

**Application for
Tax Abatement
for Rehabilitation of Property in a
Local Historic District**

**City of Austin
Historic Preservation Office
Austin, Texas
512-974-2727**

City of Austin
Local Historic District Tax Abatement
Part I - Application for Certificate of Eligibility

PART I - APPLICATION CHECK LIST:

- ☒ Completed Application for Certificate of Eligibility signed by owner.
- ☒ Estimate of costs for eligible work.
- ☒ Completed Certificate of Appropriateness Application signed by owner.
- ☒ Proof of pre-rehabilitation value from the Travis County Appraisal District.
- ☒ Signed authorization for City Officials to inspect the property, and affidavit stating all property taxes are current and no city fees, fines, or penalties are owed on property owned by a business association in which the applicant has an ownership interest.
- ☒ Current tax certificate providing proof no property taxes or City fees, fines, or penalties are delinquent on the property.
- N/A Proforma and development budget, if an estimated abatement is over \$100,000.
- N/A Letter of intent from a financial institution or potential investors, if applicable.

City of Austin
Local Historic District Tax Abatement
Part I - Application for Certificate of Eligibility

Address of property: 1105 Castle Court Austin, TX 78703

Name of Local Historic District: Castle Hill Local Historic District

☒ Contributing property ☐ Non-contributing property

Legal Description of Property: LOT 7 LESS N 5FT OLT 5 DIV Z CASTLE COURT

Tax Parcel ID Number: 0109010708

APPLICANT/PROJECT CONTACT:

Name: O'Connell Architecture, LLC/Tere O'Connell, AIA Telephone: (512) 751-1374

Mailing Address: 3908 Avenue B, Room 309 Mobile phone: ()

City: Austin State: TX Zip: 78751 Email:

OWNER:

Name: Peter Pincoffs 1105 W 12, LLC Telephone:

Mailing Address: 221 W. 6th Street, Suite 1400 Mobile phone:

City: Austin State: TX Zip: 78701 Email:

Proposed Use of the Property: Commercial Office

Proposed Scope of Work:

Site work to improve accessibility, landscaping and new decking. Remove rotted wood, interior finishes and later building renovations.

Improvements will include new roof, downspouts and gutters; new HVAC, electrical system, plumbing including and accessible break room and restroom and fire and security system. Masonry will be rebuilt and repointed as necessary. Restore historic windows and doors.

East addition will receive new siding, new windows, new roof and accessible entry. Interior work will include replacement of damaged wood work, new cabinetry and countertops. Interior finishes include wood floors, exposed stone walls, plaster walls, gypsum board ceilings.

Projected Construction Schedule: Spring 2021

Has the property received any other property tax relief under § 11.24 of the Texas Tax Code?:
None

Describe all City Code violations, if any, on the property within the previous five years:
N/A

For Historic Preservation Office use only:

☐ Property is not a contributing or potentially contributing structure

☐ Certificate of Eligibility approved by Historic Landmark Commission

☐ Certificate of Eligibility not approved by Historic Landmark Commission

Historic Preservation Officer

Date

**City of Austin
Local Historic District Tax Abatement
Part I - Application for Certificate of Eligibility**

ESTIMATE OF EXPENDITURES

Property Address: 1105 Castle Court Austin, TX 78703	
Proposed Scope of Work	Estimated Cost
Demolition (to remove non-historic exterior additions and features)	\$34,250
Masonry (including removal resetting; rebuild chimneys)	\$23,900
Exterior trim	\$56,550
Roof and awning	\$43,500
Gutters and downspouts	\$ 5,300
Interior partitions, ceilings, floors	\$120,820
Window and screen restoration	\$27,800
Exterior doors	\$ 5,700
Exterior Paint	\$21,100
Site work	\$48,000
HVAC	\$39,900
Plumbing	\$22,600
Electrical (including fire detection and security systems)	\$38,500
Concrete, foundation and structural	\$29,140
Contract Labor related to eligible costs	\$93,000
Total:	\$ 610,060.00
Pre-rehabilitation/restoration value of property:	\$1,128,257.00
% of value being spent on rehabilitation/restoration:	54%
% of total estimated costs being spent on exterior work:	56%

Attach additional pages if needed.

City of Austin
Local Historic District Tax Abatement
Part I - Application for Certificate of Eligibility

THE STATE OF Texas §
COUNTY OF Travis §

STATEMENT OF UNDERSTANDING, AUTHORIZATION FOR INSPECTION OF PROPERTY,
AND AFFIDAVIT REGARDING TAXES, FEES, FINES AND PENALTIES

Property Address: 1105 Castle Court Austin, TX 78703

Owner's Name: 1105 W 12 LLC

I am over 18 years of age and am competent to sign this Affidavit.

I am the owner of the property identified above.

I am seeking a tax abatement for the property identified above.

I certify that the information in the application for a tax abatement, including all supporting documentation, is complete and correct.

I authorize city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax abatement.

I acknowledge that I have read and understand the program requirements, and that I will not receive an abatement until all program requirements have been met and I have obtained a certificate of verification from the City of Austin.

I understand that all rehabilitation work must be completed within 2 years after the date of the issuance of a Certificate of Eligibility and Certificate of Appropriateness. If the deadline for completion is subsequently extended by the Historic Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work as proposed and approved by the Historic Landmark Commission.

I affirm that improvements will comply with the historic area combining district Preservation Plan and Design Standards.

I understand that I must make an application to Travis County Appraisal District each year in order to receive the abatement for that year, and that if I do not make the application in time, I will lose the ability to receive a tax abatement for that year.

All property taxes are current, and no City of Austin fees, fines or penalties are owed, on the property or any property owned by a business association in which I have an ownership interest.

Signature

E. Peter Lincoff

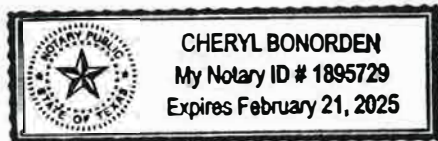
Owner/Applicant

2/1/22

Date

I declare under penalty of perjury that the statements above are true and correct.

Subscribed and sworn to before me, by the said E. Peter Lincoff, this
the 1st day of February, 2022, to certify which witness my hand and seal of office.



Cheryl Bonorden

Notary Public, State of _____

My commission expires _____



Historic Review Application

For Office Use Only

Date of Submission: 2/14/2020

Plan Review #: LHD-2020-0010

Property Address: 1105 Castle Court

Historic Landmark ☐

Historic District (Local) ☒

National Register Historic District ☒

Historic Landmark or
Historic District Name: Castle Hill LHD

Applicant Name: Tere O'Connell Phone #: 512-751-1374

Applicant Address: 702 Rio Grande St City: Austin State: TX Zip: 78701

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet. Additional sheet attached.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) Accessible ramp and deck	South Elevation	Concrete, wood deck, Austin Common brick piers, and metal handrails.
2)		
3)		

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE:
BY: *Stacy Sadomsky*
for HLC Chair

Submittal Requirements

APPROVED

By Angela Gaudette at 1:14 pm, Apr 29, 2020

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing and proposed conditions for alterations and additions.

