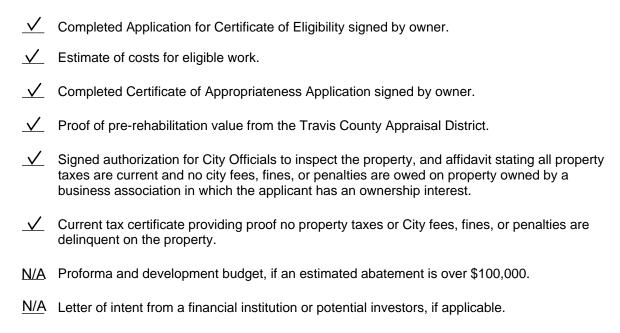
# Application for Tax Abatement for Rehabilitation of Property in a Local Historic District

City of Austin Historic Preservation Office Austin, Texas 512-974-2727

#### **PART I - APPLICATION CHECK LIST:**



Address of property: 1	105 Castle Court Austin, 1X /	8703
Name of Local Historic	District: Castle Hill Local Histor	ric District
☑ Contributing proper	ty $\square$ Non-contributing property	
Legal Description of Pr	operty: LOT 7 LESS N 5FT (	OLT 5 DIV Z CASTLE COURT
Tax Parcel ID Number	0109010708	
	ure, LLC/Tere O'Connell, AIA	Telephone: ( 512) 751-1374
_	3 Avenue B, Room 309	Mobile phone: (
City: Austin	State: TX Zip: 78751	Email:
	105 W 12, LLC	Telephone:
Mailing Address: 221 \	W. 6th Street, Suite 1400	Mobile phone:
City: Austin	State: TX Zip: 78701	Email: <u> </u>
Proposed Use of the P	roperty: Commercial Office	
Site work to improve access	sibility, landscaping and new decking. Ren	nove rotted wood, interior finishes and later building renovations.
	<del></del>	'AC, electrical system, plumbing including and accessible break
		uilt and repointed as necessary. Restore historic windows and doors.
work, new cabinetry and cou		essible entry. Interior work will include replacement of damaged woo
Has the property received None	ved any other property tax relief u	nder § 11.24 of the Texas Tax Code?:
Describe all City Code N/A	violations, if any, on the property	within the previous five years:
For Historic Preservation	on Office use only:	
Property is not a	contributing or potentially contributing	structure
Certificate of Eligi	bility approved by Historic Landmark	Commission
Certificate of Eligi	bility <u>not</u> approved by Historic Landm	ark Commission
Historic Preservation	Officer	 Date

#### **ESTIMATE OF EXPENDITURES**

Property Address: 1105 Castle Court Austin, TX 78703	
Proposed Scope of Work	Estimated Cost
Demolition (to remove non-historic exterior additions and features)	\$34,250
Masonry (including removal resetting; rebuild chimneys)	\$23,900
Exterior trim	\$56,550
Roof and awning	\$43,500
Gutters and downspouts	\$ 5,300
Interior partitions, ceilings, floors	\$120,820
Window and screen restoration	\$27,800
Exterior doors	\$ 5,700
Exterior Paint	\$21,100
Site work	\$48,000
HVAC	\$39,900
Plumbing	\$22,600
Electrical (including fire detection and security systems)	\$38,500
Concrete, foundation and structural	\$29,140
Contract Labor related to eligible costs	\$93,000
Total:	\$ 610,060.00
Pre-rehabilitation/restoration value of property:	\$1,128,257.00
% of value being spent on rehabilitation/restoration:	54%
% of total estimated costs being spent on exterior work:	56%

Attach additional pages if needed.

