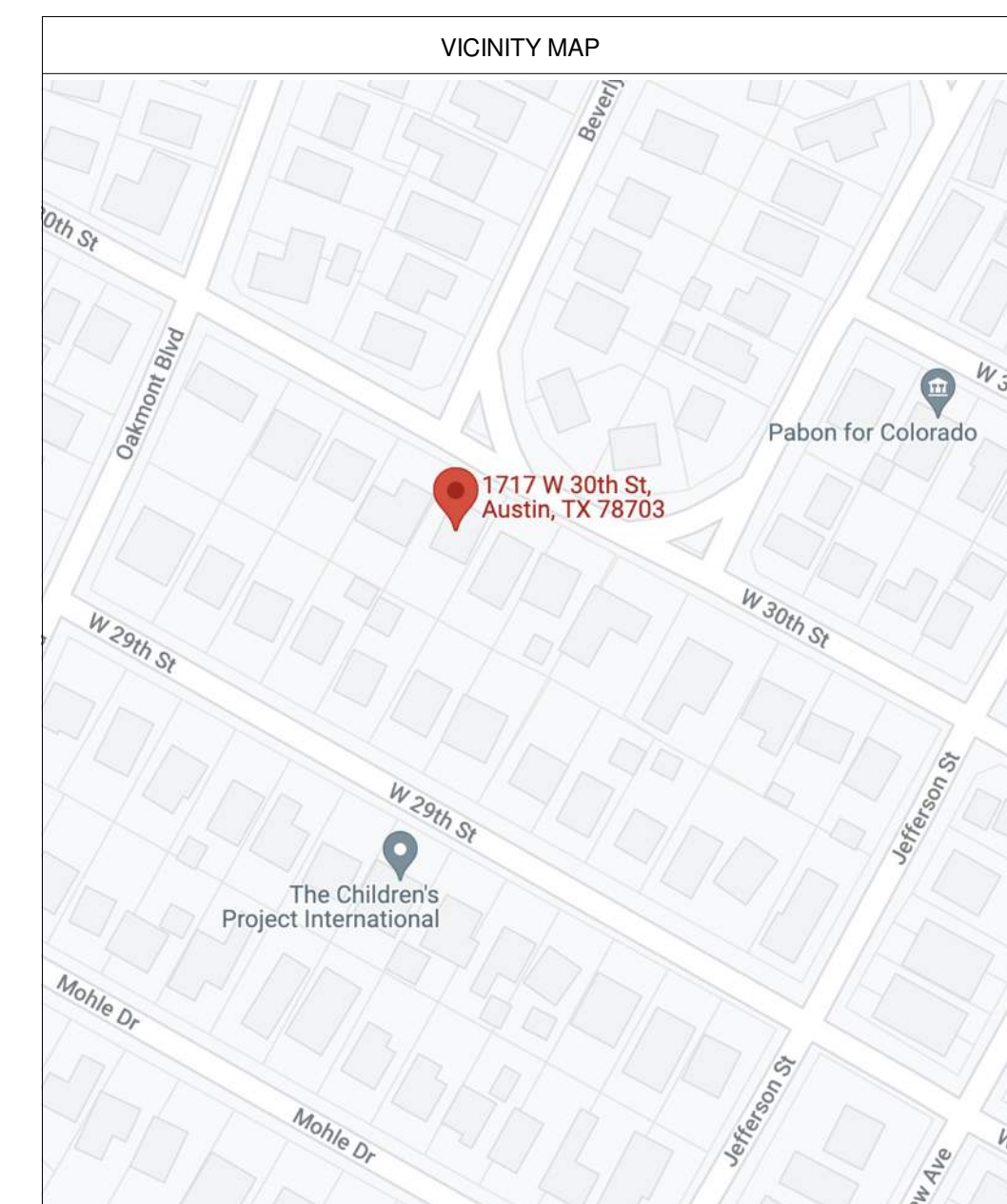
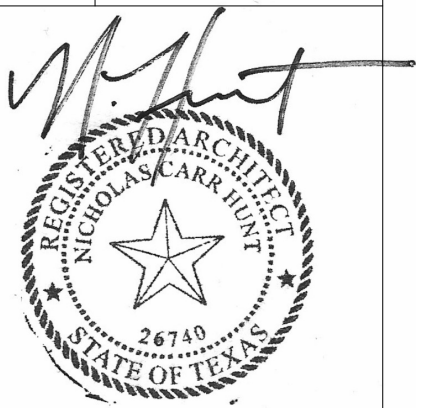




1717 W30TH STREET - FOR PERMIT SET
FEBURARY 22, 2022

Sheet List	
Sheet Name	Sheet Number
COVER	A000
SURVEY, CALCS, NOTES	A001
SITE PLAN	A100
LEVEL ONE PLAN	A102
ROOF PLAN	A103
ELEVATIONS	A200
ELEVATIONS	A201
SECTIONS	A210
SECTIONS	A211
WINDOWS	A220

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1717 WEST 30TH STREET
AUSTIN TX 78703

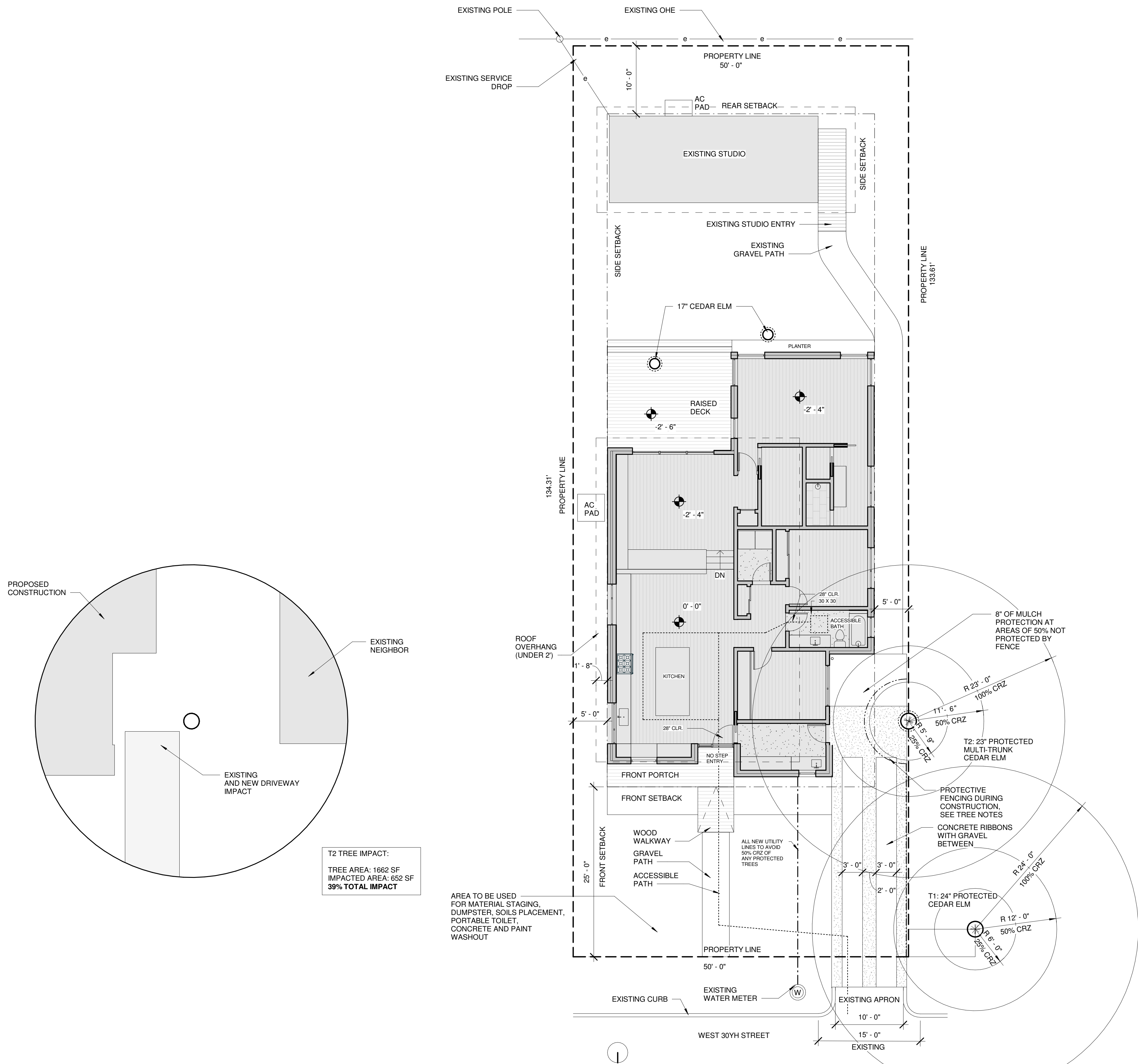
1717 WEST 30TH STREET, AUSTIN TX 78703

hunt

ARCHITECTURE

A000
COVER

SCALE: _____
DATE: 2/22/2022



T2 TREE IMPACT:
TREE AREA: 1662 SF
IMPACTED AREA: 652 SF
39% TOTAL IMPACT

AREA TO BE USED
FOR MATERIAL STAGING,
DUMPSTER, SOILS PLACEMENT,
PORTABLE TOILET,
CONCRETE AND PAINT
WASHOUT

SITE PLAN NOTES:

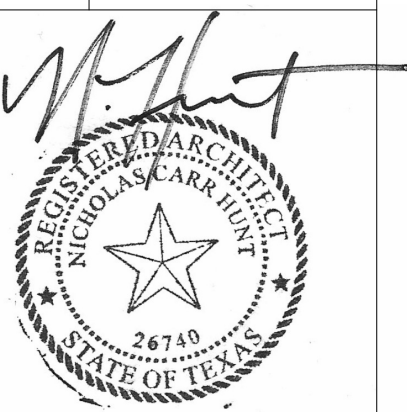
- CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.
- ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

TREE PROTECTION NOTES:

- PROTECTIVE PLANKS ARE TO BE 2 X4 OR GREATER (6' TALL MIN) STRAPPED SECURELY AROUND PROTECTED TREES AND ROOT FLARES
- TREE PROTECTION FENCING TO BE CHAIN-LINK MESH AT A MIN OF 5' HIGH
- TREE PROTECTION FENCING MUST BE ON LEVEL GROUND (FLAT POST BASES WEIGHTED DOWN WITH SAND BAGS) AND MUST ENCOMPASS THE 25% CRZ AT MINIMUM.
- TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED IN AREA. FENCES SHALL BE AT THE DRIP LINE WHEREVER POSSIBLE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS ETC. WILL BE ALLOWED WITHIN THESE AREAS. ALL STAGING, DUMPSTER, TOILET, CONCRETE WASHOUT AND SOILS PLACEMENT TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE

