

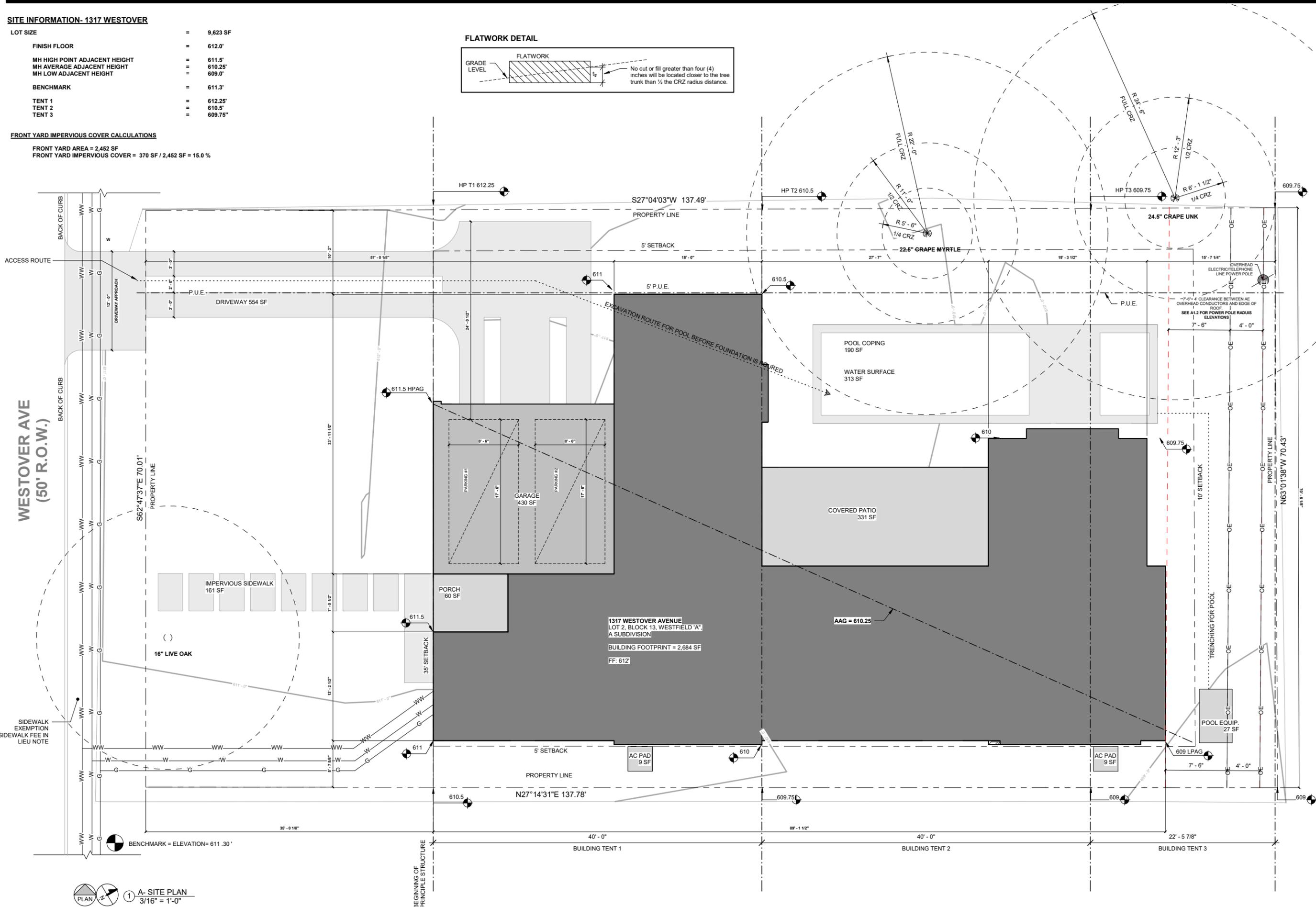
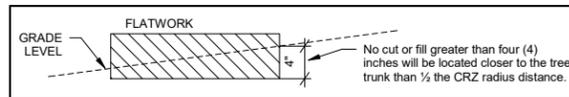
SITE INFORMATION- 1317 WESTOVER

LOT SIZE	=	9,623 SF
FINISH FLOOR	=	612.0'
MH HIGH POINT ADJACENT HEIGHT	=	611.5'
MH AVERAGE ADJACENT HEIGHT	=	610.25'
MH LOW ADJACENT HEIGHT	=	609.0'
BENCHMARK	=	611.3'
TENT 1	=	612.25'
TENT 2	=	610.5'
TENT 3	=	609.75'

