

KEYED NOTES

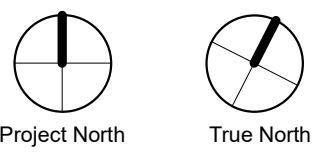
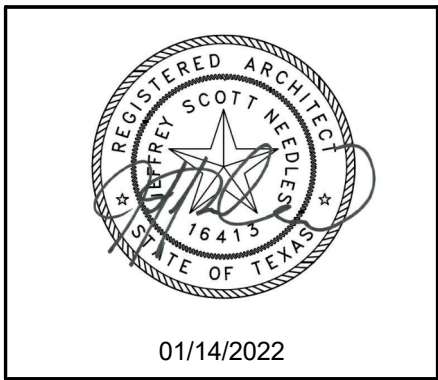
- 01.01 Existing clothes lines remain.
- 02.19 Demo existing concrete stoop, ramp, and handrails. Provide new concrete stoop at lowered elevation to match original. New sidewalk per LA.
- 10.01 Pad mounted condensers. Ref. AH002 for typical screen details.

Urban Foundry Architecture

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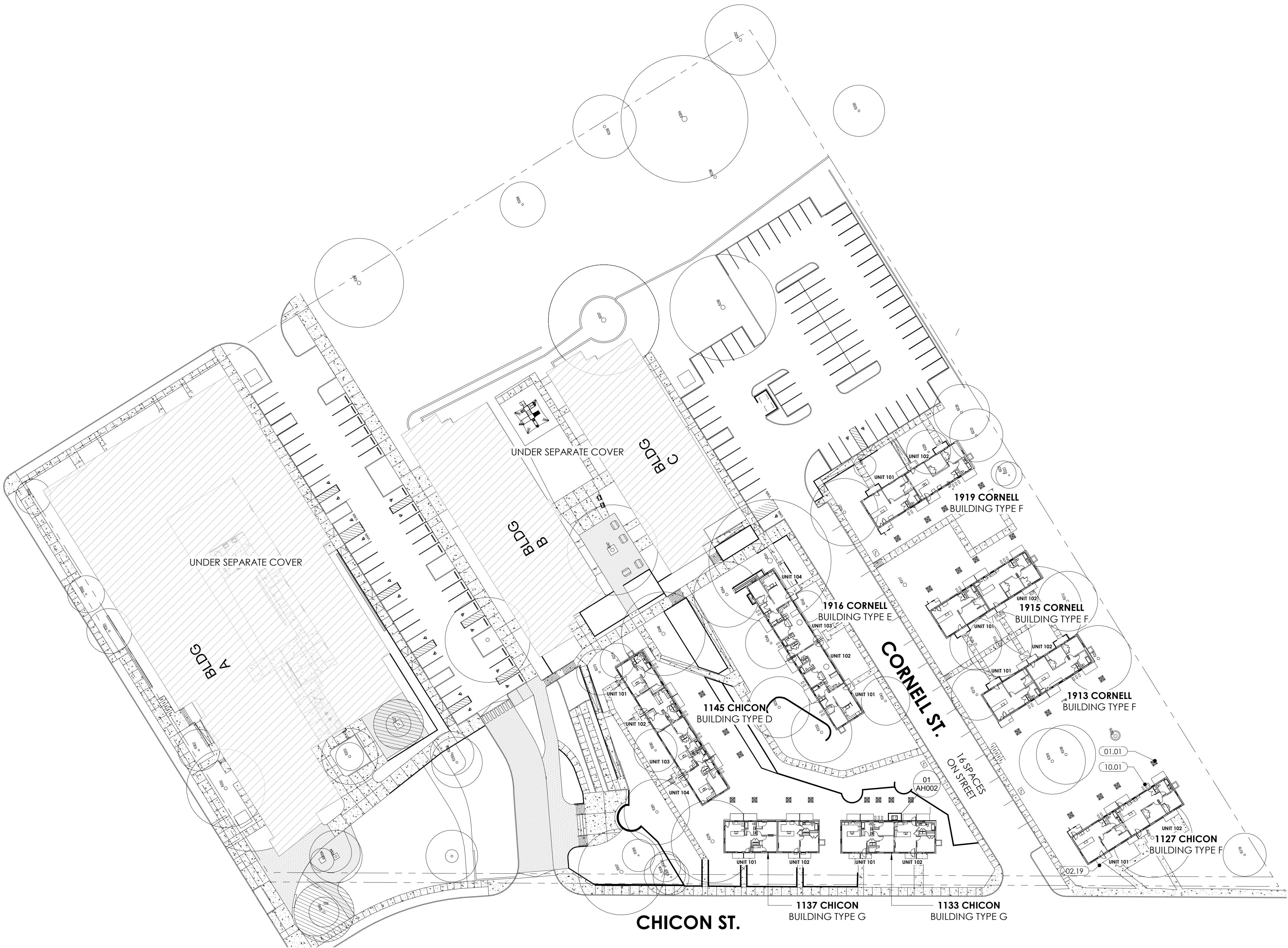
PATHWAYS AT ROSEWOOD COURTS
Austin, Texas 78702

Mark	Date	Description
-	01/14/2022	CONSTRUCTION DOCUMENTS

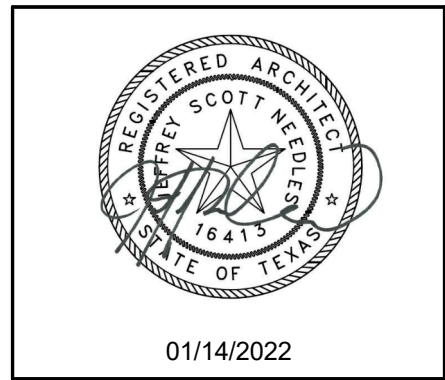


AH001

OVERALL SITE PLAN



01 Site Plan
SCALE : 1" = 40'-0"



PLAN LEGEND:

SYMBOL	DESCRIPTION
	AREA NOT IN CONTRACT. NO WORK TO BE DONE IN THIS AREA. PROTECT.
	NEW PARTITION. REFER TO PARTITION SCHEDULE.
	PARTITION REMAINS. PROTECT.
	ONE (1) HOUR FIRE RATED PARTITION.
	TWO (2) HOUR FIRE RATED PARTITION.
	REMOVE PARTITION COMPLETELY.
	NEW DOOR. REFER TO NOTES AND/OR SCHEDULE.
	REMOVE DOOR AND FRAME.

LEGEND GENERAL NOTES:
1. NOT ALL SYMBOLS MAY BE USED ON THIS PROJECT. REFER TO PLANS.

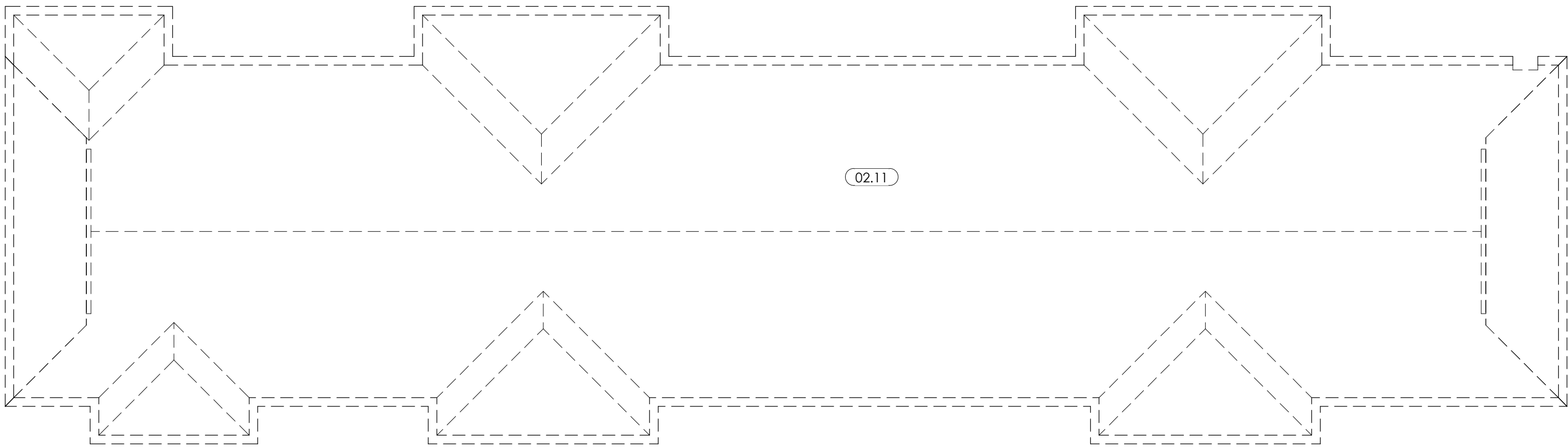
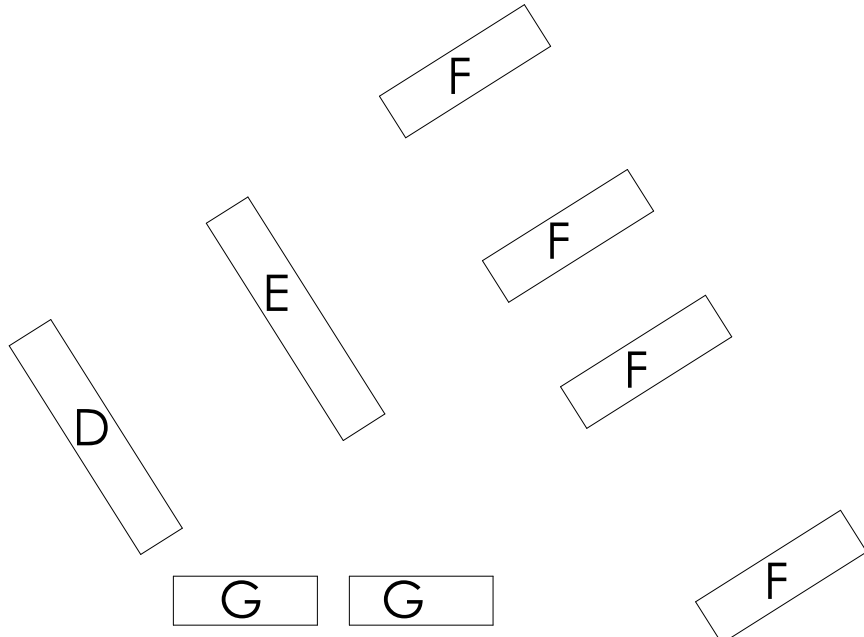
DEMOLITION GENERAL NOTES:

01. Visit the site to become familiar with the scope of work and to field verify existing. Report any and all discrepancies or ambiguous items to the Architect.
02. Note that there are demolition notes on the Civil and MEP plans, if issued, as well. Provide all other demolition work required by construction sequencing and means and methods to install the new and remodel work shown, whether such related and necessary demolition work is specifically noted on these drawings or not.
03. Prior to start of demolition, secure from the Owner a list of additional existing building components to be salvaged such that salvaged components are delivered to the Owner in their existing condition.
04. The Owner has first rights of salvage of all fixtures, equipment and building materials removed as part of the demolition and not reused in the new construction. Remove all other debris and waste from the site and dispose of properly, in accordance with any applicable federal, state and local regulations.
05. The Contractor will verify all opening requirements for architectural, structural, mechanical, electrical, plumbing, etc. work prior to framing or cutting for installation.
06. The Contractor will perform or directly supervise all cutting and patching for all trades without exception.
07. Prior to cutting or altering or removing any existing wall, footing or roof deck provide shoring, bracing and supports as required to maintain the structural integrity of the building/structure.
08. Provide materials for cutting and patching which will result in equal-or-better work than that being cut or patched.
09. Existing construction that is being removed shall be removed carefully so as not to damage any existing construction that remains. All surfaces surrounding objects being removed are to be repaired and patched (in a rectangular pattern) to match existing conditions and made ready to receive any new finishes where applicable.
10. Plumbing lines that are to be removed shall be capped as close to point of entry in floor or wall as possible, or removed completely. Patch floors and walls to match existing conditions.
11. Where existing flooring, ceilings or wall finishes are to be removed and replaced with new finishes the surfaces to remain shall be stripped clean of all existing finishes and made ready to receive new finishes.
12. Floor finishes being replaced shall be completely removed, and the floor cleaned and properly prepared prior to installation of new finish material. Inspect all floors that receive new finishes to assess existing conditions prior to commencement of construction. Patch, fill and strip floor as required, to provide a smooth, durable surface free of burrs and adhesive and suitable for application of new finish material. Under cut doors as required to accommodate new floor finishes.
13. Where new concrete topping is being poured over existing concrete slab: bush hammer existing concrete finish for better bond.
14. Where existing door openings are to be sealed: remove frame and patch wall with the same material and finish as the existing construction. New and existing wall shall align.
15. Where light fixtures are being removed or replaced, ceiling surfaces shall be cleaned, repaired and patched to match the adjacent surfaces prior to installation of new light fixtures.
16. Where door frames remain, repair frame - fill hinge pocket and all holes in frame to create finished case opening. Clean, sand smooth and paint frame to match existing door frames.
17. If materials suspected of containing hazardous materials are encountered, do not disturb. Suspend Work and notify Architect and Owner immediately. Hazardous material shall be removed by Owner under a separate agreement.

