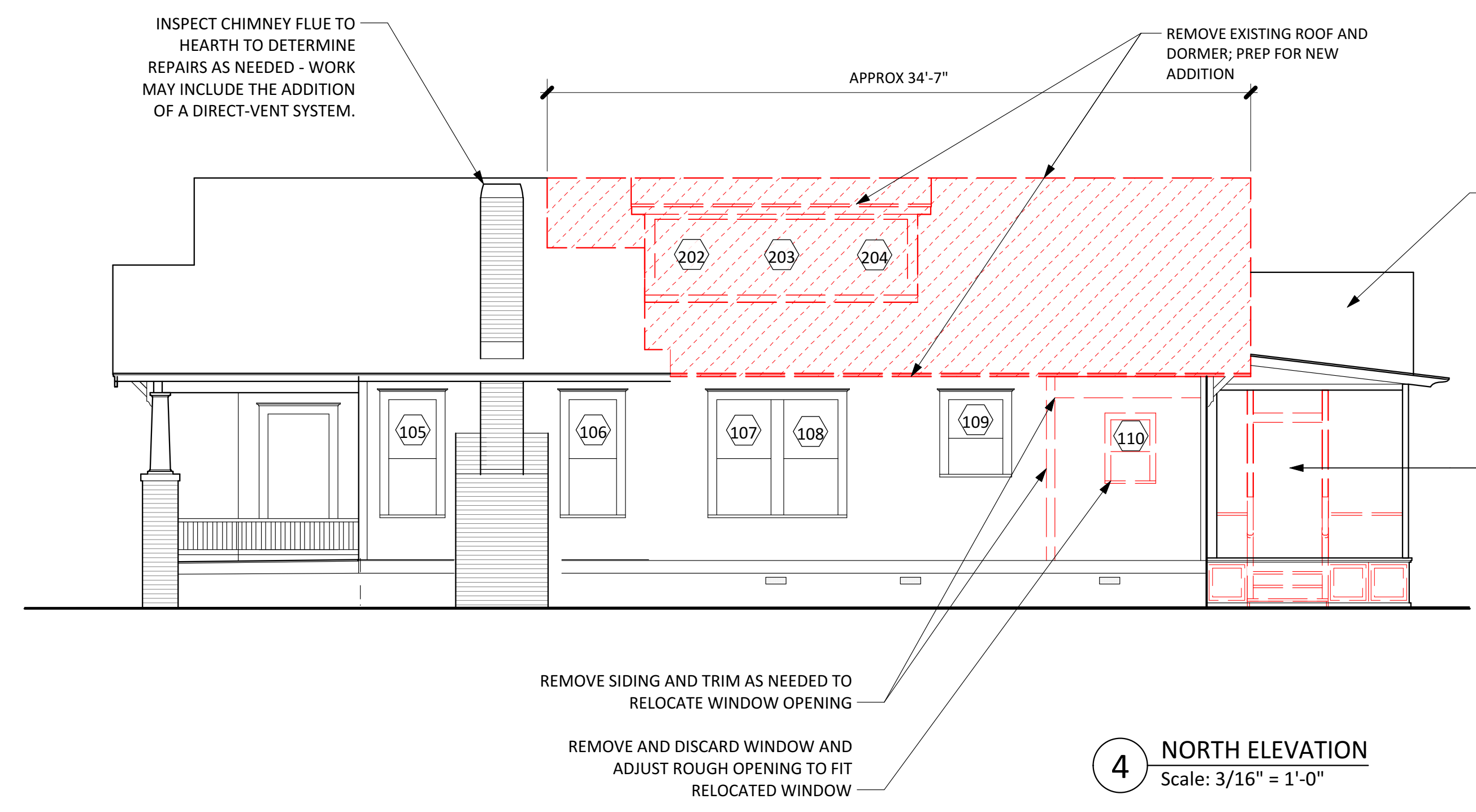
LEGEND

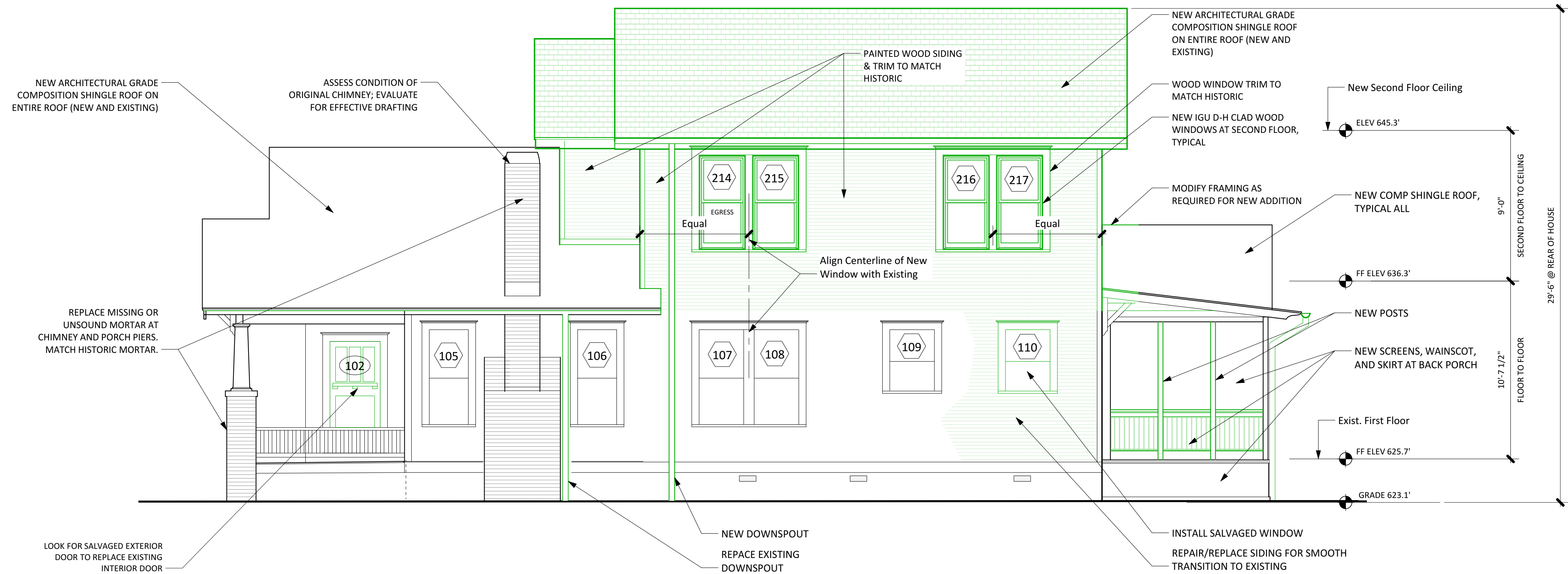
EXISTING TO REMAIN

NEW CONSTRUCTION

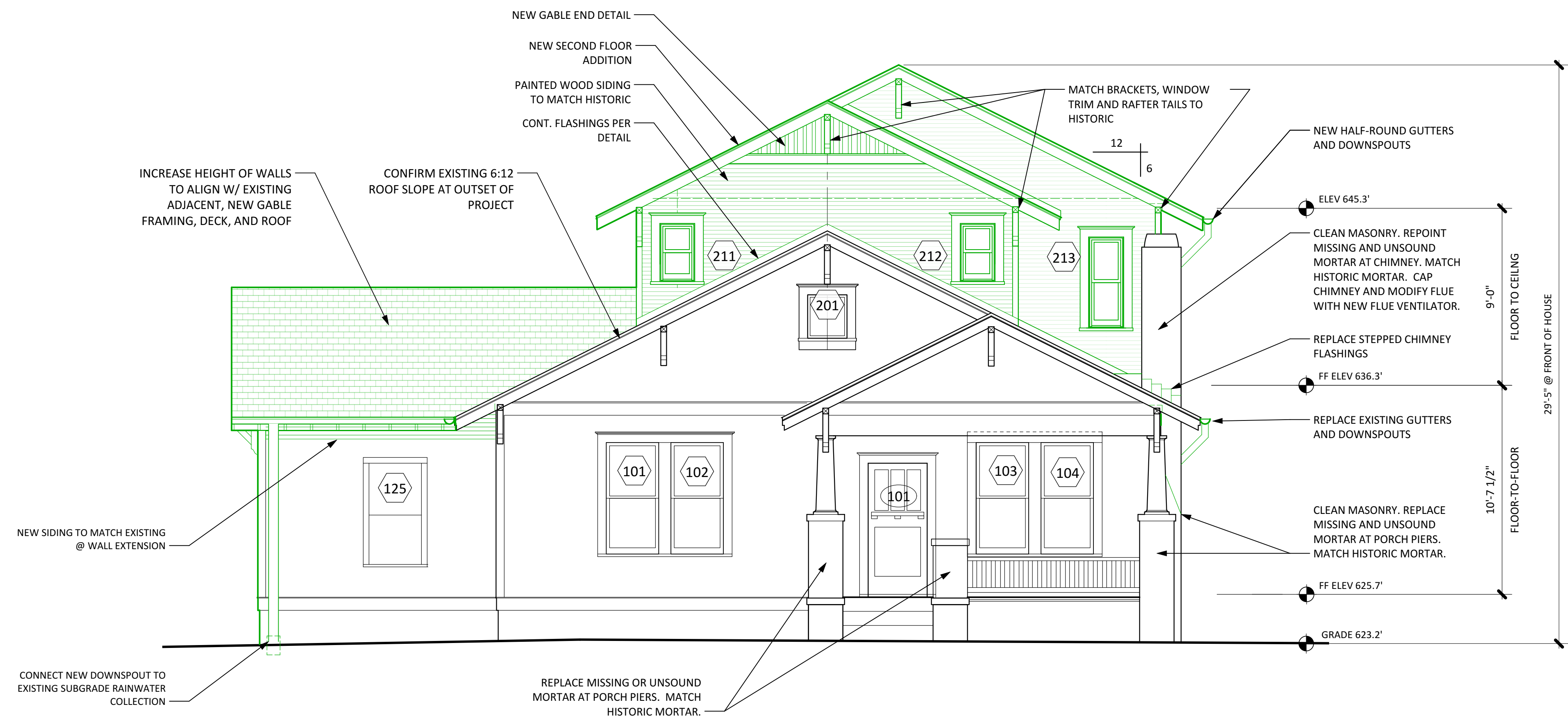
1 NEW ROOF PLAN
Scale: 1/4" = 1'-0"







2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



1 EAST (FRONT) ELEVATION
Scale: 1/4" = 1'-0"