FRONT YARD IMPERVIOUS COVER CALCULATIONS

FRONT YARD AREA = 2,452 SF
FRONT YARD IMPERVIOUS COVER = 370 SF / 2,452 SF = 15.0 %

FLATWORK DETAIL



GENERAL NOTES - SITE PLAN

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- VERIFY EXISTING SITE CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
- ALL NEW SIDEWALKS TO HAVE MAX 1:20 GRADE WITH CROSS SLOPE TO DRAIN AT 1/4" PER FOOT. SEAL CONCRETE AND PROVIDE A BROOM FINISH UNLESS OTHERWISE NOTED.
- CONTRACTOR TO TIE INTO EXISTING UTILITIES. SOME UTILITIES MAY REQUIRE UPGRADING. CONTRACTOR TO VERIFY, VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- CONTRACTOR TO UTILIZE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY CODE.
- PROVIDE TREE PROTECTION FOR ALL TREES NOT MARKED FOR REMOVAL.
- SELECTIVELY CLEAR OR PRUNE ANY UNWANTED TREES OR THOSE IMPEDING CONSTRUCTION WITH CONSENT OF OWNER. COORDINATE REMOVAL AND DISPOSAL OF UNWANTED TREES AND OTHER LANDSCAPING MATERIALS WITH OWNER.
- PROVIDE NEW GUTTERS AND DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.
- ENSURE ALL GRADING SLOPES AWAY FROM BUILDING FOR AT LEAST 10'-0".
- CONTRACTOR TO STORE ALL NEW MATERIALS IN DRY AND SECURE LOCATION ON SITE AS SPECIFIED BY OWNER.
- EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE WITH ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.
- THE DESIGN OF THE RETAINING WALL MEETS 2021 INTERNATIONAL BUILDING CODE.

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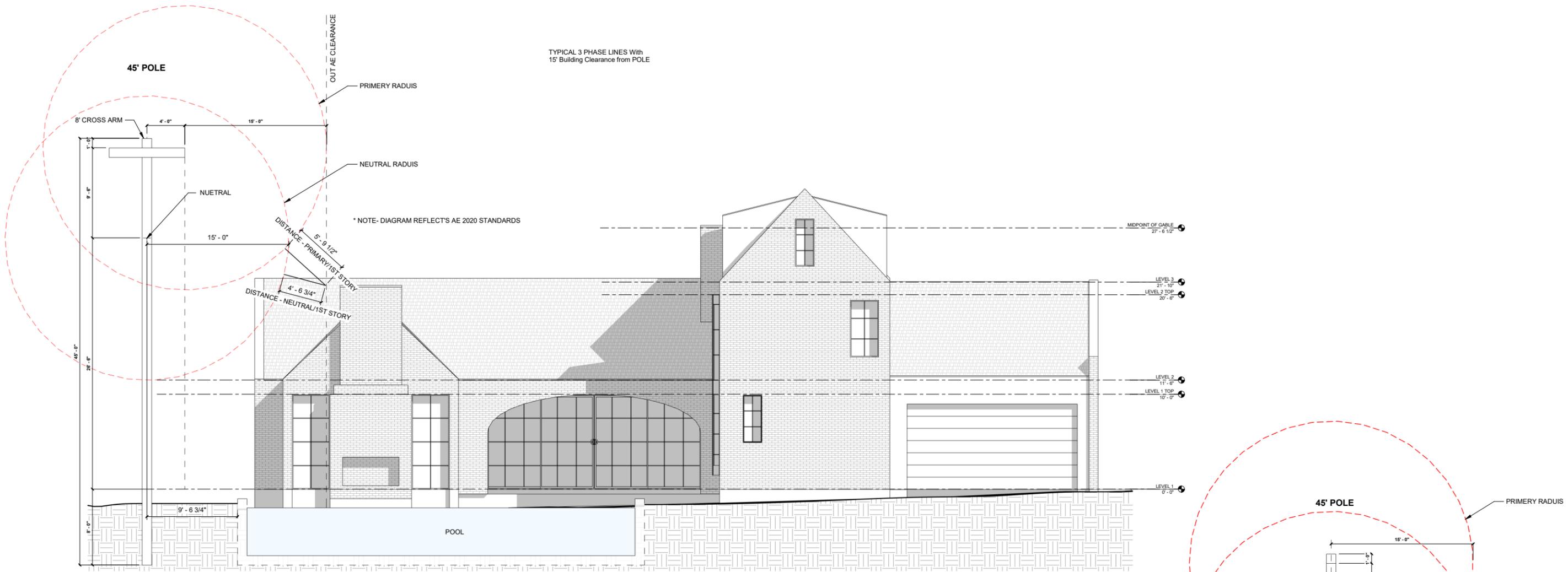
1317 WESTOVER