Site Plan ☒ Elevations ☒ Floor Plan ☒ Roof Plan ☐

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☒ Detailed view of each area proposed to be modified ☒

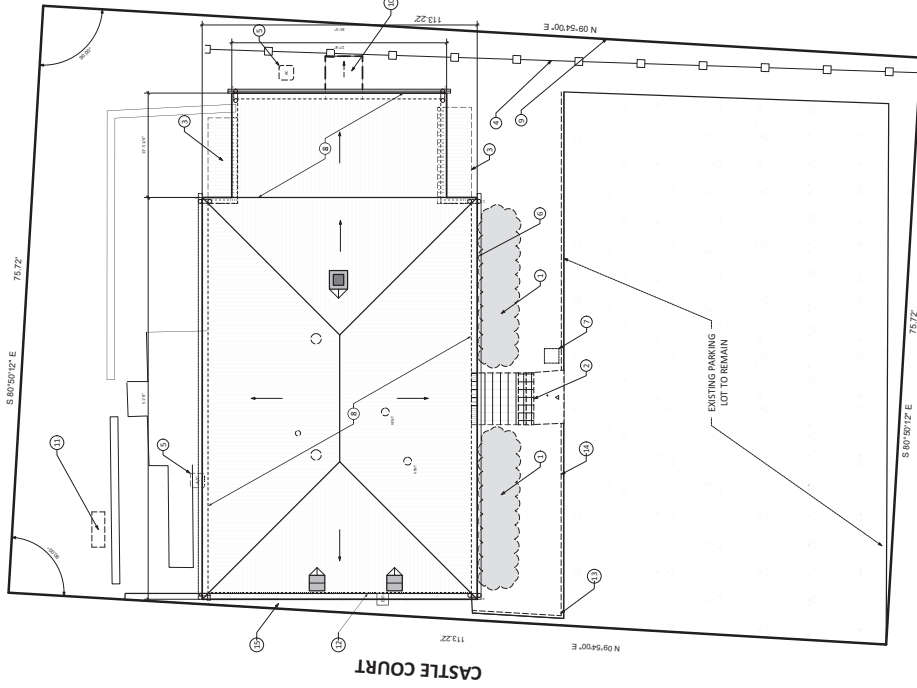
Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: *Tere O'Connell*

Date: February 14, 2020

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE:
BY: *Stacey Sabersky*
for HLC Chair

WEST 12TH STREET



KEYNOTES - DEMO SITE & ROOF PLAN

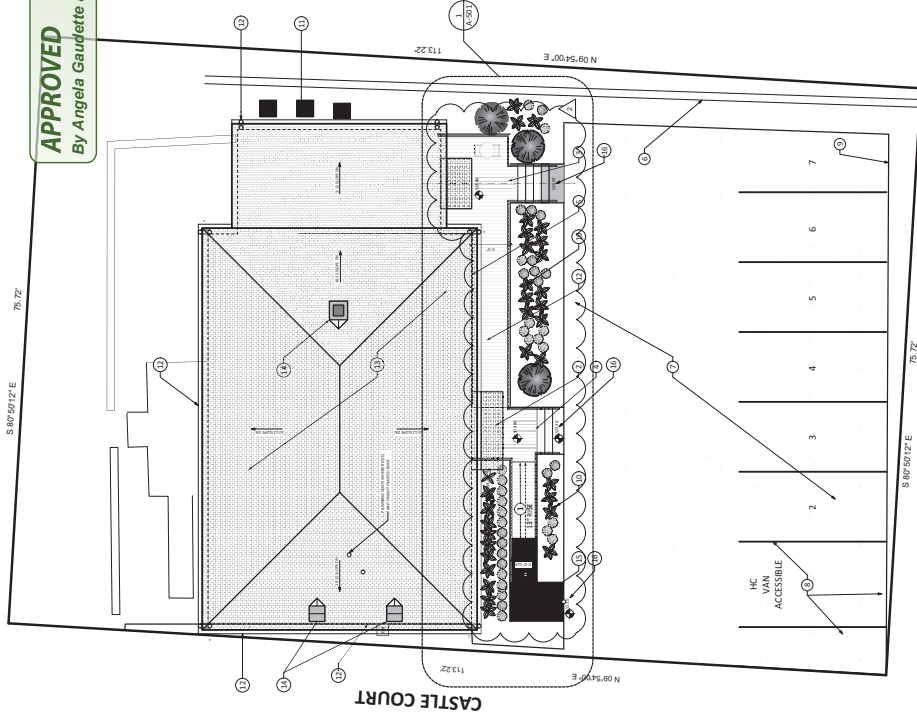
1. REMOVE EXISTING GARAGE
2. REMOVE EXISTING STAIRS AND LANDING
3. REMOVE EXISTING WOOD AND STONE DECK AND STAIRS
4. REMOVE EXISTING FENCE
5. REMOVE EXISTING ALUMINUM AND PAID
6. PREP AND CLEAR AREA FOR MASONRY REPAIR
7. REMOVE METAL BOX
8. REMOVE AND PREPARE TO REPLACE ROOF
9. REMOVE FAILED METAL FRAMING WALL
10. REMOVE EXISTING MECHANICAL BUILDING
11. REMOVE SIGN
12. REFER TO ELECTRICAL PLANS FOR ELECTRICAL DEMO SCOPE
13. REMOVE WALKWAY
14. REMOVE EXISTING WOOD AND STONE CURB
15. REMOVE MASONRY STAINING WITH PROPOSED 94% LIMESTONE AND MARBLE CLEANER



2 DEMO SITE PLAN
Scale: 1/8" = 1'-0"

NOTES: REF: A-101 FOR SITE PROTECTION PLAN
REF: A-121 FOR ROOF DEMO PLAN

WEST 12TH STREET



KEYNOTES - NEW SITE & ROOF PLAN

1. NEW RAMP AND METAL HANDRAILS
2. NEW 4" X 8" RAMPING
3. NEW WOOD DECK, STAIR, AND HANDRAILS
4. NEW LIMESTONE ENTRY STAIRS AND METAL HANDRAILS
5. INVESTIGATE CAUSE OF DAMAGE, THEN REPAIR MASONRY BELOW WINDOW TO MATCH ORIGINAL MORTAR
6. NEW FENCE AND 2" TALL METAL WALL
7. RESEAL AND RESTRIPE PARKING LOT
8. VAN ACCESSIBLE SPACE STRIPING AND SIGNAGE
9. SIGNAGE FOR BICYCLE PARKING
10. NEW LANDSCAPING AND EQUIPMENT
11. NEW MECHANICAL PAD AND EQUIPMENT
12. NEW 6" HALF ROUND GUTTERS AND 4" DOWNSPOUTS (PAINT GRIP OR COPPER)
13. NEW METAL SINGLE ROOF WITH TENSILE TIMBER JOIST BY CERTIFIED OR APPROVED EQUAL
14. NEW METAL ROOF WITH TENSILE TIMBER JOIST FOR REPAIR
15. NEW CONCRETE LANDING
16. FIELD VERIFY ELEVATION MARK IS LEVEL WITH EXISTING CONCRETE PARKING TO REMAIN. ADJUST IF NEEDED IN CONSULTATION WITH ARCHITECT.



