



WESTOVER RESIDENCE

1317 WESTOVER ROAD- AUSTIN, TX 78703

SYMBOL LEGEND

1

A5.01

Section

1

A4.01

Building Elevation

1

A6.01

2

3

Interior Elevation

A

Window Type - Reference Sheet A3.02

100a

Door Number - Reference Sheet A3.01

Entry

100

Room Number and Name

1

A3.01

Detail Reference

First Floor

0' - 0"

Level Mark

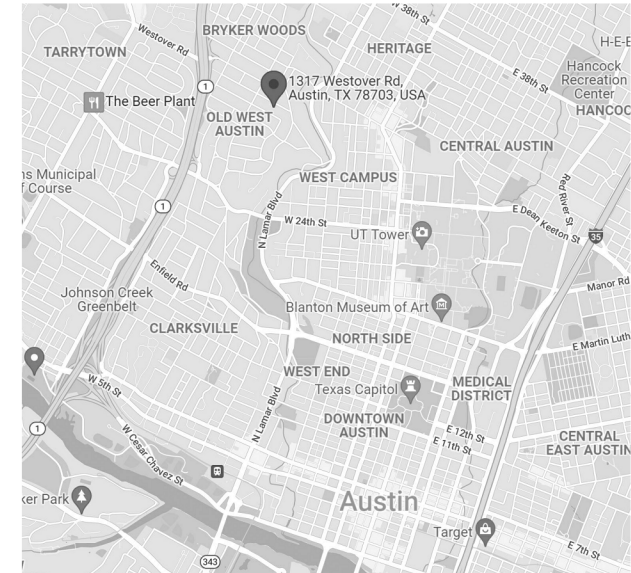
GENERAL NOTES

1. Plan dimensions are to face of stud, center line, or masonry unless noted otherwise.
2. Alignment takes precedent over dimensions. Verify all dimensions and conditions and notify the architect of any discrepancies.
3. Do not scale the drawings - the contractor shall use dimensions shown on the drawings and actual field measurements. Notify the architect of any discrepancies.
4. All details and sections shown on the drawings are intended to be typical and shall apply to similar conditions elsewhere.
5. Field check and verify all existing conditions and report any discrepancies to the architect before proceeding with the work.
6. Verify existing conditions and the locations of all utilities before proceeding with the work.
7. The contractor is to verify the requirements of all other trades and coordinate with those trades prior to the fabrication or installation of work.
8. Electrical accessories to be Decora style.
9. Contractor is to coordinate all required equipment with subcontractor and owner for the following systems: koi pond equipment, pool equipment, hot tub equipment, salt water aquarium equipment, audio visual equipment, sauna equipment, and solar shade equipment.
10. All materials to be stored, handled, installed, and maintained as per manufacturer's recommendations unless noted otherwise.
11. Any modification or alteration to the design intent directive of this construction document without the designer's written consent voids any real or implied warranty and liability to the designer and related consultants.

PROJECT INFORMATION

1317 WESTOVER						DATE	
9623						2/1/2022	
LOT SIZE							
SITE DEVELOPMENT INFORMATION							
	EXISTING SQ FT		NEW SQ FT		TOTAL SQ FT		
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2	
a 1st floor conditioned area	0	0	2684	0	2,684.0	0.0	
b 2nd floor conditioned area	0	0	1895	0	1,895.0	0.0	
c 3rd floor conditioned area	0	0	628	0	628.0	0.0	
d Basement	0	0	0	0	0.0	0.0	
e Attached Covered Parking (Garage)	0	0	430	0	430.0	0.0	
f Detached Covered Parking	0	0	0	0	0.0	0.0	
g Covered Wood Deck 100%	0	0	0	0	0.0	0.0	
h Covered Patio/Porch	0	0	391	0	391.0	0.0	
i Balcony	0	0	417	0	417.0	0.0	
To Other- Specify:	0	0	0	0	0.0	0.0	
Total Gross Building Area	0	0	6445	0	6,445.0	0.0	
Building Coverage Information	0	0	3505	0	3,505.0	0.0	
Total Building Coverage					3,505.0		
Percentage of lot size					36.42%		
	EXISTING		NEW		TOTAL		
k Driveway	0		554		554.0		
l Sidewalks	0		0		0.0		
m Uncovered Patio	0		0		0.0		
n Uncovered Wood Deck (50%)	0		0		0.0		
o AC pads/ Pool equipment	0		45		45.0		
p Other Pool Coping	0		190		190.0		
Impervious cover information	0		4294		4,294.0		
Percentage of lot size	0.00%		44.62%		44.62%		
Allowed Impervious					4,330.4		
j. Pool	0	0	0	0	0	0.0	0.0
k. Spa	0	0	0	0	0	0.0	0.0
	Existing	Now	Prop Exemption		Applied Exemption	Total	
1st Floor	0	2,684.0				2,684.0	
2nd Floor	0	931.0				931.0	
3rd Floor	0	0				0.0	
Area w ceilings >15'			Follow Article 3.3.5.			0.0	
Ground Floor Porch			Full Porch ex 3.3.3 A				
Basement	0	0	200 sq ft 3.3.3 A.2		0	0.0	
Attic	0	1592	Art. 3.3.3 B			0.0	
			Art. 3.3.3 C		1592	0.0	
Garage							
Attached	0	0	200 sq ft 3.3.2 B 2a		0	0.0	
Detached	0	430	450 sq ft 3.3.2 A 10a			0.0	
Carport			200 sq ft 3.3.2 B 2a		200	230.0	
			450 sq ft 3.3.2 A3				
Attached	0	0	200 sq ft 3.3.2 B 1		0	0.0	
Detached	0	0	450 sq ft 3.3.2 A 1		0	0.0	
Accessory Buildings							
Detached	0	0				0.0	
Total FAR							3,845.0
Allowed FAR							39.96%
							3,849.2