SITE PLAN

A1.0

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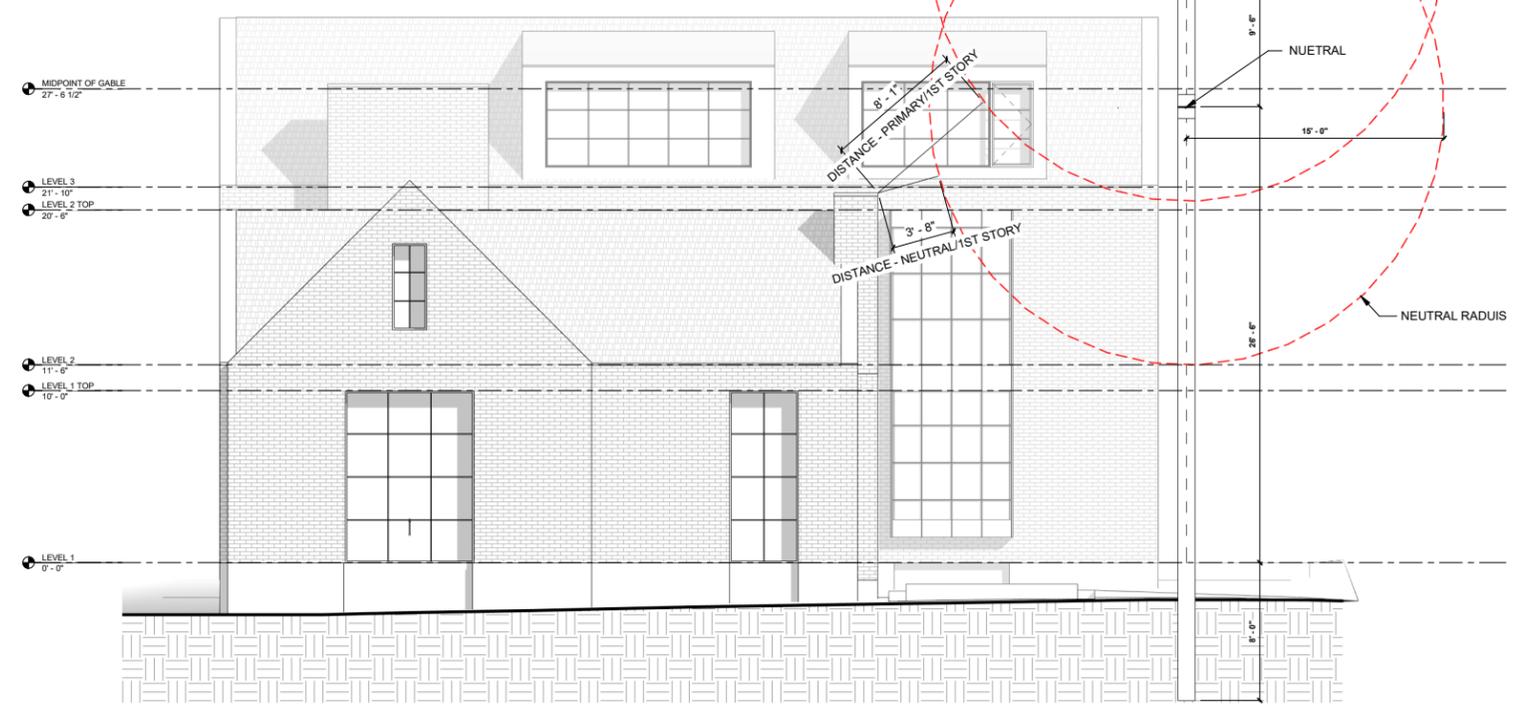
1 A- SITE PLAN
3/16" = 1'-0"



TYPICAL 3 PHASE LINES With
15' Building Clearance from POLE

* NOTE- DIAGRAM REFLECTS AE 2020 STANDARDS

① POWER POLE RADIUS SIDE VIEW
3/16" = 1'-0"



② POWER POLE RADIUS BACK VIEW
3/16" = 1'-0"

