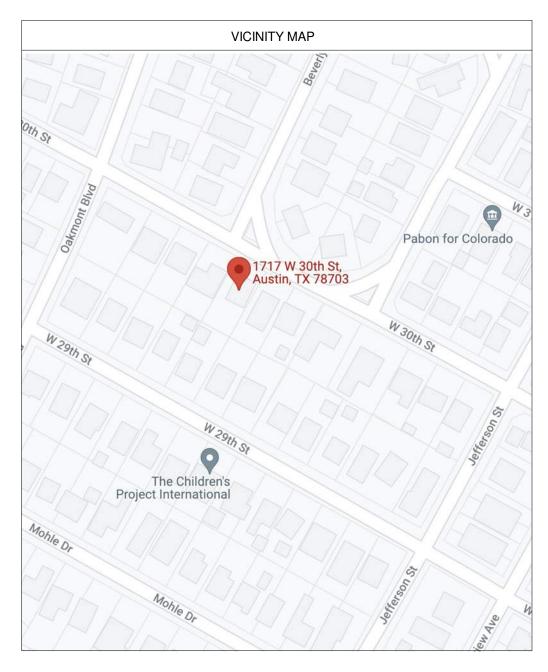


Shee	t List
Sheet Name	Sheet Number
COVER	A000
SURVEY, CALCS, NOTES	A001
SITE PLAN	A100
LEVEL ONE PLAN	A102
ROOF PLAN	A103
ELEVATIONS	A200
ELEVATIONS	A201
SECTIONS	A210
SECTIONS	A211
WINDOWS	A220



1717 W30TH STREET - FOR PERMIT SET FEBURARY 22, 2022

REV #	DESCRIPTION
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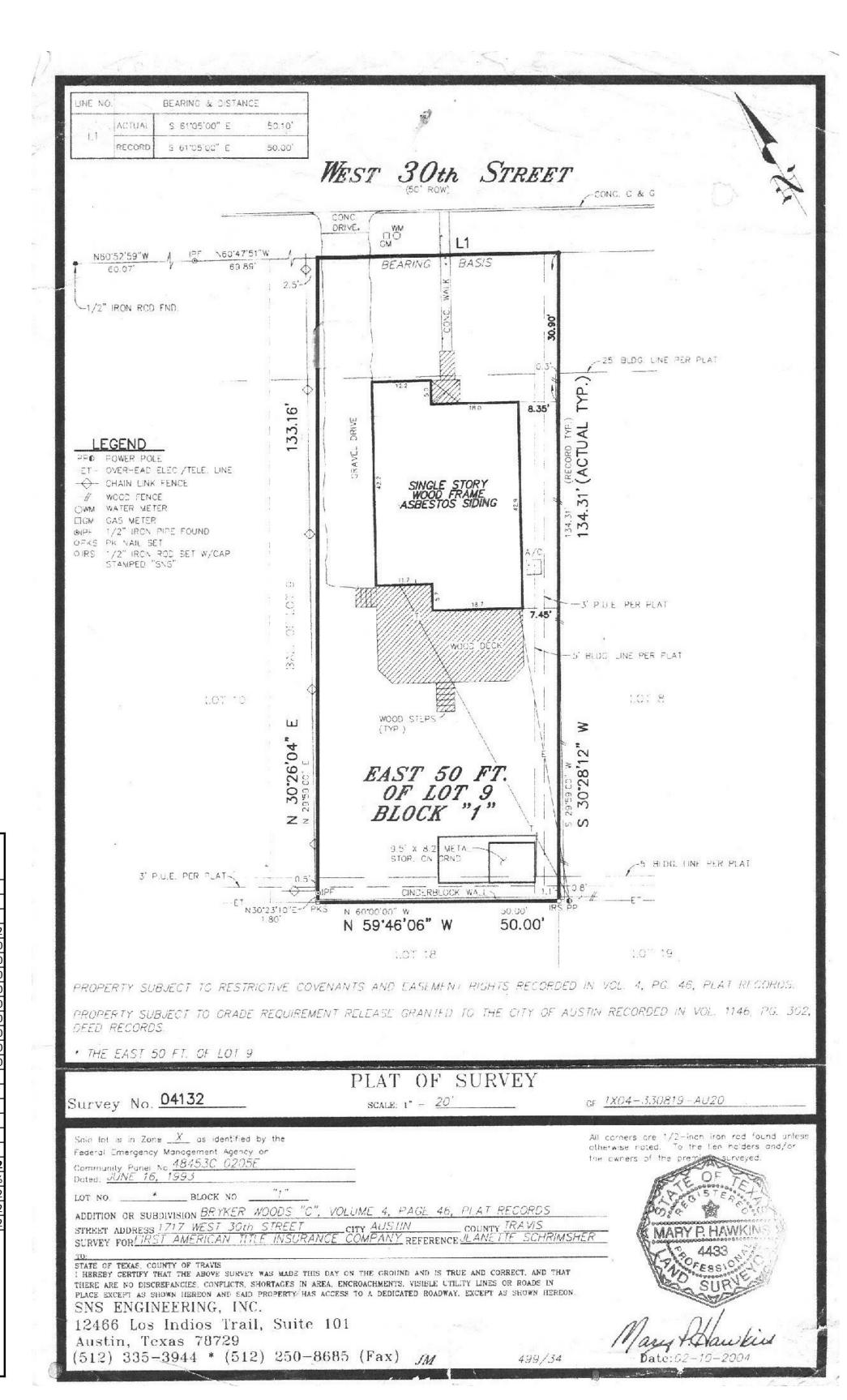
A000

SCALE:
DATE: 2/22/2022

Imprevious Cover Calculations			
1717 W 30TH Street			
Totals			
Lot	6613	SQ	FT
45% of Total Lot	2976	Main House	Studio
a. Total Building Coverage on Lot*		2026	486
b. Impervious Driveway (not alerady covered by overhang)		176	0
d. Sidewalk / walkways on private property (not already covered by overhangs)		0	0
e. Uncovered (impervious) patios		0	0
f. Uncovered Wood decks (50% of 112, 314)		213	5
g. AC pads		9	0
i. Other		0	0
* Includes overhangs over 2' and covered decks, porches and patios			
Total New	2915	2424	491
45% of total lot	2976		
Total Impervious cover	2915		
Total percentage of lots	44.1%		
Remaining SQFT of Impervious cover	60.85		

Building Coverage 1717 W 30TH Street			
Totals			
Lot	6613	sq	FT
40% of Total Lot	2645.2	Main House	Studio
a. 1st Floor Conditioned Area		2017	39
a1. 1st floor above 15'		0	
b. 2nd Floor Conditioned Area		0	
c. 3rd Floor Conditioned Area		0	
d. Basement		0	
e. Covered Parking - Carport		0	
F. Covered patio, deck, porch, and/or balcony area(s) - 9 front porch, 91 studio entry		9	9
g. Other covered or roofed area (over 2' overhang)		0	
Total Building Coverage		2026	48
Total Building Coverage Area	2512	2026	48
Applicable per code exceptions as defined by Building Coverage			
40% of total lot	2645.2		
Proposed Building Coverage on lot	2512		
Percentage of lot	38.0%		
Remaining SQFT of Building Coverage Allowed	133.2		

(FT		
Studio	Exemption	Total
395	5 0	2412
0	0 0	0
0	9	0
91	1 91	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
		2412
		36.5%
		2645.2
		2412
		233.2
	no	
	yes	
	no	
	no	
	no	
		no no



PROJECT DESCRIPTION:

NEW SINGLE STORY HOUSE. EXISTING REAR STUDIO TO REMAIN

ZONING: SF-3

PARKING: 2 PARKING SPOTS (IN EXISTING DRIVEWAY AREA)

MAX BUILDING HEIGHT: 35'

FLOODPLAIN: N/A

MINIMUM SETBACKS:

FRONT YARD: 25'
STREET SIDE YARD: 15'
SIDE YARDS: 5'
REAR YARD: 10'

LANDSCAPING:

ONE PROTECTED TREE ON SITE, ONE PROTECTED TREE ON ADJACENT LOT, SEE SITE PLAN

OCCUPANCY: SINGLE FAMILY RESIDENCY

PROTECTED TREE NOTES:

T1: 24" PROTECTED CEDAR ELM (ON ADJACENT PROPERTY)

T2: 23" PROTECTED MULTI-TRUNK CEDAR ELM

1. TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED IN AREA. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS ETC. WILL BE ALLOWED WITHIN THESE AREAS.

2. PROTECTIVE PLANKS ARE TO BE 2 X4 OR GREATER (6' TALL MIN) STRAPPED SECURELY AROUND PROTECTED TREES AND ROOT FLARES

2. TREE PROTECTION FENCING TO BE CHAIN-LINK MESH AT A MIN OF 5' HIGH

4. TREE PROTECTION FENCING MUST BE ON LEVEL GROUND (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE25% CRZ AT MINIMUM.

SITE PLAN NOTES:

1. CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.

2. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION, CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

GENERAL NOTES:

1. AT NO TIME ARE CHANGES TO THE CONSTRUCTION METHODS, MATERIALS, DETAILS, SPECIFICATIONS, GENERAL NOTES OR SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THE DRAWINGS ACCEPTABLE WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ARCHITECT AND CLIENT. TO OBTAIN PERMISSION, PRICING, RELEVANT DRAWINGS AND DOCUMENTS MUST BE PROVIDED.

2. ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING UNDER THIS CONTRACT

3. COORDINATE MECHANICAL, ELECTRICAL AND PLUMBING DIVISIONS WITH OTHER TRADES

AFFECTING OR AFFECTED BY SAME.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN

ACCORDANCE OF ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP ND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS.

6. THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OR MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PREFORMED OR FURNISHED.

7. NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR EXTRA SERVICES, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS OR IF IT IS IMPLIED AS PART OF THE SCOPE OF WORK.

8. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

). IN THE EVENT OR THEFT OR DAMAGE OF MATERIALS FROM THE SITE. EACH PRIME

CONTRACTOR SHALL REPLACE AND / OR RESTORE ALL AFFECTED MATERIALS.

10. PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA

11. GENERAL CONTRACTOR AND SUB CONTRACTORS ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT THEIR BIDS PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY.

12. PROVIDE ARCHITECT WITH SHOP DRAWINGS OF ALL MILLWORK, SHOP FABRICATED STRUCTURAL TRUSSES AND FRAMING AS WELL AS WINDOWS.

13. ALL NEW & ORIGINAL CONSTRUCTION SHALL THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR AND INTERIOR, PRIOR TO OWNERS OCCUPANCY.

14. SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISHES, FIXTURES AND PAINT COLORS

15. CONTRACTOR SHALL PROVIDE APPROPRIATE WRITTEN DOCUMENTS THAT REFLECT ANY CHANGES TO ORIGINAL DRAWINGS, FINISH AND MATERIAL SPECIFICATION OR LAYOUT.

16. SITE MEETINGS ARE REQUIRED TO BE HELD WITH THE ARCHITECT, CONTRACTOR AND EACH TRADE SUB CONTRACTOR AT THE START OF EACH PHASE INCLUDING THE FOLLOWING PHASES: PRE-CONSTRUCTION, MILLWORK.

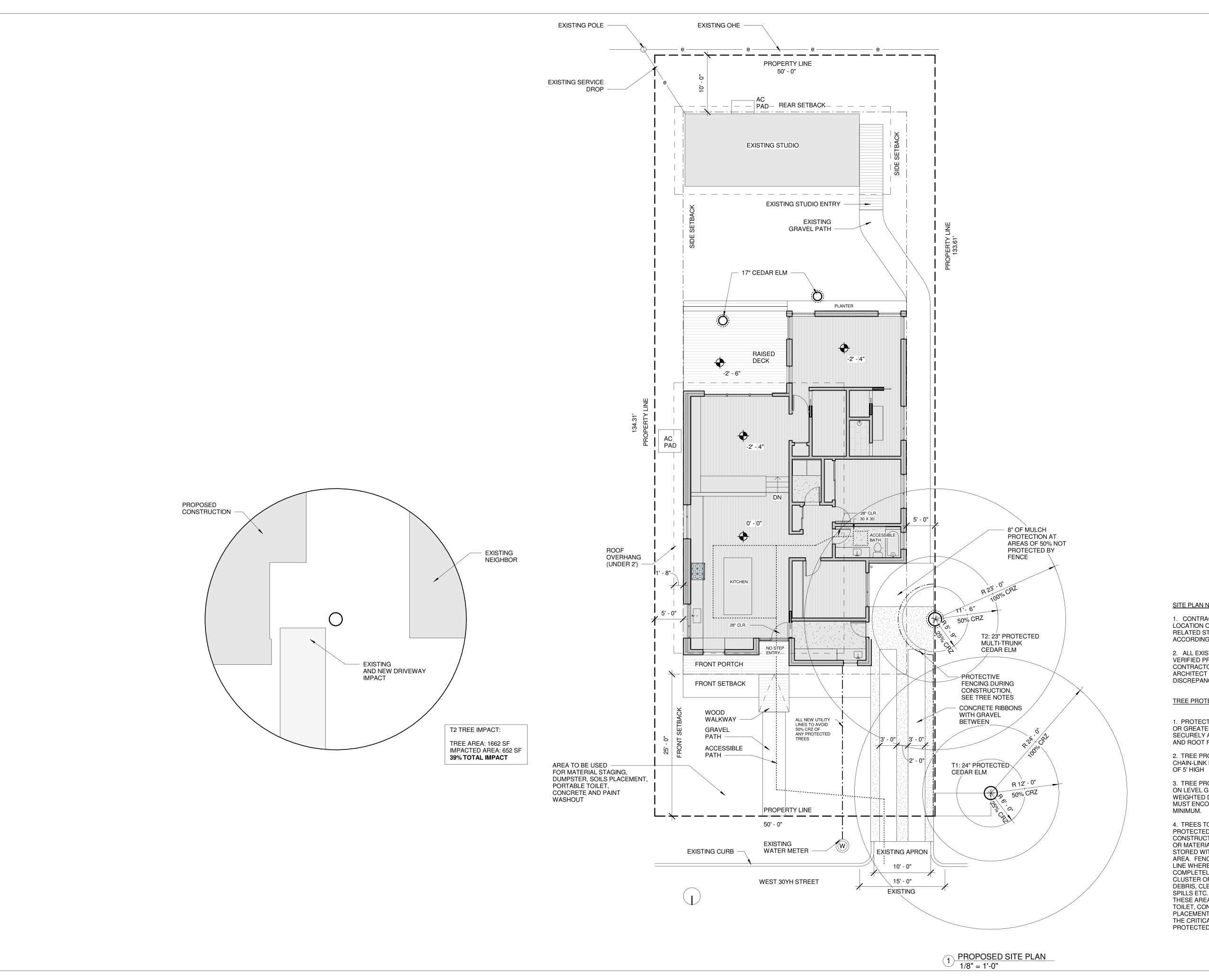
17. EMPLOY THE FOLLOWING IN COMPLIANCE WITH THE ENERGY STAR CERTIFIED HOME CHECKLIST (MOST RECENT VERSION): INSURE FULL ND PROPER INSULATION WITHOUT MISALIGNMENTS, COMPRESSIONS, GAPS, VOIDS OR SAGGING IN ALL EXTERIOR CAVITIES AT ALL EXTERIOR WALL CONDITIONS; USE RECESSED CORNERS OF NO MORE THAN 3 STUDS PER CORNER TO ALLOW FOR MAXIMUM THERMAL COVERAGE, UNLESS OTHERWISE STRUCTURALLY REQUIRED, AND LIMIT FRAMING O MAX OF ONE PAIR OF KING STUDS AND ONE PAIR OF JACK STUDS PER WINDOW. LIMIT EXTERIOR FRAMING IN GENERAL TO ONLY WHAT IS NECESSARY. INSTALL HEADERS OF R5 MIN INSULATION VALUE FOR ALL 2X8 EXTERIOR WALL ASSEMBLIES, UNLESS STRUCTURALLY INFEASIBLE. DOOR ADJACENT TO UNCONDITIONED SPACE OR AMBIENT CONDITIONS TO BE GASKETED OR OTHERWISE MADE TO BE AIR-TOGHT. ATTIC ACCESS PANEL AND DROP-DOWN STAIRS TO BE CONTINUOUSLY GASKETED AND EQUIPPED WITH A DURABLE R10 INSULATED COVER.

REV# DESCRIPTION

WEST 30TH STREET

hunt

A001 SURVEY, CALCS, NOTES

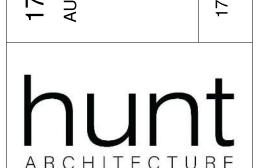




- 1. CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.
- 2. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION, CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

TREE PROTECTION NOTES:

- 1. PROTECTIVE PLANKS ARE TO BE 2 X4 OR GREATER (6' TALL MIN) STRAPPED SECURELY AROUND PROTECTED TREES AND ROOT FLARES
- 2. TREE PROTECTION FENCING TO BE CHAIN-LINK MESH AT A MIN
- 3. TREE PROTECTION FENCING MUST BE ON LEVEL GROUND (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 25% CRZ AT
- 4. TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED IN AREA. FENCES SHALL BE AT THE DRIP LINE WHEREVER POSSIBLE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS ETC. WILL BE ALLOWED WITHIN THESE AREAS. ALL STAGING, DUMPSTER, TOILET, CONCRETE WASHOUT AND SOILS PLACEMENT TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE

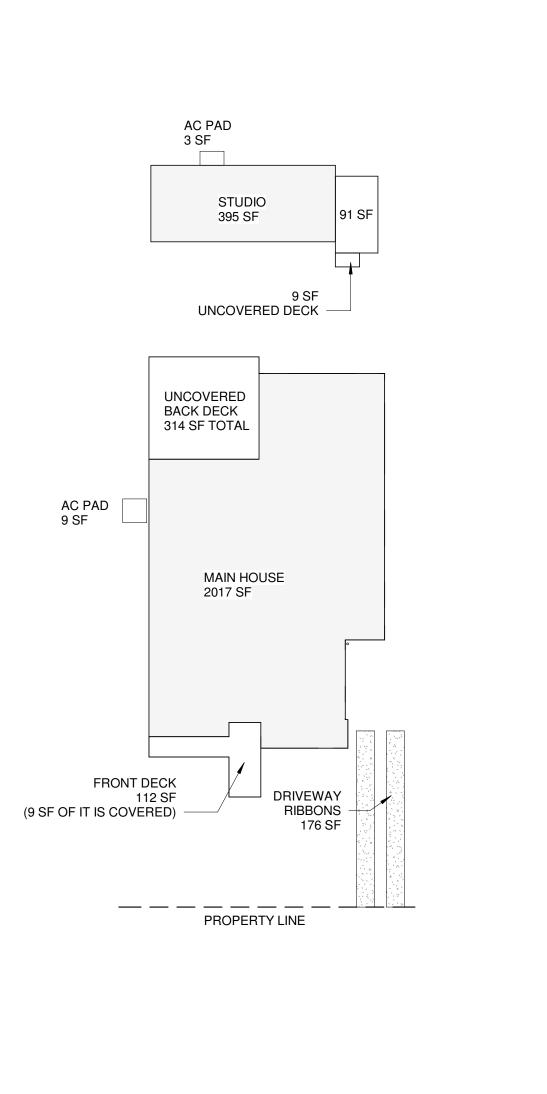


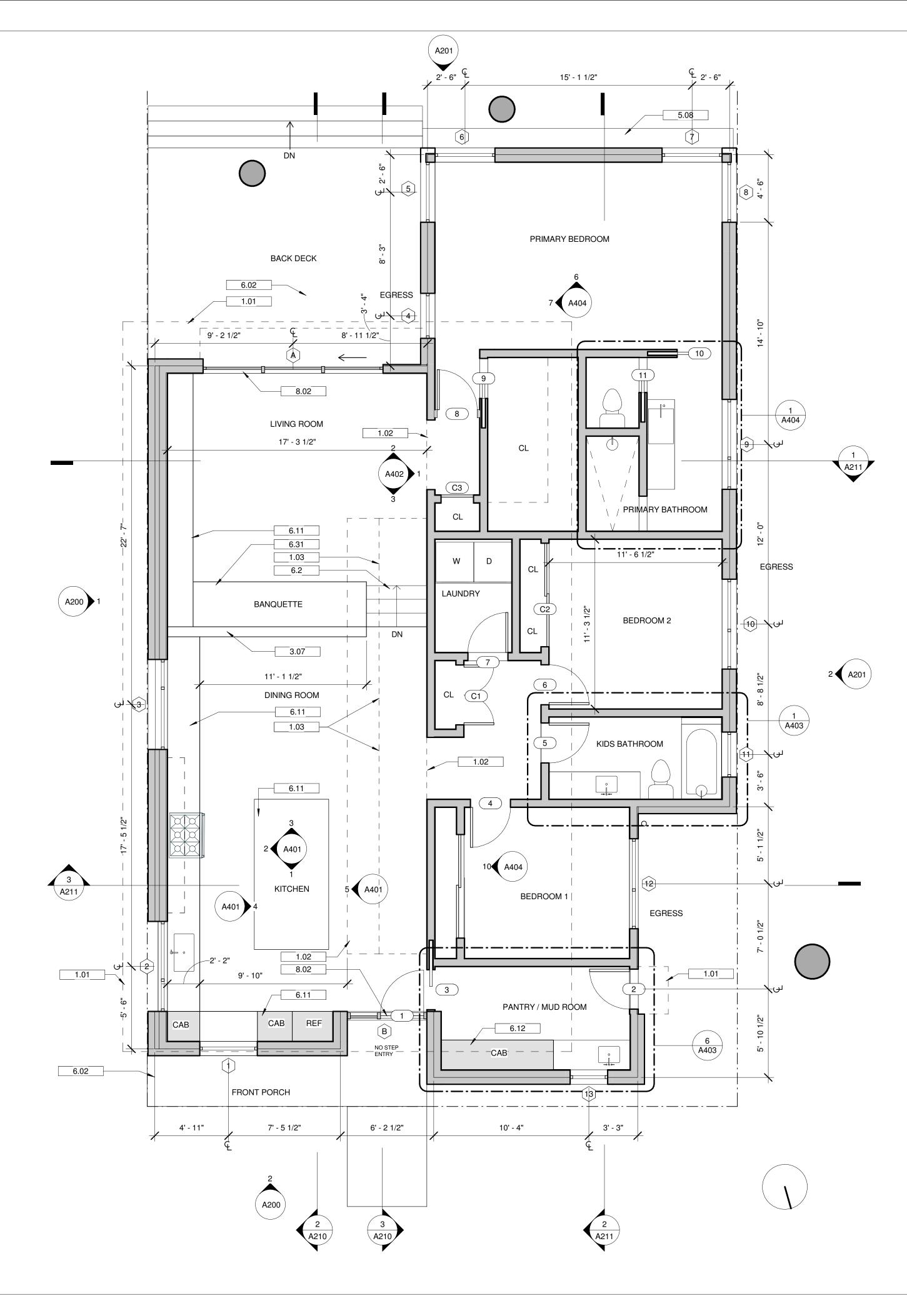
REV# DESCRIPTION

SITE PLAN

EST

SCALE: As indicated DATE: 2/22/2022





KEYNOTE LEGEND

1.02 LINE OF CEILING ABOVE 1.03 SKYLIGHT ABOVE 3.07 ARCHITECTURAL CONCRETE WALL 5.08 STEEL PLANTER 6.2 WOOD STAIRS TO MATCH WOOD FLOOR 6.02 WOOD DECK 6.11 MILLWORK CABINETS - WOOD VENEER 6.12 MILLWORK CABINETS/DRAWERS - PAINTED 8.02 EXTERIOR WINDOW / DOOR SYSTEM - SEE SPECS

LINE OF ROOF ABOVE

GENERAL PLAN NOTES:

- 1. WALL INSULATION: OPEN CELL INSULATION, R15MIN.
- 2. ROOF INSULATION: OPEN CELL SPRAY FOAM R38MIN.
- 3. PROVIDE SOUND ISOLATING BATT INSULATION AT ALL BATHROOMS POWDER ROOMS AND BEDROOMS
- 4. ALL CABINET INTERIORS TO BE PRE-FINISHED, CLEAR COATED BIRCH UNLESS OTHERWISE NOTED
- 5. SEE FINSIH PLAN FOR FLOOR FINISHES

BEHIND HE LAV

VISITABILITY NOTE:

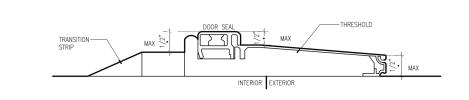
1. VISITABLE BATHROOMS: A VISITABLE DWELLING MUST BE DESIGNED AND CONSTRUCTED WITH AT LEAST ONE BATHROOM GROUP OR A HALF BATH ON THE FIRST LEVEL THAT MEETS THE FOLLOWING REQUIREMENTS:

- A MIN CLEAR OPENING OF 30" IS REQUIRED
 LATERAL 2 X 6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF
- BATHROOM WALLS
 THE CENTERLINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY
- 2. VISITABLE BATHROOM ROUTE: A BATHROOM GROUP OR HALF BATH DESIGNATED FOR VISITABILITY UNDER SECTION R320.3 MUST BE ACCESSIBLE BY A ROUTE WITH A MIN CLEAR OPENING OF 32" BEGINNING AT THE VISITABLE ENTRANCE DESIGNATED UNDER SECTION 320.6 AND CONTINUING THROUGH THE LIVING ROOM, DINING ROOM AND KITCHEN AND BE LEVEL WITH RAMPED OR BEVELED CHANGES AT THRESHOLDS.
- 3. VISITABLE DWELLING ENTRANCE: A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NON STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE HALF INCH OR LESS, AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32". THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR OR SIDE, OR IN THE GARAGE OR CARPORT OF THE DWELLING.

4. VISITABLE LIGHT SWITCHES, RECEPTACLES AND ENVIRONMENTAL CONTROLS R320.4, THE FIRST FLOOR OF A DWELLING MUST CONTAIN THE FOLLOWING:

- ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS
 SHALL NOT BE INSTALLED GREATER THAN 48" ABOVE THE
- FINISHED FLOOR

 ALL OUTLETS AND RECEPTACLES SHALL BE INSTALLED NO LESS THAN 15" ABOVE FLOOR (THIS APPLIES TO ALL FLOORS)