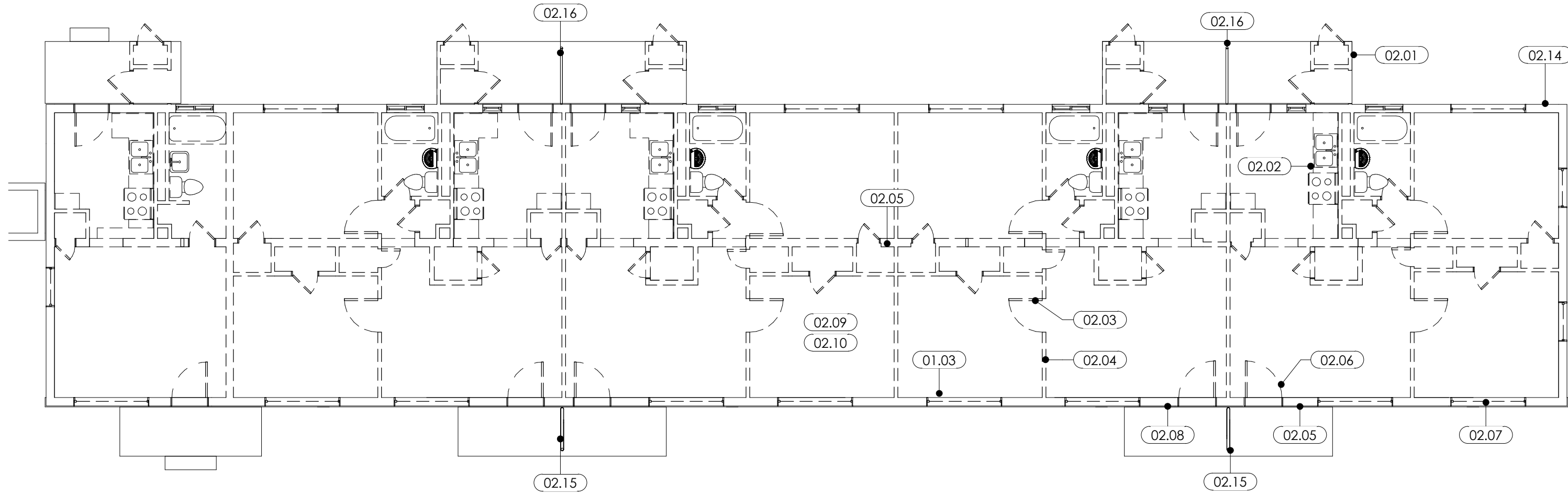
KEYED NOTES

- 01.03 Paint on interior surface of masonry wall remains- do not remove. Typ. at all exterior walls.
- 02.01 Remove all existing walls, doors, and equipment to water heater closet.
- 02.02 Remove existing millwork and associated plumbing fixtures throughout.
- 02.03 Remove all interior doors, frames, and hardware.
- 02.04 Remove all interior partitions.
- 02.05 Remove load bearing masonry wall, provide temporary shoring per struct.
- 02.06 Remove all exterior doors and hardware. Door frames to remain and be reused.
- 02.07 Remove all windows, blinds, and any associated trim.
- 02.08 Remove wall mounted light fixtures and associated exposed conduit.
- 02.09 Remove existing flooring throughout.
- 02.10 Remove all electrical fixtures including lighting, switches, outlets, and conduit back to panel.
- 02.11 Remove existing shingle roof, substrate, loose fill insulation, and gabled roof framing. Existing concrete roof slab to remain- protect.
- 02.14 Existing clothesline hooks to remain.
- 02.15 Existing pipe columns to remain and be refinished at all entries, ref. 02/AH310.
- 02.16 Existing pipe rail to remain and be refinished at all back patios.

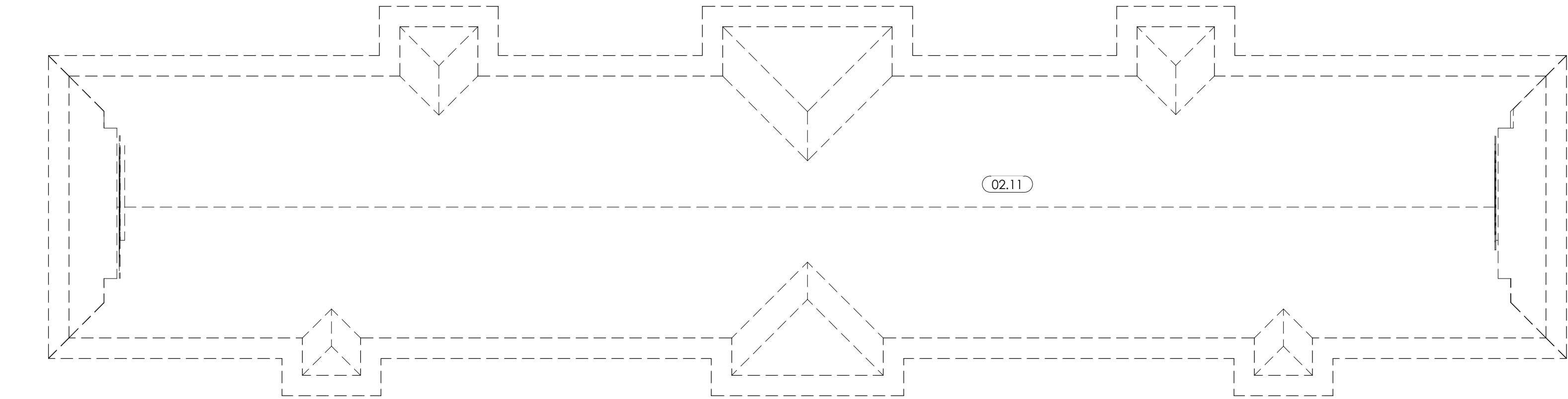
KEY PLAN LEGEND:



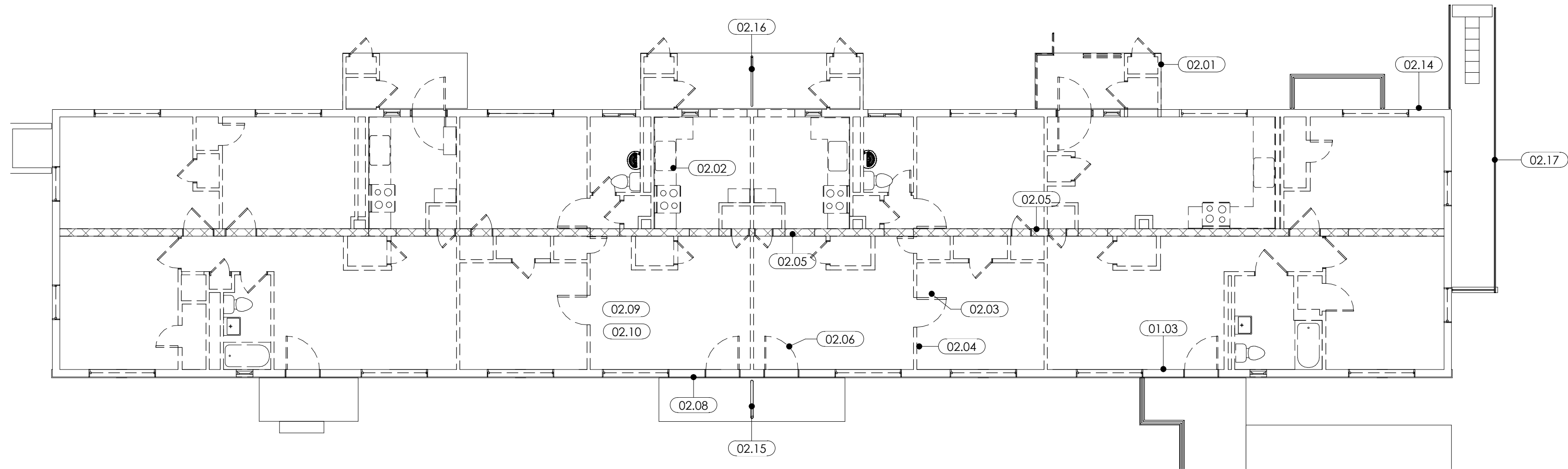
02 BUILDING TYPE D - DEMOLITION ROOF
PLAN
SCALE : 1/8" = 1'-0"



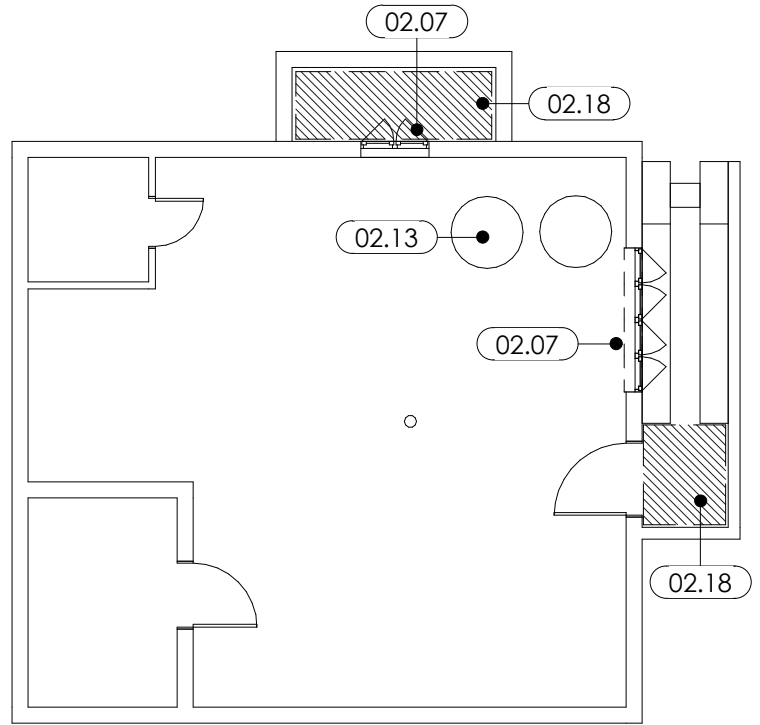
01 BUILDING TYPE D - DEMOLITION PLAN
SCALE : 1/8" = 1'-0"



03 BUILDING TYPE E - DEMOLITION ROOF PLAN
SCALE : 1/8" = 1'-0"



02 BUILDING TYPE E - DEMOLITION PLAN
SCALE : 1/8" = 1'-0"



01 BUILDING TYPE E - DEMOLITION BASEMENT PLAN
SCALE : 1/8" = 1'-0"

PLAN LEGEND:

SYMBOL	DESCRIPTION
	AREA NOT IN CONTRACT. NO WORK TO BE DONE IN THIS AREA. PROTECT.
	NEW PARTITION. REFER TO PARTITION SCHEDULE.
	PARTITION REMAINS. PROTECT.
	ONE (1) HOUR FIRE RATED PARTITION.
	TWO (2) HOUR FIRE RATED PARTITION.
	REMOVE PARTITION COMPLETELY.
	NEW DOOR. REFER TO NOTES AND/OR SCHEDULE.
	REMOVE DOOR AND FRAME.