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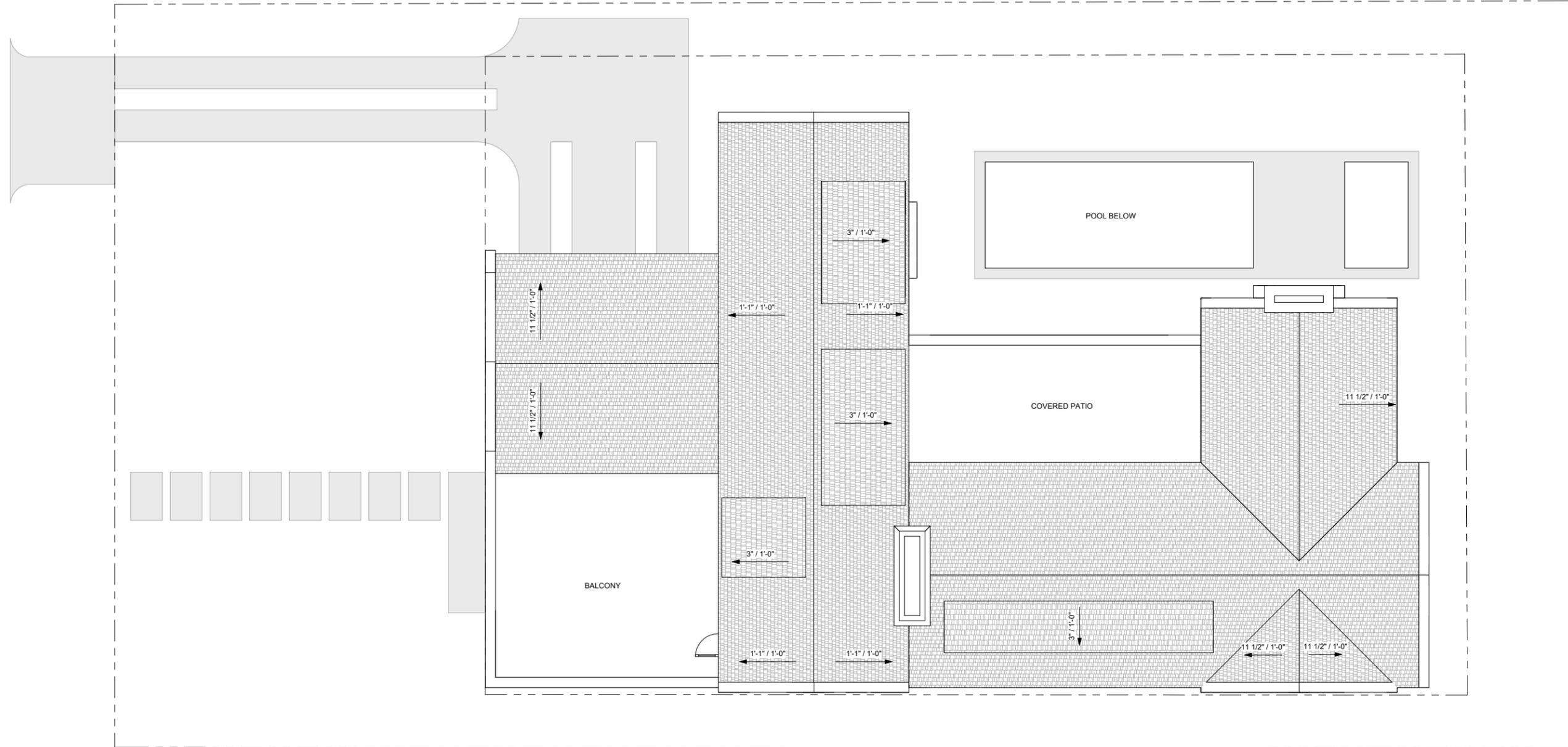
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AUSTIN ENERGY
POLE CLEARANCE