1 NEW SITE PLAN
Scale: 1/8" = 1'-0"

NOTES: REF: A-101 FOR SITE PROTECTION PLAN
REF: A-122 FOR NEW ROOF PLAN

SITE PLAN LEGEND

- WM WATER METER
- W WATER
- WM WASTEWATER
- CO CLEANOUT
- EM ELECTRIC METER
- E OVERHEAD ELECTRIC
- G GAS METER
- C CABLE

APPROVED
By Angela Gaudette at 1:14 pm, Apr 29, 2020

APPROVED BY
HISTORIC LANDMARK COMMISSION

DATE:
BY: *Stacy Sedore*
for HLC Chair

APPROVED

By Angela Gaudette at 1:14 pm, Apr 29, 2020



O'Connell
ARCHITECTURE
702 Rio Grande Street
Austin, Texas 78701
512.477.1614



EXP 12/31/20

MESS HALL
RENOVATION
1105 CASTLE COURT, AUSTIN, TEXAS 78703

ISSUE DATE

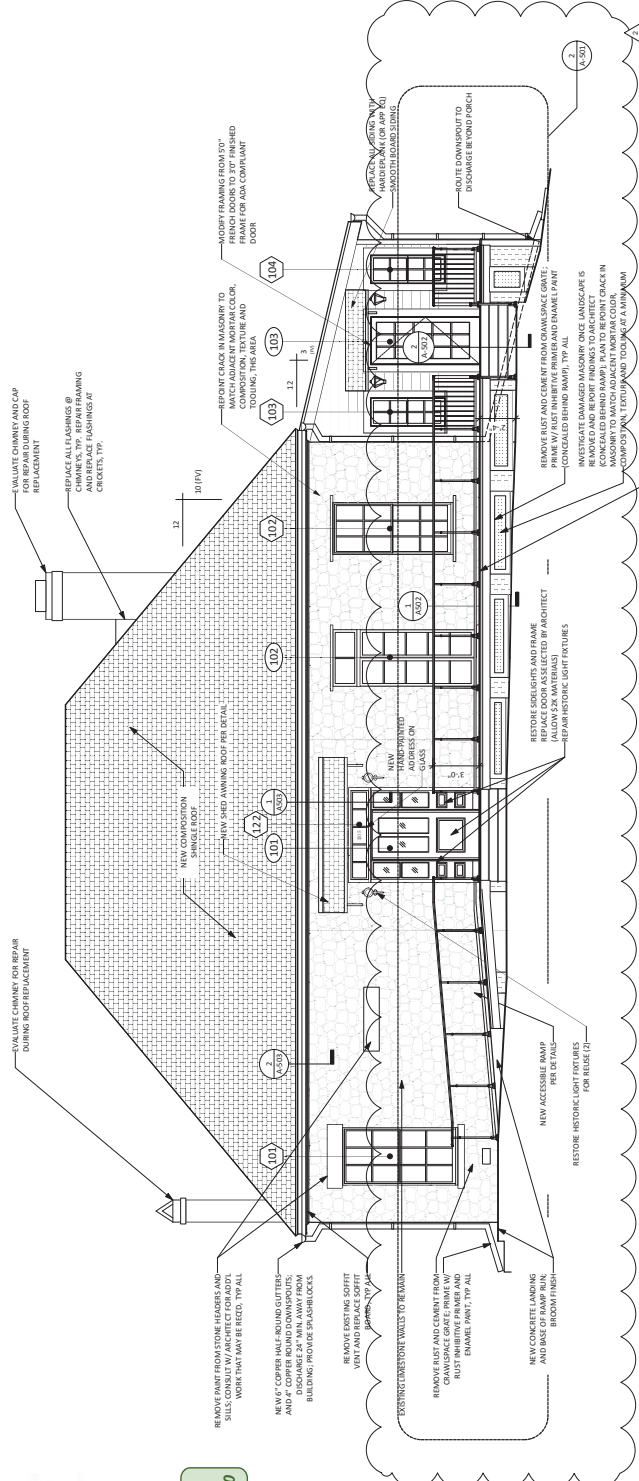
1/26/2020
2/14/2020

SHEET NAME

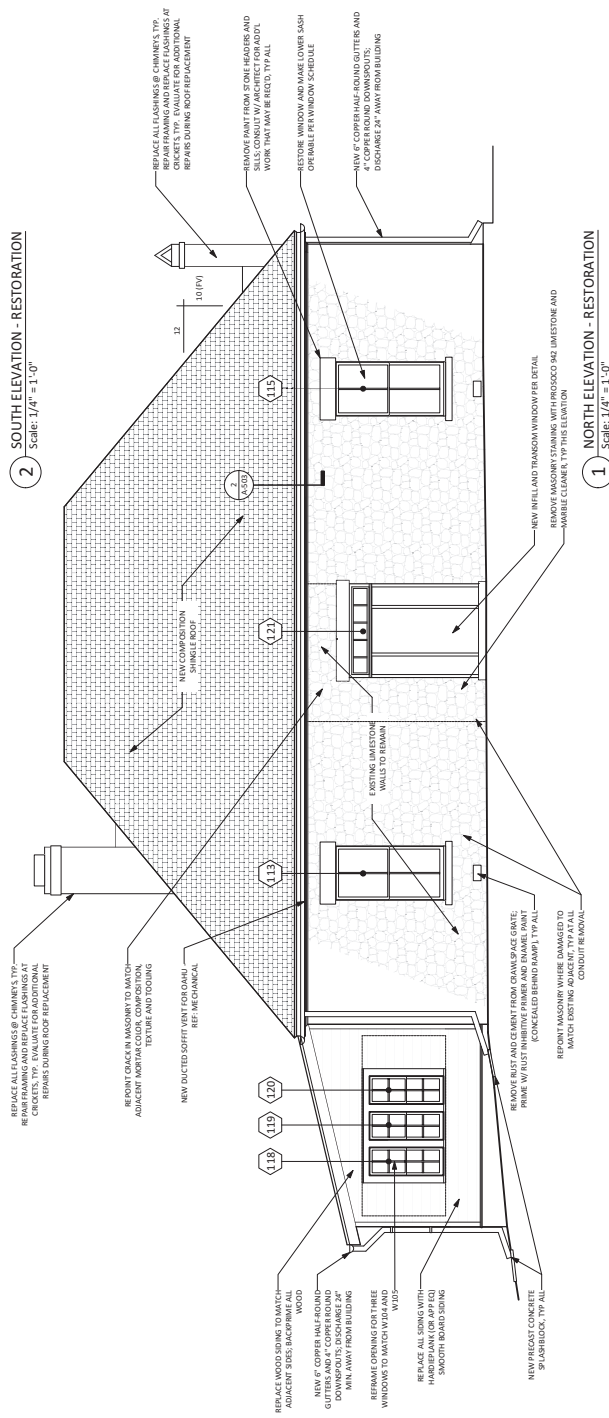
NORTHSOUTH
RESTORATION
ELEVATIONS

SHEET NUMBER

A-211



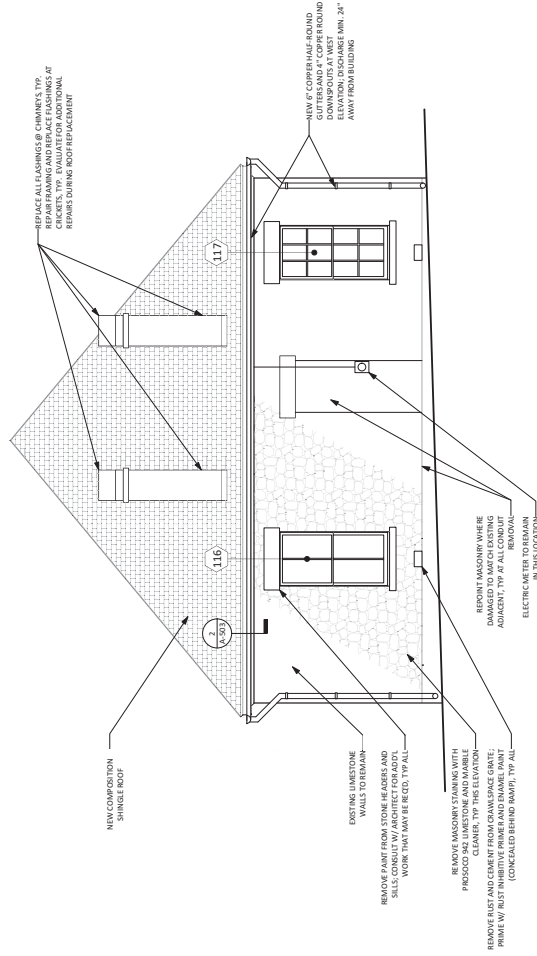
2 SOUTH ELEVATION - RESTORATION
Scale: 1/4" = 1'-0"



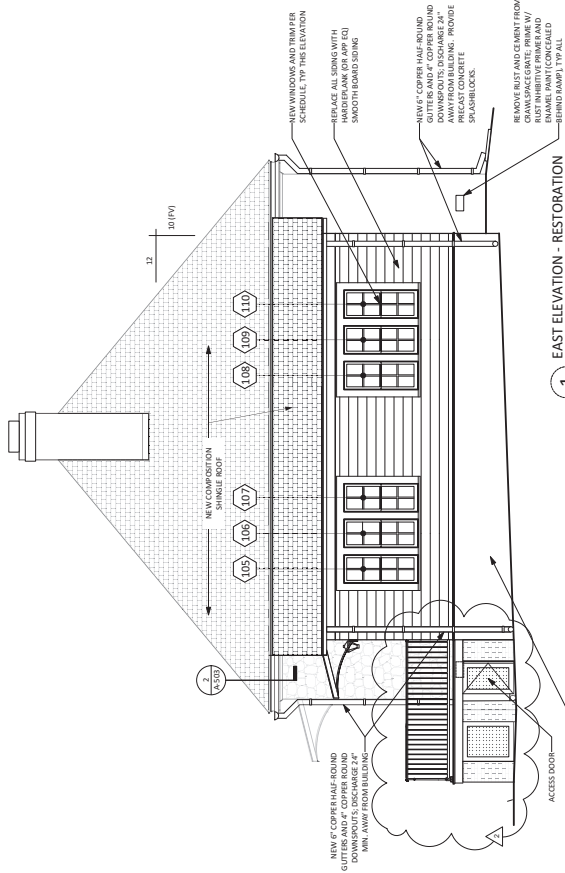
1 NORTH ELEVATION - RESTORATION
Scale: 1/4" = 1'-0"

APPROVED BY
HISTORIC LANDMARK COMMISSION
 DATE: _____
 BY: *Stacy Sabersky*
 for HLC Chair