THE STATE OF <u>Texas</u> § S S						
STATEMENT OF UNDERSTANDING, AUTHORIZATION FOR INSPECTION OF PROPERTY, AND AFFIDAVIT REGARDING TAXES, FEES, FINES AND PENALTIES						
Property Address: 1105 Castle Court Austin, TX 78703 Owner's Name: 1105 W 1211 C						
I am over 18 years of age and am competent to sign this Affidavit. I am the owner of the property identified above. I am seeking a tax abatement for the property identified above.						
I certify that the information in the application for a tax abatement, including all supporting documentation, is complete and correct.						
I authorize city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax abatement.						
I acknowledge that I have read and understand the program requirements, and that I will not receive an abatement until all program requirements have been met and I have obtained a certificate of verification from the City of Austin.						
I understand that all rehabilitation work must be completed within 2 years after the date of the issuance of a Certificate of Eligibility and Certificate of Appropriateness. If the deadline for completion is subsequently extended by the Historic Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work as proposed and approved by the Historic Landmark Commission.						
I affirm that improvements will comply with the historic area combining district Preservation Plan and Design Standards.						
I understand that I must make an application to Travis County Appraisal District each year in order to receive the abatement for that year, and that if I do not make the application in time, I will lose the ability to receive a tax abatement for that year.						
All property taxes are current, and no City of Austin fees, fines or penalties are owed, on the property or any property owned by a business association in which I have an ownership interest.  Signature £. During During Date						
I declare under penalty of perjury that the statements above are true and correct.						
Subscribed and sworn to before me, by the said & Return Runce day of Heart and seal of office.						
Cheryl Bonorden Churyl Binaden						
My Notary ID # 1895729 Expires February 21, 2025  Notary Public, State of						



#### **Historic Review Application**

For Office Use Only

Date of Submission: 2/14/2020

Plan Review #: \_\_LHD-2020-0010

Property Address: 1105 Castle Court		
Historic Landmark Historic District (Loca	National F	Register Historic District
Historic Landmark or Historic District Name: Castle Hill LHD		
Applicant Name: Tere O'Connell Phone #	512-751-1374	
Applicant Address: 702 Rio Grande St City:	Austin State	:TX Zip: 78701
Please describe all proposed exterior work with location a sheet. Additional sheet attached.	and materials. If you need mor	e space, attach an additional
PROPOSED WORK	LOCATION OF PROPOSE WORK	PROPOSED MATERIAL(S)
1) Accessible ramp and deck	South Elevation	Concrete, wood deck, Austin Common brick piers, and metal handrails.
2)		_
3)	HISTORIC I	PROVED BY ANDMARK COMMISSION  Secondary for HLC Chair
Submittal Requirements	APPROVI	ED udette at 1:14 pm, Apr 29, 2020
2. Color photographs of building and site: Elevation(s) proposed to be modified   ✓  Any changes to these plans must be reviewed and a Historic Landmark Commission.	st: a) specify materials and finish additions.  oor Plan  Roof Plan  Detailed view of each area	proposed to be modified
Applicant Signature:	Date:	



# 4 SYMBOL LEGEND

<b>E</b> 15	FFE OR GRADE ELEVATION AS NOTED	E115-A\I	ELEVATION (LARGE SCALE)
(113)	DOOR NUMBER	- (	
(11)	WINDOW NUMBER	A-401	ELEVATION (SMALL SCALE)
⋖	WALL TYPE (PLAN VIEW)		SECTION DETAIL
	NEW WALL (PLAN VIEW)		
ىي	CENTERLINE	117.49	PLAN/ELEVATION DETAIL
+	EQUAL DIMENSIONS IN LINE		}
AATERIALS LEGEND	EGEND		
BRICK MASONRY	M	FRAMING WOOD (Detail Scale)	WWW BATT INSULATION
CONCRETE (Detail Scale)		BLOCKING - NON-CONTINUOUS	RIGID INSULATION
EARTH	EINISHED WOOD	000A	PLASTER OR CONCRETE
CTEEL (Datail Scale)	GOOMY IS THE TOTAL OF THE PARTY		NEW PARTITION WALL

	WWW. BATT INSULATION	RIGID INSULATION	AS NOTED (Detail Scale)	NEW PARTITION WALL (see plan legend)	
	FRAMING WOOD (Detail Scale)	BLOCKING - NON-CONTINUOUS (Detail Scale)	FINISHED WOOD	PLYWOOD	
<b>MATERIALS LEGEND</b>	BRICK MASONRY	CONCRETE (Detail Scale)	<u> Ш</u> ЕВВЕТН	STEEL (Detail Scale)	