1) LEVEL 1 - MAIN HOUSE 1/4" = 1'-0" REV# DESCRIPTION

DESCRIPTION

DESCRIPTION

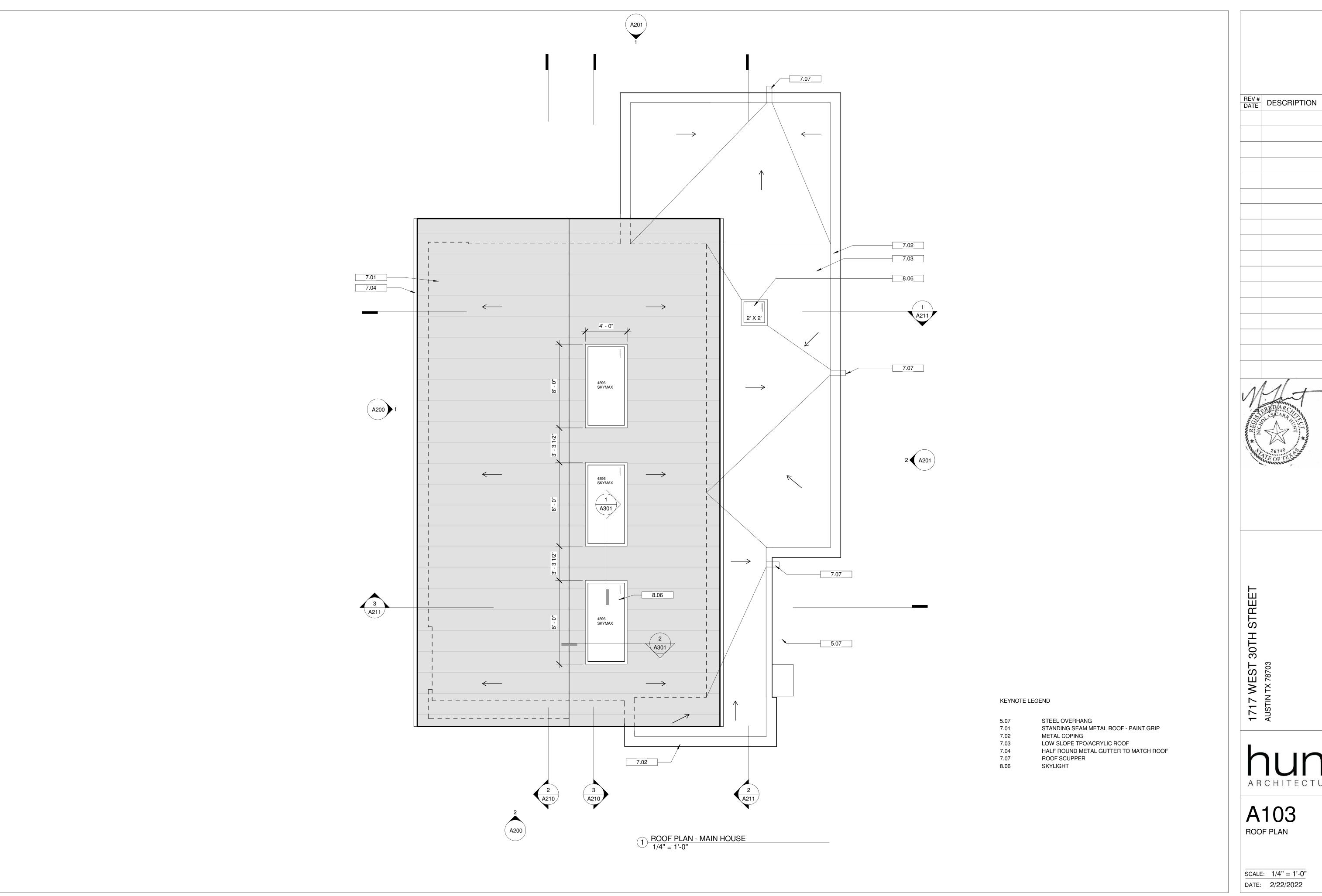
DESCRIPTION

7 WEST 30TH STREET

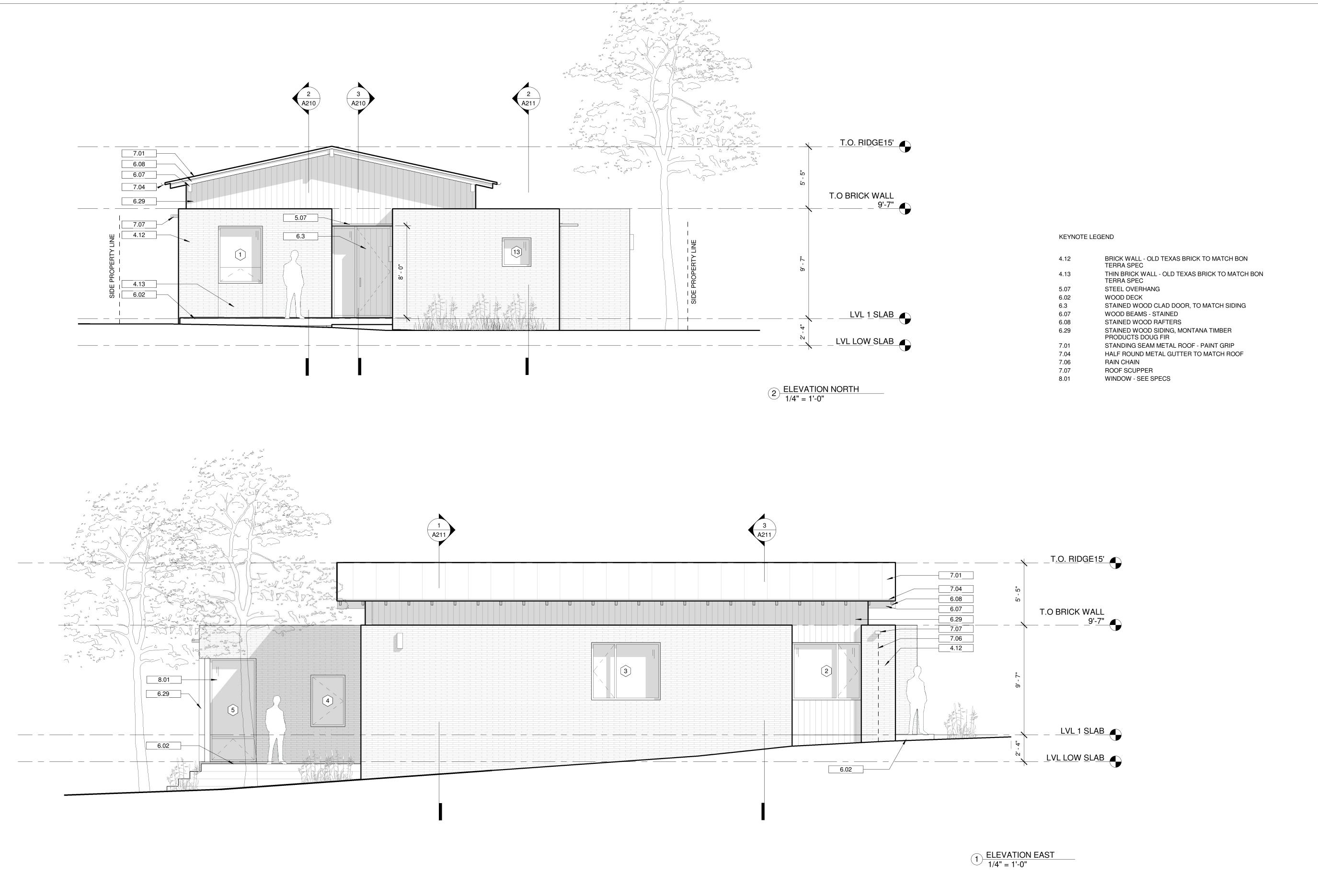
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A102
LEVEL ONE PLAN

SCALE: As indicated
DATE: 2/22/2022



A103 ROOF PLAN



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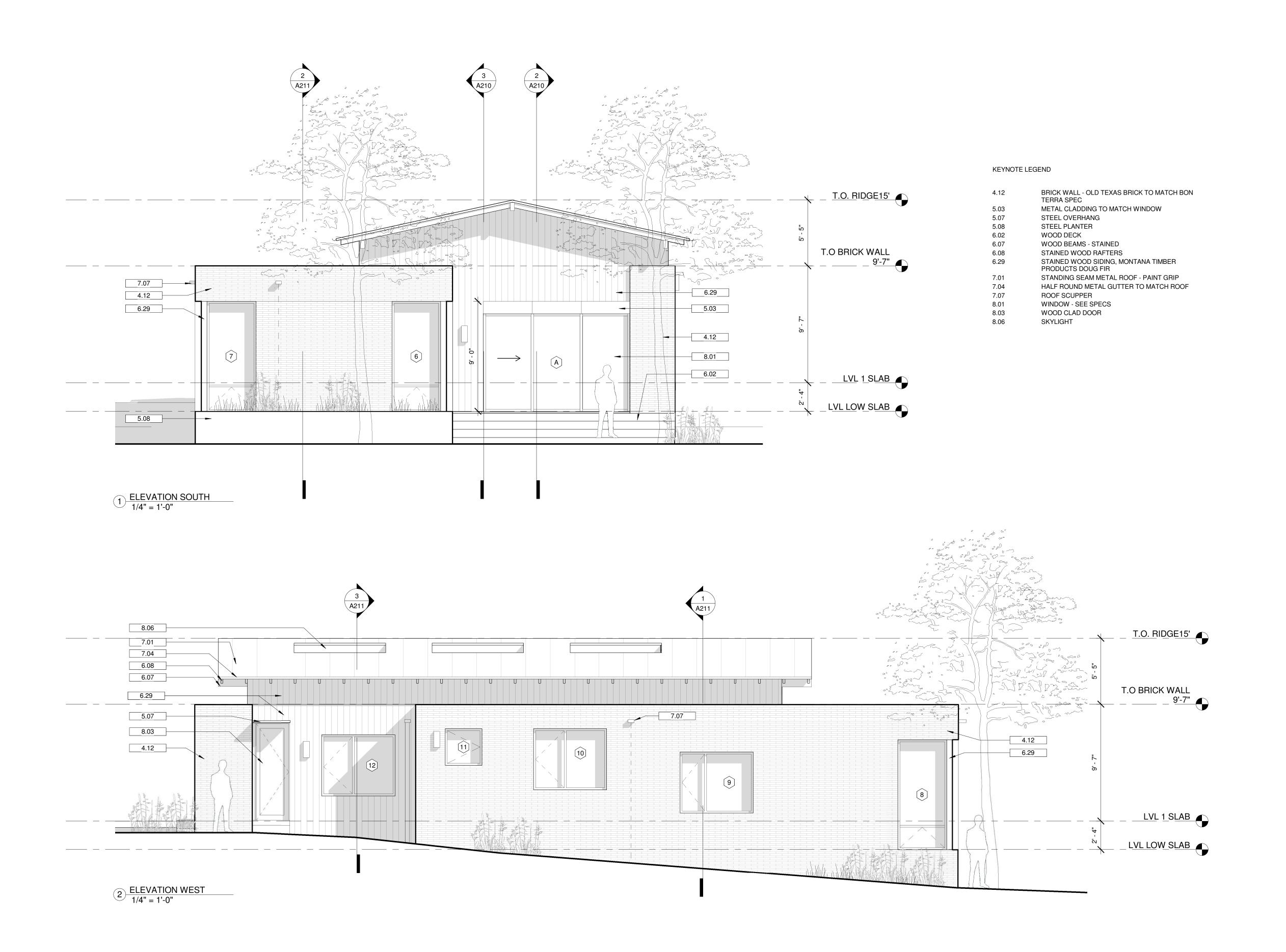
DESCRIPTION