LEGEND GENERAL NOTES:

1. NOT ALL SYMBOLS MAY BE USED ON THIS PROJECT. REFER TO PLANS.

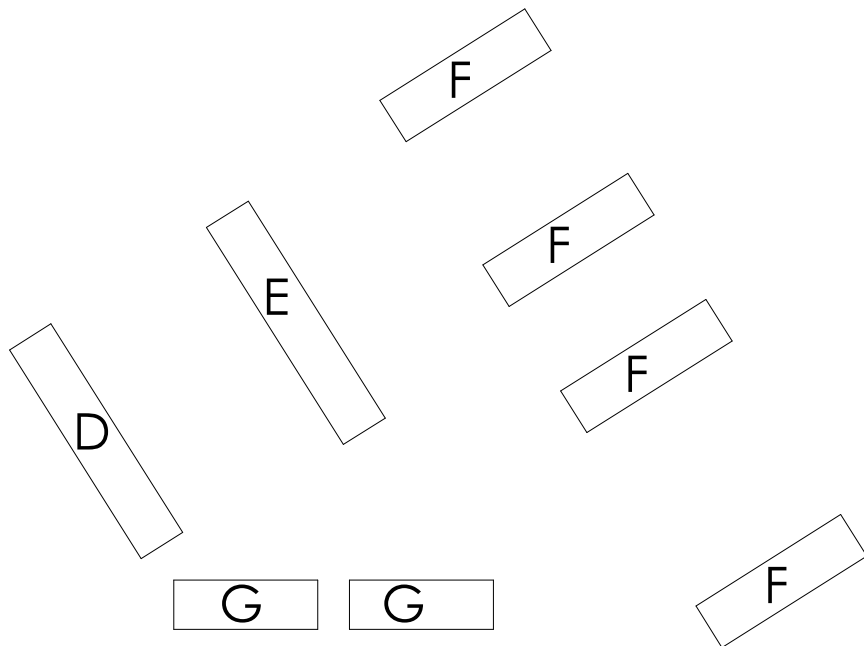
DEMOLITION GENERAL NOTES:

- NOTE: Refer to Project's Scope of Work to determine if demolition is required within the project.
01. Visit the site to become familiar with the scope of work and to field verify existing. Report any and all discrepancies or ambiguous items to the Architect.
 02. Note that there are demolition notes on the Civil and MEP plans, if issued, as well. Provide all other demolition work required by construction sequencing and means and methods to install the new and remodel work shown, whether such related and necessary demolition work is specifically noted on these drawings or not.
 03. Prior to start of demolition, secure from the Owner a list of additional existing building components to be salvaged such that salvaged components are delivered to the Owner in their existing condition.
 04. The Owner has first rights of salvage of all fixtures, equipment and building materials removed as part of the demolition and not reused in the new construction. Remove all other debris and waste from the site and dispose of properly, in accordance with any applicable federal, state and local regulations.
 05. The Contractor will verify all opening requirements for architectural, structural, mechanical, electrical, plumbing, etc. work prior to framing or cutting for installation.
 06. The Contractor will preform or directly supervise all cutting and patching for all trades without exception.
 07. Prior to cutting or altering or removing any existing wall, footing or roof deck provide shoring, bracing and supports as required to maintain the structural integrity of the building/structure.
 08. Provide materials for cutting and patching which will result in equal-or-better work than that being cut or patched.
 09. Existing construction that is being removed shall be removed carefully so as not to damage any existing construction that remains. All surfaces surrounding objects being removed are to be repaired and patched (in a rectangular pattern) to match existing conditions and made ready to receive any new finishes where applicable.
 10. Plumbing lines that are to be removed shall be capped as close to point of entry in floor or wall as possible, or removed completely. Patch floors and walls to match existing conditions.
 11. Where existing flooring, ceilings or wall finishes are to be removed and replaced with new finishes the surfaces to remain shall be stripped clean of all existing finishes and made ready to receive new finishes.
 12. Floor finishes being replaced shall be completely removed, and the floor cleaned and properly prepared prior to installation of new finish material. Inspect all floors that receive new finishes to assess existing conditions prior to commencement of construction. Patch, fill and strip floor as required, to provide a smooth, durable surface free of burs and adhesive and suitable for application of new finish material. Under cut doors as required to accommodate new floor finishes.
 13. Where new concrete topping is being poured over existing concrete slab: bush hammer existing concrete finish for better bond.
 14. Where existing door openings are to be sealed: remove frame and patch wall with the same material and finish as the existing construction. New and existing wall shall align.
 15. Where light fixtures are being removed or replaced, ceiling surfaces shall be cleaned, repaired and patched to match the adjacent surfaces prior to installation of new light fixtures.
 16. Where door frames remain, repair frame - fill hinge pocket and all holes in frame to create finished case opening. Clean, sand smooth and paint frame to match existing door frames.
 17. If materials suspected of containing hazardous materials are encountered, do not disturb. Suspend Work and notify Architect and Owner immediately. Hazardous material shall be removed by Owner under a separate agreement.

KEYED NOTES

- 01.03 Paint on interior surface of masonry wall remains- do not remove. Typ. at all exterior walls.
- 02.01 Remove all existing walls, doors, and equipment to water heater closet.
- 02.02 Remove existing millwork and associated plumbing fixtures throughout.
- 02.03 Remove all interior doors, frames, and hardware.
- 02.04 Remove all interior partitions.
- 02.05 Remove load bearing masonry wall, provide temporary shoring per struct.
- 02.06 Remove all exterior doors and hardware. Door frames to remain and be reused.
- 02.07 Remove all windows, blinds, and any associated trim.
- 02.08 Remove wall mounted light fixtures and associated exposed conduit.
- 02.09 Remove existing flooring throughout.
- 02.10 Remove all electrical fixtures including lighting, switches, outlets, and conduit back to panel.
- 02.11 Remove existing shingle roof, substrate, loose fill insulation, and gabled roof framing. Existing concrete roof slab to remain- protect.
- 02.13 Remove abandoned water softening system.
- 02.14 Existing clothesline hooks to remain.
- 02.15 Existing pipe columns to remain and be refinished at all entries, ref. 02/AH310.
- 02.16 Existing pipe rail to remain and be refinished at all back patios.
- 02.17 Remove chainlink infill panel at guardrail. Pipe rail to remain.
- 02.18 Chip out concrete landing.

KEY PLAN LEGEND:

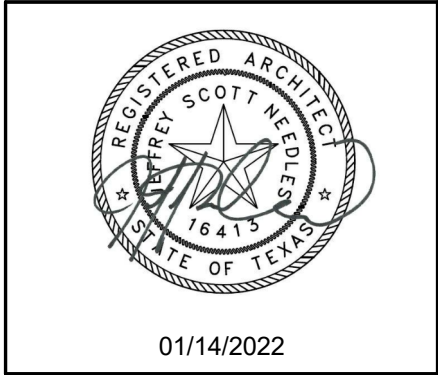


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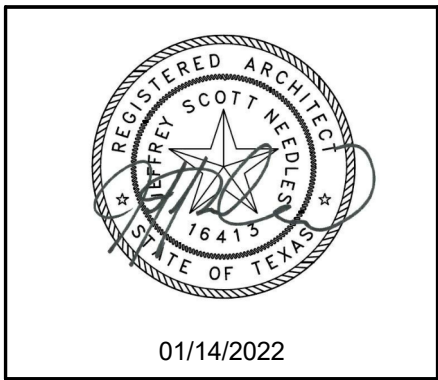
PATHWAYS AT ROSEWOOD COURTS
Austin, Texas 78702

Mark	Date	Description
-	01/14/2022	CONSTRUCTION DOCUMENTS



AH012
DECONSTRUCTION FLOOR PLAN

Mark	Date	Description
-	01/14/2022	CONSTRUCTION DOCUMENTS



AH013

DECONSTRUCTION
FLOOR PLAN

PLAN LEGEND:

SYMBOL	DESCRIPTION
	AREA NOT IN CONTRACT. NO WORK TO BE DONE IN THIS AREA. PROTECT.
	NEW PARTITION. REFER TO PARTITION SCHEDULE.
	PARTITION REMAINS. PROTECT.
	ONE (1) HOUR FIRE RATED PARTITION.
	TWO (2) HOUR FIRE RATED PARTITION.
	REMOVE PARTITION COMPLETELY.
	NEW DOOR. REFER TO NOTES AND/OR SCHEDULE.
	REMOVE DOOR AND FRAME.

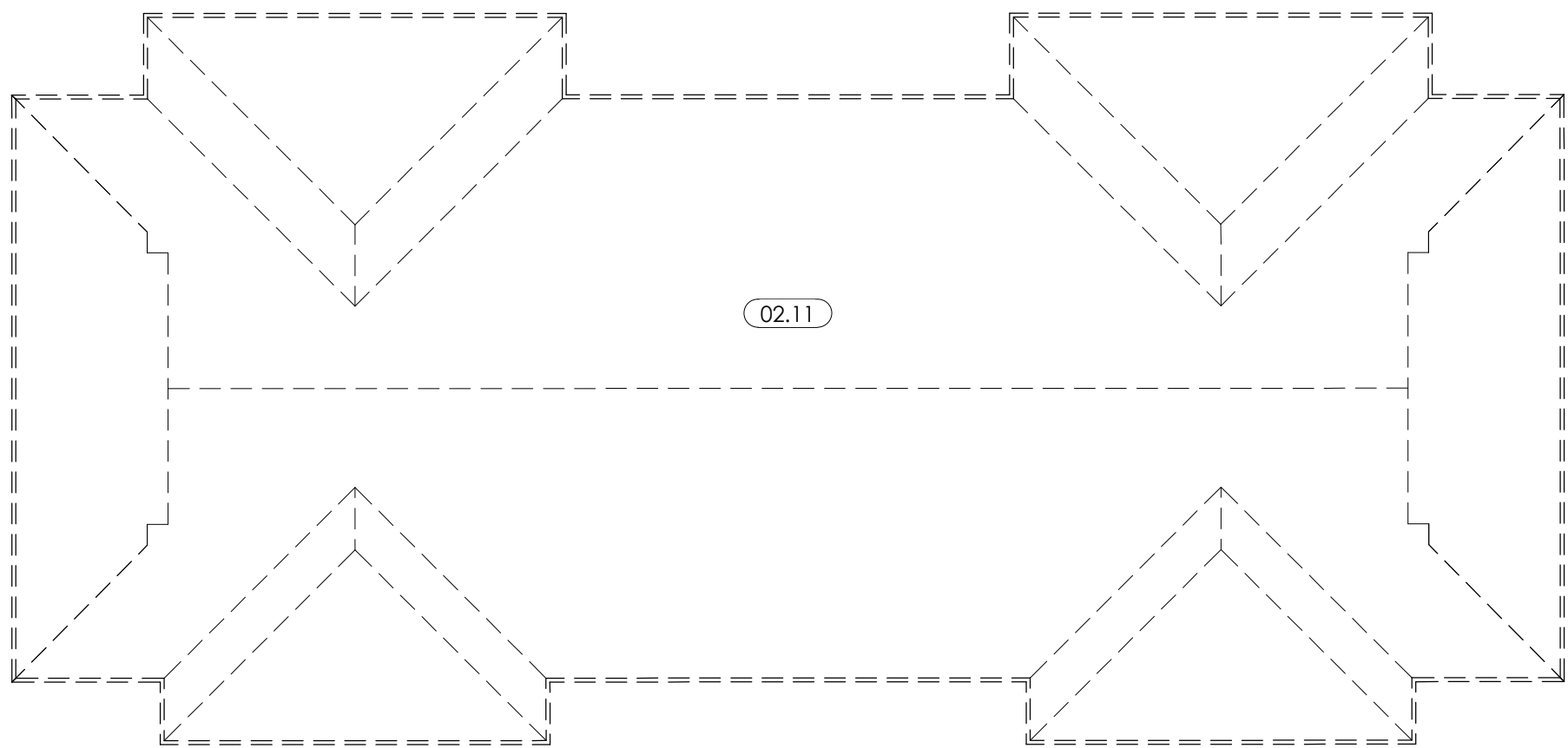
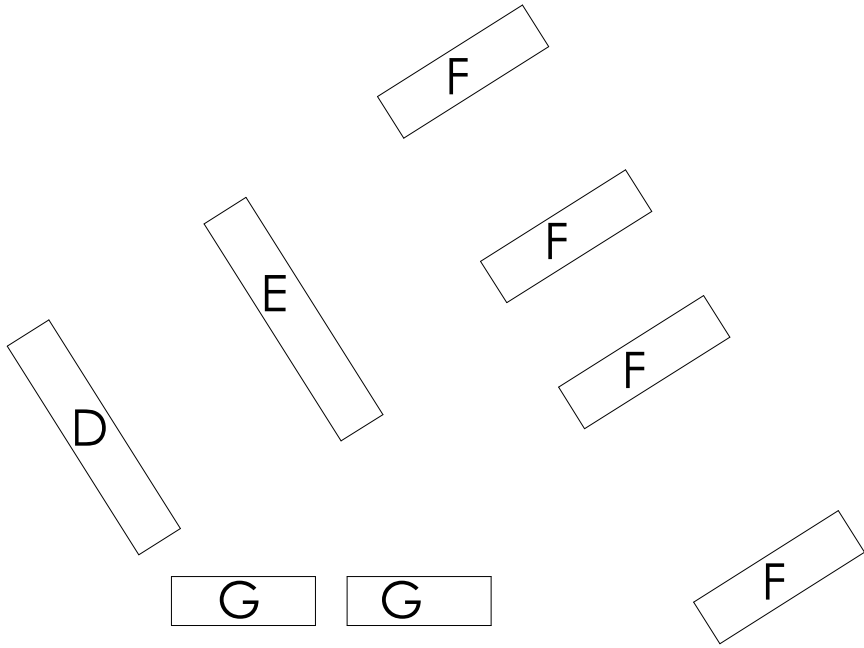
LEGEND GENERAL NOTES:

1. NOT ALL SYMBOLS MAY BE USED ON THIS PROJECT. REFER TO PLANS.

KEYED NOTES

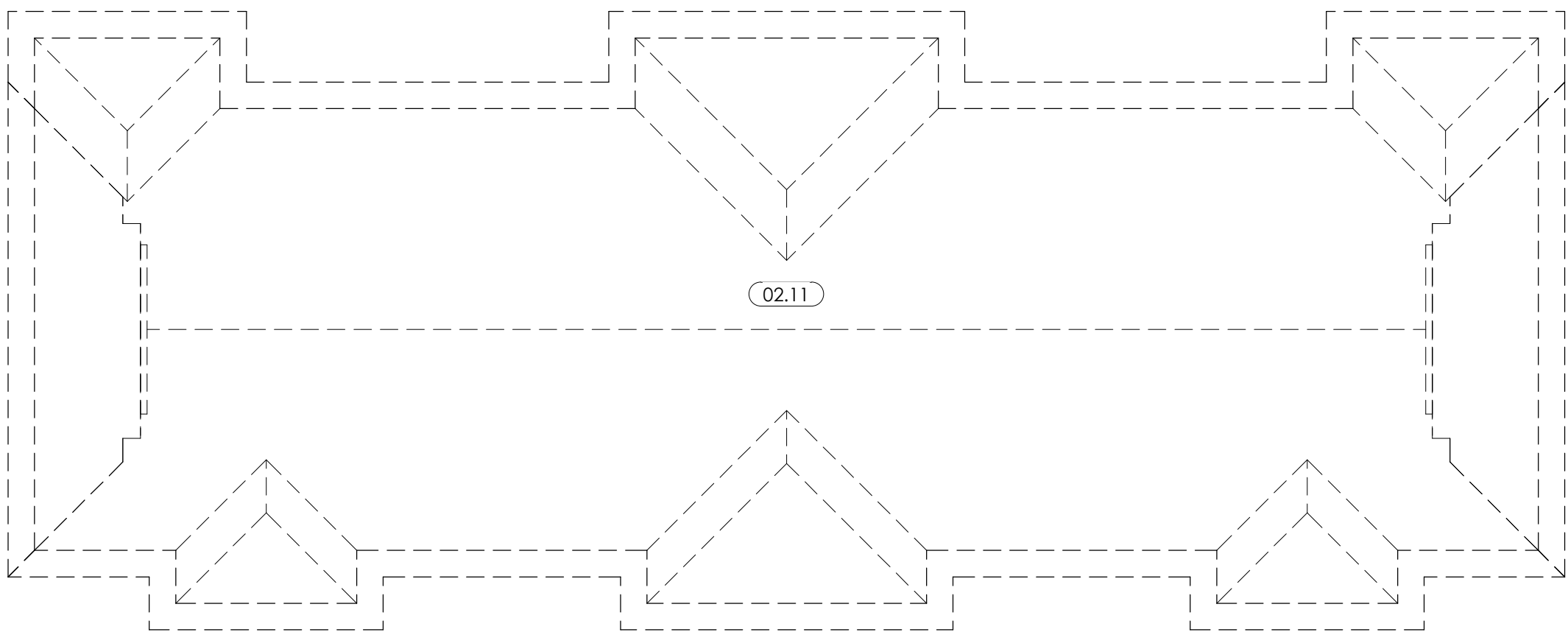
- 01.03 Paint on interior surface of masonry wall remains- do not remove. Typ. at all exterior walls.
- 02.01 Remove all existing walls, doors, and equipment to water heater closet.
- 02.02 Remove existing millwork and associated plumbing fixtures throughout.
- 02.03 Remove all interior doors, frames, and hardware.
- 02.04 Remove all interior partitions.
- 02.05 Remove load bearing masonry wall, provide temporary shoring per struct.
- 02.06 Remove all exterior doors and hardware. Door frames to remain and be reused.
- 02.07 Remove all windows, blinds, and any associated trim.
- 02.08 Remove wall mounted light fixtures and associated exposed conduit.
- 02.09 Remove existing flooring throughout.
- 02.10 Remove all electrical fixtures including lighting, switches, outlets, and conduit back to panel.
- 02.11 Remove existing shingle roof, substrate, loose fill insulation, and gabled roof framing. Existing concrete roof slab to remain- protect.
- 02.12 Remove temporary ramp and handrails at unit 102.
- 02.14 Existing clothesline hooks to remain.
- 02.15 Existing pipe columns to remain and be refinished at all entries, ref. 02/AH310.
- 02.16 Existing pipe rail to remain and be refinished at all back patios.

KEY PLAN LEGEND:



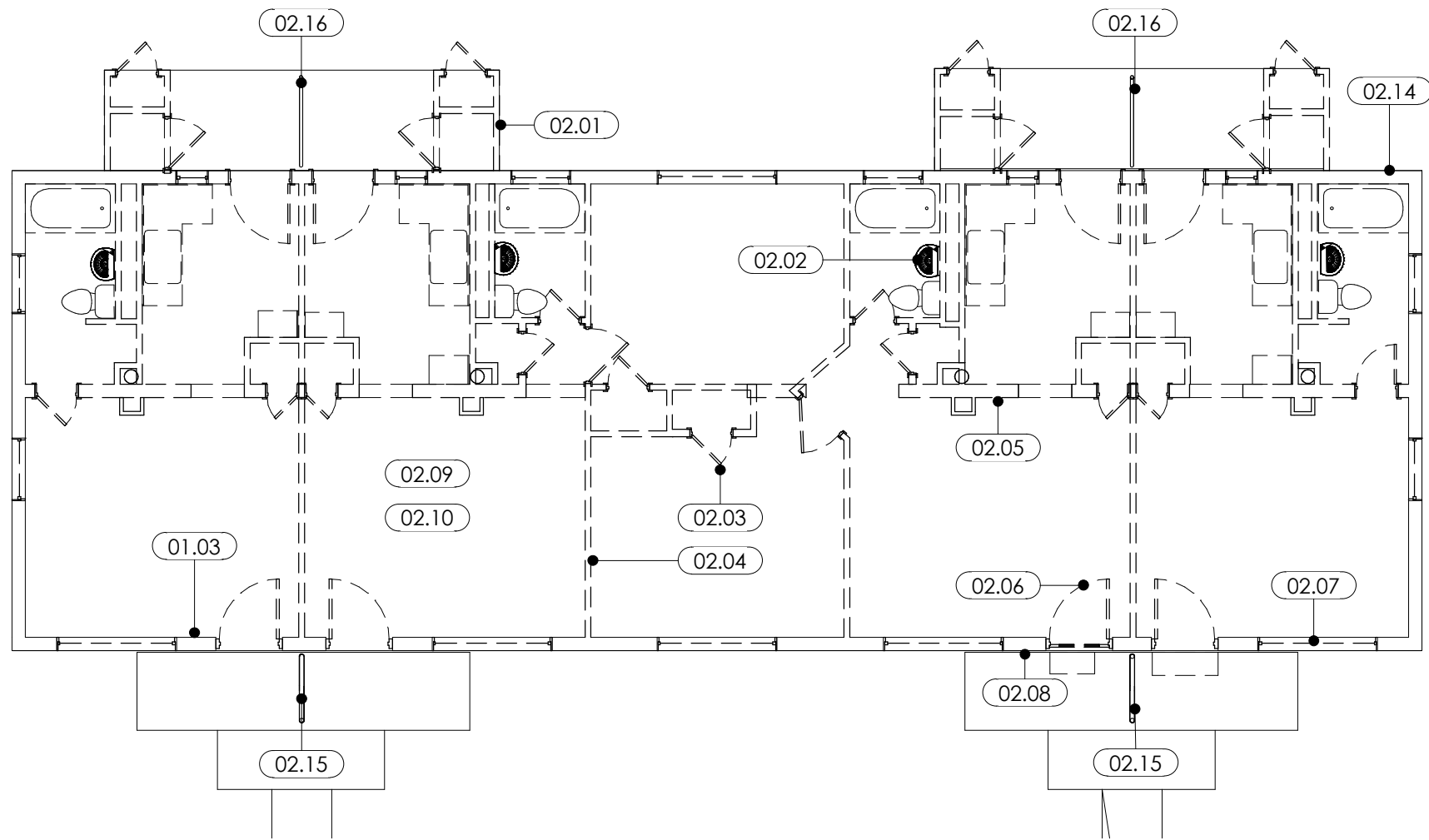
04 BUILDING TYPE G - DEMOLITION ROOF
PLAN

SCALE : 1/8" = 1'-0"



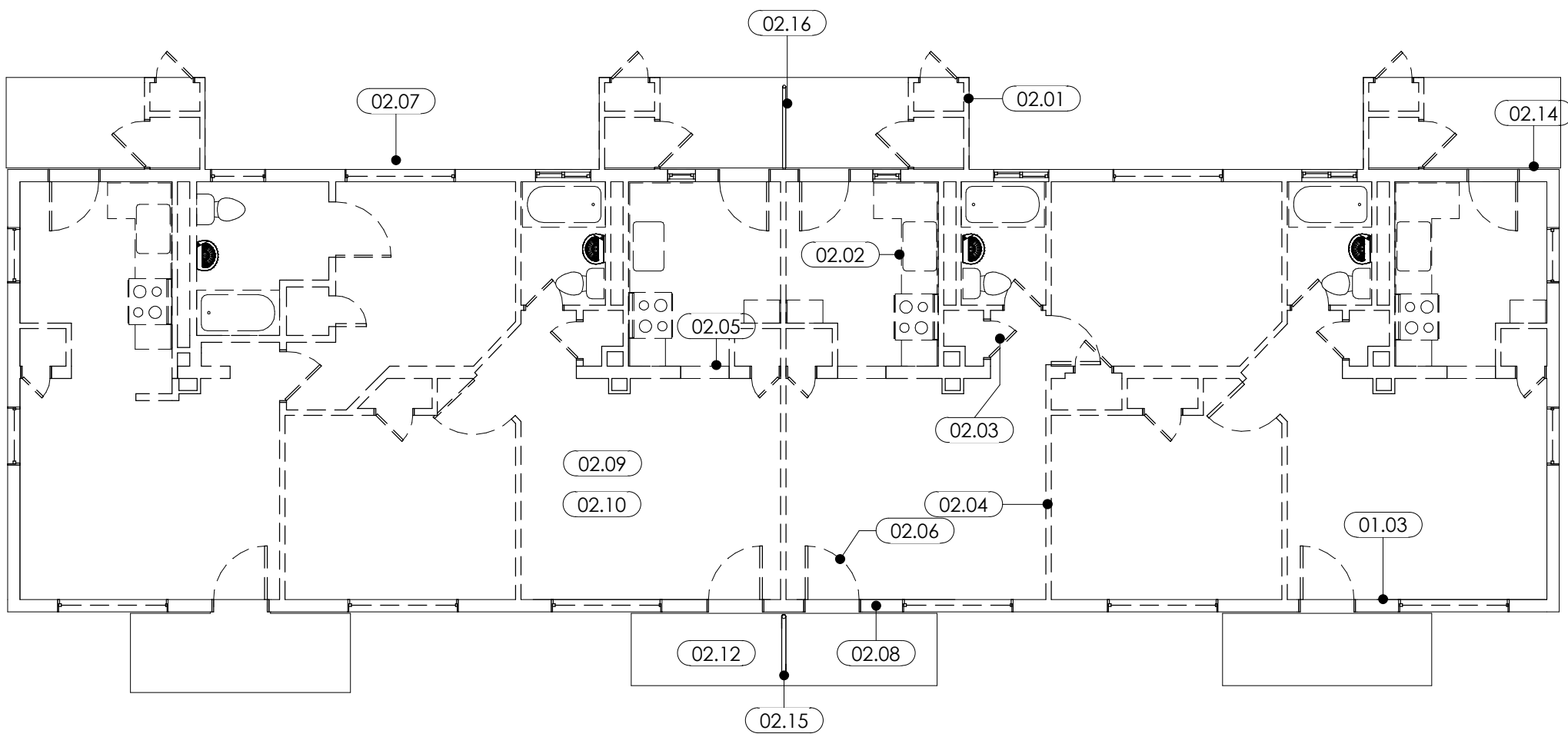
02 BUILDING TYPE F - DEMOLITION ROOF
PLAN