1 PROPOSED SITE PLAN
1/8" = 1'-0"

REV #
DATE DESCRIPTION



1717 WEST 30TH STREET
AUSTIN TX 78703

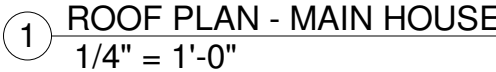
hunt
ARCHITECTURE

A100
SITE PLAN

SCALE: As indicated
DATE: 2/22/2022

1717 WEST 30TH STREET, AUSTIN TX 78703

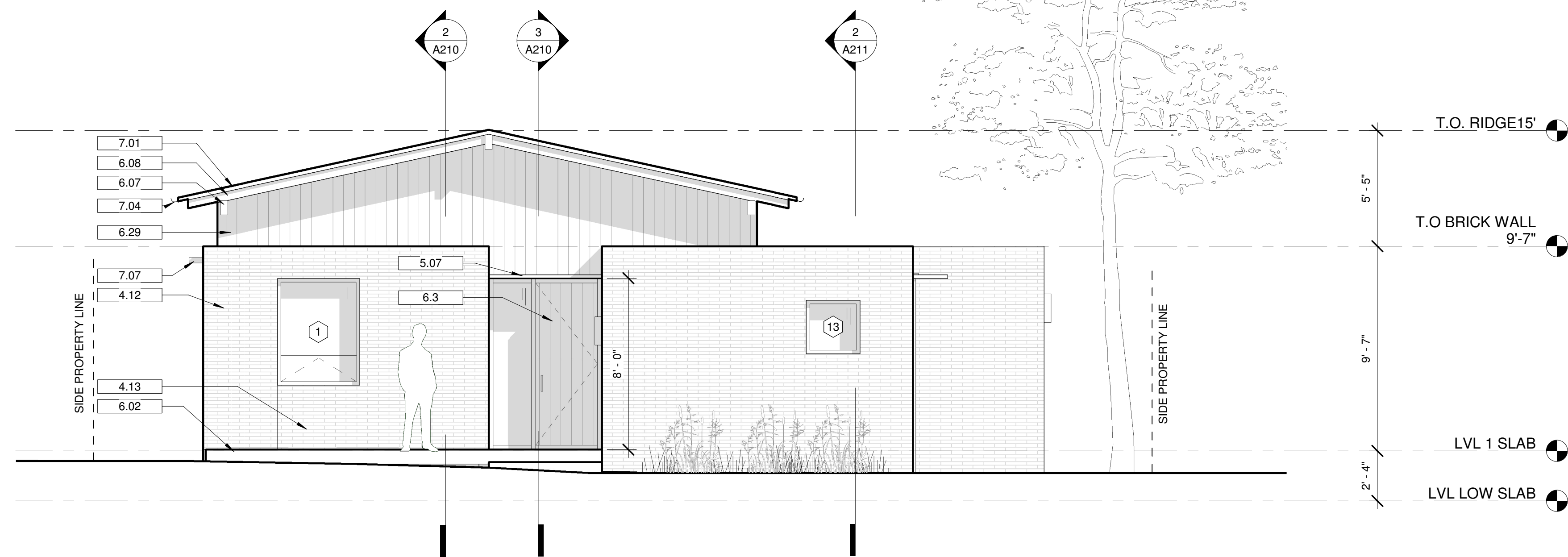
SCALE: As indicated
DATE: 2/22/2022



5.07	STEEL OVERHANG
7.01	STANDING SEAM METAL ROOF - PAINT GRIP
7.02	METAL COPING
7.03	LOW SLOPE TPO/ACRYLIC ROOF
7.04	HALF ROUND METAL GUTTER TO MATCH ROOF
7.07	ROOF SCUPPER
8.06	SKYLIGHT

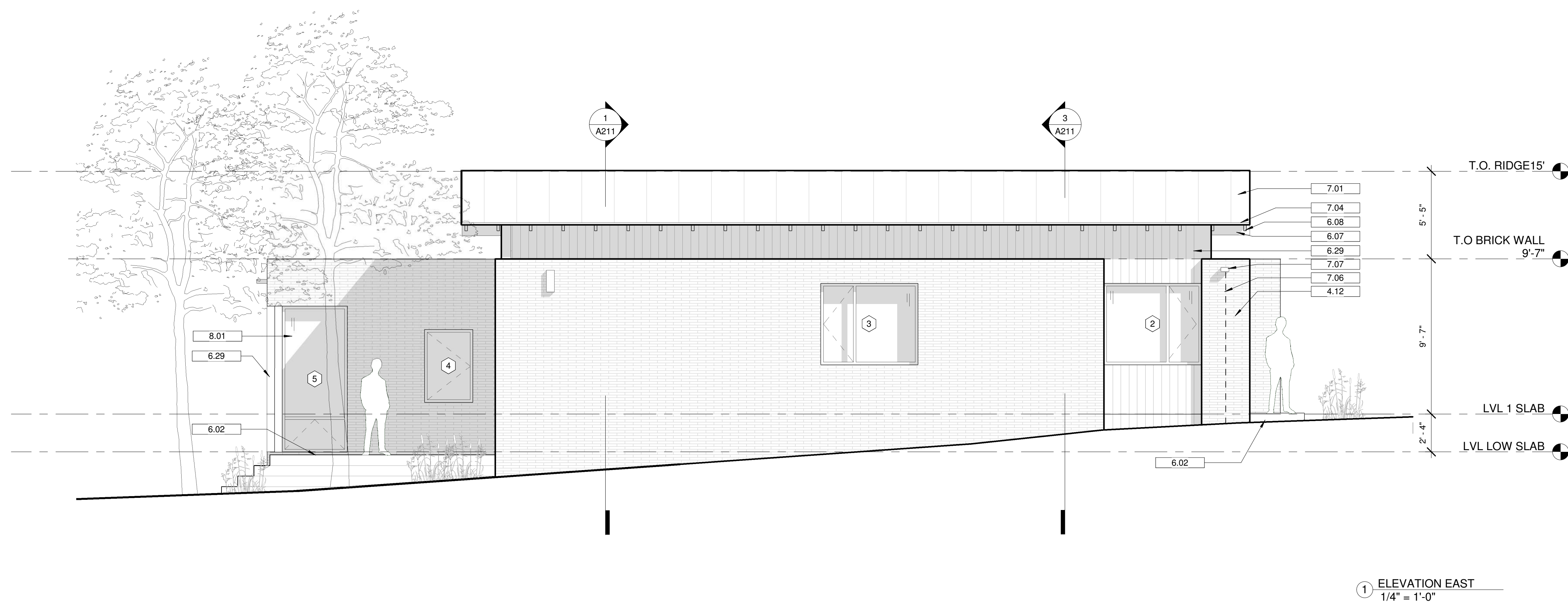
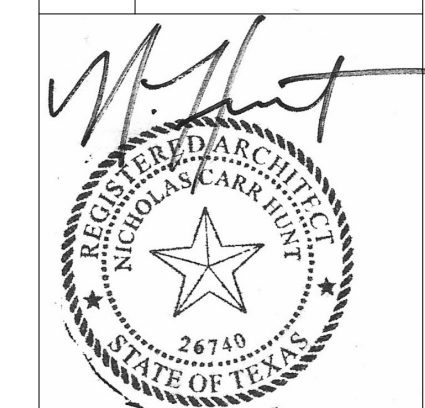
1717 WEST 30TH STREET. AUSTIN TX 78703

SCALE: $1/4" = 1'-0"$
DATE: 2/22/2022



KEYNOTE LEGEND

- | | |
|------|---|
| 4.12 | BRICK WALL - OLD TEXAS BRICK TO MATCH BON TERRA SPEC |
| 4.13 | THIN BRICK WALL - OLD TEXAS BRICK TO MATCH BON TERRA SPEC |
| 5.07 | STEEL OVERHANG |
| 6.02 | WOOD DECK |
| 6.3 | STAINED WOOD CLAD DOOR, TO MATCH SIDING |
| 6.07 | WOOD BEAMS - STAINED |
| 6.08 | STAINED WOOD RAFTERS |
| 6.29 | STAINED WOOD SIDING, MONTANA TIMBER PRODUCTS DOUG FIR |
| 7.01 | STANDING SEAM METAL ROOF - PAINT GRIP |
| 7.04 | HALF ROUND METAL GUTTER TO MATCH ROOF |
| 7.06 | RAIN CHAIN |
| 7.07 | ROOF SCUPPER |
| 8.01 | WINDOW - SEE SPECS |

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1717 WEST 30TH STREET
AUSTIN TX 78703