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AUSTIN TX 78703

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A200 ELEVATIONS

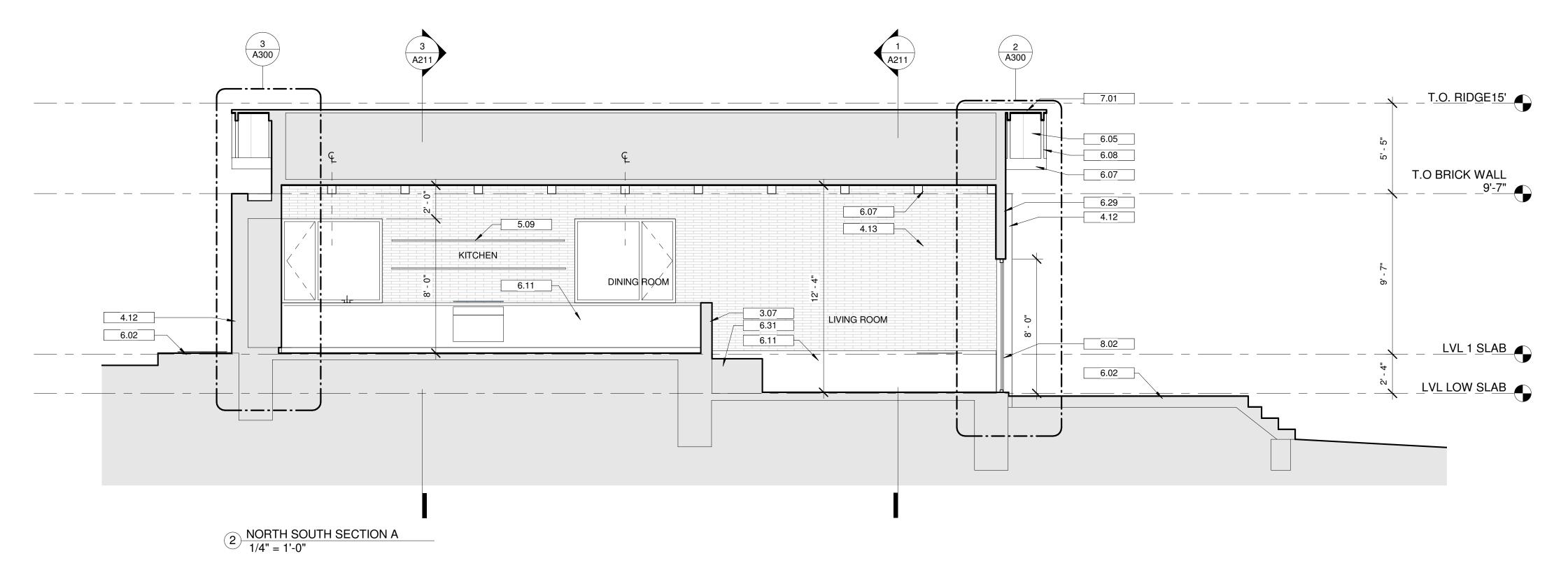


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1717 WEST 30TH STR
AUSTIN TX 78703



A201 ELEVATIONS



KEYNOTE LEGEND

3.07 ARCHITECTURAL CONCRETE WALL BRICK WALL - OLD TEXAS BRICK TO MATCH BON TERRA SPEC 4.12 THIN BRICK WALL - OLD TEXAS BRICK TO MATCH BON TERRA SPEC STEEL OVERHANG 5.09 BLACKENED STEEL SHELF 6.02 WOOD DECK WOOD SOFFIT - 6" T&G WOOD BEAMS - STAINED 6.05 6.07 STAINED WOOD RAFTERS 6.08 6.11 MILLWORK CABINETS - WOOD VENEER STAINED WOOD SIDING, MONTANA TIMBER PRODUCTS DOUG FIR MILLWORK BANQUETTE BASE - WOOD VENEER

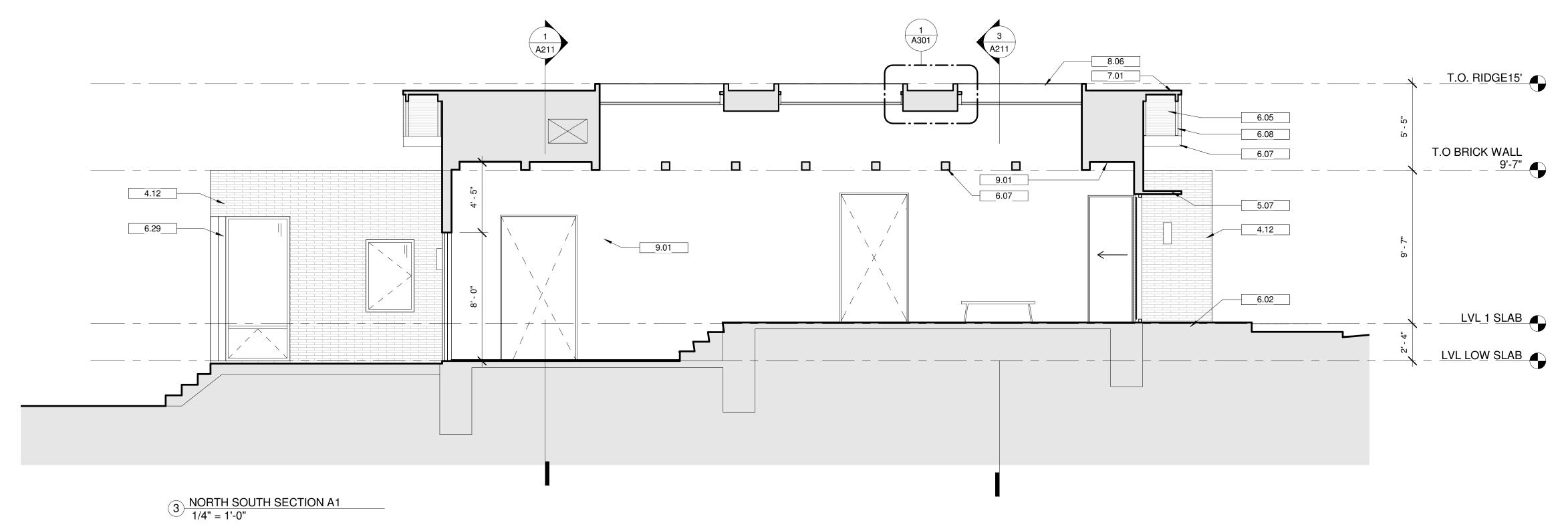
6.31 7.01 8.02 8.06 9.01 STANDING SEAM METAL ROOF - PAINT GRIP EXTERIOR WINDOW / DOOR SYSTEM - SEE SPECS