LOCATION



SHEET LIST

NUMBER	SHEET NAME	Current Revision Date
A0.0	COVER SHEET	
A1.0	SITE PLAN	
A1.1	TREE SITE PLAN	
A1.2	AUSTIN ENERGY POLE CLEARANCE	
A1.3	FOUNDATION LAYOUT	
A3.0	DIMENSIONS PLAN	
A3.1	DIMENSIONS PLAN	
A3.2	DIMENSIONS PLAN	
A5.0	ROOF PLAN	
A6.0	EXTERIOR ELEVATIONS	
A6.1	EXTERIOR ELEVATIONS	
A9.0	SCHEDULES	
A10.0	ISOMETRIC	
A10.1	PERSPECTIVES	

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PROJECT NUMBER: -

REVISIONS:

NO	REFERENCE	ISSUED



02/01/22

WESTOVER

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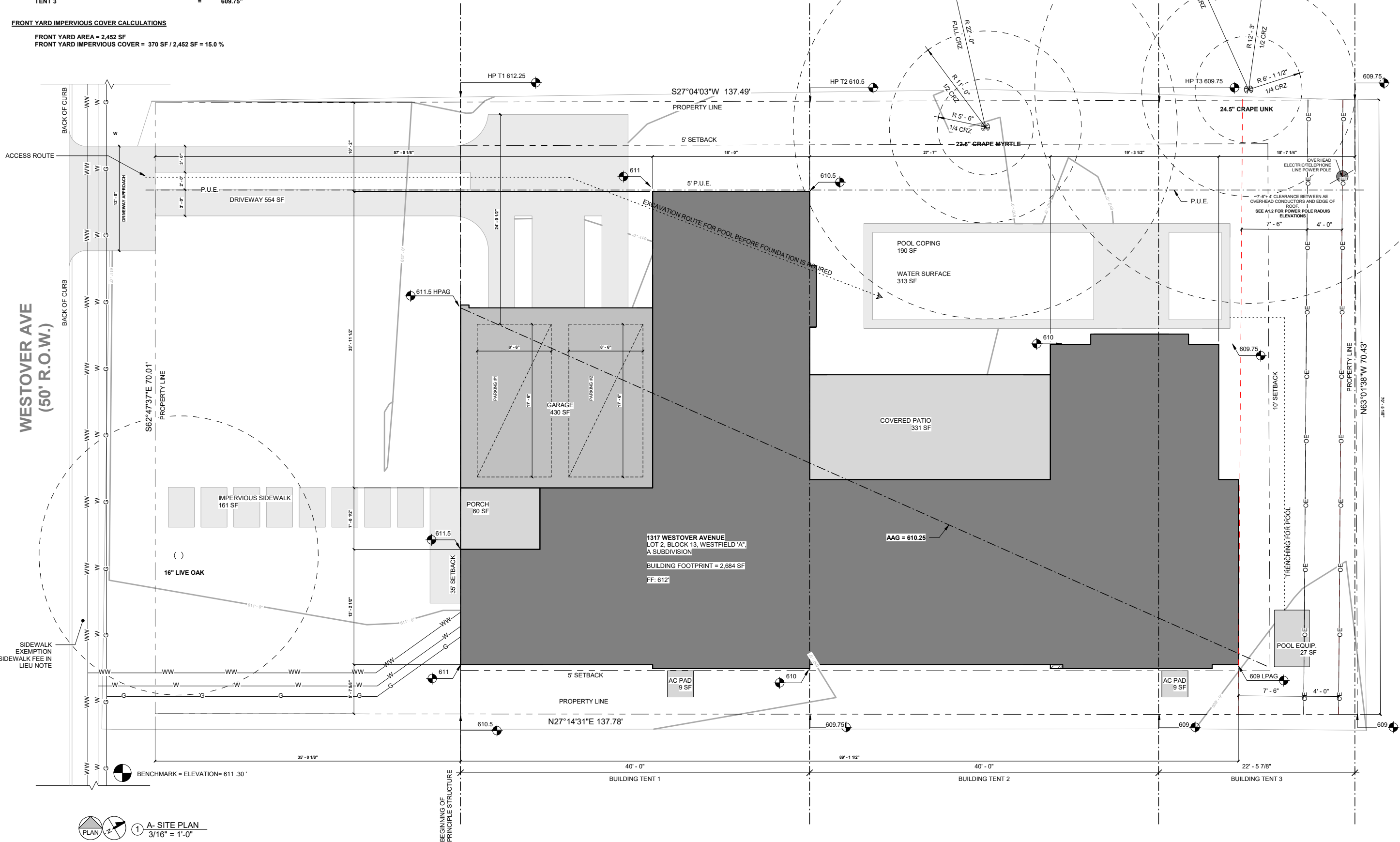
COVER SHEET