A1.2

GENERAL NOTES - ROOF

1. CONTRACTOR SHALL KEEP BUILDING WEATHER TIGHT.
2. ALL ROOFS SHALL SLOPE TO DRAIN.
3. CONTRACTOR SHALL PROVIDE ALL TRIM, FLASHING, UNDERLAYMENTS, FASTENERS AND ACCESSORIES NECESSARY TO ENSURE A COMPLETE, WARRANTABLE, AND WEATHERTIGHT CONSTRUCTED ROOF.
4. ALL ROOF PENETRATIONS TO BE PROPERLY FLASHED AND SEALED TO PREVENT WATER INTRUSION.
5. NEW ROOF SRI VALUE: IF SLOPE IS >2:12, ROOFING MATERIALS SHALL HAVE A MINIMUM SRI OF 29.
6. NEW ROOFS TO INCLUDE A RADIANT BARRIER WITH AN EMITTANCE OF .05 OR LESS, UNLESS ROOF IS COVERED WITH A MATERIAL HAVING A SOLAR REFLECTANCE OF 0.5 OR GREATER.
7. SUPPLY AND RETURN DUCTS LOCATED IN ATTICS OR OUTSIDE THE THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-8.
8. SKYLIGHTS: USE APPROPRIATE FLASHINGS AND CURBS TO PREVENT WATER INTRUSION AND TO ACHIEVE MANUFACTURER'S WARRANTY.
9. SKYLIGHTS TO INCLUDE 10 YEAR, NO-LEAK WARRANTY, 10 YEAR IMPACT WARRANTY AND 20 YEAR SEAL WARRANTY.
10. PROVIDE NEW GUTTERS AND DOWNSPOUTS TO DRAIN ON SITE. DOWNSPOUTS TO DRAIN AWAY FROM BUILDING.
11. INSTALL ALL BUILDING ENVELOPE ASSEMBLIES AS PER MANUFACTURER'S RECOMMENDATIONS AND STANDARD DETAILS TO ALLOW FOR PROPER FUNCTION, WEATHER PROTECTION AND WARRANTIES (WHERE AVAILABLE). ASSEMBLIES INCLUDE, BUT ARE NOT LIMITED TO, ROOFING, RADIANT BARRIER, SKYLIGHTS, WINDOWS, DOORS, SIDING, FLASHING, INSULATION, WEATHER BARRIERS, SEALANTS, ETC.
12. THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED AND FLASHED TO PREVENT MOISTURE INTRUSION.