**ABBREVIATIONS** 

SITE LOCATION MAP	1111			0			( months and )	)			1	d-minutes of	Section of the Parket			To a company of the c		October 1			The second second	Annual to	Jan. Distance of the Comments		0	No married No.			Question 1				OTHUR INCIDE	GENERAL NOTES			1 All work shall be performed in accordance w
	South	Salvage	Self-Adhering Underlayment	Scheduled	Section	Seperate, Seperated	Square Feet	Sheet	Similar	Sheathing	Sink	SMACNA Sheet Metal & Air Conditioning	National Association, Inc.	Specifications	Specified	Square	Stainle ss Steel	Steel	Structural	Suspended	Switch	Symme trical		Tongue & Groove	Temporary, Tempered	Thick		Total	Top of Wall	Treated	Typical		Under Counter	Under Counter Refrigerator	Underwriter's Laboratory	Unfinished	Unless Noted Otherwise
	s	SALV	SAU	SCH,D	SECT	SEP	SF	SHT	SIM	SHTG	SK	SMACNA		SPECS	SPEC'D	g	SS	STL	STRUCT	SUSP	SW	SYM		T&G	TEMP	Ĭ		TOT	TOW	TRTD	ΔM		3	UCR	ij		ONO
	MANUF Manufacturer	Maximum	Mechanical	Mechanical/Electrical	Mechanical, Electrical,	& Plumbing	Minimum	Miscellaneous	Mounted	Metal		North	Not Applicable	Not in Contract	Number	Net Square Feet	Not to Scale		On Center	On Center Each Way	Opening	Overhead	Onnoe		Provide & Install	Photo Cell	Page	Plate or Plateline		Pair	Pounds Per Square Foot	Pounds Per Square Inch	Pressure Treated	Painted	Polyvinyl Chloride	Pavement	Plywood
	MANUF	MAX	MECH	ΜÆ	MEP		MIN	MISC	MTD	MTL		z	NA	NIC	NO	NSF	NTS		00	t OCEW	OPG	OVHD	ZO		P&I	2	2	占		Ж	PSF	PS.	ы	PTD	PVC	PVMT	PWD
	Equal Spacing, Equivalent	Equipment	Exhaust	Existing	Exterior		Floor-Area Ratio	Finished Floor (Elevation)	Finish(ed)	Fixture	Floor	Feet Foot	Footing	Field Verify	Field Verify Height		Gauge	Galvanized	General Contractor	Ground Fault Circuit Interrupt OCEW	Glass	Gas Meter	Gallons Per Minute	Grade	Ground		Gypsum Wall Board		Hose Bib		-	Horizontal	Hour	Height	Heating	Heat/Ventilation/	Air Conditioning
	EQ	EQUIP	EXH	DISTIG	EXT		FAR	FF(E)	FIN	FDCT	FLR	Ħ	FTG	3	FVHT		Q,	GALV	8	GFCI	G.	GM	GPM	GR	GRND	ğ	GYP BD		HB	HDR	HDWR	HORIZ	뜻	보	HTG	HVAC	

A/C ACOUST ADD'L ADI AFF AHU APPROX ARCH

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MAP			1/0	0
SITE LOCATION MAP	1	1 1	1 1	
SITE	THEY :	5/	1	4

# GENERAL NOTES

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Iding Code, 2015, related trad	
2015	
Code,	
Building	
International	
n the	
e with	WS
in accordano	ces and laws.
.⊑ p	inar
erforme	des, ordinano
All work shall be pr	applicable local co
÷	

Deep, Depth, Dryer
Double
Demolish, Demolition
Double Hung
Dameter Cover Cold Water | March | Marc

- 2. Blase drawings used in these documents were prepared with limited access to the site, and may contain directional delegation decided. The site will refuse direction response to the site of the
  - 7. Maintain the building and site in a clean and orderly condition.
- 8. The Contractor shall coordinate work between all trades in this contract to ensure a smooth and timely workflow
  - 9. All work to be warranted for one year from the date of Substantial Completion unless otherwise noted.