A0.0

« « « IF PRINTED AT 11X17, SCALE IS 1/2 OF WHAT IS NOTED » » »

LOT SIZE	=	9,623 SF
FINISH FLOOR	=	612.0'
MH HIGH POINT ADJACENT HEIGHT	=	611.5'
MH AVERAGE ADJACENT HEIGHT	=	610.25'
MH LOW ADJACENT HEIGHT	=	609.0'
BENCHMARK	=	611.3'
TENT 1	=	612.25'
TENT 2	=	610.5'
TENT 3	=	609.75"

FRONT YARD AREA = 2,452 SF
FRONT YARD IMPERVIOUS COVER = 370 SF / 2,452 SF = 15.0 %



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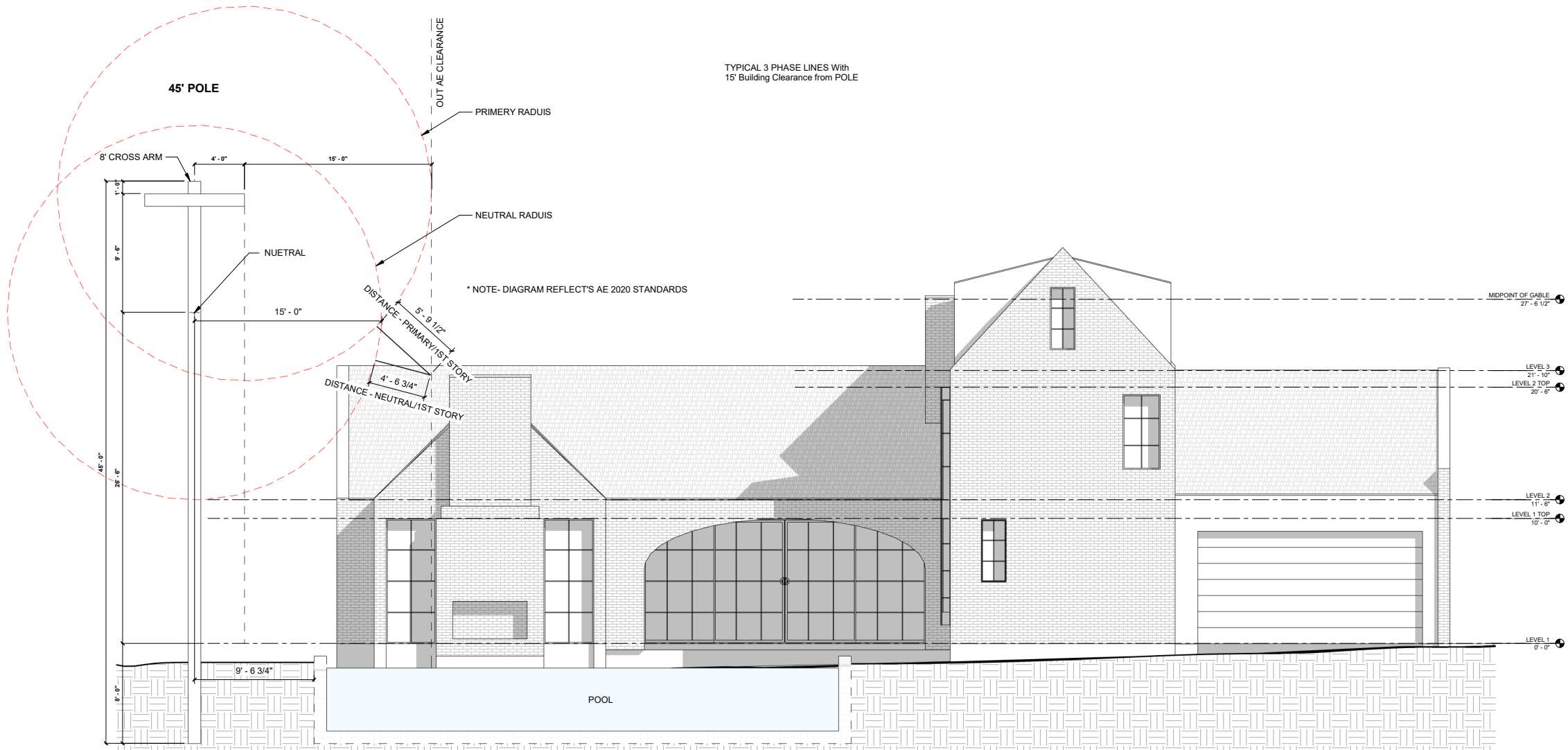
WESTOVER