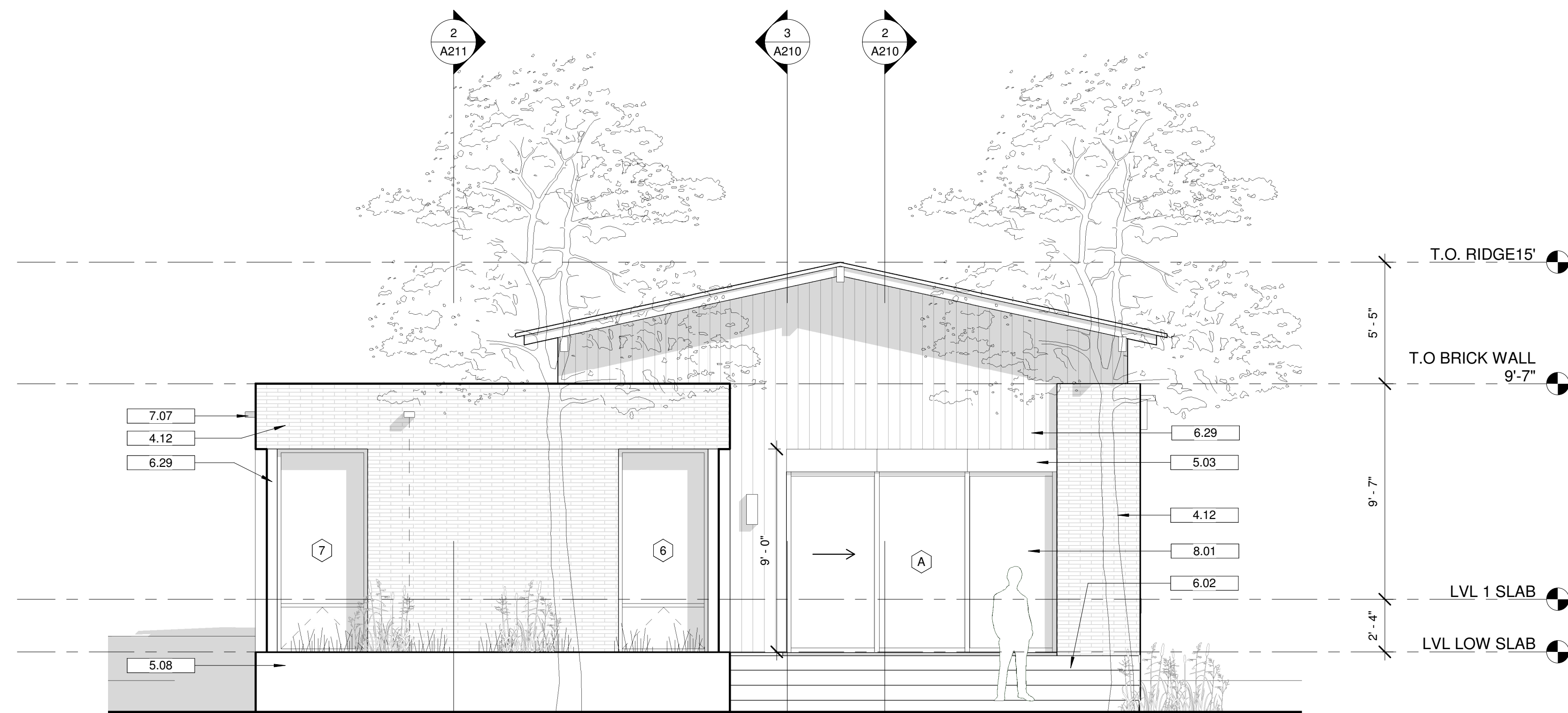
11717 WEST 30TH STREET, AUSTIN TX 78703

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ARCHITECTURE

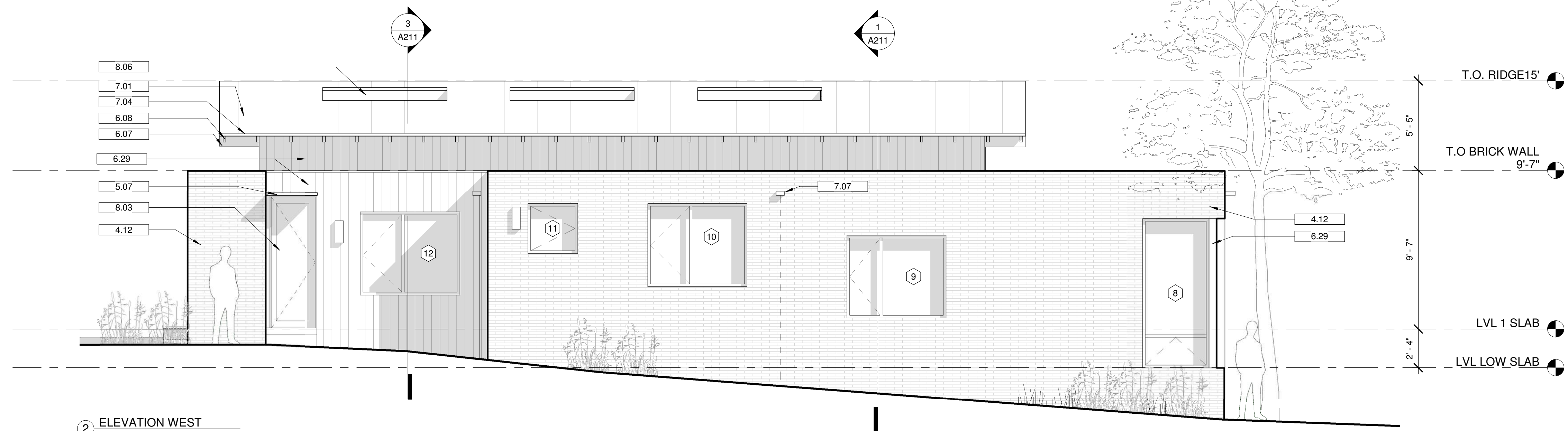
A200

ELEVATIONS

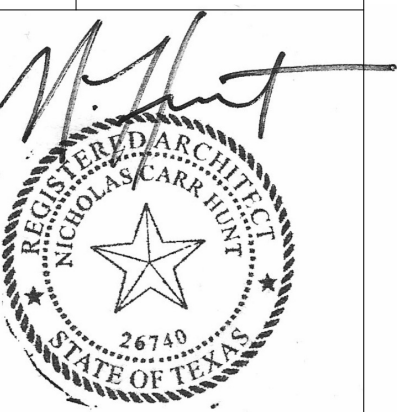
SCALE: 1/4" = 1'-0"
DATE: 2/22/2022



① ELEVATION SOUTH
1/4" = 1'-0"



② ELEVATION WEST
1/4" = 1'-0"

[illegible]

1717 WEST 30TH STREET
AUSTIN TX 78703

1717 WEST 30TH STREET, AUSTIN TX 78703

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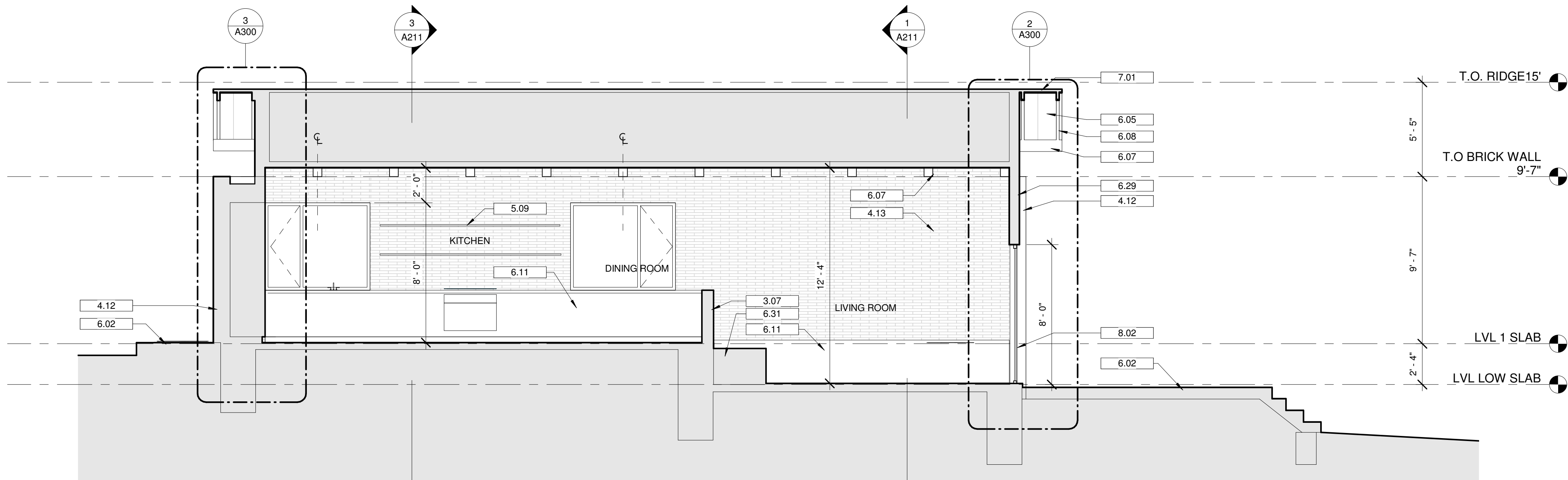
ARCHITECTURE

A201

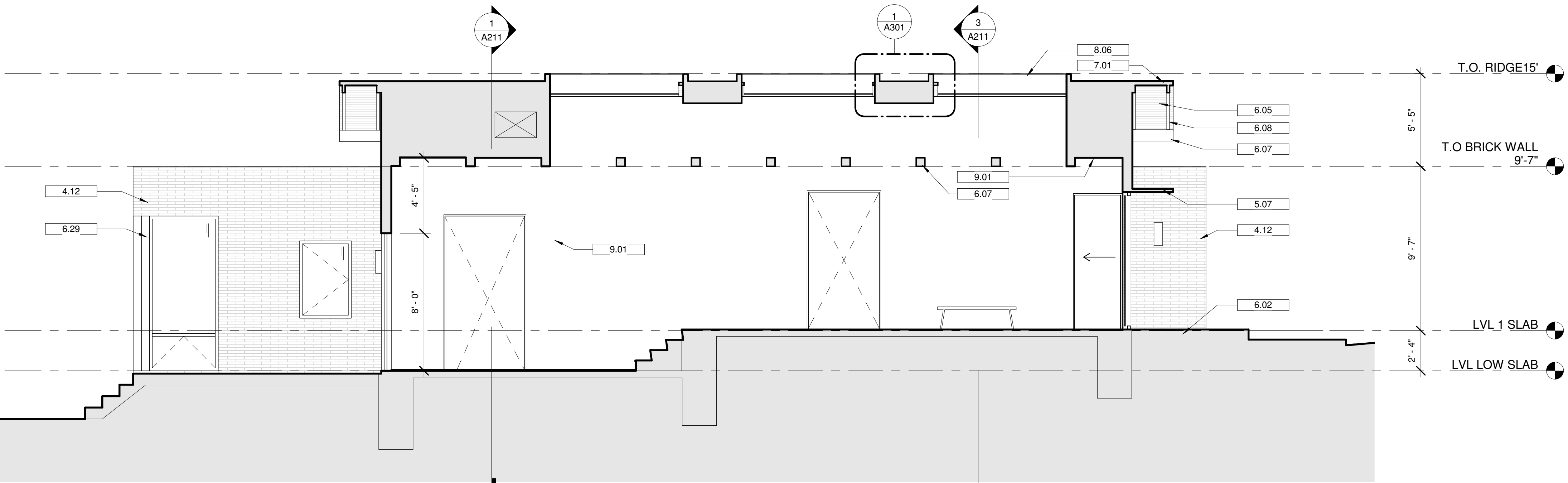
ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE: 2/22/2022



2 NORTH SOUTH SECTION A
1/4" = 1'-0"



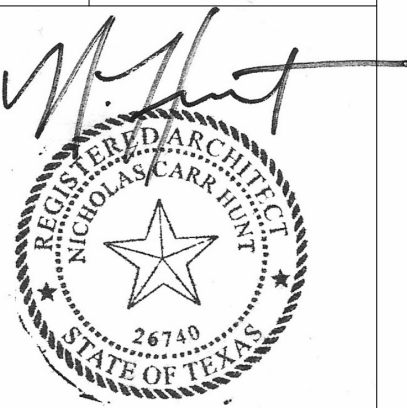
3 NORTH SOUTH SECTION A1
1/4" = 1'-0"

KEYNOTE LEGEND

- 3.07 ARCHITECTURAL CONCRETE WALL
- 4.12 BRICK WALL - OLD TEXAS BRICK TO MATCH BON TERRA SPEC
- 4.13 THIN BRICK WALL - OLD TEXAS BRICK TO MATCH BON TERRA SPEC
- 5.07 STEEL OVERHANG
- 5.09 BLACKENED STEEL SHELF
- 6.02 WOOD DECK
- 6.05 WOOD SOFFIT - 6" T&G
- 6.07 WOOD BEAMS - STAINED
- 6.08 STAINED WOOD RAFTERS
- 6.11 MILLWORK CABINETS - WOOD VENEER
- 6.29 STAINED WOOD SIDING, MONTANA TIMBER PRODUCTS DOUG FIR
- 6.31 MILLWORK BANQUETTE BASE - WOOD VENEER
- 7.01 STANDING SEAM METAL ROOF - PAINT GRIP
- 8.02 EXTERIOR WINDOW / DOOR SYSTEM - SEE SPECS
- 8.06 SKYLIGHT
- 9.01 PAINTED GWB

REV #	DESCRIPTION
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DATE	
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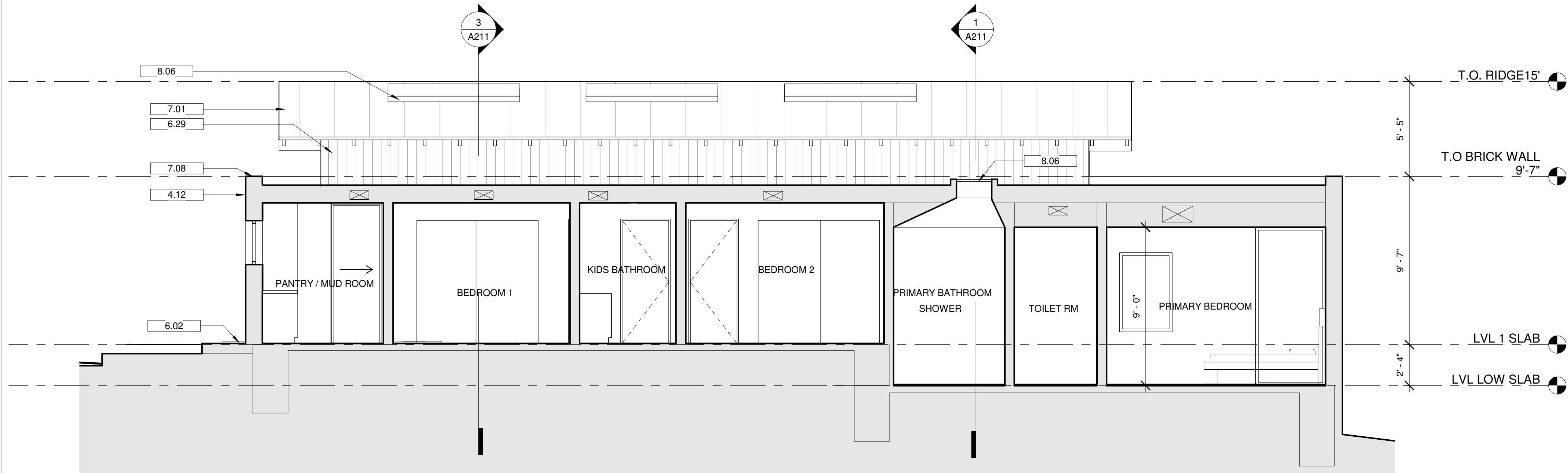
1717 WEST 30TH STREET
AUSTIN TX 78703