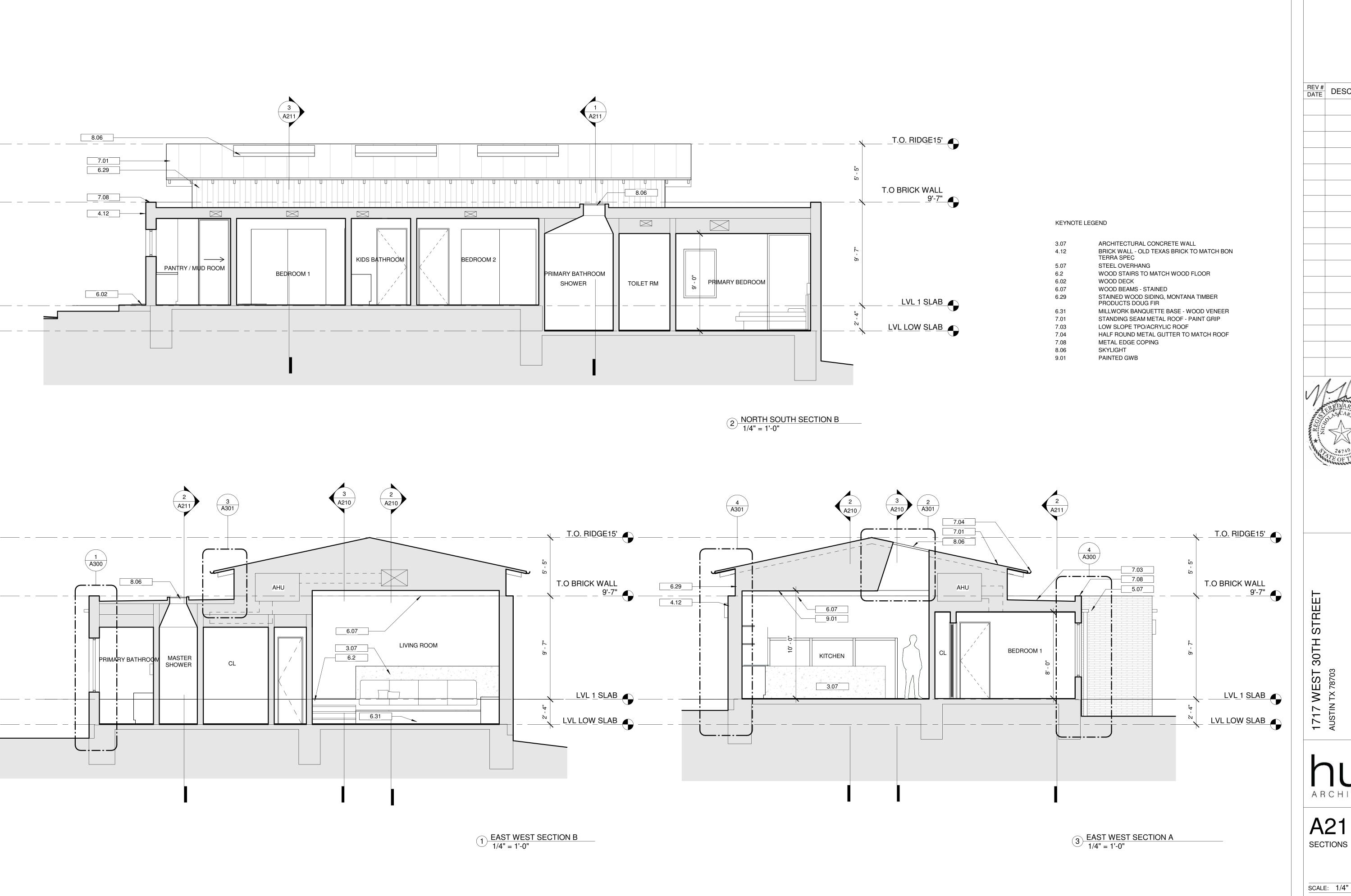
SKYLIGHT PAINTED GWB

WEST 1717 AUSTIN

REV# DESCRIPTION

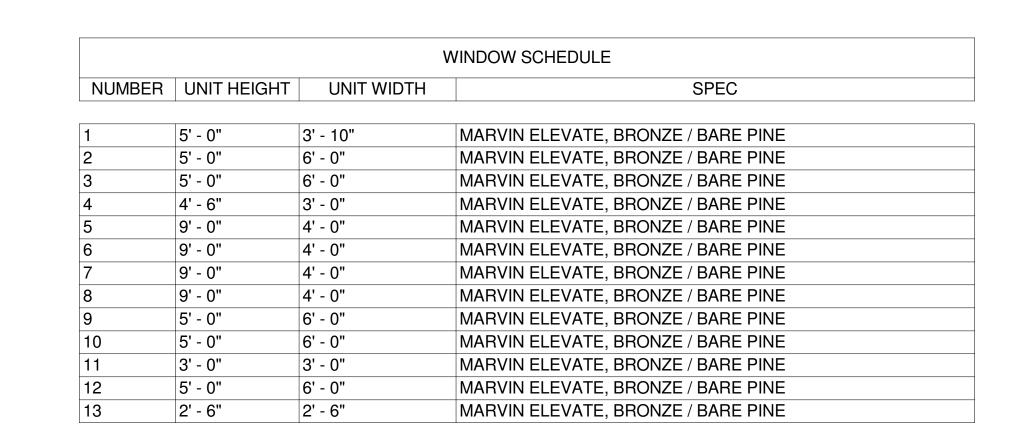
A210 SECTIONS



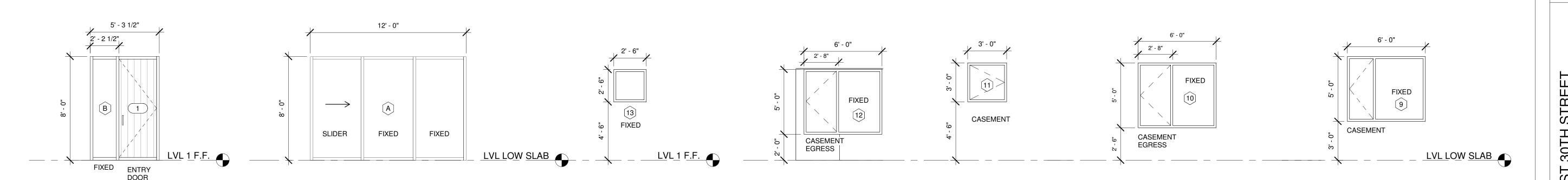


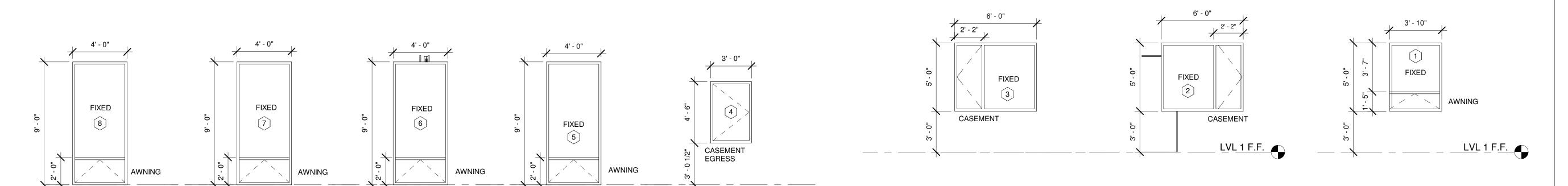
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A211



NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC
Α	8' - 0"	12' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
В	8' - 0"	5' - 3 1/2"	MARVIN ELEVATE, BRONZE / BARE PINE





VOARC VO

REV # DESCRIPTION

1717 WEST 30TH STREET AUSTIN TX 78703



A220 WINDOWS

STRUCTURAL FOUNDATION PLANS, BRACED PLANS, FRAMING PLANS AND DETAILS FOR NEW RESIDENCE

1717 WEST 30TH STREET AUSTIN, TEXAS 78703

GENERAL NOTES:

APPLICABLE CODES

LOADS (ASD):

-WIND VELOCITY 115 MPH -EXPOSURE CATEGORY C -ROOF LIVE LOAD 20 PSF -ATTIC LIVE LOAD 20 PSF -FLOOR LIVE LOAD -DEAD LOAD

15 PSF ASSUMED SOILS TAKEN FROM IBC 2015 - TABLE 1806.2;

CLASS 5 (CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT & SANDY SILT)

-ALLOWABLE BEARING FROM IBC 2015 - TABLE 1806.2.

ALLOWABLE BEARING -MIN BEARING DEPTH **UNDISTURBED**

1500 PSF

A992 GR 60

A500 GR 46

A36 GR 36

60 KSI DEFORMED REBAR

2' - 0" MIN BELOW GRADE & 6" MIN INTO

WATER TO CEMEMNT RATIO

3000 PSI CONCRETE AT 28 DAYS, WITH 0.50 MAX

MATERIAL GRADES:

В

A. CONCRETE i. SLABS AND FOUNDATIONS

B. STEEL

WIDE FLANGE BEAM/COLUMN ii. HOLLOW STRUCTURAL STEEL MEMBERS

iii. REBAR iv. MISC ANGLE, PLATE, & CHANNEL

C. TIMBER ALL WOOD FRAMING TO BE SOUTHERN PINE

- i. WOOD STUD COLUMN F'c = 1'650 PSI OR GREATER
- ii. WOOD ROOF AND CEILING FRAMING F'b = 1,350 PSI OR GREATER, Emin 1600ksi
- iii. WALL SHEATHING = 15/32" OR THICKER, ATTACH PER S-003.
- iv. ROOF SHEATHING = 1/2" OR THICKER ATTACH PER S-003. v. PURLIN SPACING TO BE AT 16" OR LESS UNLESS NOTED OTHERWISE
- vi. REFER TO A3/S-002 FOR ADDITIONAL FRAMING CONSTRUCTION DETAILS