317 WESTOVER

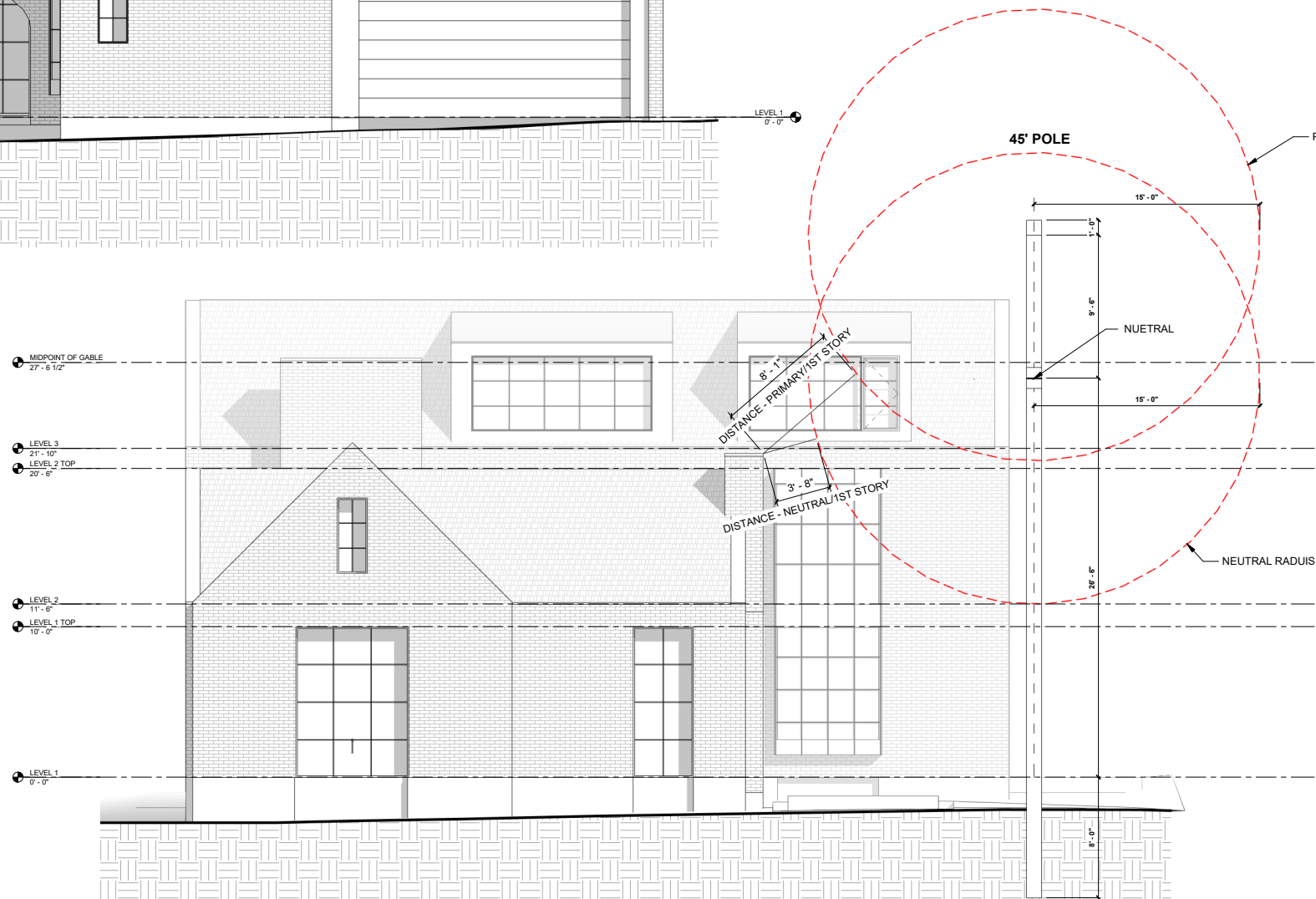
TE PLAN

A1.0

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1 POWER POLE RADIUS SIDE VIEW
3/16" = 1'-0"



2 POWER POLE RADIUS BACK VIEW
3/16" = 1'-0"

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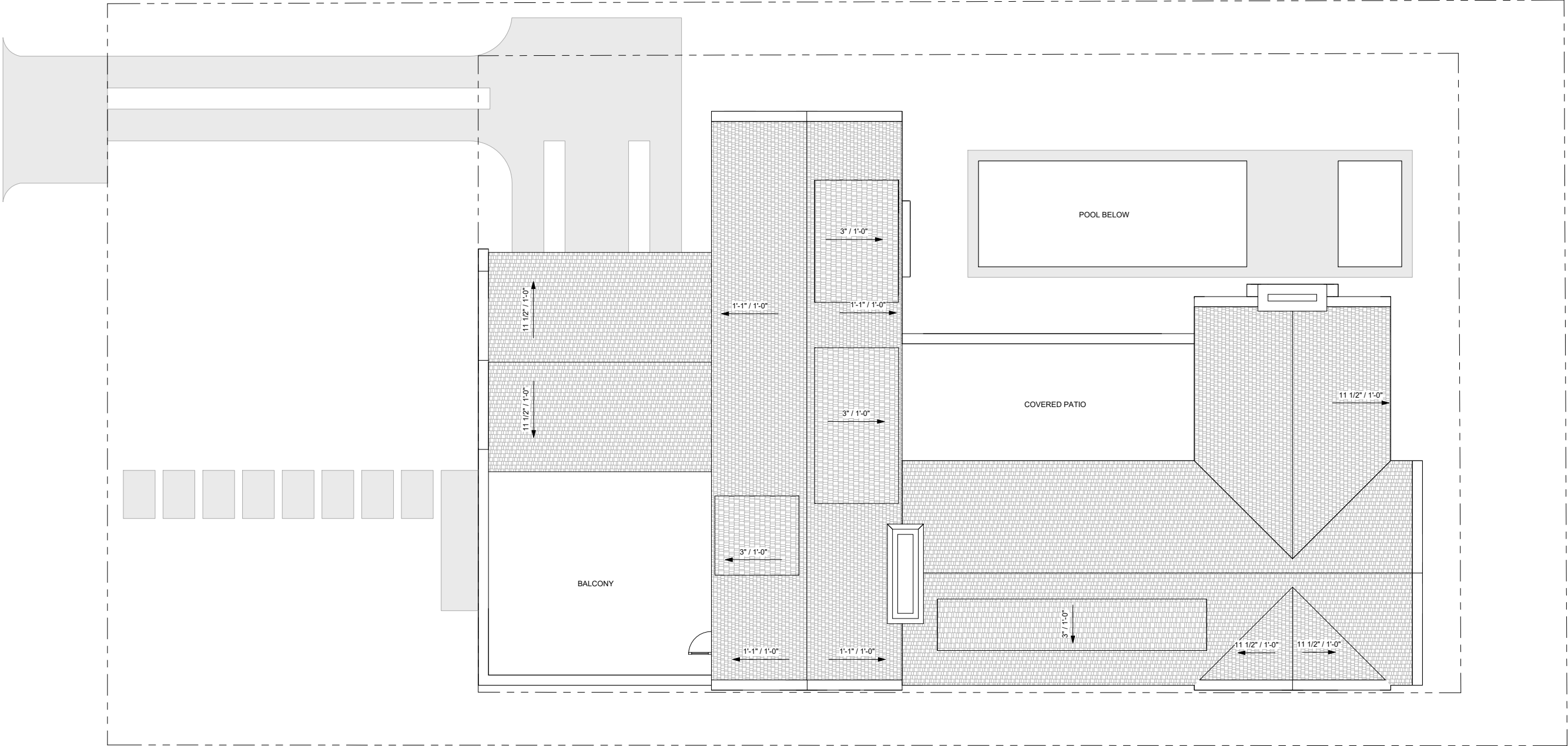
1317 WESTOVER