1717 WEST 30TH STREET, AUSTIN TX 78703

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ARCHITECTURE

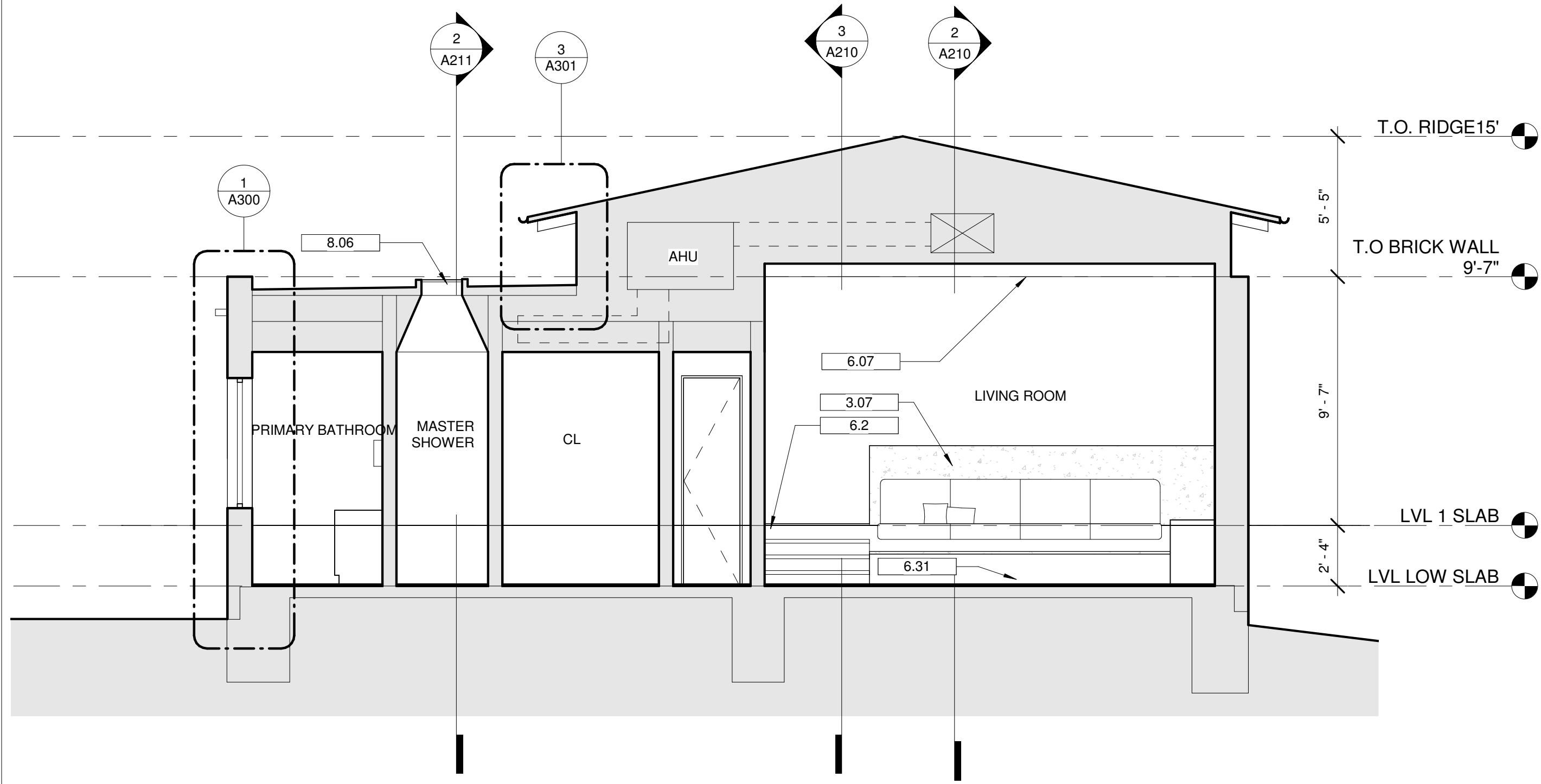
A210
SECTIONS

SCALE: 1/4" = 1'-0"
DATE: 2/22/2022

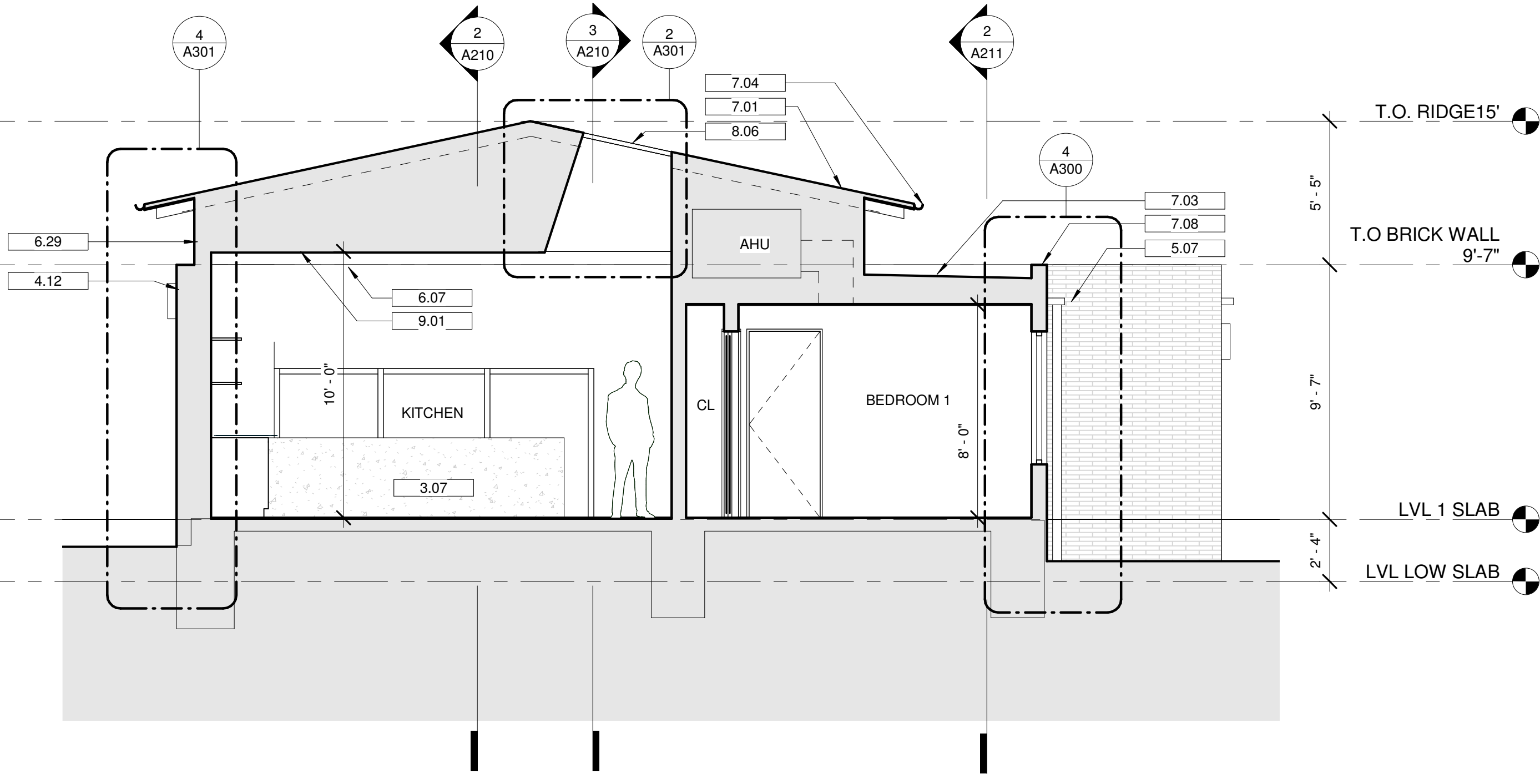


KEYNOTE LEGEND	
3.07	ARCHITECTURAL CONCRETE WALL
4.12	BRICK WALL - OLD TEXAS BRICK TO MATCH BON TERRA SPEC
5.07	STEEL OVERHANG
6.2	WOOD STAIRS TO MATCH WOOD FLOOR
6.02	WOOD DECK
6.07	WOOD BEAMS - STAINED
6.29	STAINED WOOD SIDING, MONTANA TIMBER PRODUCTS DOUG FIR
6.31	MILLWORK BANQUETTE BASE - WOOD VENEER
7.01	STANDING SEAM METAL ROOF - PAINT GRIP
7.03	LOW SLOPE TPO/ACRYLIC ROOF
7.04	HALF ROUND METAL GUTTER TO MATCH ROOF
7.08	METAL EDGE COPING
8.06	SKYLIGHT
9.01	PAINTED GWB

2 NORTH SOUTH SECTION B
1/4" = 1'-0"

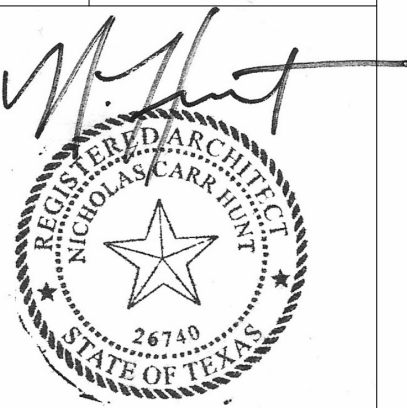


1 EAST WEST SECTION B
1/4" = 1'-0"



3 EAST WEST SECTION A
1/4" = 1'-0"

REV #	DESCRIPTION
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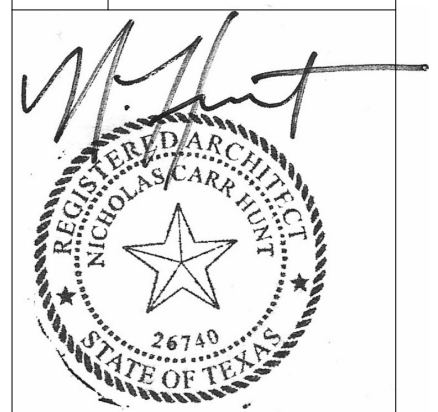
1717 WEST 30TH STREET
AUSTIN TX 78703

1717 WEST 30TH STREET, AUSTIN TX 78703

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ARCHITECTURE

A211
SECTIONS

SCALE: 1/4" = 1'-0"
DATE: 2/22/2022

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1717 WEST 30TH STREET
AUSTIN TX 78703