SCALE : 1/8" = 1'-0"



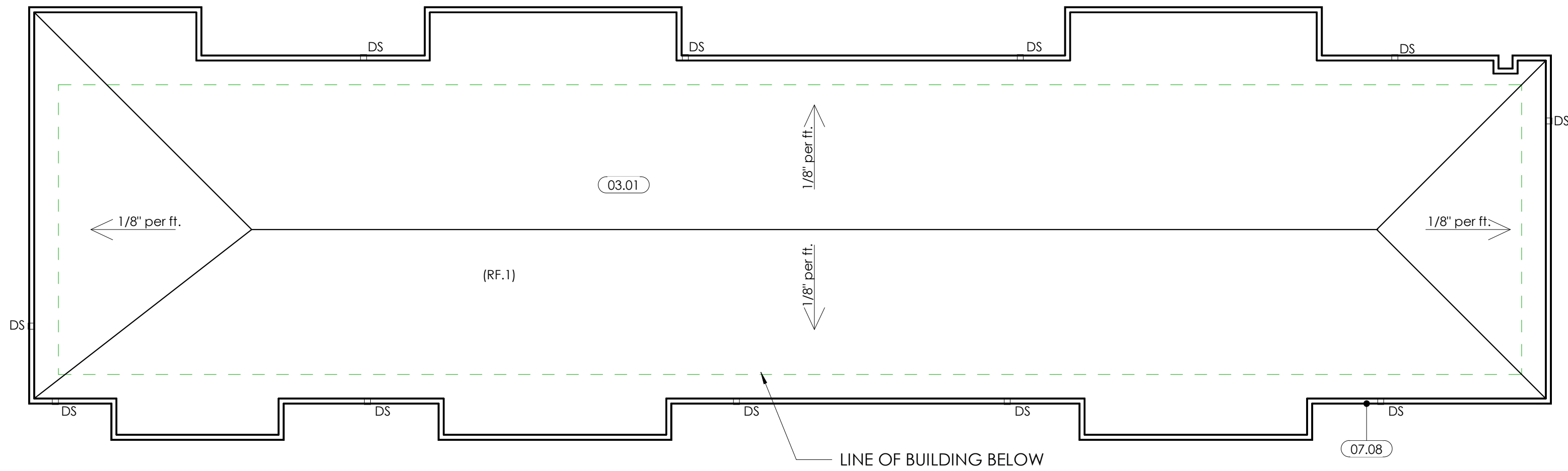
03 BUILDING TYPE G - DEMOLITION PLAN

SCALE : 1/8" = 1'-0"

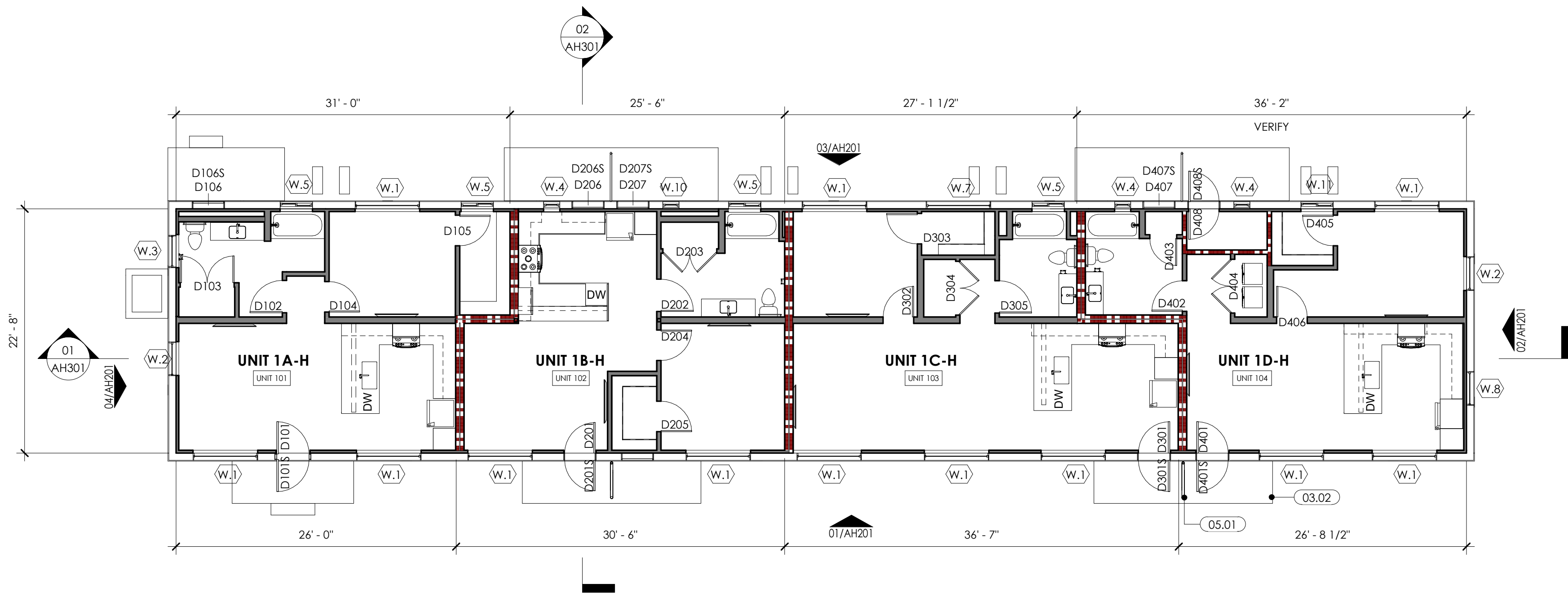


01 BUILDING TYPE F- DEMOLITION PLAN

SCALE : 1/8" = 1'-0"



02 BUILDING TYPE D - NEW ROOF PLAN
SCALE : 1/8" = 1'-0"



01 BUILDING TYPE D - FLOOR PLAN
SCALE : 1/8" = 1'-0"

1145 CHICON

PLAN NOTES:

01. Refer to Index Sheet for typical graphical symbols and abbreviation index.
02. Refer to Mounting Height Sheet for Accessibility Guidelines.
03. In general, all horizontal dimensions are provided on plans, and all vertical dimensions are provided on elevations and/or sections unless otherwise noted.
04. In general, the Overall Plan indicates exterior building dimensions, room numbers and names, door designations, exterior window designations, exterior elevations designations, building section and details designations. All other plan information is indicated on referenced area or enlarged plans.
05. In general, Area and/or Enlarged Plans indicate interior building dimensions to face of partition material, room numbers and names, door designations, interior window designations, interior detail designations, interior elevations, partition type designations, finish designations, and general building material.
06. When columns and column lines are present, all dimensions are to be tied to a column line. Contractor shall immediately report any omission of dimensions not tied to a column line to the architect prior to start of construction.
07. Coordinate all MEP access panels not shown on architectural construction documents with Architect prior to installation.
08. Provide adequate blocking as required at every location where millwork, wall light fixtures, railings, TV brackets, plumbing fixtures, etc., are to be mounted. Items are required to resist 250 pound point load.
09. There are items shown, i.e. outlets, switches, thermostats, panels, etc., on MEP contract documents that may not be shown on architectural contract documents. Contractor to coordinate all items with current TAS requirements and mounting height sheet unless noted otherwise .

KEYED NOTES

- 03.01 Confirm slope of existing concrete roof slab once exposed and notify Architect prior to installation of new roof.
- 03.02 Reinforce void below concrete patio slab and infill with Ardex Repair Mortar, Typ., at all patios where void exists.
- 05.01 1/4" X 2" Wrought iron strap bent around existing pipe columns. Prime and Paint.
- 07.08 5" Mfl, box gutter and 3"X 3" downspout.

Urban Foundry Architecture

1306 Rio Grande Street

Austin, Texas 78701

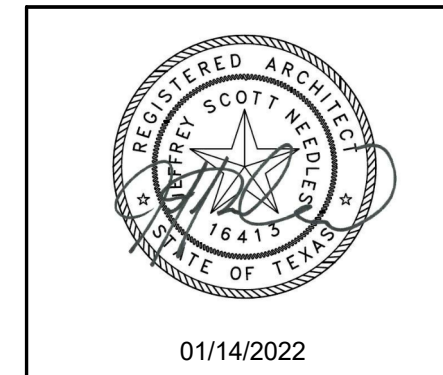
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PATHWAYS AT ROSEWOOD COURTS

Austin, Texas 78702

Mark	Date	Description
-	01/14/2022	CONSTRUCTION DOCUMENTS



AH101

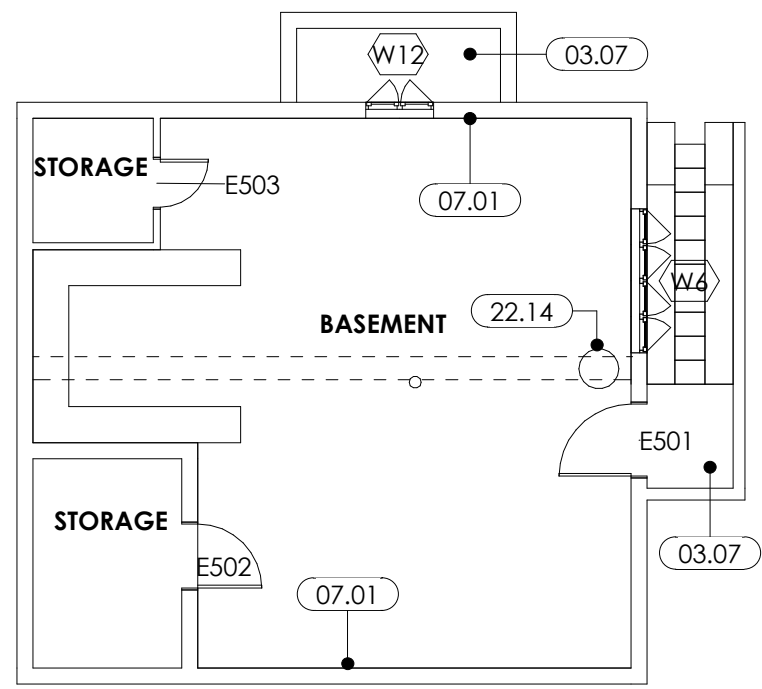
BUILDING TYPE D
FLOOR PLAN &
ROOF PLAN

UFA Commission No.:

2027



01 BUILDING TYPE E - BASEMENT FLOOR
PLAN
SCALE : 1/8" = 1'-0"



01 BUILDING TYPE E - BASEMENT FLOOR
PLAN
SCALE : 1/8" = 1'-0"

- ## KEYED NOTES

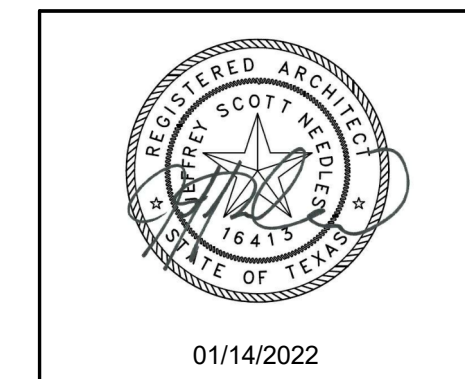
- | | |
|-------|---|
| 03.01 | Confirm scope of existing concrete roof slab once exposed and notify Architect prior to installation of new roof. |
| 03.02 | Reinforce void below concrete patio slab and infill with Ardex Repair Mortar, Typ. at all patios where void exists. |
| 03.03 | New concrete landing at lowered elevation. Increase the size of the drain to provide a strainer over the drain, and install removable grate over the landing. |
| 05.01 | 1/4" X 2" Wrought Iron strap bent around existing pipe columns. Paint and Paint. |
| 05.02 | Continuous closed cell spray foam insulation at underside of slab. |
| 07.08 | 3" M.B. box gutter and 3" X 3" downspout. |
| 12.14 | Existing pump sensor to remain. Provide required maintenance and repair to bring sensor back to working order. |

KEYED NOTES

- | | |
|-------|---|
| 03.01 | Confirm scope of existing concrete roof slab once exposed and notify Architect prior to installation of new roof. |
| 03.02 | Reinforce void below concrete patio slab and infill with Ardex Repair Mortar, Typ. at all patios where void exists. |
| 03.03 | New concrete landing at lowered elevation. Increase the size of the drain to provide a strainer over the drain, and install removable grate over the landing. |
| 05.01 | 1/4" X 2" Wrought Iron strap bent around existing pipe columns. Paint and Paint. |
| 05.02 | Continuous closed cell spray foam insulation at underside of slab. |
| 07.08 | 3" M.B. box gutter and 3" X 3" downspout. |
| 12.14 | Existing pump sensor to remain. Provide required maintenance and repair to bring sensor back to working order. |