AUSTIN ENERGY
POLE CLEARANCE

A1.2

GENERAL NOTES - ROOF

1. CONTRACTOR SHALL KEEP BUILDING WEATHER TIGHT.
2. ALL ROOFS SHALL SLOPE TO DRAIN.
3. CONTRACTOR SHALL PROVIDE ALL TRIM, FLASHING, UNDERLAYMENTS, FASTENERS AND ACCESSORIES NECESSARY TO ENSURE A COMPLETE, WARRANTABLE, AND WEATHERTIGHT CONSTRUCTED ROOF.
4. ALL ROOF PENETRATIONS TO BE PROPERLY FLASHED AND SEALED TO PREVENT WATER INTRUSION.
5. NEW ROOF SRI VALUE: IF SLOPE IS >2:12, ROOFING MATERIALS SHALL HAVE A MINIMUM SRI OF 29.
6. NEW ROOFS TO INCLUDE A RADIANT BARRIER WITH AN EMITTANCE OF .05 OR LESS, UNLESS ROOF IS COVERED WITH A MATERIAL HAVING A SOLAR REFLECTANCE OF 0.5 OR GREATER.
7. SUPPLY AND RETURN DUCTS LOCATED IN ATTICS OR OUTSIDE THE THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-8.
8. SKYLIGHTS: USE APPROPRIATE FLASHINGS AND CURBS TO PREVENT WATER INTRUSION AND TO ACHIEVE MANUFACTURER'S WARRANTY.
9. SKYLIGHTS TO INCLUDE 10 YEAR, NO-LEAK WARRANTY, 10 YEAR IMPACT WARRANTY AND 20 YEAR SEAL WARRANTY.
10. PROVIDE NEW GUTTERS AND DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.
11. INSTALL ALL BUILDING ENVELOPE ASSEMBLIES AS PER MANUFACTURER'S RECOMMENDATIONS AND STANDARD DETAILS TO ALLOW FOR PROPER FUNCTION, WEATHER PROTECTION AND WARRANTIES (WHERE AVAILABLE). ASSEMBLIES INCLUDE, BUT ARE NOT LIMITED TO, ROOFING, RADIANT BARRIER, SKYLIGHTS, WINDOWS, DOORS, SIDING, FLASHING, INSULATION, WEATHER BARRIERS, SEALANTS, ETC.
12. THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED AND FLASHED TO PREVENT MOISTURE INTRUSION.