1717 WEST 30TH STREET, AUSTIN TX 78703

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ARCHITECTURE

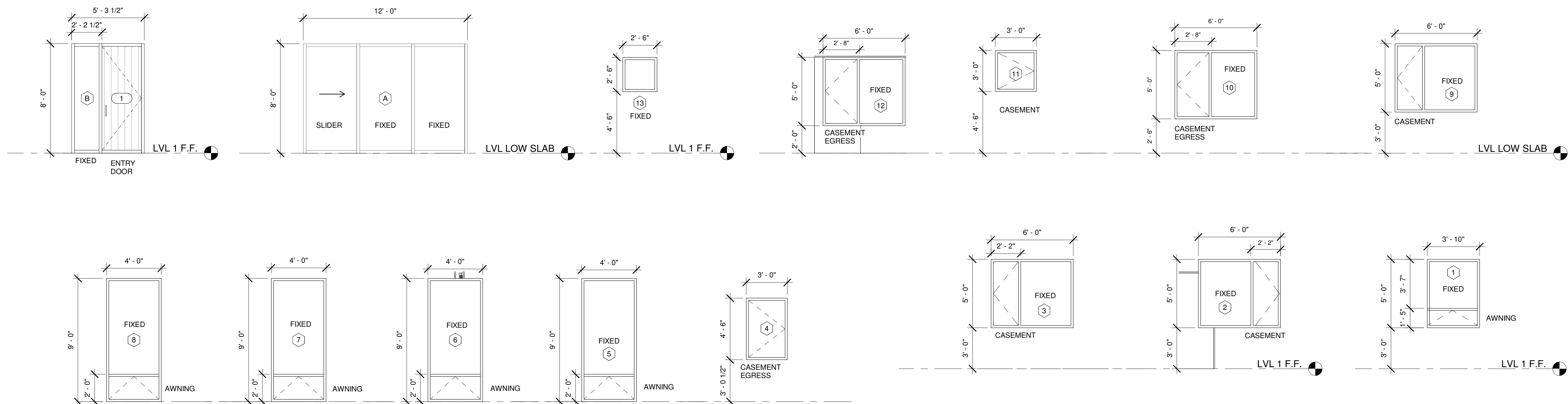
A220

WINDOWS

SCALE: $1/4" = 1'-0"$
DATE: 2/22/2022

WINDOW SCHEDULE			
NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC
1	5' - 0"	3' - 10"	MARVIN ELEVATE, BRONZE / BARE PINE
2	5' - 0"	6' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
3	5' - 0"	6' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
4	4' - 6"	3' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
5	9' - 0"	4' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
6	9' - 0"	4' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
7	9' - 0"	4' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
8	9' - 0"	4' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
9	5' - 0"	6' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
10	5' - 0"	6' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
11	3' - 0"	3' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
12	5' - 0"	6' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
13	2' - 6"	2' - 6"	MARVIN ELEVATE, BRONZE / BARE PINE

NUMBER	UNIT HEIGHT	UNIT WIDTH	SPEC
A	8' - 0"	12' - 0"	MARVIN ELEVATE, BRONZE / BARE PINE
B	8' - 0"	5' - 3 1/2"	MARVIN ELEVATE, BRONZE / BARE PINE



STRUCTURAL FOUNDATION PLANS, BRACED PLANS, FRAMING PLANS AND DETAILS FOR NEW RESIDENCE

1717 WEST 30TH STREET
AUSTIN, TEXAS 78703

GENERAL NOTES:

APPLICABLE CODES:

-AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) STEEL CONSTRUCTION MANUAL 14TH EDITION
-INTERNATIONAL BUILDING CODE (IBC) 2021
-INTERNATIONAL RESIDENTIAL CODE (IRC) 2021
-ASCE 07-19 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES
-NDS 2015 DESIGN OF WOOD STRUCTURES
-ACI 318-16: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

LOADS (ASD):

-BUILDING CATEGORY II
-WIND VELOCITY 115 MPH
-EXPOSURE CATEGORY C
-ROOF LIVE LOAD
20 PSF
-ATTIC LIVE LOAD
20 PSF
-FLOOR LIVE LOAD
40 PSF
-DEAD LOAD
15 PSF

-ASSUMED SOILS TAKEN FROM IBC 2015 - TABLE 1806.2;

CLASS OF MATERIALS CLASS 5 (CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT & SANDY SILT)

-ALLOWABLE BEARING FROM IBC 2015 - TABLE 1806.2.

ALLOWABLE BEARING - 1500 PSF
MIN BEARING DEPTH - 2' - 0" MIN BELOW GRADE & 6" MIN INTO UNDISTURBED

MATERIAL GRADES:

- A. CONCRETE
i. SLABS AND FOUNDATIONS 3000 PSI CONCRETE AT 28 DAYS, WITH 0.50 MAX WATER TO CEMEMNT RATIO
- B. STEEL
i. WIDE FLANGE BEAM/COLUMN A992 GR 60
ii. HOLLOW STRUCTURAL STEEL MEMBERS A500 GR 46
iii. REBAR 60 KSI DEFORMED REBAR
iv. MISC ANGLE, PLATE, & CHANNEL A36 GR 36
- C. TIMBER
ALL WOOD FRAMING TO BE SOUTHERN PINE
- i. WOOD STUD COLUMN - F'c = 1'650 PSI OR GREATER
ii. WOOD ROOF AND CEILING FRAMING - F'b = 1,350 PSI OR GREATER, Emin 1600ksi
iii. WALL SHEATHING = 15/32" OR THICKER, ATTACH PER S-003.
iv. ROOF SHEATHING = 1/2" OR THICKER ATTACH PER S-003.
v. PURLIN SPACING TO BE AT 16" OR LESS UNLESS NOTED OTHERWISE
vi. REFER TO A3/S-002 FOR ADDITIONAL FRAMING CONSTRUCTION DETAILS

FOUNDATIONS:

- A. SCARIFY AND REMOVE TOP 6"-12" OF SOIL AND ALL ORGANIC DEBRIS. PLACE COMPACTED FILL IN 6" MAX LIFTS. SOILS TO HAVE PI INBETWEEN 5 AND 15 IN WITH NO MORE THAN 15% FINES RETAINED BELOW #200 SIEVE..
B. GRADE BEAMS/CONTINUOUS STRIP FOOTINGS MAY BE FORMED WITH EARTH FORMS, PROVIDED THE EXCAVATIONS ARE KEPT WITHIN A TOLERANCE OF +/-1" AND ALL MINIMUM CLEARANCES ON DRAWINGS ARE MET.
C. SUPPORT ALL REBAR WITH PLASTIC OR CONCRETE CHAIRS SPACED AT 3'-0" MAX. PIECES OF DEBRIS AND WOOD ARE UNACCEPTABLE CHAIRS.
D. CURE CONCRETE WITH ASTM APPROVED WET CURE OR CURING COMPOUND FOR 7 DAYS AFTER POUR. MAINTAIN ACI MIN REQUIRED TEMPERATURE FOR 7 DAYS. IF COLD WEATHER ISSUES ARISE, CONTACT ENGINEER OF RECORD (EOR) FOR COLD WEATHER PROCEDURES. IF CURING COMPOUND IS USED, USE LOW VOC, WATER BASED COMOUND, THAT CAN BE REMOVED TO ALLOW ADHERED FLOORING, COLORING, STAINING, ETC.
E. DO NOT PLACE CONCRETE WHEN TEMPERATURES EXCEED 100 F. CONCTACT EOR FOR HOT WEATHER PLACEMENT TECHNIQUES IF TEMPERATURES EXCEED 100F.

COORDINATION:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION DUTIES & DESIGN INTENT WITHIN THE SUBCONTRACTORS & PROFESSIONAL DISCIPLINES. ANY CONFLICTS ARE TO BE BROUGHT TO THE AOR/EOR BEFORE WORK IS TO BEGIN. THE GENERAL CONTRACTOR IS THEREFORE RESPONSIBLE FOR ALL COSTS OR CORRECTIONS ASSOCIATED WITH THE CONTRACTOR'S FAILURE TO PROPERLY COORDINATE THE CONTSTRUCTION DUTIES & DESIGN INTENT.

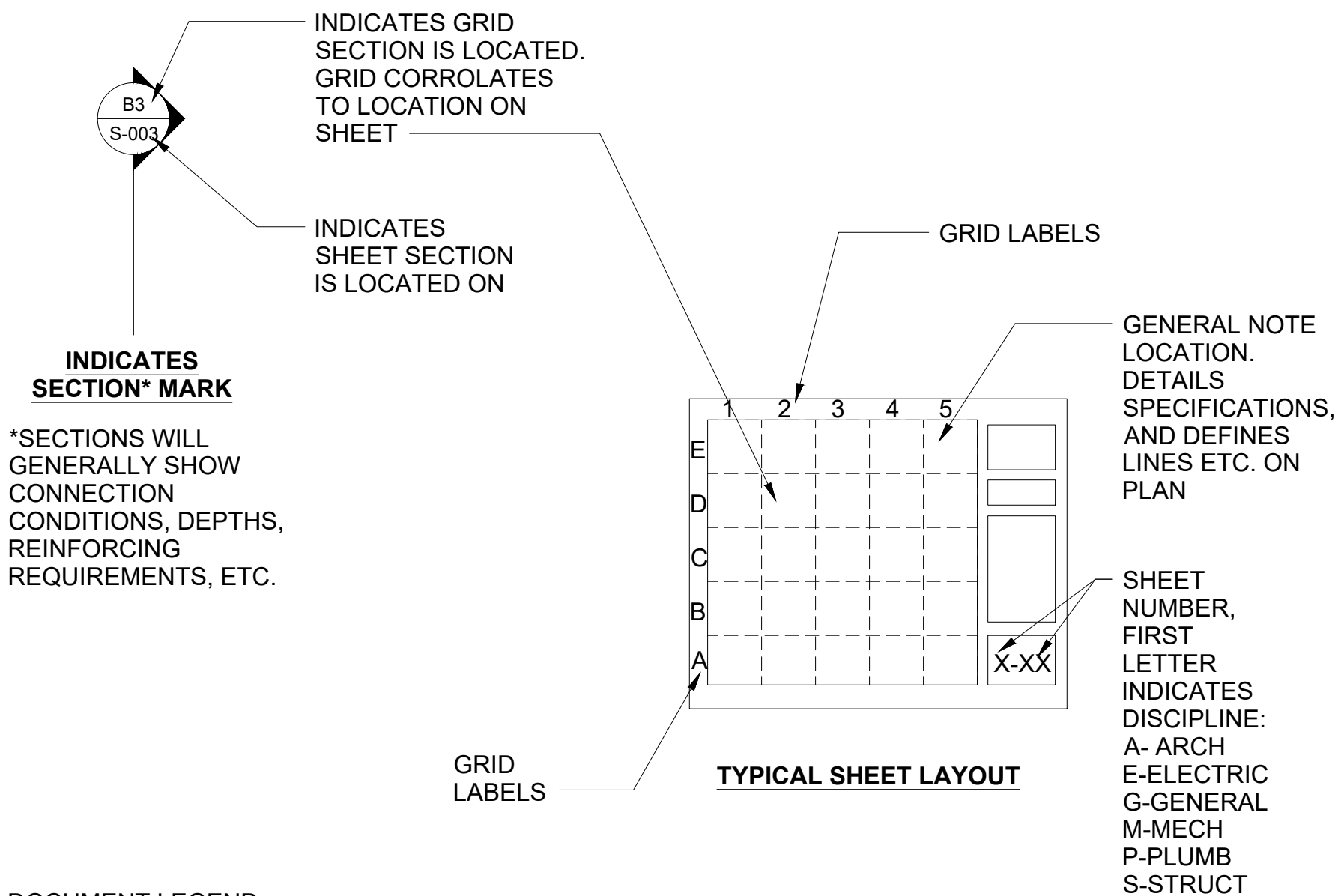
2. THE CONTRACTOR SHALL NOTIFY THE EOR/AOR OF ANY SUBSTITUTIONS OR IF CONDITIONS VARY FROM THE ASSUMED CONTRACT DRAWINGS. MODIFICATIONS TO THE STRUCUTRE, DUE TO THE CONTRACTOR DEVIATING FROM THE PLANS, IS NOT THE RESPONSIBILITY OF THE EOR/AOR.

3. REQUESTS FOR SUBSTITUTIONS SHALL BE SUBMITTED TO THE EOR/AOR FOR APPROVAL. SUBSTITUTIONS SHALL NOT BE PERMITTED TO BE USED WITHOUT CONSENT FROM THE EOR/AOR.