APPROVED
 By Angela Gaudette at 1:14 pm, Apr 29, 2020



2 WEST ELEVATION - RESTORATION
 Scale: 1/4" = 1'-0"



1 EAST ELEVATION - RESTORATION
 Scale: 1/4" = 1'-0"

BY: Steve Sadorsky
for HLC Chair

By Angela Gaudette at 1:14 pm, Apr 29, 2020

MESS HALL
RENOVATION
1105 CASTLE COURT, AUSTIN, TEXAS 78703

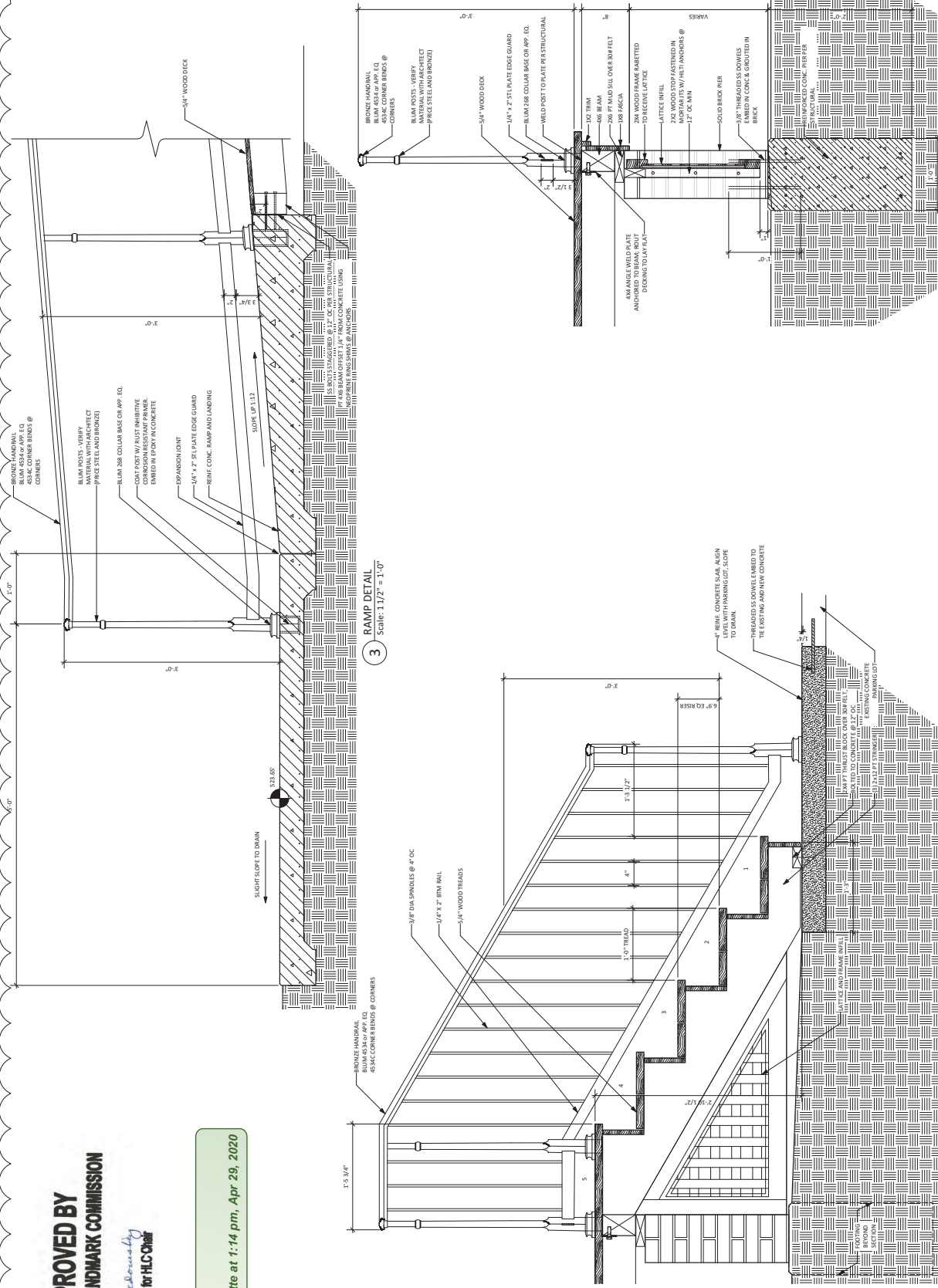
A-501



Scale: 3/8" = 1'-0"



Scale: $3/8" = 1'-0"$



1 RAILING AND PIER DETAIL
Scale: 1 1/2" = 1'-0"

2 STAIR SECTION
Scale: 1 1/2" = 1'-0"

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE:
BY: *Stacy Sabersky*
for HLC Chair

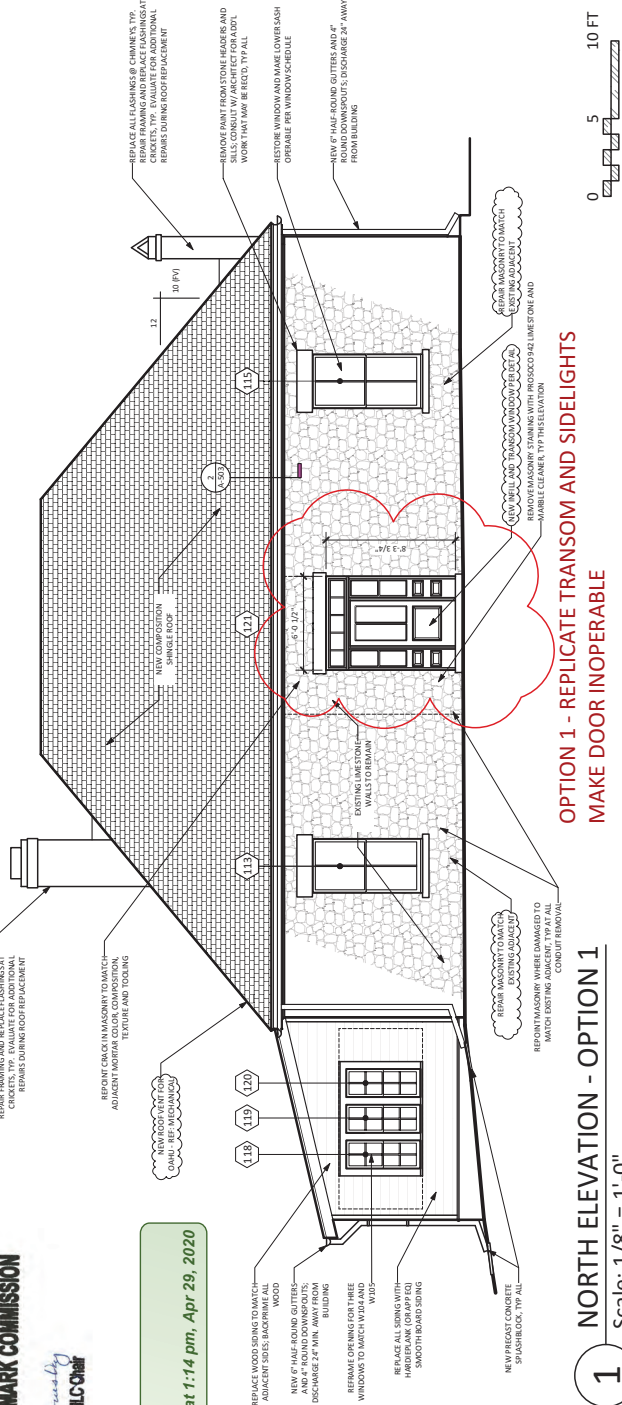
APPROVED
By Angela Gaudette at 1:14 pm, Apr 29, 2020