# INDEX TO DRAWINGS

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LOT 7 LESS N SFT OLT 5 DIV Z CASTLE COURT GO-HD-NP (Contributing to Castle Hill LHD)

circa 1873

YEAR CONSTRUCTED: LEGAL DESCRIPTION:

1105 CASTLE COURT, AUSTIN, 78703

ADDRESS:

PROJECT INFORMATION

COVER PAGE ZZ	SITE PROTECTION PLAN	ARCHITECTURAL SITE DEMO AND RESTORATION PLAN 🖄	
A-000	A-101	A-102	

FIRST FLOOR PLAN - DEMO	FIRST FLOOR PLAN - NEW 🐬
ROOF PLAN - DEMO	ROOF PLAN - NEW
A-111	A-121
A-112	A-122

1,978 NSF/2,056 GSF NO NEW FLOOR AREA; NO CHANGE OF USE OR OCCUPANCY TYPE

10		
ROOF PLAN - NEW	NORTH AND SOUTH ELEVATIONS - DEMO EAST AND WEST ELEVATIONS - DEMO	

A-201 A-202

$\lozenge \lozenge$		
NORTH AND SOUTH ELEVATIONS - RESTORATION EAST AND WEST ELEVATIONS - RESTORATION	INTERIOR ELEVATIONS	SITE DETAILS RAILING DETAILS EXTERIOR DETAILS
A-211 A-212	A-401	A-501 A-502 A-503

PINNELLI BUILDERS, INC. CHRIS PINELLI PO BOX 401 HUTTO, TX 78634 512 | 844-4968

HMG & ASSOCIATES INC. TED EIKENBERRY 9606 N MOPAC EXPY#350 AUSTIN, TEXAS 78759 512 | 794-8234

O'CONNELLARCHITECTURE, LLC
TERESA O'CONNELL, AIA
702 RIO GRANDE
AUSTIN, TEXAS 78701
512 | 751-1374

LIZZIE CLARKE INTERIORS 2306 QUARRY ROAD AUSTIN, TEXAS 78703

INTERIORS

GENERAL CONTRACTOR

MECHANICAL ENGINEERING

ARCHITECTURE

**DESIGN & CONSTRUCTION TEAM** 

B (21 people)

OCCUPANCY TYPE:

CONSTRUCTION TYPE:

FLOOR AREA:

LOT SIZE: ZO NING:

SCHEDULES

A-601

FLOOR PLAN - ELECTRICAL - DEMOLIT	FLOOR PLAN - FLECTRICAL - LIGHTING
E2.0	F3.0
	E2.0 FLOOR PLAN - ELECTRICAL - DEMOLIT

NOI

E3.1	FLOOR PLAN - ELECTRICAL - POWER ATTIC FLOOR PLAN - ELECTRICAL
E4.0	RISER DIAGRAM

**ELECTRICAL SPECIFICATIONS** 

E5.0

### MECHANICAL

MECHANICAL SYMBOLS/LEGEND	MECHANICAL SCHEDULES	FLOOR PLAN - MECHANICAL - DEMOLITION	FI OOR DI AN - MECHANICAI
MT.0	M1.1	M2.0	M2.0

FLOOR PLAN - MECHANICAL
ATTIC FLOOR PLAN - MECHANICAL
MECHANICAL DETAILS
MECHANICAL SPECIFICATIONS M3.0 M3.1 M4.0 M5.0

MECHANICAL SPECIFICATIONS

PLUMBING DETAILS	P4.0
FLOOR PLAN - PLUMBING	P3.1
UNDERFLOOR PLAN - PLUMBING	P3.0
FLOOR PLAN - PLUMBING - DEMOLITION	P2.1
UNDERFLOOR PLAN - PLUMBING - DEMOLITION	P2.0
PLUMBING SYMBOLS/LEGEND	P1.0

HISTORIC LANDMARK COMMISSION DATE: 81: Stelle Leadoually APPROVED BY tor HLCOhair

APPROVED

SHETTNAME
SITTE PLAN
DEMO &
NEW

NOTES: REF. A-101 FOR SITE PROTECTION PLAN REF. A-122 FOR NEW ROOF PLAN

1 NEW SITE PLAN Scale: 1/8" = 1'-0"

A-102

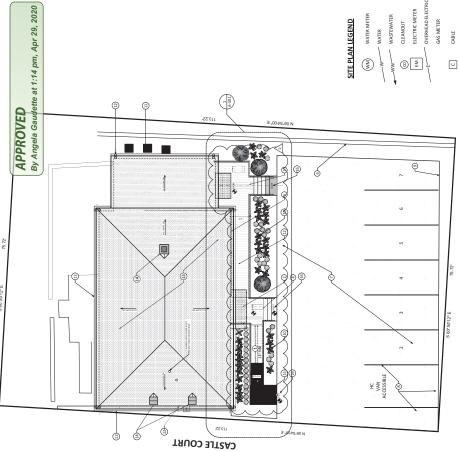
O'Connell
ARCHITECTURE
702 ROO Ganded Street
Austh. Tools 78701
512/751:1374