4. EXISTING CONDITIONS AND SIZES ARE TO BE VERIFIED BY THE CONTRACTOR. EOR/AOR SHALL NOT ASSUME RESPONSIBILITY FOR INCORRECT MEMBER SIZES/ MATERIAL ORDERS.

5. SOME ITEMS ON THE CONTRACT DOCUMENTS ARE ASSUMED, DUE TO ITEMS NOT BEING ACCESIBLE, HIDDEN, OR UNDISCLOSED AT THE TIME OF CONTRACT DOCUMENT COMPLETION & DELIVERY. IN SUCH CASE NOTIFY THE EOR/AOR WITH A REQUEST FOR INFORMATION AND GUIDANCE AND DETAILING WILL BE PROVIDED BY THE EOR/AOR. **DO NOT** PROCEED WITHOUT CONSENT FROM THE EOR/AOR.

6. GEO-TECHNICAL REPORT NOT PROVIDED, GC TO VERIFY SOILS CONDITIONS MEET OR EXCEED ASSUMPTIONS. WHERE VOIDS, EXCESSIVE DEBRIS, OR LOOSE MATERIALS ARE ENCOUNTERED, A GEO-TECHNICAL ENGINEER SHOULD BE EMPLOYED TO DETERMINE SOLUTION. EOR NOT RESPONSIBLE FOR ISSUES WITH FOUNDATIONS, WHERE CONDITIONS ARE NOT VERIFIED. WHERE OWNER DECLINES GEO-TECHNICAL REPORT, OWNER AT RISK.



A3 DOCUMENT LEGEND
1 1/2" = 1'-0"

SHEET INDEX:

- S-001 GENERAL NOTES & SHEET INDEX
S-002 FOUNDATION DETAILS
S-003 FRAMING DETAILS
S-004 FRAMING DETAILS
S-101 FOUNDATION PLAN
S-102 BRACED FOUNDATION PLAN
S-131 ROOF FRAMING PLAN

ABBREVIATIONS LIST:

-AOR	ARCHITECT OF RECORD
-BOT	BOTTOM
-COL	COLUMN
-CONC	CONCRETE
-CONST	CONSTRUCTION
-CONT	CONTINUOUS
-DIA	DIAMETER
-EA	EACH
-EW	EACH WAY
-EOR	ENGINEER OF RECORD
-EXST	EXISTING
-FOUND	FOUNDATION
-HSS	HOLLOW STRUTURAL SECTION
-HORZ	HORIZONTAL
-JBE	JOIST BEARING ELEVATION
-LONG	LONGITUDINAL
-MANFR	MANUFACTURER
-MAX	MAXIMUM
-MIN	MINIMUM
-OC	ON CENTER
-PL	PLATE
-REF	REFER
-REINF	REINFORCING
-TOC	TOP OF CONCRETE
-TOS	TOP OF STEEL
-TOB	TOP OF BEAM
-TRANS	TRANSVERSE
-TYP	TYPICAL
-UNO	UNLESS NOTED OTHERWISE
-VERT	VERTICAL

NOTE:
SHEETS ARE DRAWN TO SCALE ON ANSI D SIZE SCALE. THESE DRAWINGS SCALE BY HALF WHEN PRINTING TO 11x17 SHEETS



1717 WEST 30TH STREET
AUSTIN, TEXAS 78703

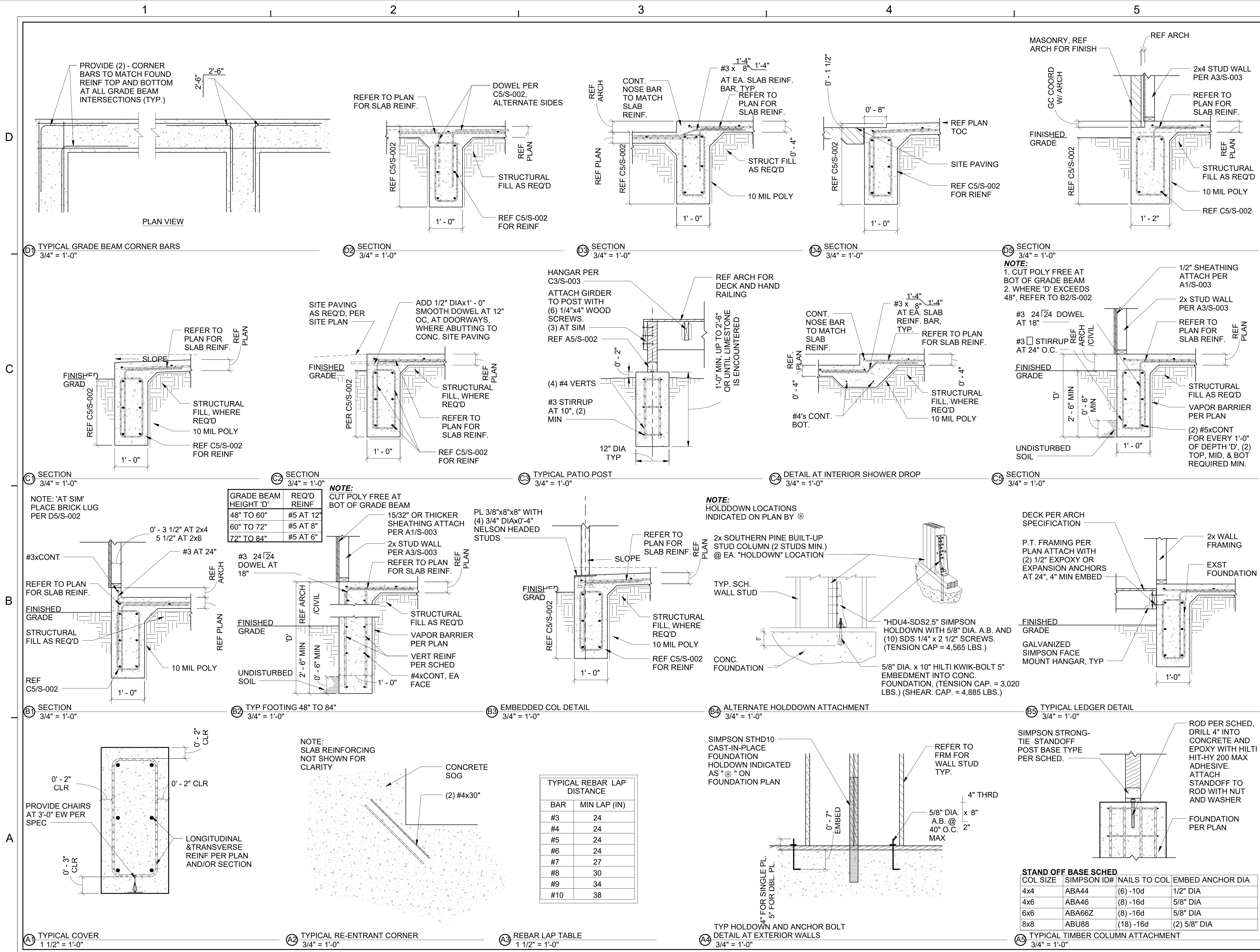
STRUCTURAL PLANS
DESCRIPTION

Rev	Date	Description
00	02/23/2022	ISSUE FOR PERMIT

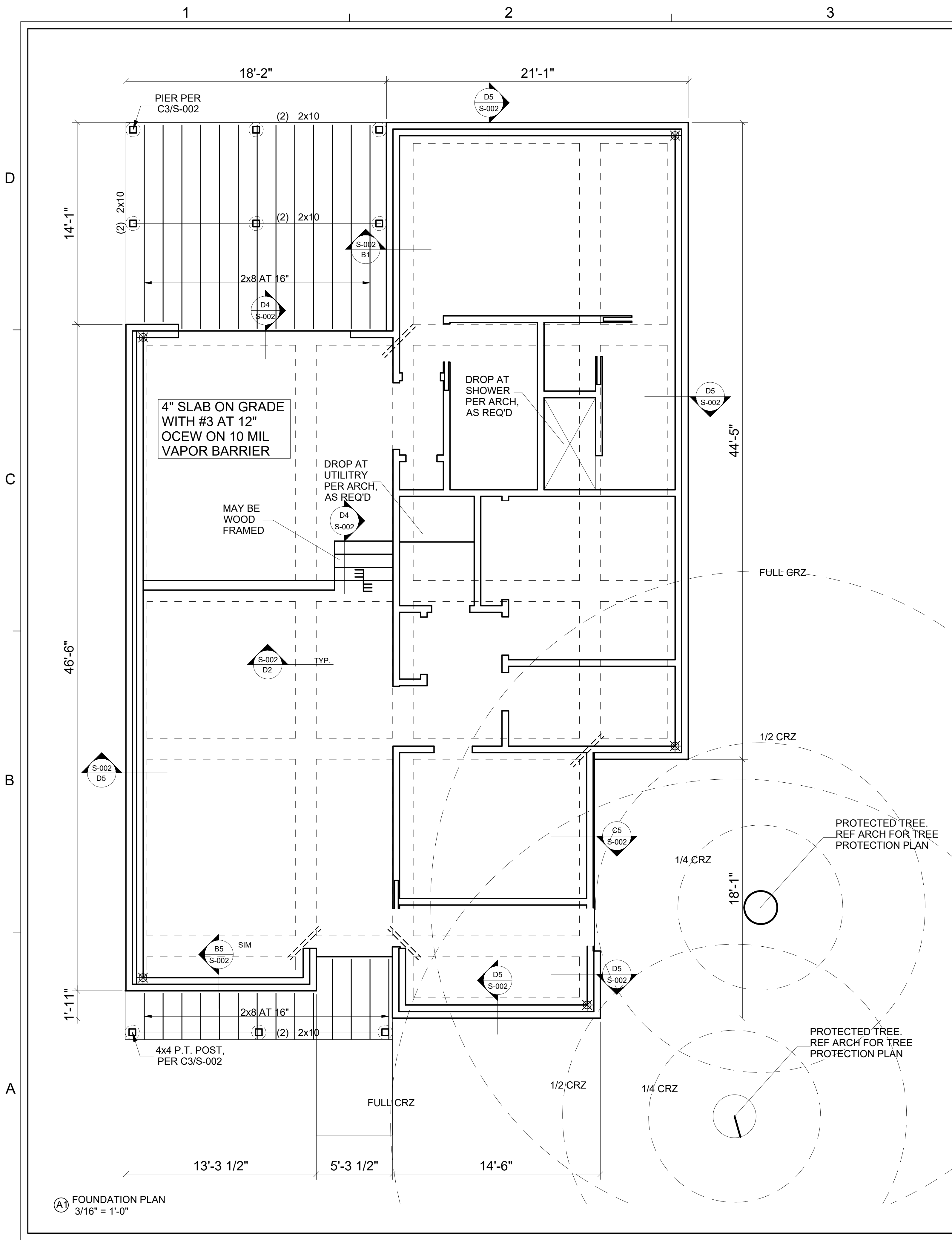
Project Number : 0808.22

Sheet: S-001
GENERAL NOTES &
SHEET INDEX

Scale: 1 1/2" = 1'-0"



Rev	Date	Description
00	02/23/2022	ISSUE FOR PERMIT



A1 FOUNDATION PLAN
3/16" = 1'-0"