MESS HALL
RENOVATION
1105 CASTLE COURT, AUSTIN, TEXAS 78703

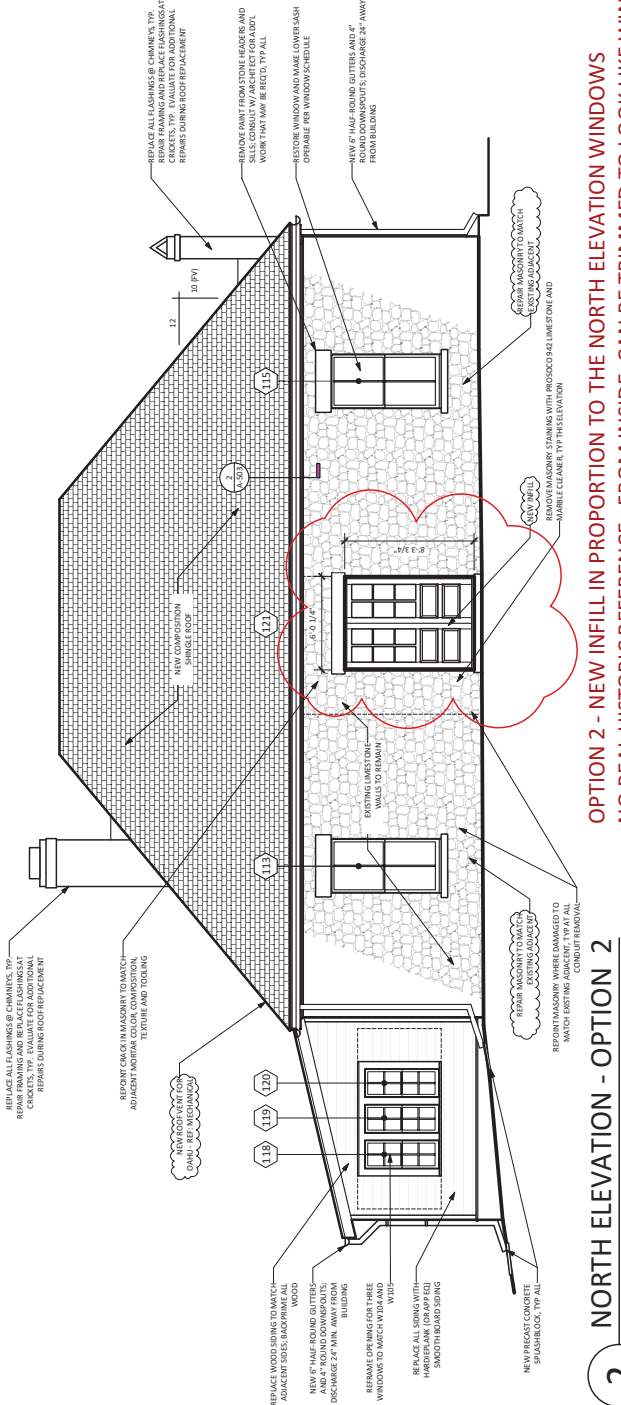
SUBMITTED TO HLC
FOR INPUT 3/17/20

SK-1



OPTION 1 - REPLICATE TRANSOM AND SIDELIGHTS
MAKE DOOR INOPERABLE

1 NORTH ELEVATION - OPTION 1
Scale: 1/8" = 1'-0"



OPTION 2 - NEW INFILL IN PROPORTION TO THE NORTH ELEVATION WINDOWS
NO REAL HISTORIC REFERENCE. FROM INSIDE, CAN BE TRIMMED TO LOOK LIKE WINDOWS

2 NORTH ELEVATION - OPTION 2
Scale: 1/8" = 1'-0"

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE:
BY: *Stacie Schenck*
for HLC Chair

APPROVED

By Angela Gaudette at 1:14 pm, Apr 29, 2020



Figure 1 North elevation view from West 12th Street (camera facing south). Photo taken May 5, 2019

1105 Castle Court

Application for Certificate of Appropriateness

APPROVED BY
HISTORIC LANDMARK COMMISSION

DATE:

BY: *Stacey Sabersky*
for HLC chair

APPROVED

By Angela Gaudette at 1:14 pm, Apr 29, 2020



Figure 2 South elevation and main entrance, view from parking lot (camera facing north). Photo taken June 25, 2019

1105 Castle Court

Application for Certificate of Appropriateness



Figure 3 South elevation view of modern addition; unknown construction date (camera facing north). Photo taken May 5, 2019

APPROVED BY
HISTORIC LANDMARK COMMISSION
 DATE:
 BY: *Stacy Scarsdale*
 for HLC Chair

APPROVED
 By Angela Gaudette at 1:14 pm, Apr 29, 2020

APPROVED BY
HISTORIC LANDMARK COMMISSION
DATE:
BY: *Stacy Sedore*
for HLC Chair

APPROVED

By Angela Gaudette at 1:14 pm, Apr 29, 2020



Figure 4 Southeast corner of building along Castle Court (camera facing northwest). Photo taken May 31, 2019

1105 Castle Court

Application for Certificate of Appropriateness

GENERAL INFO

ACCOUNT

Property ID: 107041
Geographic ID: 0109010708
Type: R
Zoning: MF4
Agent: MORRIS DAWN BRADY
Legal Description: LOT 7 LESS N 5FT OLT 5 DIV Z
CASTLE COURT
Property Use: 59

OWNER

Name: 1105 W 12 LLC
Secondary Name: % PETER PINCOFFS
Mailing Address: 221 W 6TH ST STE 1400 AUSTIN TX
78701-3420
Owner ID: 1750762
% Ownership: 100.00
Exemptions:

LOCATION

Address: 1105 CASTLE CT AUSTIN TX 78703

Market Area:
Market Area CD: CEN
Map ID: 011008

PROTEST

Protest Status:
Informal Date:
Formal Date:

VALUES

CURRENT VALUES

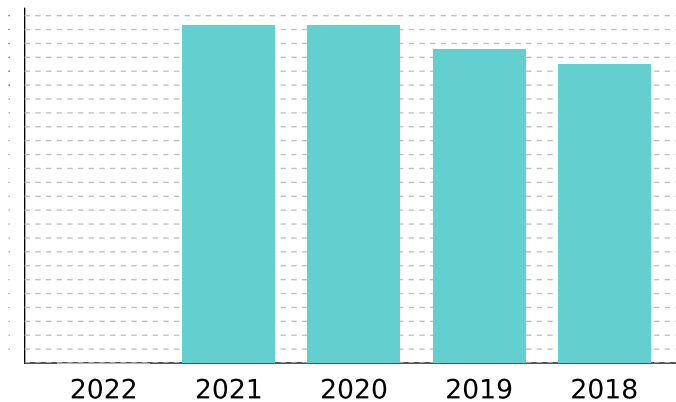
Land Homesite: N/A
Land Non-Homesite: N/A
Special Use Land Market: N/A
Total Land: N/A

Improvement Homesite: N/A
Improvement Non-Homesite: N/A
Total Improvement: N/A

Market: N/A
Special Use Exclusion (-): N/A
Appraised: N/A
Value Limitation Adjustment (-): N/A

Net Appraised: N/A

VALUE HISTORY



Values for the current year are preliminary and are subject to change.