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ROOF PLAN

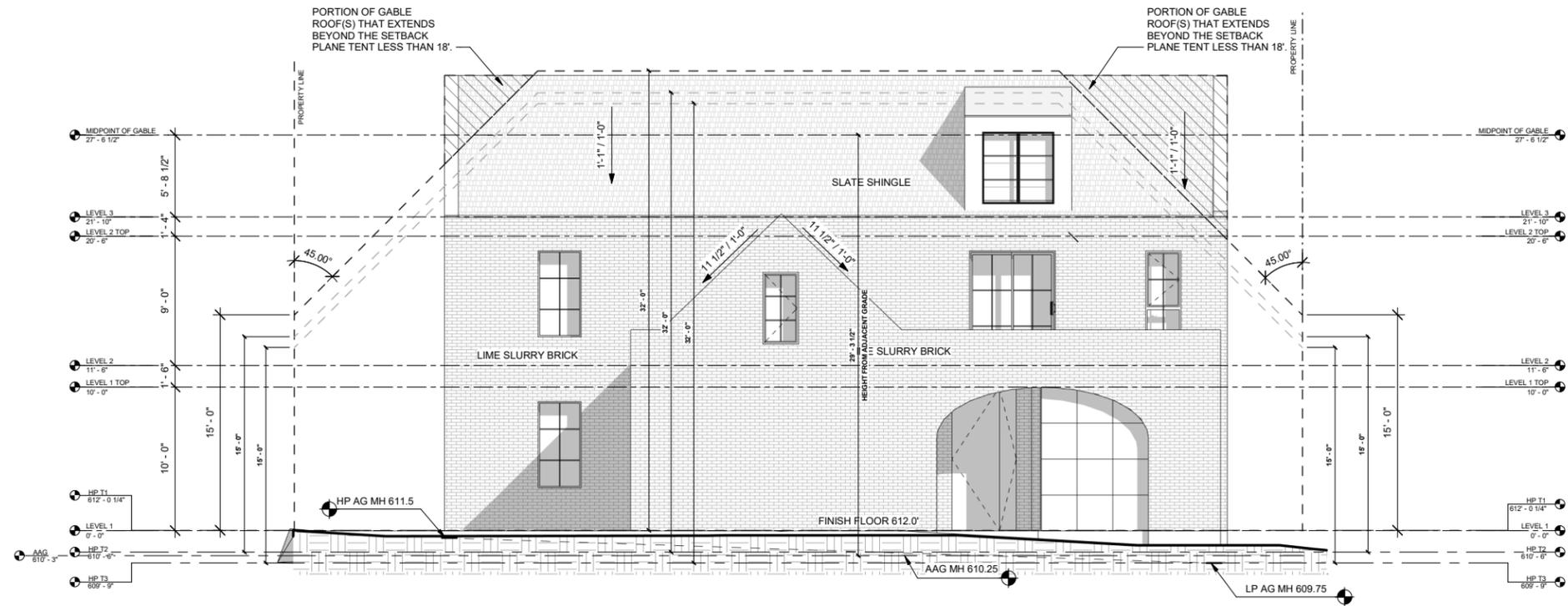
A5.0

1 A- ROOF PLAN
 3/16" = 1'-0"

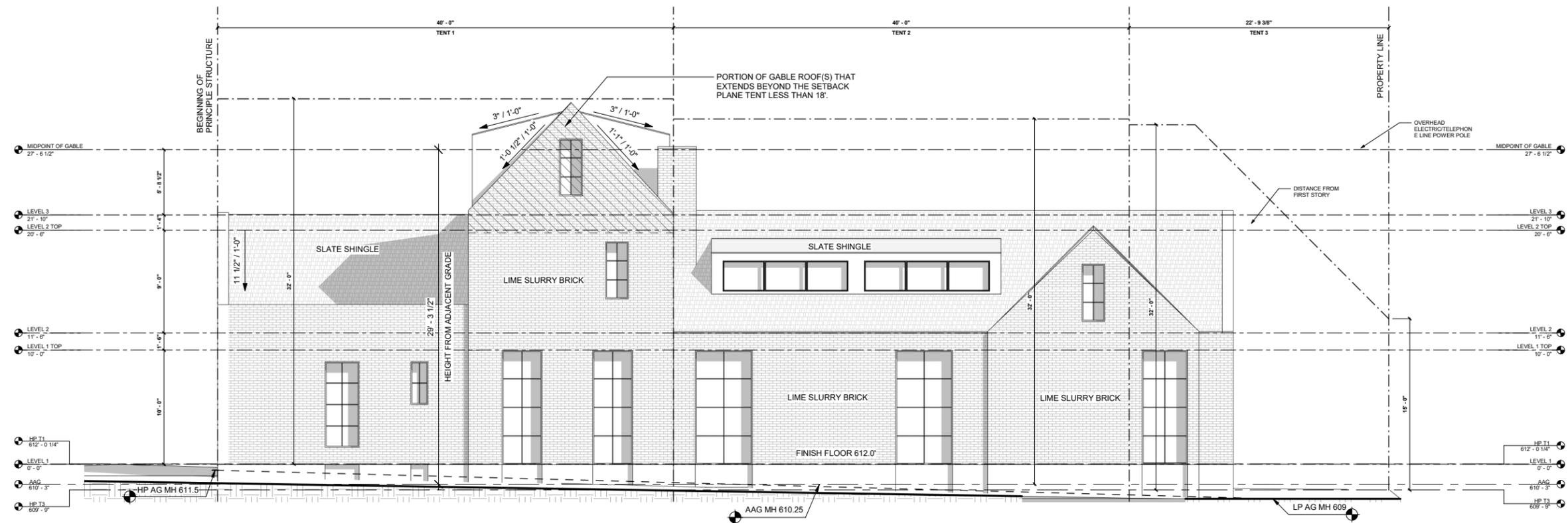
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GENERAL NOTES - EXTERIOR ELEVATIONS

1. CONTRACTOR SHALL KEEP BUILDING WEATHER-TIGHT.
2. VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT OR OWNER PRIOR TO INSTALLATION.
3. SLOPE GRADE AWAY FROM BUILDING & FOUNDATION FOR A MINIMUM OF 10'-0"
4. ALL EXPOSED FASTENERS ON WOOD SIDING TO BE STAINLESS STEEL.
5. THE ENTIRE EXTERIOR ENVELOPE TO BE PROPERLY SEALED AND FLASHED TO PREVENT MOISTURE INTRUSION.
6. ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
7. PAINT ALL GUTTERS AND DOWNSPOUTS TO MATCH EXTERIOR TRIM COLOR.



② A-NORTH FRONT ELEVATION
3/16" = 1'-0"



① A-WEST
3/16" = 1'-0"