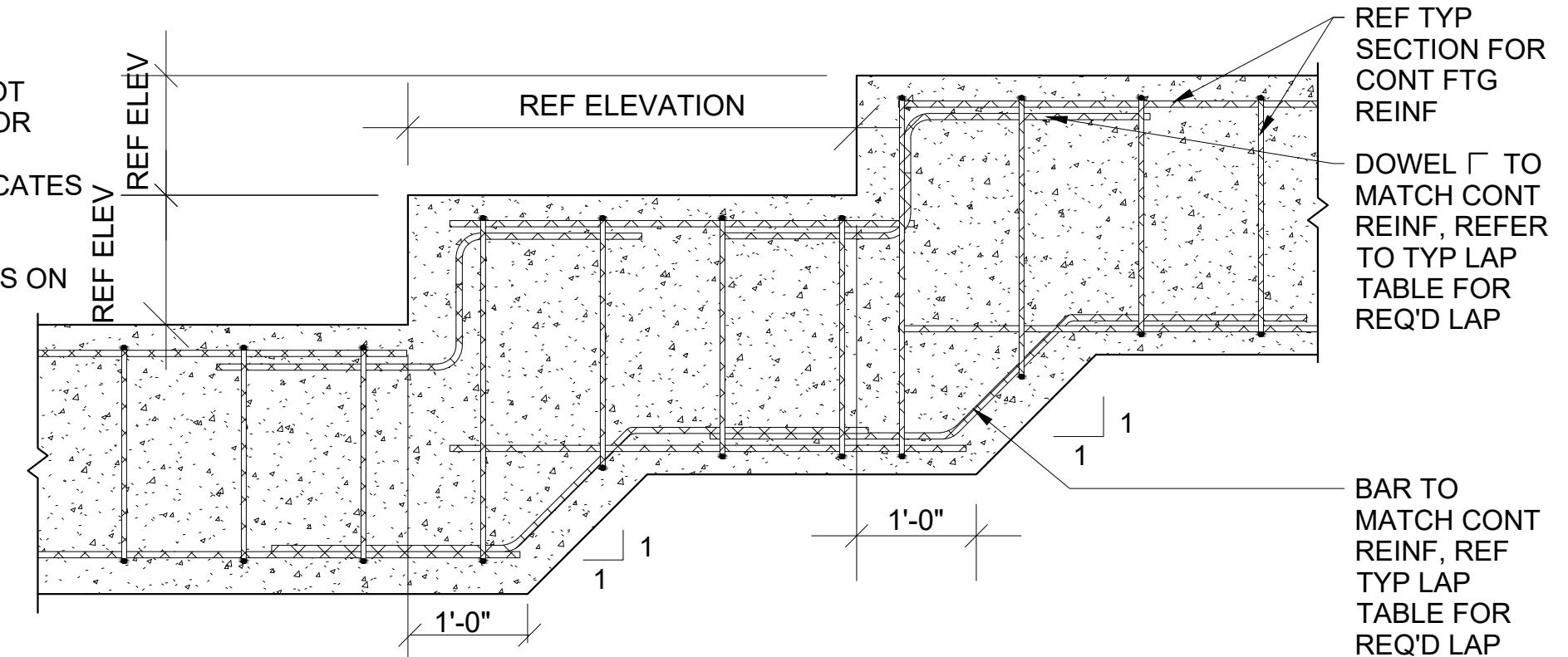
FOUNDATION PLAN NOTES:

1. FINISHED FLOOR 100'-0" = TOP OF SLAB ON GRADE, REFER TO ARCH FOR ELEVATION.
2. * INDICATES HOLD-DOWN LOCATION. REFER TO A4/S-002 FOR HOLD-DOWN CONSTRUCTION.

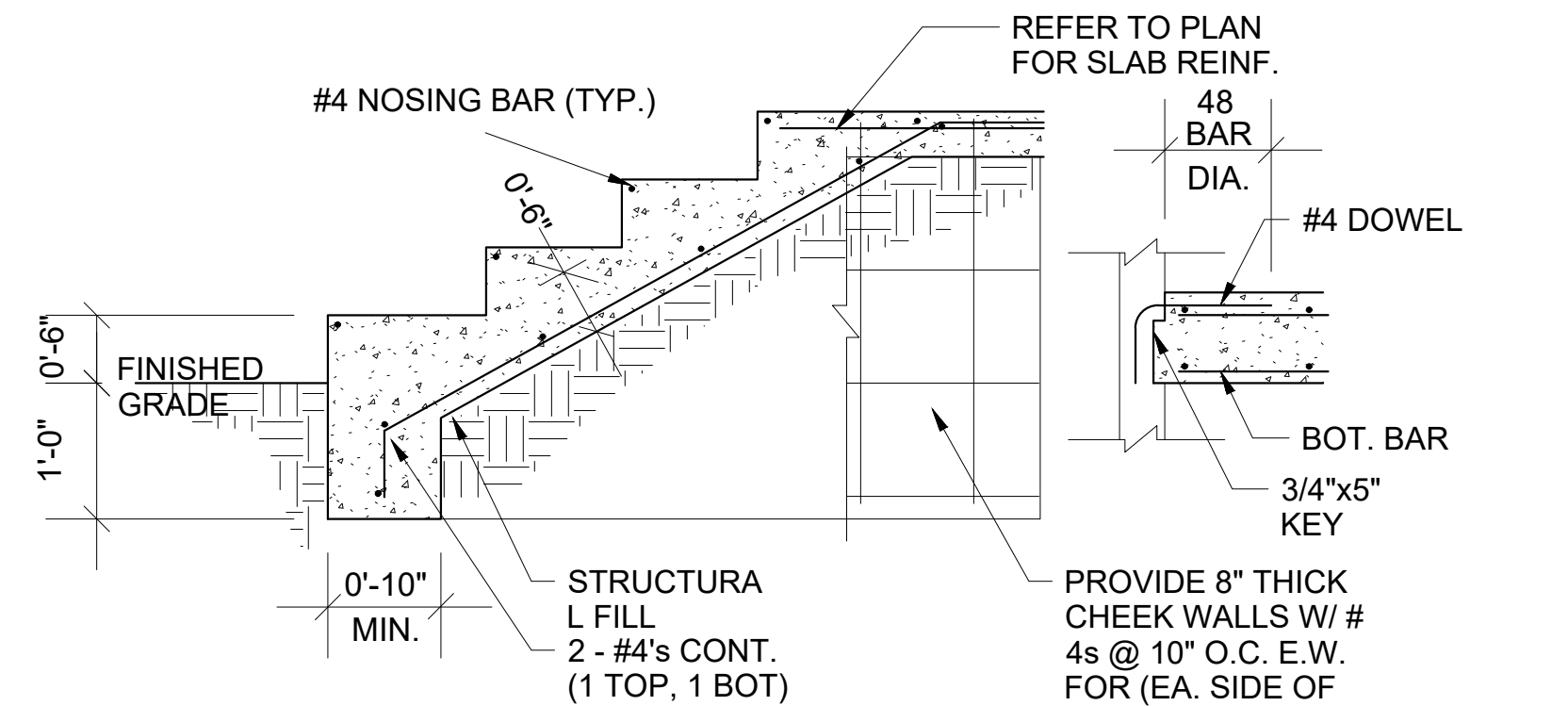
TREE PROTECTION PLAN NOTES

1. FLATWORK
 - FLATWORK WITHIN THE ROOTZONE TO BE NO DEEPER THAN 4".
2. FOUNDATIONS/ CONCRETE FORMWORK
 - NO BATTER BOARD OR CONCRETE FORMWORK STAKES WITHING 1/2 CRZ EXCEPT #5 WITH POINTED TIP. USE A STRONG BACK DESIGN TO GET ANY LARGER STAKES OUT OF 1/2 CRZ.
 - ANY DIGGING OR TRENCHING WITHIN THE TREES FULL CRZ SHALL BE HAND DUG OR AIR SPADED. ALL TREE PROTECTION SHALL LAST THROUGH THE END OF CONSTRUCTION.
3. CRITICAL ROOT ZONE IMPACTS
 - THERE SHALL BE NO IMPACT ON THE TREES 1/4 CRZ.
4. GC SHALL NOT DISTURB ANY SOIL ABOVE THE 1/2 CRZ, SLAB MUST BE CANTILEVERED ABOVE 4" MIN ABOVE GRADE PER SECTION.

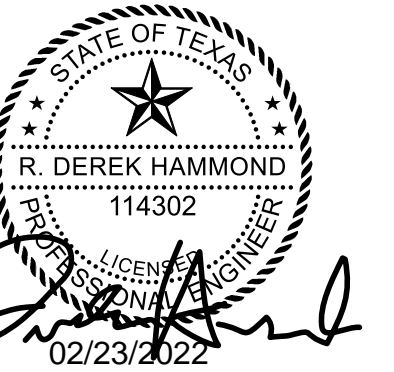
NOTE:
1. SLAB NOT SHOWN FOR CLARITY
2. S/S INDICATES STEPPED FOOTING LOCATIONS ON PLAN



C4 TYPICAL STEPPED FOOTING REINF
3/4" = 1'-0"



B4 TYPICAL EXTERIOR CONCRETE STEP DETAIL (WHERE REQUIRED)
3/4" = 1'-0"



1717 WEST 30TH STREET
AUSTIN, TEXAS 78703

STRUCTURAL PLANS
DESCRIPTION

Rev	Date	Description
00	02/23/2022	ISSUE FOR PERMIT

Project Number : 0808.22

Sheet: S-101
FOUNDATION PLAN

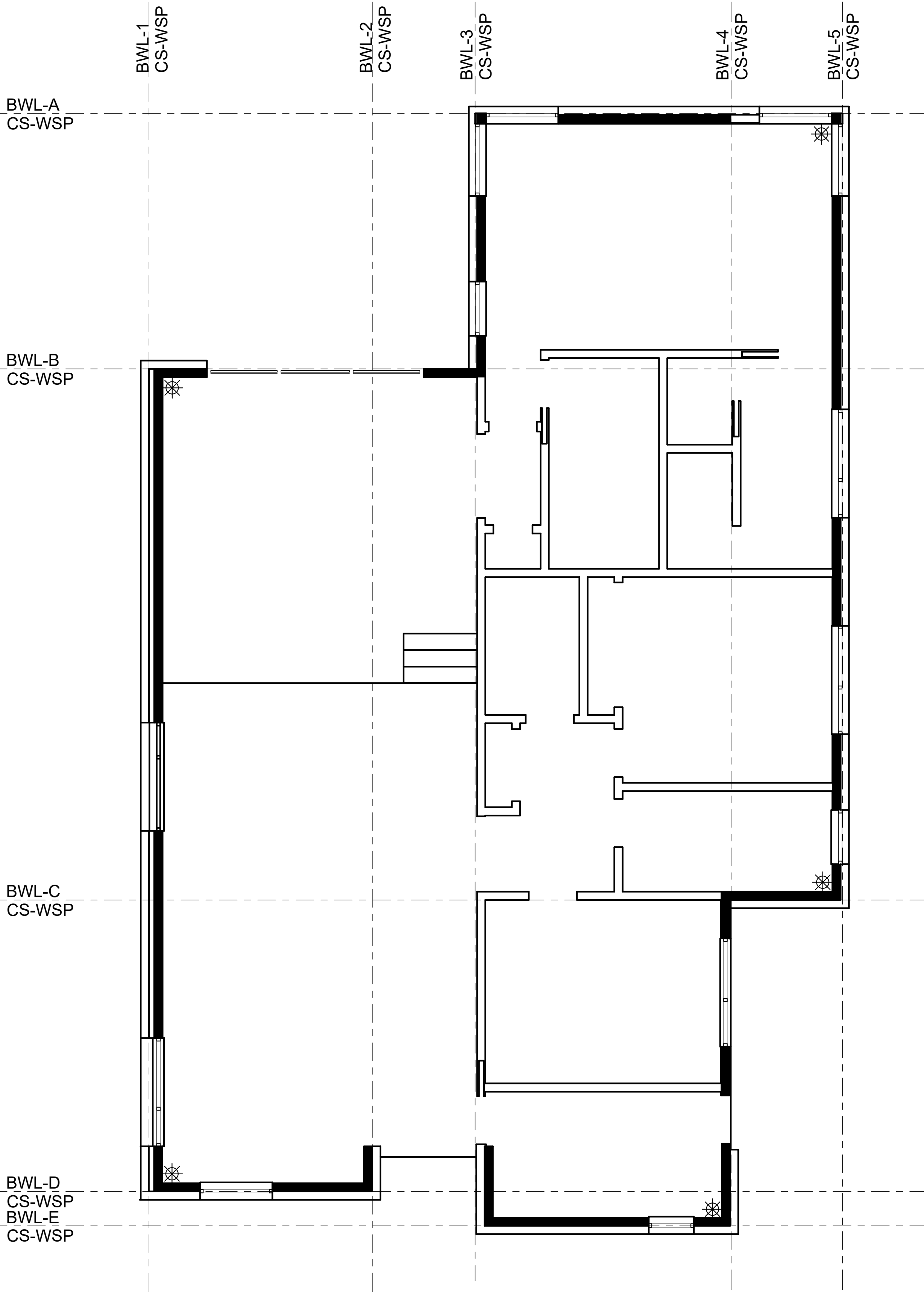
Scale: 3/16" = 1'-0"