VALUE HISTORY

Year	Land Market	Improvement	Special Use Exclusion	Appraised	Value Limitation Adj (-)	Net Appraised
2022	N/A	N/A	N/A	N/A	N/A	N/A
2021	\$778,412	\$436,183	\$0	\$1,214,595	\$0	\$1,214,595
2020	\$778,412	\$437,088	\$0	\$1,215,500	\$0	\$1,215,500
2019	\$778,412	\$349,845	\$0	\$1,128,257	\$0	\$1,128,257
2018	\$648,677	\$425,889	\$0	\$1,074,566	\$0	\$1,074,566

TAXING UNITS

Unit	Description	Tax Rate	Net Appraised	Taxable Value	Estimated Tax
01	AUSTIN ISD	N/A	N/A	N/A	N/A
02	CITY OF AUSTIN	N/A	N/A	N/A	N/A
03	TRAVIS COUNTY	N/A	N/A	N/A	N/A
0A	TRAVIS CENTRAL APP DIST	N/A	N/A	N/A	N/A
2J	TRAVIS COUNTY HEALTHCARE DISTRICT	N/A	N/A	N/A	N/A
68	AUSTIN COMM COLL DIST	N/A	N/A	N/A	N/A
TOTAL TAX RATE:		0.00000			
ESTIMATED TAXES WITH CURRENT EXEMPTIONS:					\$0.00
ESTIMATED TAXES WITHOUT EXEMPTIONS:					\$0.00

DO NOT PAY FROM THIS ESTIMATE. This is only an estimate provided for informational purposes and may not include any special assessments that may also be collected. Please contact the tax office for actual amounts.

IMPROVEMENT

Improvement #1: OFF/RETAIL (SFR)
State Code: F5

Improvement Value: N/A

Main Area: 1,978
Gross Building Area: 6,826

Type	Description	Class CD	Exterior Wall	Number of Units	EFF Year Built	Year	SQFT
1ST	1st Floor	WV		0	1900	1900	1,666
1ST	1st Floor	WS		1	1900	1900	312
522C	FIREPLACE COMM	WV		0	1900	1900	3
551	PAVED AREA	CA		1	1900	1900	2,500
095	HVAC RESIDENTIAL	WV		0	1900	1900	1,978
571C	STORAGE DET COMM	WV		0	1900	1900	40
612C	TERRACE UNCOVERD	WV		0	1900	1900	144
581C	STORAGE ATT COMM	WV		0	1900	1900	30
539	FENCE FV	F-V		1	1900	1900	1
512C	DECK UNCOVERED COMM	WV		0	1900	1900	77
512C	DECK UNCOVERED COMM	WV		0	1900	1900	39
612C	TERRACE UNCOVERD	WV		0	1900	1900	36

Improvement Features

1ST Shape Factor: R, Floor Factor: 1ST, Grade Factor: G

1ST Foundation: PIER AND BEAM, Roof Style: HIP, Roof Covering: METAL, Shape Factor: R, Floor Factor: 1ST, Grade Factor: G

LAND

Land	Description	Acres	SQFT	Cost per SQFT	Market Value	Special Use Value
LAND	Land	0.199	8,649.02	\$90.00	N/A	N/A

DEED HISTORY

Deed Date	Type	Description	Grantor/Seller	Grantee/Buyer	Book ID	Volume	Page	Instrument
1/9/18	SW	SPECIAL WARRANTY	ZHANG JERRY Z & JIE JI	1105 W 12 LLC				2018006966
4/7/08	SW	SPECIAL WARRANTY	SWAC REAL ESTATE L P	ZHANG JERRY Z & JIE JI				2008058204 TR

Deed Date	Type	Description	Grantor/Seller	Grantee/Buyer	Book ID	Volume	Page	Instrument
11/22/02	WD	WARRANTY DEED	SOUTHWEST AUTO CHLOR SYSTEM IN	SWAC REAL ESTATE L P		00000	00000	2002226996 TR
1/4/73	WD	WARRANTY DEED		SOUTHWEST AUTO CHLOR SYSTEM IN		04535	00894	
1/4/73	WD	WARRANTY DEED	SHANKS DAVID S			04535	00894	
6/7/71	WD	WARRANTY DEED		SHANKS DAVID S		04079	02339	

TAX CERTIFICATE
Bruce Elfant
Travis County Tax Assessor-Collector
P.O. Box 1748
Austin, Texas 78767
(512) 854-9473

NO 2290273

ACCOUNT NUMBER: 01-0901-0708-0000

PROPERTY OWNER:

1105 W 12 LLC
% PETER PINCOFFS
221 W 6TH ST STE 1400
AUSTIN, TX 78701-3420

PROPERTY DESCRIPTION:

LOT 7 LESS N 5FT OLT 5 DIV Z CASTL
E COURT

ACRES

.1986 MIN%

.000000000000 TYPE

SITUS INFORMATION: 1105 CASTLE CT AUSTIN

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2021	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH	*ALL PAID*
	ACC (TRAVIS)	*ALL PAID*
TOTAL SEQUENCE 0		*ALL PAID*

TOTAL TAX:	*ALL PAID*
UNPAID FEES:	* NONE *
INTEREST ON FEES:	* NONE *
COMMISSION:	* NONE *
TOTAL DUE ==>	*ALL PAID*

TAXES PAID FOR YEAR 2021 \$26,437.85

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2021 EXCEPT FOR UNPAID YEARS LISTED ABOVE.
The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).
Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 01/05/2022

Fee Paid: \$10.00

Bruce Elfant
Tax Assessor-Collector

By: Adrian Gudino

City of Austin
Local Historic District Tax Abatement
Part II - Verification of Work Completed and Statement of Expenditures

PART II - VERIFICATION CHECK LIST:

- ☒ Complete Part II - Application for Verification including Record of Expenditures.
- ☒ Copy of the approved Certificate of Eligibility.
- ☒ Signed Statement of Compliance with Certificate of Appropriateness and Minimum Expenditures, Authorization for Inspection by City Officials, and Affidavit Regarding Taxes, Fees, Fines and Penalties
- ☒ Copy of the Certificate of Occupancy.
- ☒ Executed Commitment to Repay, acknowledged before a notary public.
- ☐ Copy of City Council resolution if the abatement exceeds \$50,000.

City of Austin
Local Historic District Tax Abatement
Part II - Verification of Work Completed and Statement of Expenditures

RECORD OF REHABILITATION EXPENDITURES

Address of Property:			
Scope of Work	Contractor/vendor	Receipt Date	Amount
Demolition	Pinnelli Builders	12/20/20	\$ 48,526.00
Abatement			\$ 10,580.00
Site - Preparation/Protection			\$ 23,845.00
Exterior Paint			\$ 71,468.00
Window Restoration			\$ 48,520.00
Roof			\$ 19,056.00
Porches and Accessibility Ramp			\$ 33,621.00
Foundation			\$ 24,719.00
Masonry Repair			\$129,998.00
Exterior Trim			\$ 20,230.00
Electrical			\$128,686.00
Plumbing			\$ 26,463.00
HVAC			\$ 80,962.00
Insulation - Roof and Walls			\$ 14,967.00
Gutters			\$ 3,440.00
Exterior Doors			\$ 7,442.00
Interior partitions, ceilings and floors			\$213,500.00
Labor, materials related to eligible costs			\$ 70,962.00
Total:			\$ 976,985.00
Pre-rehabilitation/restoration value of property:			\$1,128,257.00
% of value spent on rehabilitation/restoration:			87%
% of total cost spent on exterior work:			39%

Attach additional pages if needed.