1 A- ROOF PLAN
3/16" = 1'-0"

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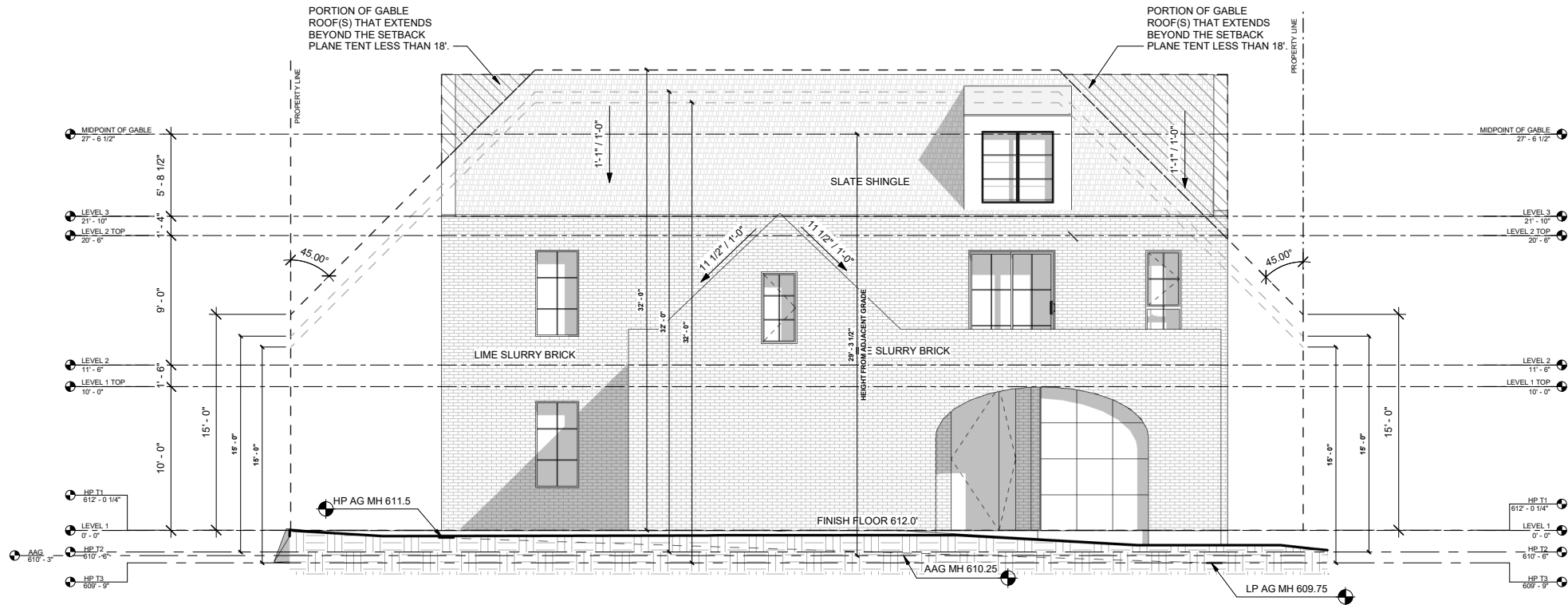
ROOF PLAN

A5.0

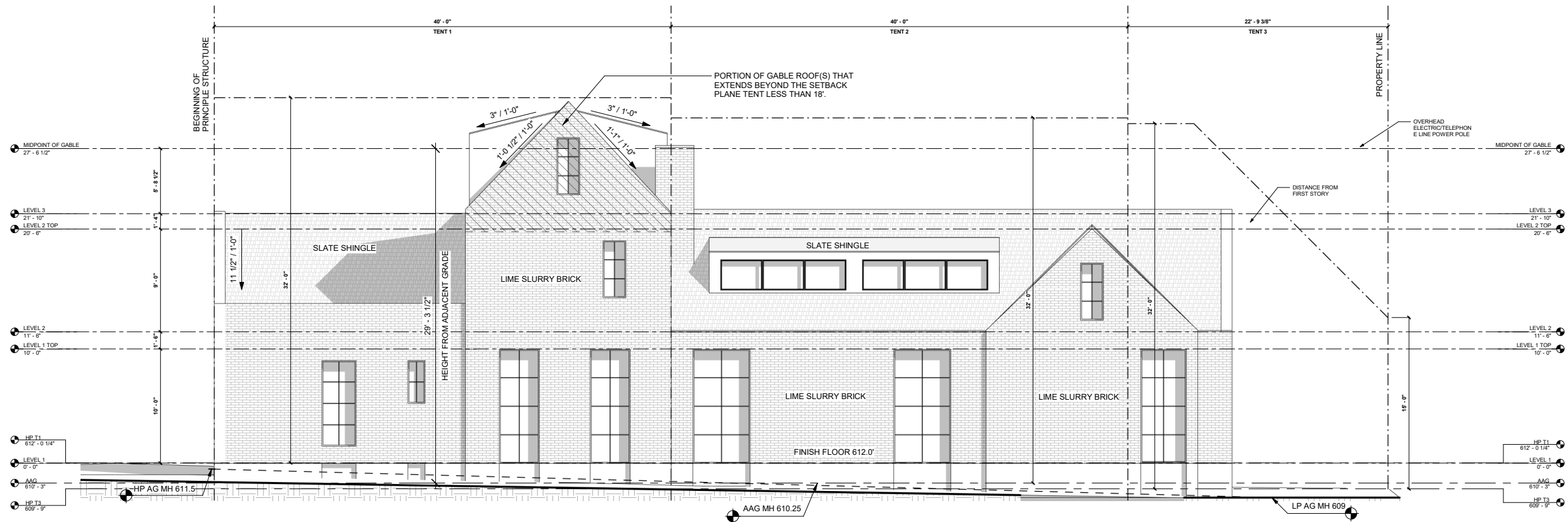
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GENERAL NOTES - EXTERIOR ELEVATIONS

1. CONTRACTOR SHALL KEEP BUILDING WEATHER-TIGHT.
2. VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT OR OWNER PRIOR TO INSTALLATION.
3. SLOPE GRADE AWAY FROM BUILDING & FOUNDATION FOR A MINIMUM OF 10'-0"
4. ALL EXPOSED FASTENERS ON WOOD SIDING TO BE STAINLESS STEEL.
5. THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED AND FLASHED TO PREVENT MOISTURE INTRUSION.
6. ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
7. PAINT ALL GUTTERS AND DOWNSPOUTS TO MATCH EXTERIOR TRIM COLOR.



