

## Allen, Amber

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**From:** Tommy Kosarek [REDACTED]  
**Sent:** Saturday, March 26, 2022 6:35 PM  
**To:** PAZ Preservation  
**Subject:** Fwd: Case Number: HR 22-001198; 804 Rutherford Place; OBJECTION

\*\*\* External Email - Exercise Caution \*\*\*

ATTN.: Amber Allen

Please find the attached information regarding my OBJECTION to the demolition of the home located at 804 Rutherford Place. If you have any issues with the files please let me know. If you require a mailed in original, also please let me know.

Thank you,

N. Thomas Kosarek, AIA

Principal

**BarnesGromatzkyKosarekArchitects**

1224 EAST 12<sup>th</sup> Street, Suite 320

Austin, TX 78702

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

# PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed development or change. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

A board or commission's decision may be appealed by a person withstanding to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before the public hearing that generally identifies the issues of concern (it may be delivered to the contact person listed on a notice); or
- appearing and speaking for the record at the public hearing; and
- occupies a primary residence that is within 500 feet of the subject property or proposed development.
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development?

A notice of appeal must be filed with the director of the responsible department no later than 14 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, please visit our website: [www.austintexas.gov/abc](http://www.austintexas.gov/abc)

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, the Case Number and the contact person listed on the notice. Correspondence and information submitted to the City of Austin are subject to the Texas Public Information Act (Chapter 552) and may be published online.

Case Number: HR 22-001198 - 804 RUTHERFORD PL.  
Contact: Amber Allen, (512) 974-3393  
Public Hearing: Historic Landmark Commission, Mar. 28, 2022

☐ I am in favor  
☒ I object

Tommy Kosarek

811 E. RIVERSIDE DR.

Your Name (please print)

Your address(es) affected by this application (optional)



3.24.2022

Signature

Date

Comments: I AM STILL OBJECTING TO THE DEMOLITION OF THE HOME AT 804 RUTHERFORD PL. THIS HOME IS A TRUE REPRESENTATION OF WHAT THIS HISTORIC DISTRICT IS ALL ABOUT. TRANS HATS + PARKVIEW PARK WERE THE FIRST NEIGHBORHOODS IN SOUTH AUSTIN - THESE PERFECTLY VINTAGE HOMES MUST BE PROTECTED FROM THE DEVELOPERS THAT HERE TO DESTROY, MAKE MONEY, & LEAVE.

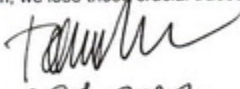
If you use this form to comment, it may be returned to:  
City of Austin Housing & Planning Department  
Historic Preservation Office, ATTN: Amber Allen  
P.O. Box 1088  
Austin, TX 78767-8810  
E-mail: [preservation@austintexas.gov](mailto:preservation@austintexas.gov)

E-MAILED 3.24.2022

Case Number: HR 22-001198- 804 Rutherford Place  
Duplex built 1933

This duplex was built in 1933 during the Great Depression and it has several unique architectural features. The honorific entry door is arched with a decorative limestone arch above it. There is a unique fascia trim on the gabled entry. The exterior brick was most likely from the Austin area (Acme or Elgin Butler). Overall it reflects handcrafted workmanship rarely seen in today's architecture. The owner does not have an interest in our neighborhood history and preservation. The building is viable and habitable and should not be demolished for someone's financial gain.

"Tear downs have negative cultural implications. All houses tell a story: they are evidence of how earlier generations thought about domestic life and designed spaces to reflect their daily needs. When we demolish them, we lose those crucial traces of the past." Keven D. Murphy, Vanderbilt University

  
7.24.2022

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