City of Austin
Local Historic District Tax Abatement
Part II - Verification of Work Completed and Statement of Expenditures

THE STATE OF Texas §
COUNTY OF Travis §

STATEMENT OF COMPLIANCE WITH CERTIFICATE OF APPROPRIATENESS AND MINIMUM
EXPENDITURES, AUTHORIZATION FOR INSPECTION BY CITY OFFICIALS,
AND AFFIDAVIT REGARDING TAXES, FEES, FINES AND PENALTIES

Property Address: 1105 Castle Court Austin, TX 78703

Owner's Name: 1105 W 12 LLC

I am over 18 years of age and am competent to sign this Affidavit.
I am the owner of the property identified above.
I am seeking a tax abatement for the property identified above.

I certify that the information in this application for a tax abatement, including all attachments, is complete and correct. I certify that I have made the minimum expenditure on the rehabilitation project in compliance with any certificates of appropriateness.

I authorize city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax abatement.

I acknowledge that I have read and understand the program requirements, and that I will not receive an abatement until all program requirements have been met and I have obtained a certificate of verification from the City of Austin.

I affirm that the improvements comply with the historic area combining district Preservation Plan and Design Standards.

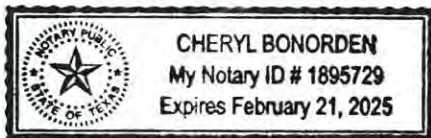
I understand that I must make an application to Travis County Appraisal District each year in order to receive the abatement for that year, and that if I do not make the application in time, I will lose the ability to receive a tax abatement for that year.

All property taxes are current, and no City of Austin fees, fines or penalties are owed, on the Property or any property owned by a business association in which I have an ownership interest.

Signature E. Peter Rincoff 2/1/22
Owner/Applicant Date

I declare under penalty of perjury that the statements above are true and correct.

Subscribed and sworn to before me, by the said E. Peter Rincoff, this
the 1st day of February, 2022, to certify which witness my hand and seal of office.



Cheryl Bonorden

Notary Public, State of _____
My commission expires _____



City of Austin

CERTIFICATE OF OCCUPANCY

BUILDING PERMIT NO 2020-033356 BP

ISSUE DATE : 12/23/2020

BUILDING ADDRESS: 1105 CASTLE CT

LEGAL DESCRIPTION: LOT 7 LESS N 5FT OLT 5 DIV Z CASTLE COURT

PROPOSED OCCUPANCY:

C-1000 Commercial Remodel Remodel - Interior remodel to existing office.

BUILDING GROUP/DIVISION: B Business offices

NEW BUILDING SQUARE FOOTAGE

RE MODEL BUILDING SQUARE FOOTAGE: 2,056 SQ.FT.

SPRINKLER SYSTEM: NA

CODE YEAR: 2015

CODE TYPE: IBC

FIXED OCCUPANCY: 0

NON FIXED OCCUPANCY: 0

TYPE OF CONSTRUCTION: 5B

CONTRACTOR: Pinnelli Chris Pinnelli Builders, Inc.

***** **CERTIFICATE OF OCCUPANCY** *****

THIS IS TO CERTIFY THAT THE BUILDING OR STRUCTURE AT THE ADDRESS LISTED ABOVE HAS BEEN INSPECTED FOR COMPLIANCE WITH THE REQUIREMENTS OF THE AUSTIN CITY CODE FOR THE GROUP AND DIVISION OF OCCUPANCY LISTED ABOVE.

NEITHER THE ISSUANCE OF THIS CERTIFICATE NOR THE INSPECTIONS MADE SHALL LESSEN THE RESPONSIBILITY OR LIABILITY OF ANY PERSON, FIRM OR CORPORATION

OWNING, OPERATING, CONTROLLING OR INSTALLING ANY APPLIANCE OR MATERIAL UPON THE PREMISE, OR DOING ANY WORK WHATSOEVER ON SUCH PREMISE.

THE CITY OF AUSTIN DOES NOT ASSUME ANY RESPONSIBILITY OR LIABILITY BY REASON OF THE INSPECTION OR REINSPECTION OF THE PREMISE; OR THE ISSUANCE OF THIS "CERTIFICATE OF OCCUPANCY"; OR BY ANY REASON OF ANY APPROVAL OR DISAPPROVAL.

BUILDING CODE REVIEWER : Farhana Yasmin



For Beth Culver, Building Official

City of Austin
Local Historic District Tax Abatement
Part II - Verification of Work Completed and Statement of Expenditures

THE STATE OF Texas §
COUNTY OF Travis §

CITY OF AUSTIN HISTORIC AREA DISTRICT TAX ABATEMENT
STATEMENT OF COMMITMENT TO REPAY TAXES FOR NONCOMPLIANCE

Property Address: 1105 Castle Court Austin, TX 78703

Owner's Name: 1105 W 12 LLC

I am over 18 years of age and am competent to sign this Affidavit.

I am the owner of the property identified above.

I am seeking a tax abatement for the property identified above.

I, the owner of property identified above, do hereby commit to repay to the City of Austin all City taxes previously abated on property should the property be determined by the City Building Official or Historic Preservation Officer to be out of compliance with any of the provisions of Section 25-11 of the City of Austin Code of Ordinances or the historic area combining district Preservation Plan and Design Standards.

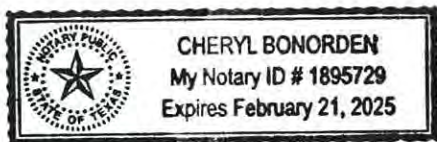
I understand this commitment shall be filed by the City of Austin in the Travis County Deed Records and shall run with the land and bind the owner and the owner's heirs and assigns. I further understand that any unpaid repayment shall constitute a lien against said property.

I hereby indemnify the City of Austin against all claims arising out of the granting of an abatement.

Signature E. Peter Lincoffs 2/1/22
Owner/Applicant Date

I declare under penalty of perjury that the statements above are true and correct.

Subscribed and sworn to before me, by the said E. Peter Lincoffs, this
the 1st day of February, 2022 to certify which witness my hand and seal of office.



Cheryl Bonorden

Notary Public, State of _____
My commission expires _____