D

C

B

A



BRACED FOUNDATION PLAN NOTES:

1. FINISHED FLOOR 100'-0" = TOP OF SLAB ON GRADE, REFER TO ARCH FOR ELEVATION.
2. ✱ INDICATES HOLD-DOWN LOCATION. REFER TO A4/S-002 FOR HOLD-DOWN CONSTRUCTION.
3. SHEATHING TO BE ATTACHED AT BRACED WALLS PER A1/S-003.
4. [REDACTED] INDICATES BRACED WALL LOCATION.
5. BRACING METHODS/MATERIALS:
 - a. WOOD STRUCTURAL PANELS AT BRACED WALL LINES (BWL) 1, 2, 3, 4, 5, A, B, C, D, AND E.



1717 WEST 30TH STREET
AUSTIN, TEXAS 78703

STRUCTURAL PLANS
FOR NEW RESIDENCE

Rev	Date	Description
00	02/23/2022	ISSUE FOR PERMIT

Project Number : 0808.22

Sheet:
S-102
BRACED
FOUNDATION PLAN

Scale: 3/16" = 1'-0"



D

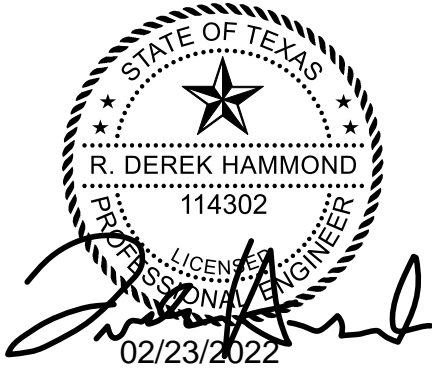
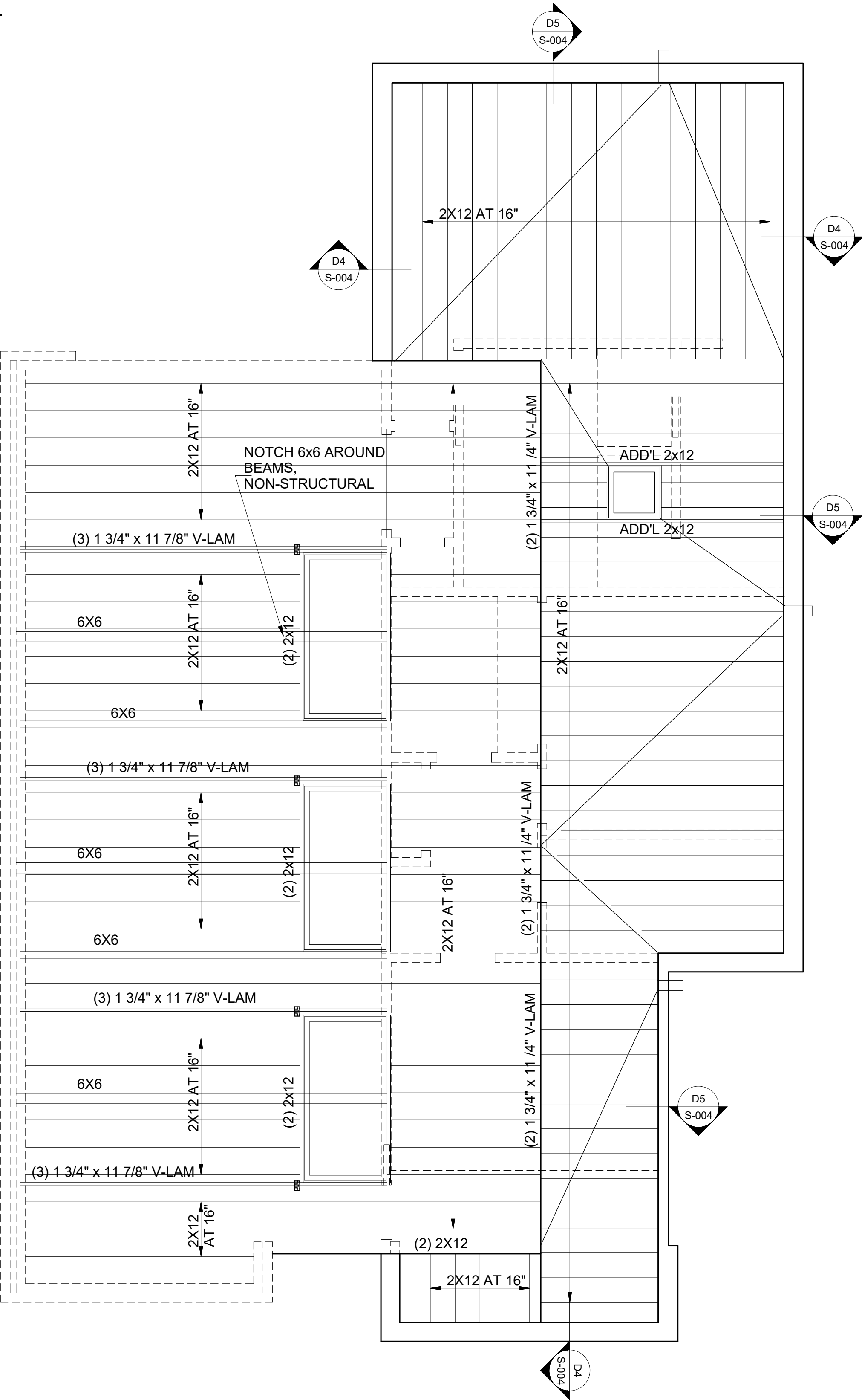
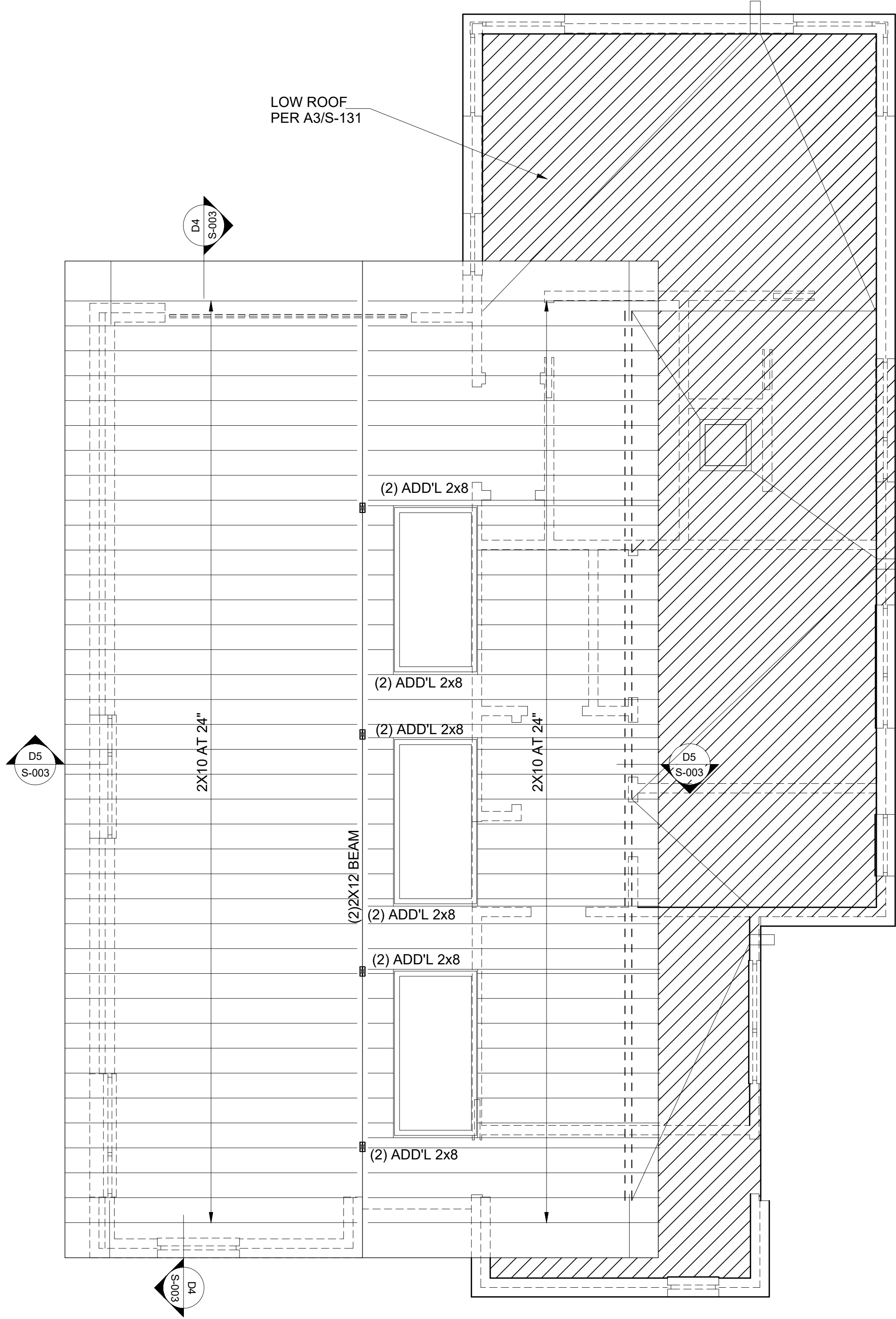
C

B

A

- ROOF FRAMING PLAN NOTES:**
1. VERSA-LAM BEAMS (V-LAM) TO BE GRADE 2800 Fb 2.0 E, OR BETTER.
 2. ROOF RAFTERS NOT LABELED TO BE 2x6 AT 16" MAX.
 3. REFER TO B3/S-003 FOR SLOPEABLE/SKEWABLE FACE MOUNT CONNECTIONS.
 4. ■ INDICATES KING POST LOCATION. (2) 2x4 WHERE H < 8'; (2) 2x6 H < 12'.
 5. ——— INDICATES LET IN BRACE LOCATION.

LOW ROOF
PER A3/S-131



1717 WEST 30TH STREET
AUSTIN, TEXAS 78703

STRUCTURAL PLANS
DESCRIPTION

Rev	Date	Description
00	02/23/2022	ISSUE FOR PERMIT

Project Number : 0808.22

Sheet:
S-131
ROOF FRAMING
PLAN

Scale: 3/16" = 1'-0"