2 A-NORTH FRONT ELEVATION
3/16" = 1'-0"



1 A-WEST
3/16" = 1'-0"

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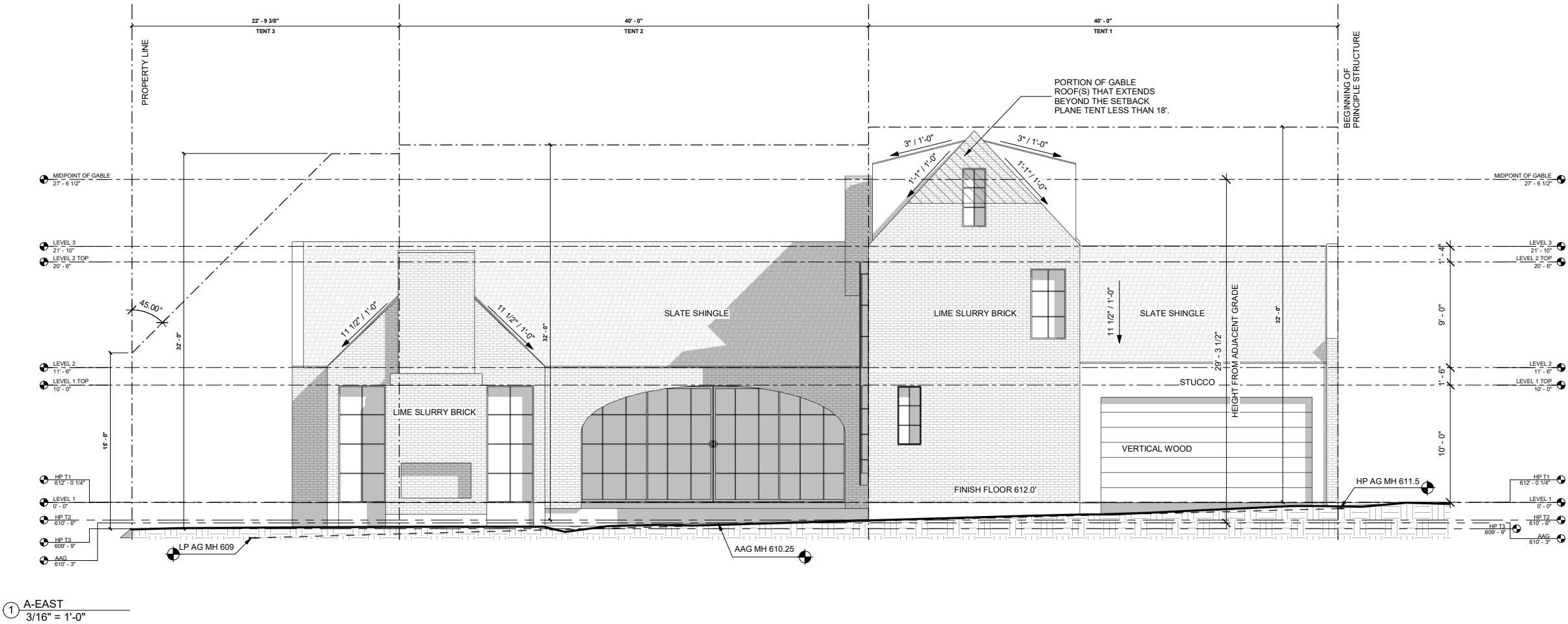
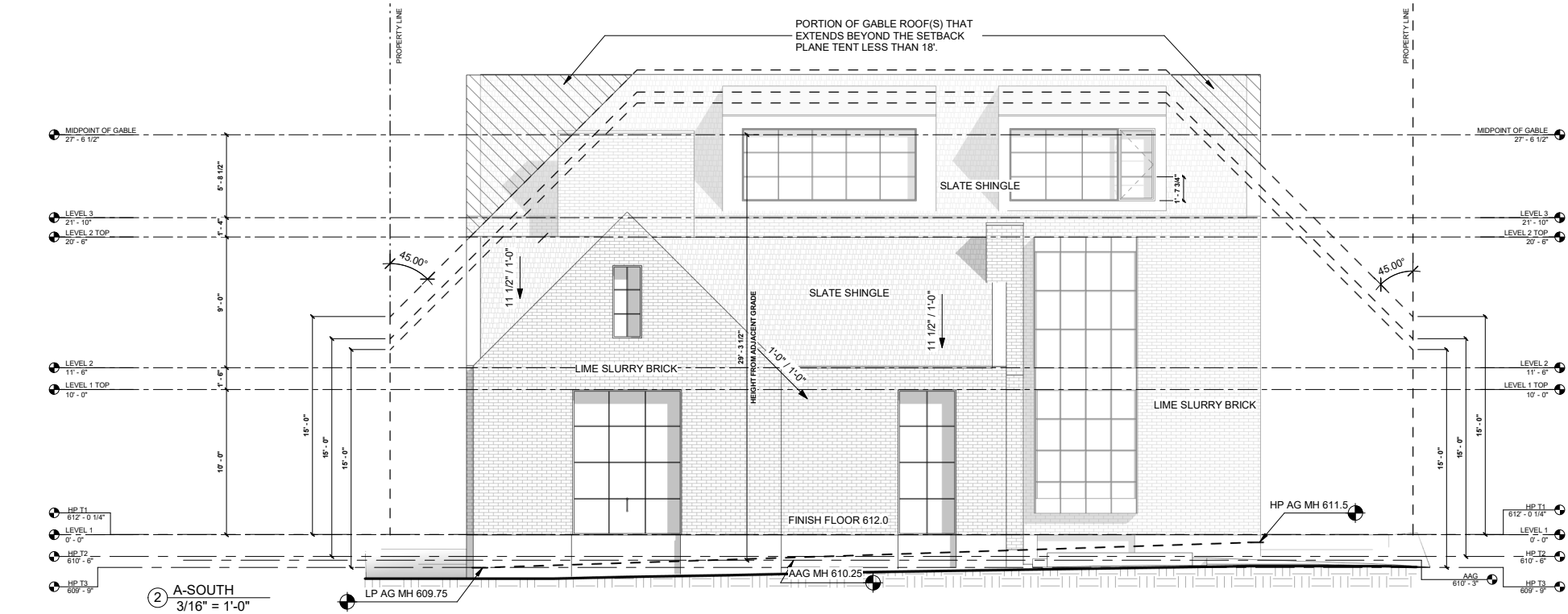
EXTERIOR
ELEVATIONS