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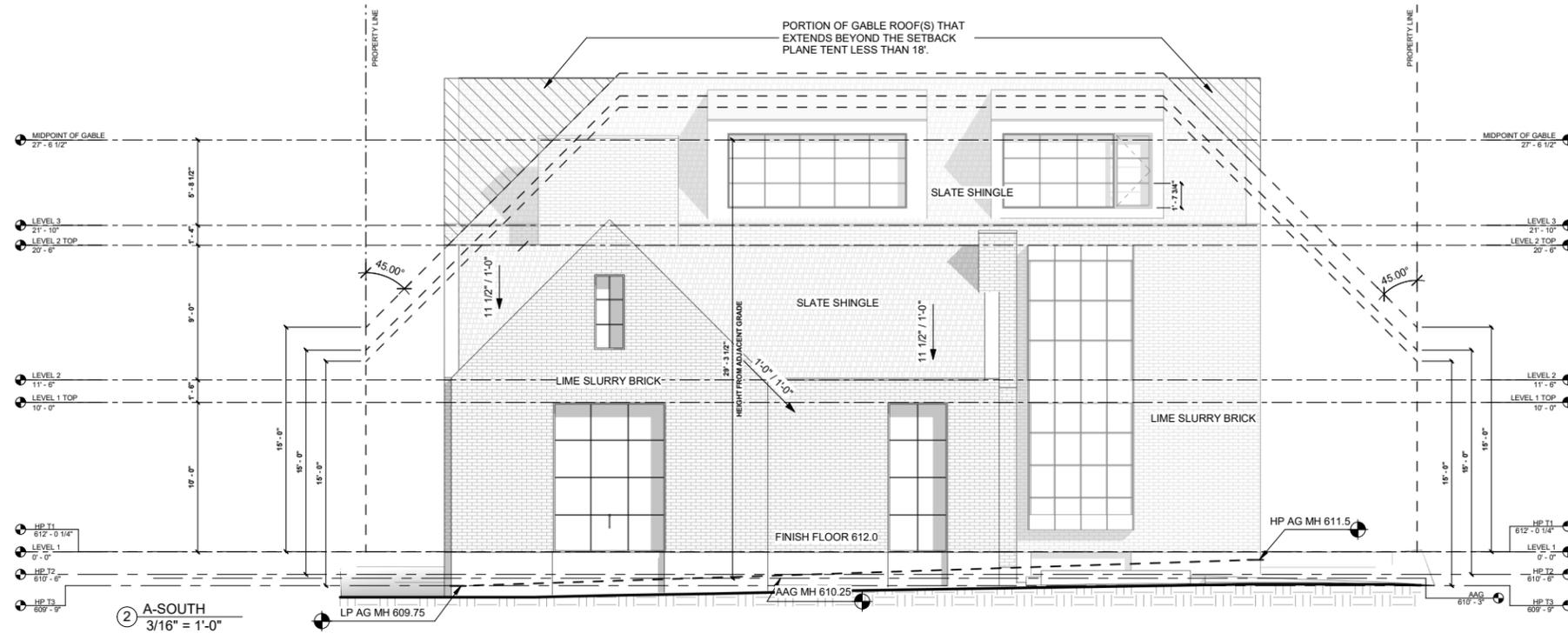
EXTERIOR
ELEVATIONS

A6.0

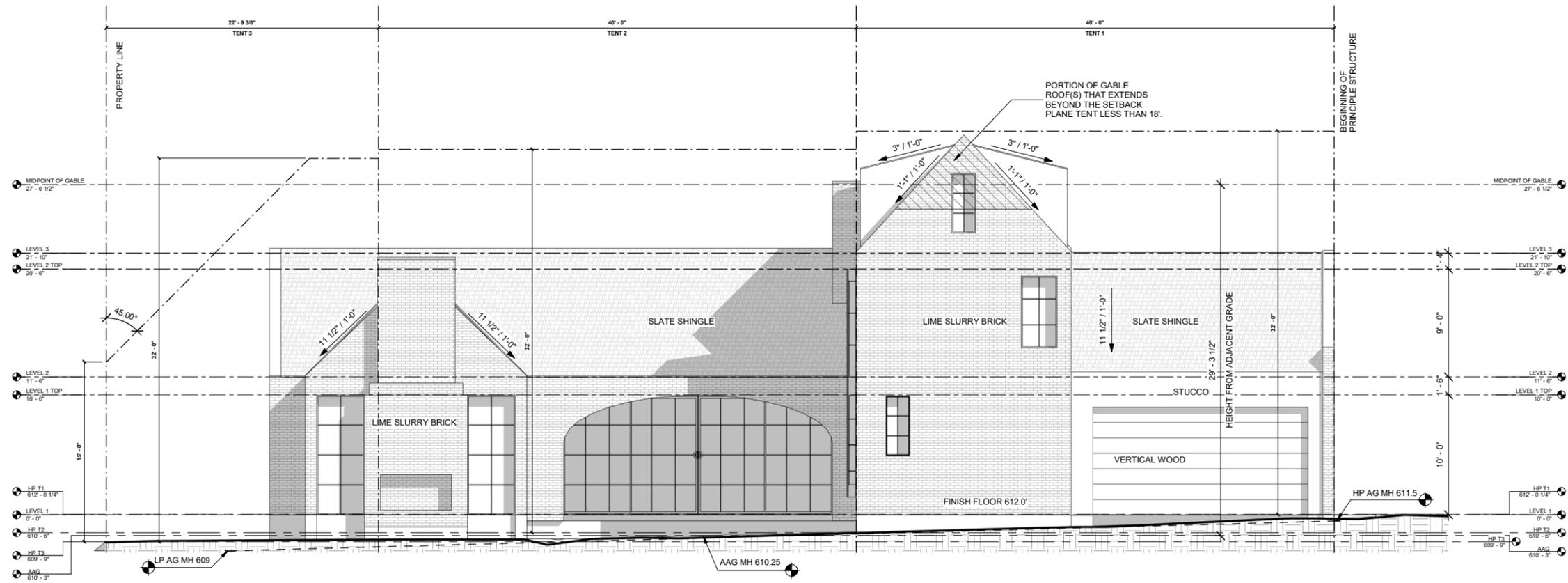
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② A-SOUTH
3/16" = 1'-0"