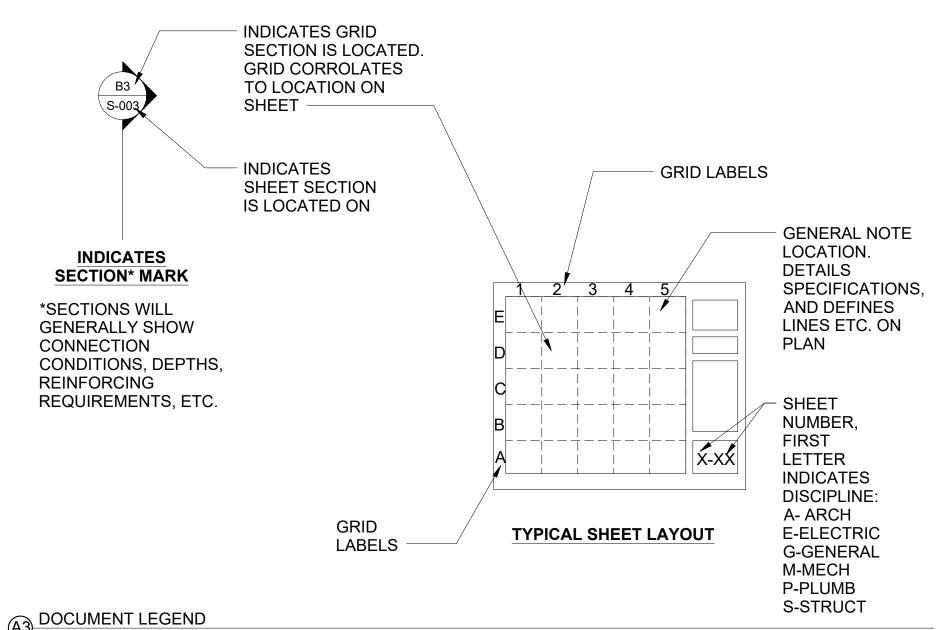
FOUNDATIONS:

A. SCARIFY AND REMOVE TOP 6"-12" OF SOIL AND ALL ORGANIC DEBRIS. PLACE COMPACTED FILL IN 6" MAX LIFTS. SOILS TO HAVE PI INBETWEEN 5 AND 15 IN WITH NO MORE THAN 15% FINES RETAINED BELOW #200 SIEVE... B. GRADE BEAMS/CONTINUOUS STRIP FOOTINGS MAY BE FORMED WITH EARTH FORMS. PROVIDED THE EXCAVATIONS ARE KEPT WITHIN A TOLERANCE OF +/-1" AND ALL MINIMUM CLEARANCES ON DRAWINGS ARE MET C.SUPPORT ALL REBAR WITH PLASTIC OR CONCRETE CHAIRS SPACED AT 3'-0" MAX. PIECES OF DEBRIS AND WOOD ARE UNACCEPTABLE CHAIRS.

D. CURE CONCRETE WITH ASTM APPROVED WET CURE OR CURING COMPOUND FOR 7 DAYS AFTER POUR. MAINTAIN ACI MIN REQUIRED TEMPERATURE FOR 7 DAYS. IF COLD WEATHER ISSUES ARISE, CONTACT ENGINEER OF RECORD (EOR) FOR COLD WEATHER PROCEDURES. IF CURING COMPOUND IS USED, USE LOW VOC. WATER BASED COMOUND, THAT CAN BE REMOVED TO ALLOW ADHERED FLOORING, COLORING, STAINING, ETC. E. DO NOT PLACE CONCRETE WHEN TEMPERATURES EXCEED 100 F. CONCTACT EOR FOR HOT WEATHER PLACEMENT TECNIQUES IF TEMPERATURES EXCEED 100F.

1 1/2" = 1'-0"

6. GEO-TECHNICAL REPORT NOT PROVIDED, GC TO VERIFY SOILS CONDITIONS MEET OR EXCEED ASSUMPTIONS. WHERE VOIDS, EXCESSIVE DEBRIS, OR LOOSE MATERIALS ARE ENCOUTERED, A GEO-TECHNICAL ENGINEER SHOULD BE EMPLOYED TO DETERMINE SOLUTION. EOR NOT RESPONSIBLE FOR ISSUES WITH FOUNDATIONS, WHERE CONDITIONS ARE NOT VERIFIED. -COL WHERE OWNER DECLINES GEO-TECHNICAL REPORT, OWNER AT RISK.



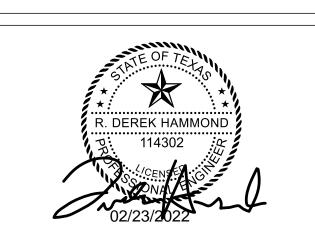
SHEET INDEX:

S-001 GENERAL NOTES & SHEET INDEX S-002 FOUNDATION DETAILS S-003 FRAMING DETAILS S-004 FRAMING DETAILS S-101 FOUNDATION PLAN S-102 BRACED FOUNDATION PLAN S-131 ROOF FRAMING PLAN

ABBREVIATIONS LIST:

ARCHITECT OF RECORD **BOTTOM** COLUMN -CONC CONCRETE -CONST CONSTRUCTION -CONT CONTINUOUS -DIA DIAMETER -EA EACH -EW **EACH WAY ENGINEER OF RECORD EXISTING** -EXST -FOUND **FOUNDATION HOLLOW STRUTURAL SECTION** -HORZ **HORIZONTAL** -JBE JOIST BEARING ELEVATION -LONG LONGITUDINAL -MANFR **MANUFACTURER** MAXIMUM -MAX MINIMUM -MIN -OC ON CENTER PLATE REFER -REINF REINFORCING TOP OF CONCRETE -TOS TOP OF STEEL -TOB TOP OF BEAM -TRANS **TRANSVERSE** -TYP **TYPICAL** -UNO UNLESS NOTED OTHERWISE -VERT **VERTICAL**

NOTE: SHEETS ARE DRAWN TO SCALE ON ANSI D SIZE SCALE. THESE DRAWINGS SCALE BY HALF WHEN PRINTING TO 11x17 SHEETS



300 S

Description ISSUE FOR PERMIT 02/23/2022

Project Number:

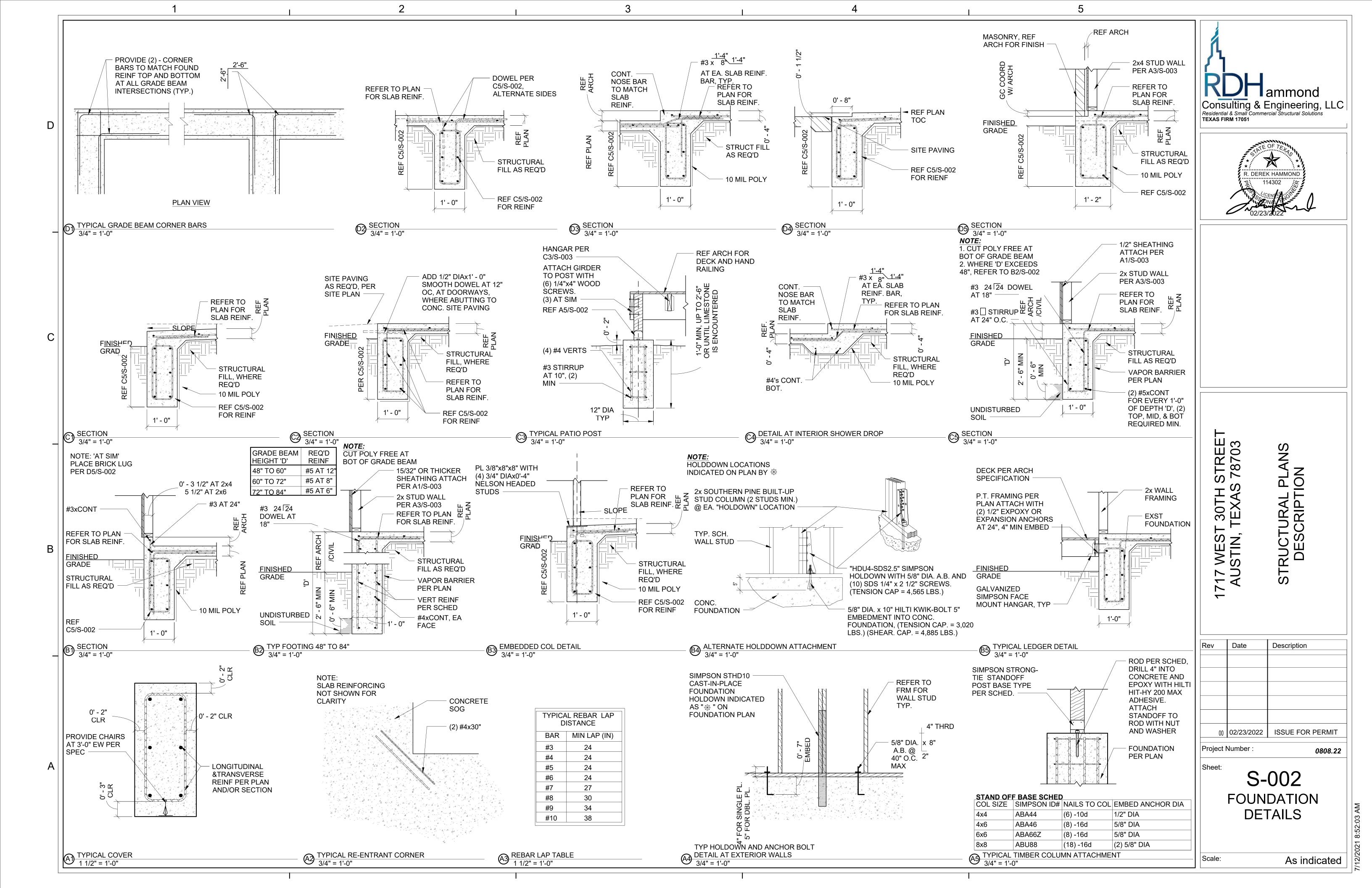
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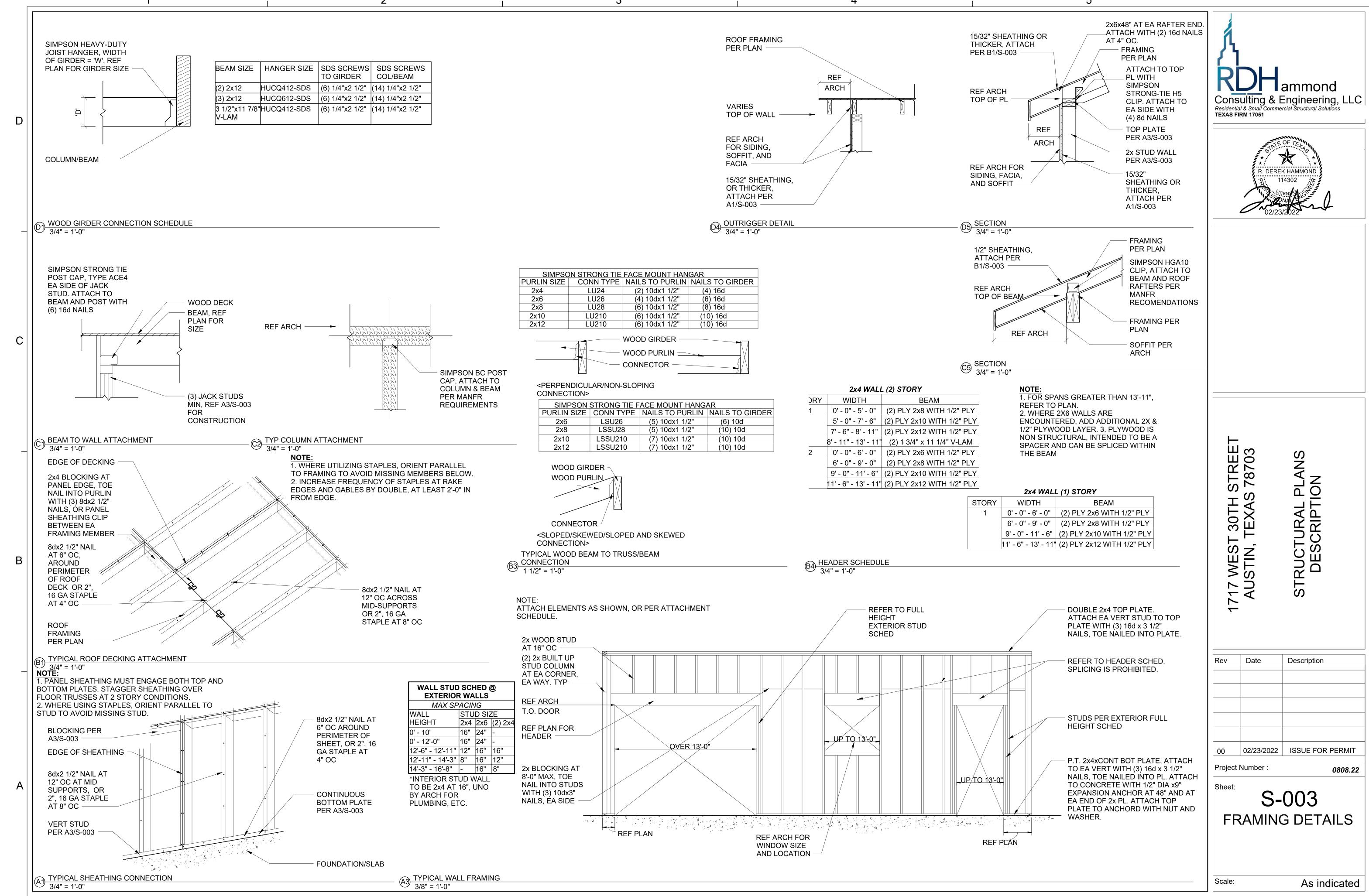
S-001 **GENERAL NOTES &** SHEET INDEX

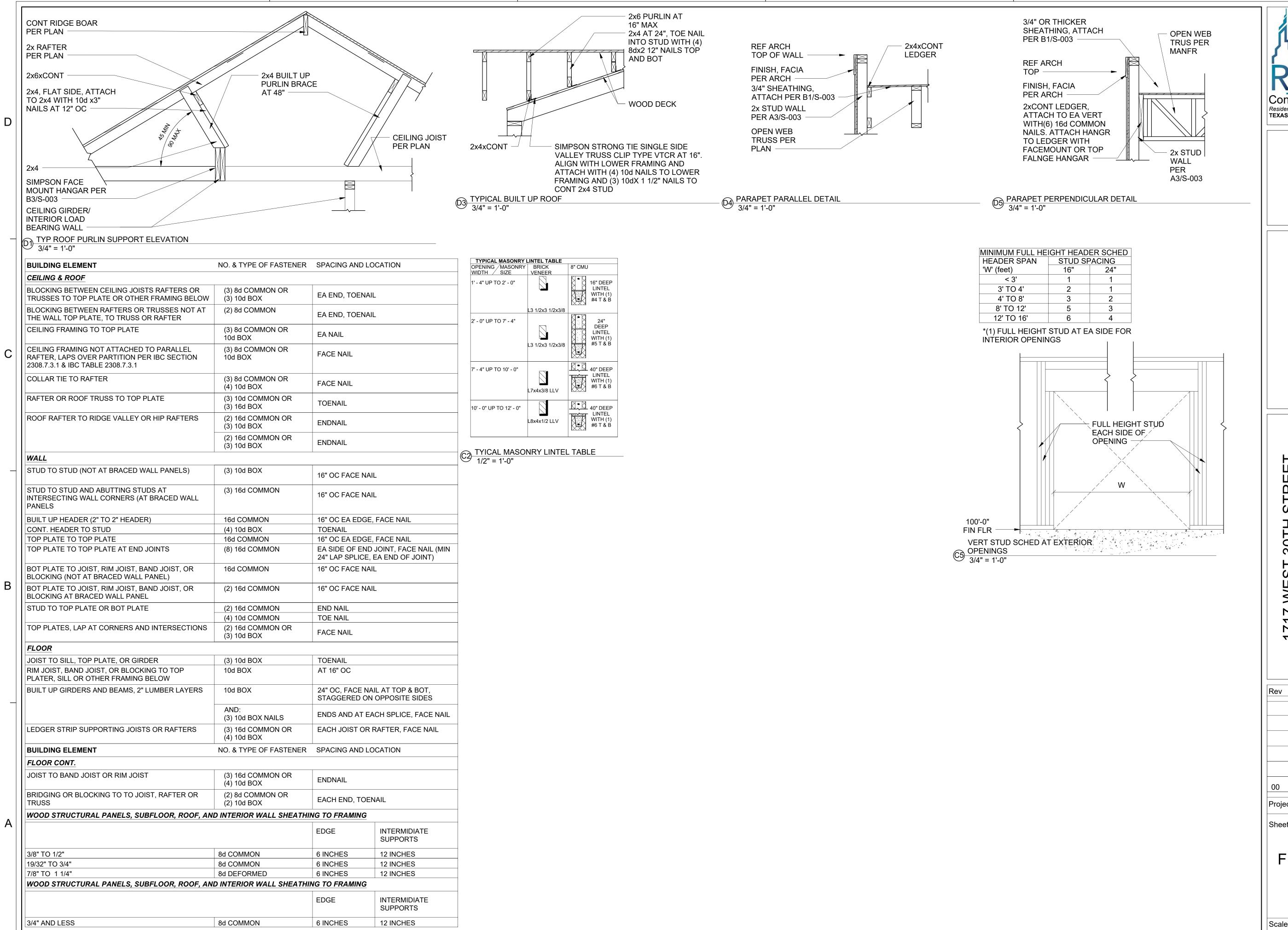
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1 1/2" = 1'-0"

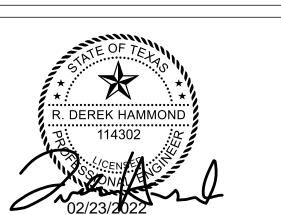
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Consulting & Engineering, LLC Residential & Small Commercial Structural Solutions
TEXAS FIRM 17051



STRUCTURAL PLANS DESCRIPTION TREI . 30. TEX 717 AU

| 02/23/2022 | ISSUE FOR PERMIT

Description

Project Number :

0808.22

S-004 FRAMING DETAILS

Scale:

As indicated