A6.0

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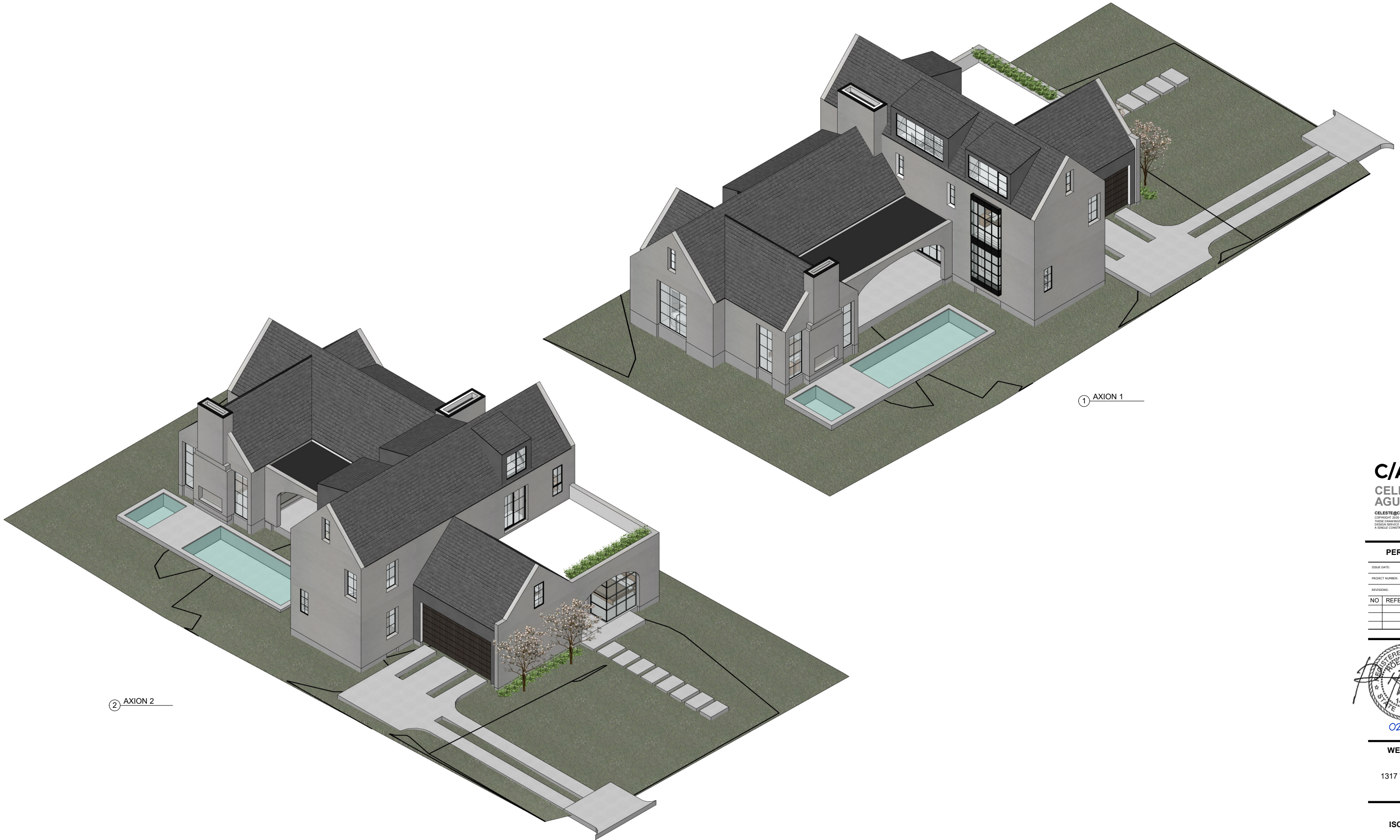
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EXTERIOR
ELEVATIONS

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① AXION 1

② AXION 2

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ISOMETRIC

A10.0

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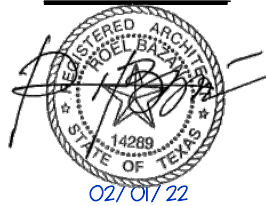
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PERSPECTIVES

A10.1