① A-EAST
3/16" = 1'-0"

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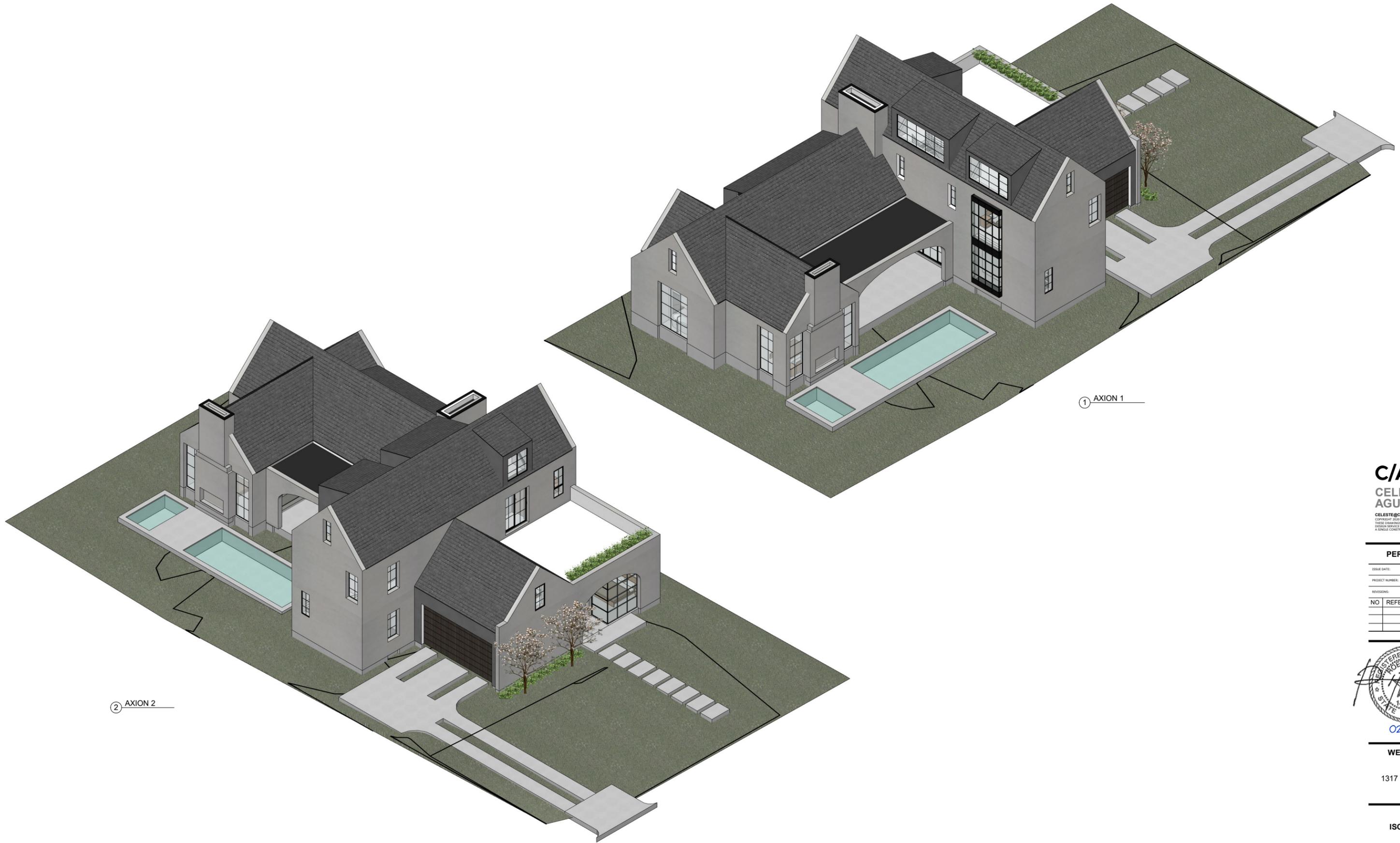


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EXTERIOR
ELEVATIONS

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① AXION 1

② AXION 2

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WESTOVER

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ISOMETRIC

A10.0

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PERSPECTIVES

A10.1