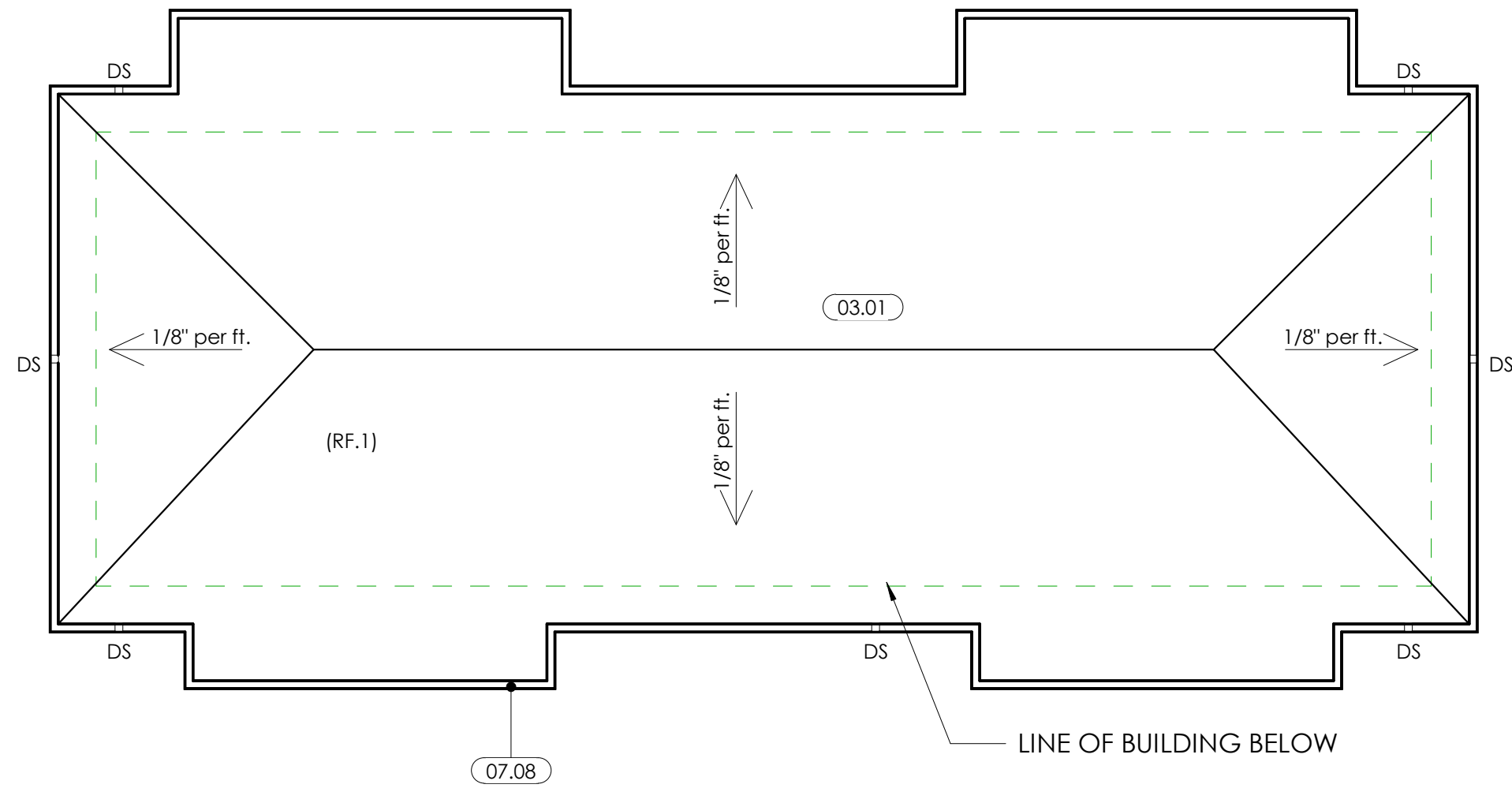


Mark	Date	Description
-	01/14/2022	CONSTRUCTION DOCUMENT.

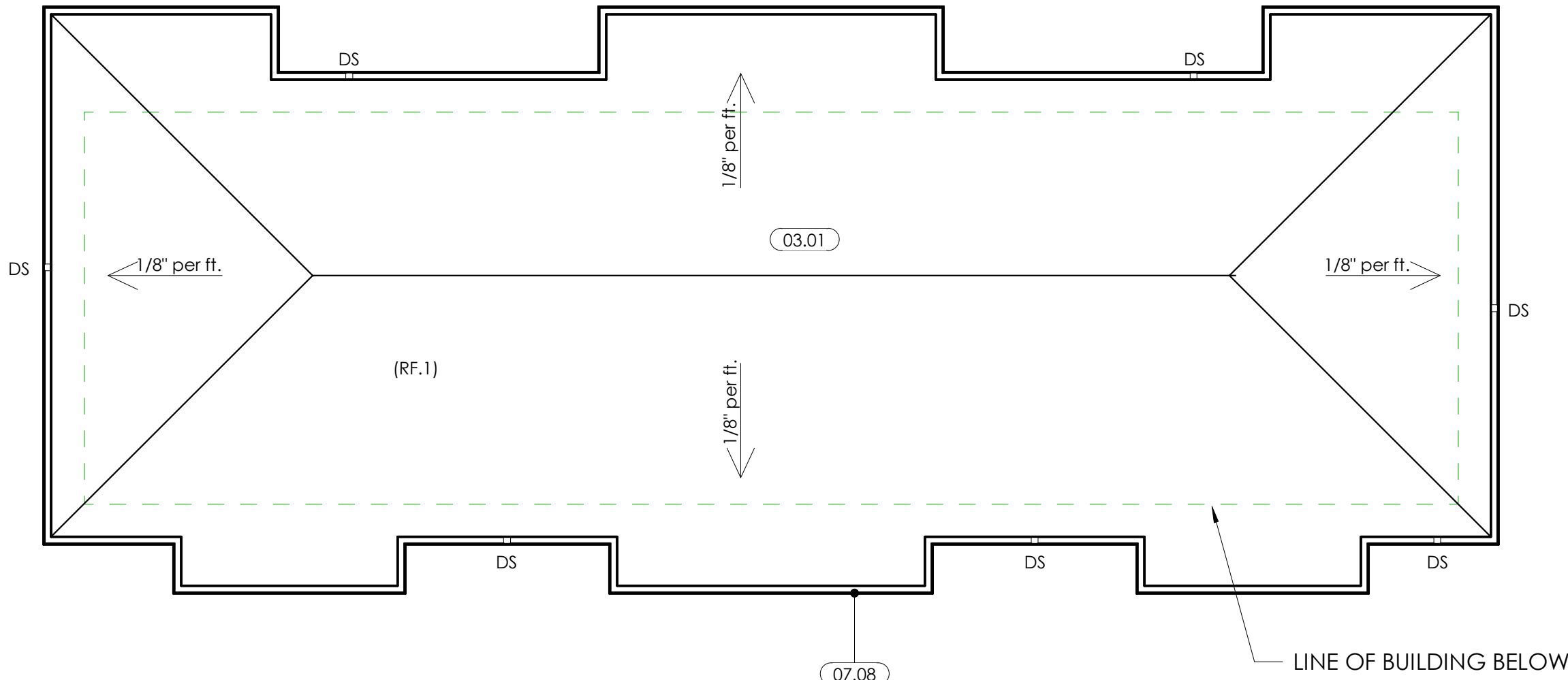


AH102

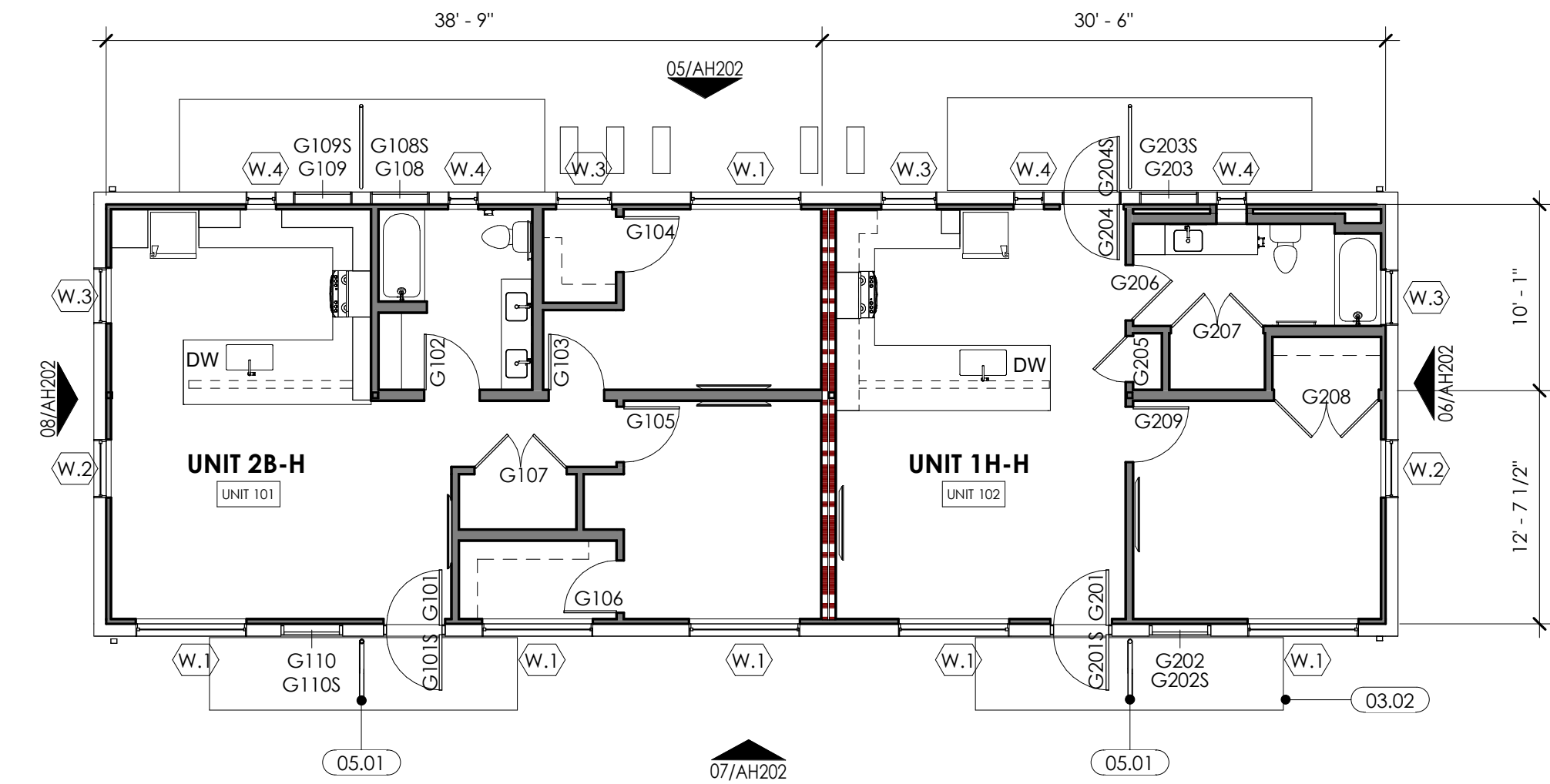
BUILDING TYPE E
FLOOR PLAN &
ROOF PLAN



04 BUILDING TYPE G - NEW ROOF PLAN
SCALE : 1/8" = 1'-0"

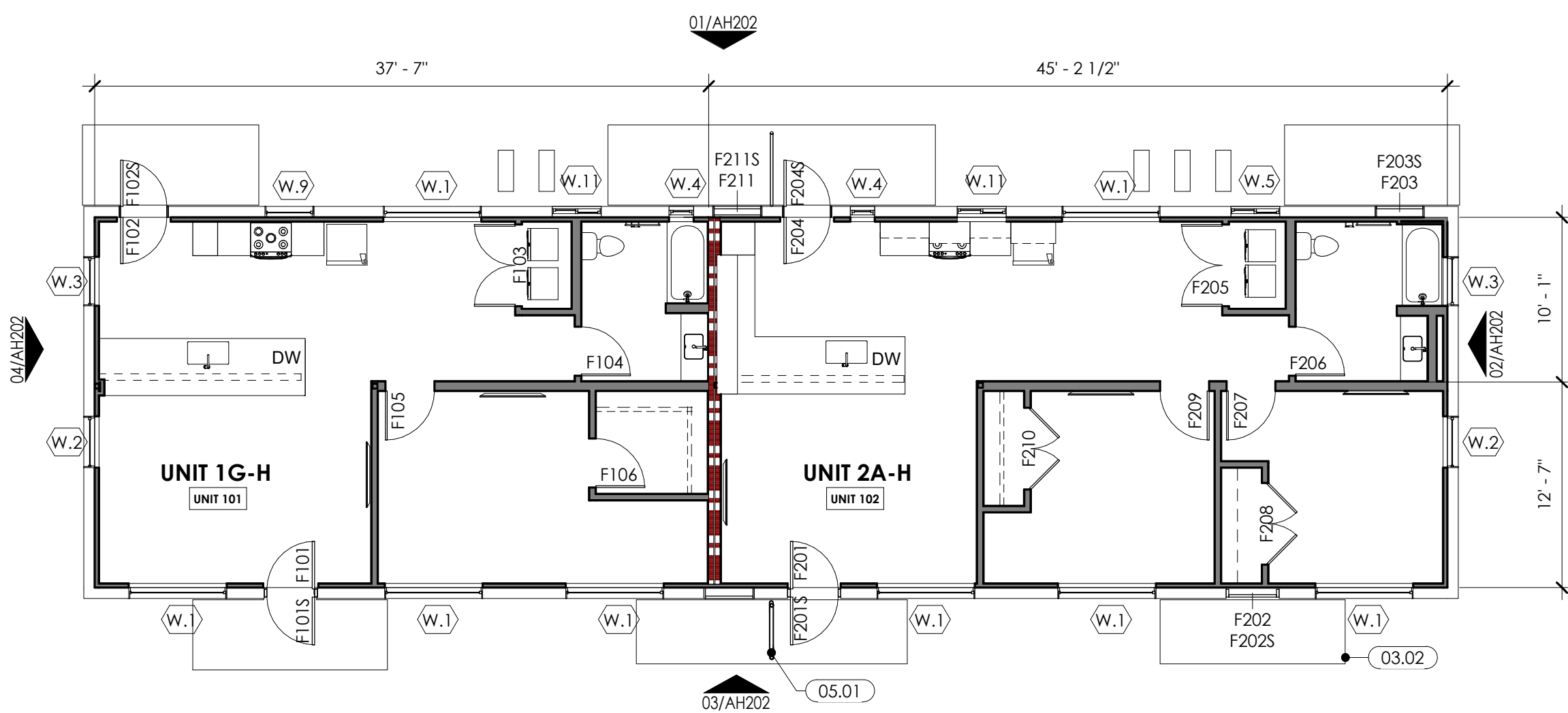


02 BUILDING TYPE F - NEW ROOF PLAN
SCALE : 1/8" = 1'-0"



03 BUILDING TYPE G - FLOOR PLAN
SCALE : 1/8" = 1'-0"

1133 CHICON
1137 CHICON



01 BUILDING TYPE F - FLOOR PLAN
SCALE : 1/8" = 1'-0"

1127 CHICON (UNIT 102 HEARING & VISUAL IMPAIRED ACCESSIBLE UNIT)
1913 CORNELL (UNIT 101 HEARING & VISUAL IMPAIRED ACCESSIBLE UNIT)
1915 CORNELL
1919 CORNELL (UNIT 102 ACCESSIBLE)

PLAN NOTES:

01. Refer to Index Sheet for typical graphical symbols and abbreviation index.
02. Refer to Mounting Height Sheet for Accessibility Guidelines.
03. In general, all horizontal dimensions are provided on plans, and all vertical dimensions are provided on elevations and/or sections unless otherwise noted.
04. In general, the Overall Plan indicates exterior building dimensions, room numbers and names, door designations, exterior window designations, exterior elevations designations, building section and details designations. All other plan information is indicated on referenced area or enlarged plans.
05. In general, Area and/or Enlarged Plans indicate interior building dimensions to face of partition material, room numbers and names, door designations, interior window designations, interior detail designations, interior elevations, partition type designations, finish designations, and general building material.
06. When columns and column lines are present, all dimensions are to be tied to a column line. Contractor shall immediately report any omission of dimensions not tied to a column line to the architect prior to start of construction.
07. Coordinate all MEP access panels not shown on architectural construction documents with Architect prior to installation.
08. Provide adequate blocking as required at every location where millwork, wall light fixtures, railings, TV brackets, plumbing fixtures, etc., are to be mounted. Items are required to resist 250 pound point load.
09. There are items shown, i.e. outlets, switches, thermostats, panels, etc., on MEP contract documents that may not be shown on architectural contract documents. Contractor to coordinate all items with current TAS requirements and mounting height sheet unless noted otherwise .

KEYED NOTES

- 03.01 Confirm slope of existing concrete roof slab once exposed and notify Architect prior to installation of new roof.
- 03.02 Reinforce void below concrete patio slab and infill with Ardex Repair Mortar. Typ. at all patios where void exists.
- 05.01 1/4" X 2" Wrought iron strap bent around existing pipe columns. Prime and Paint.
- 07.08 5" Mfl. box gutter and 3"X 3" downspout.

**Urban
Foundry
Architecture**

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Austin, Texas 78701

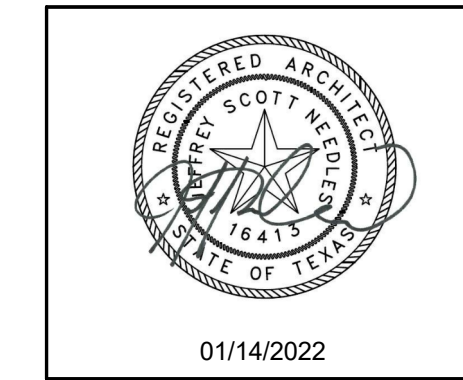
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**PATHWAYS AT ROSEWOOD
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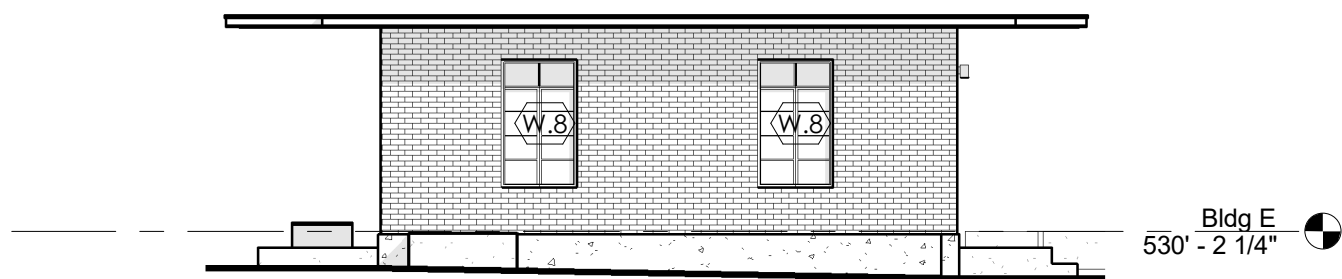
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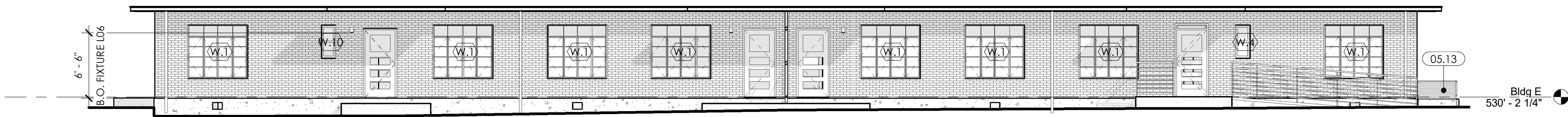
AH103
BUILDING TYPES G
& F FLOOR PLAN
& ROOF PLAN

KEYED NOTES

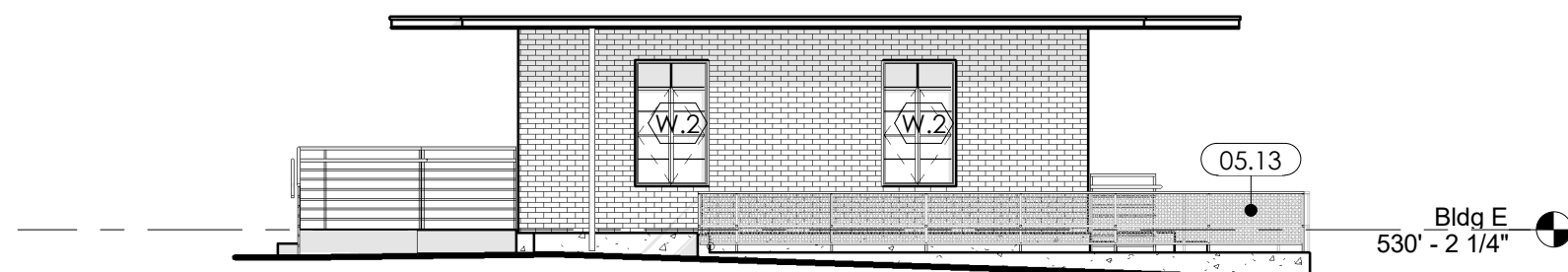
- 02.14 Existing clothesline hooks to remain.
- 05.13 Infill existing pipe railing with McNichols perforated sheet metal, Item: 16840022M2.
- 23.02 Restore and reuse existing vents.Typ. throughout.
- 32.01 Ensure positive drainage away from stair.



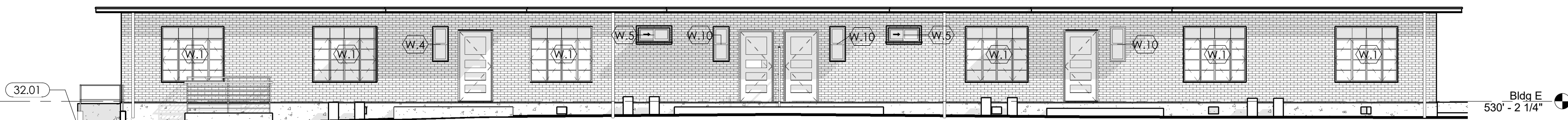
BUILDING TYPE E - PLAN WEST
ELEVATION
08
SCALE : 1/8" = 1'-0"



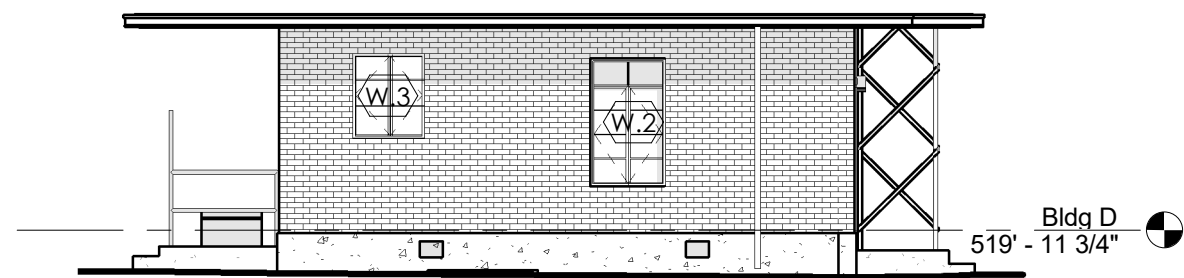
BUILDING TYPE E - PLAN SOUTH
ELEVATION
07
SCALE : 1/8" = 1'-0"



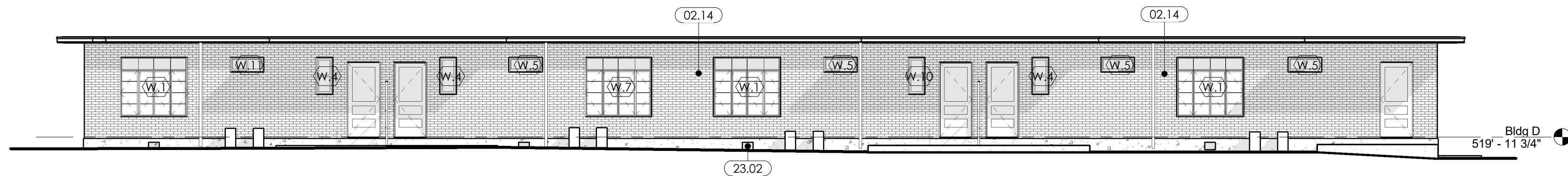
BUILDING TYPE E - PLAN EAST
ELEVATION
06
SCALE : 1/8" = 1'-0"



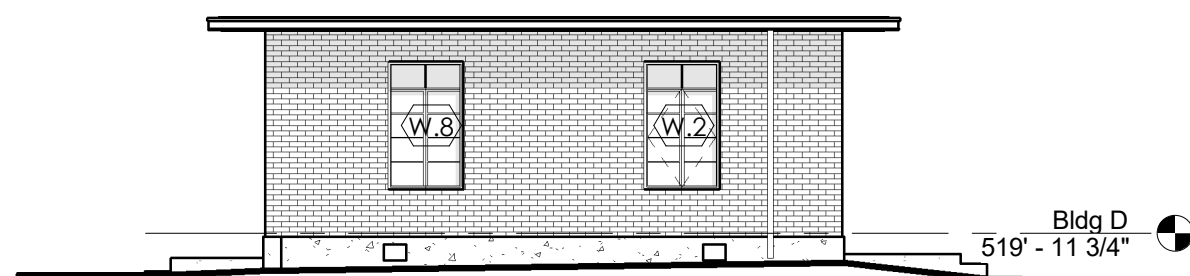
BUILDING TYPE E - PLAN NORTH
ELEVATION
05
SCALE : 1/8" = 1'-0"



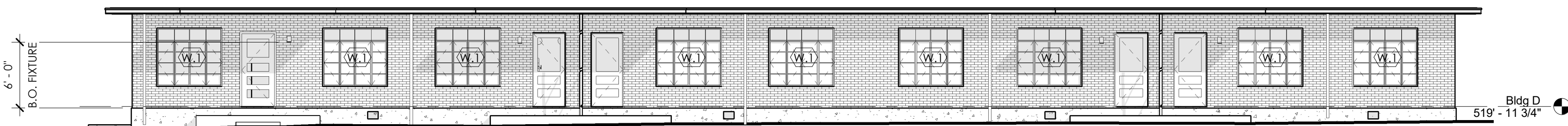
BUILDING TYPE D - PLAN WEST
ELEVATION
04
SCALE : 1/8" = 1'-0"



BUILDING TYPE D - PLAN NORTH
ELEVATION
03
SCALE : 1/8" = 1'-0"



BUILDING TYPE D - PLAN EAST
ELEVATION
02
SCALE : 1/8" = 1'-0"



BUILDING TYPE D - PLAN SOUTH
ELEVATION
01
SCALE : 1/8" = 1'-0"

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1306 Rio Grande Street

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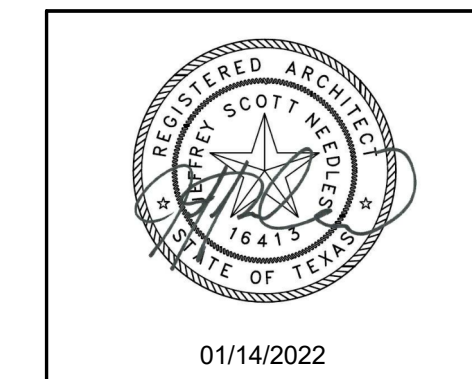
p: 512 . 294 . 2555

www.urbanfoundryarchitecture.com

PATHWAYS AT ROSEWOOD
COURTS
Austin, Texas 78702

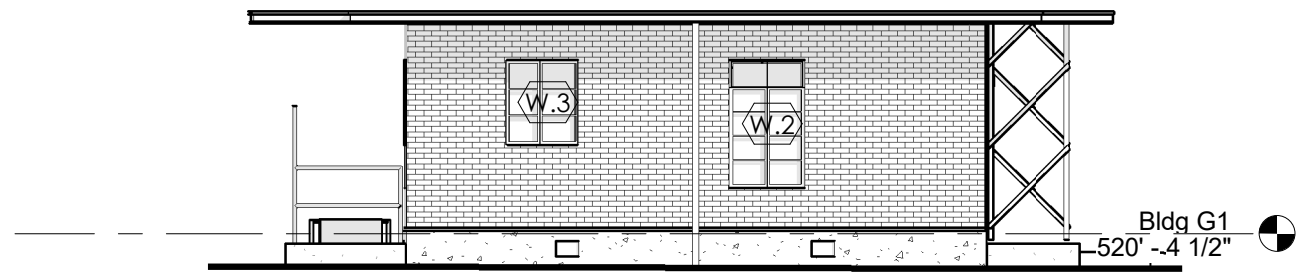


Mark	Date	Description
-	01/14/2022	CONSTRUCTION DOCUMENTS

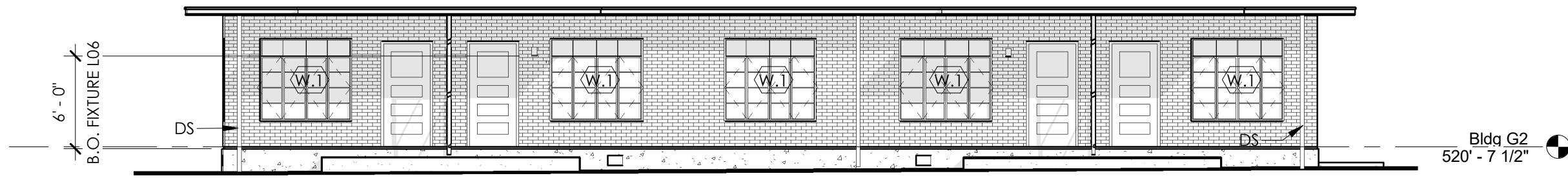


AH201

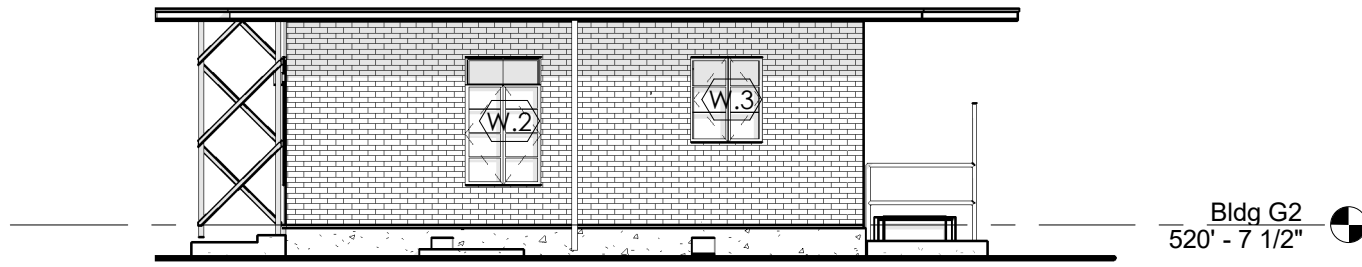
EXTERIOR
ELEVATIONS



08 BUILDING TYPE G - PLAN WEST
ELEVATION
SCALE : 1/8" = 1'-0"



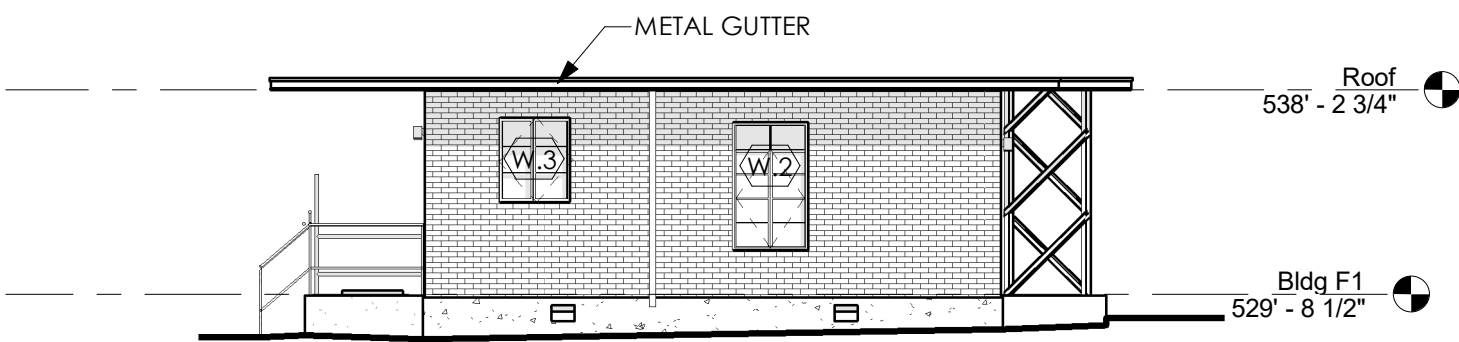
07 BUILDING TYPE G - PLAN SOUTH
ELEVATION
SCALE : 1/8" = 1'-0"



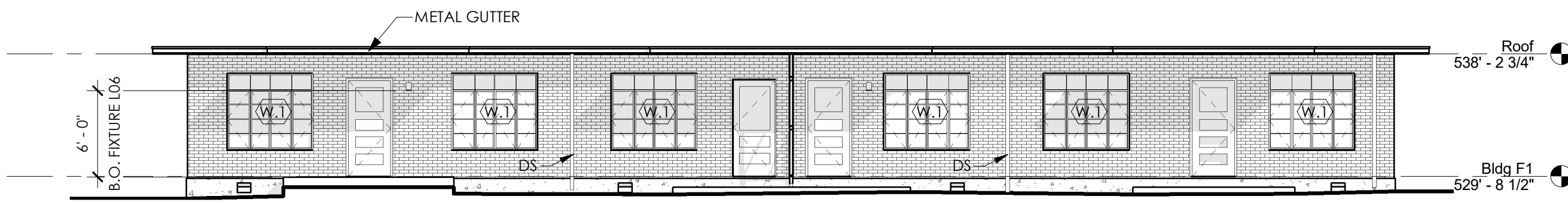
06 BUILDING TYPE G - PLAN EAST
ELEVATION
SCALE : 1/8" = 1'-0"



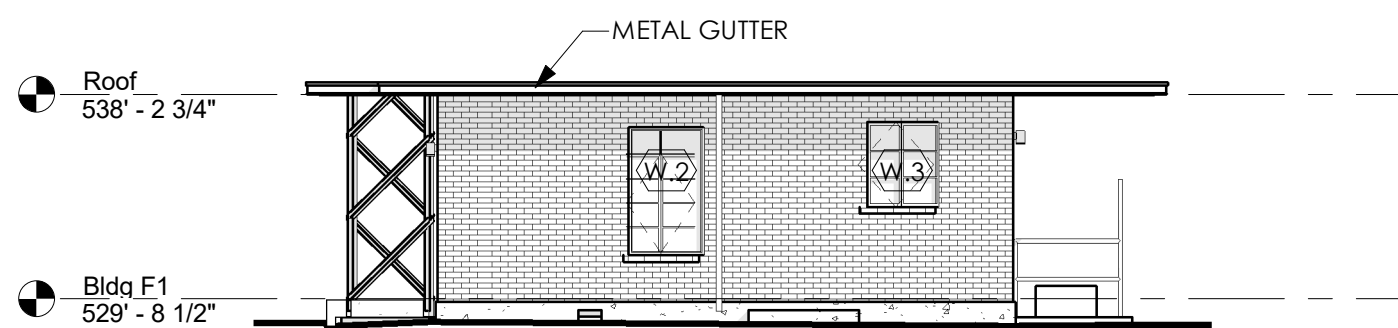
05 BUILDING TYPE G - PLAN NORTH
ELEVATION
SCALE : 1/8" = 1'-0"



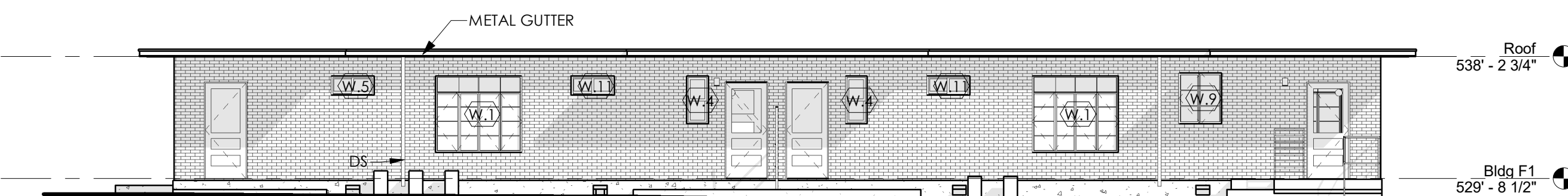
04 BUILDING TYPE F - PLAN WEST
ELEVATION
SCALE : 1/8" = 1'-0"



03 BUILDING TYPE F - PLAN SOUTH
ELEVATION
SCALE : 1/8" = 1'-0"



02 BUILDING TYPE F - PLAN EAST
ELEVATION
SCALE : 1/8" = 1'-0"



01 BLDG TYPE F - PLAN NORTH ELEVATION
SCALE : 1/8" = 1'-0"

Mark	Date	Description
-	01/14/2022	CONSTRUCTION DOCUMENTS