HISTORIC LANDMARK COMMISSION
DATE:
BY: State Seathermally
for HISTORIA
FOR HISTORIA APPROVED BY

WEST 12TH STREET

WEST 12TH STREET

APPROVED
By Angela Gaudette at 1:14 pm, Apr 29, 2020 9 即



9

Θ

EXISTING PARKING -LOT TO REMAIN

CASTLE COURT

# KEYNOTES - NEW SITE & ROOF PLAN

- MEW RAMP AND METALHANDBALS
   MEW KY TO ANNHAN
   MEW KY TO ANNHAN
   MEW KY TO ANNHAN
   MEW KY TO ANNHAN
   MEW LANGTONE EMPRY STARS AND META HA
   MEW LEMISTONE EMPRY STARS TO METALE
   MEW TEMISTONE CAUSE OF DAMAGE, THEN REPON
   MEW TEMISTONE AND 2.174L RETAINING WALL

NOTES: REF: A-101 FOR SITE PROTECTION PLAN REF: A-121 FOR ROOF DEMO PLAN

DEMO SITE PLAN Scale: 1/8" = 1'-0"

**KEYNOTES - DEMO SITE & ROOF PLAN** 

4. REMOVE DISTING FENCE
RANGE EXISTING FENCE
6. PREAMOR EXISTING ACUUIT AND PAO
7. REMOVE WITH 4 BOX
7. REMOVE WITH 4 BOX
9. REMOVE AND PREAMOR REMAIN
9. REMOVE FAILD RETAINNEY WITH
IDARHOVE PERSTING WICHMAN CALL BUILDING

RESTORE WINDOW AND MAKE LOWE OPERABLE PER WINDOW SCHEDULE

(3)

(3)

٩

(021) (011) (011)

REPLACE WOOD SID ING TO MATCH-ADJACENT SIDES; BACKPRIME ALL WOOD

LIZE/ROXD
SHET/NAME
NORTH/SOUTH
RESTORATION
ELEVATIONS

NORTH ELEVATION - RESTORATION Scale: 1/4" = 1'-0"

REMOVE MASONRY STAINING WITH PROSOCO 942 LIMESTONE AND MARRIE CLEANER, TYP THIS ELEVATION

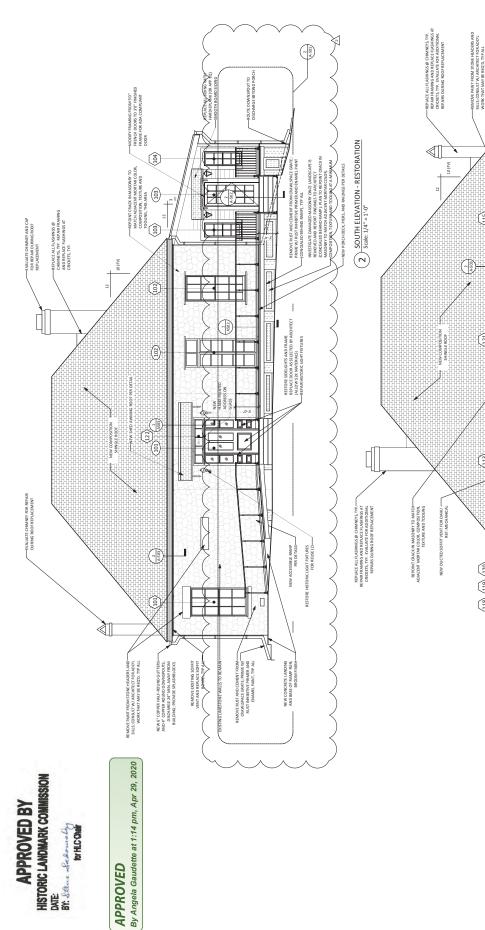
REMOVE RUST AND CEMENT FROM CRAWLSPACE GRATE; PRIME W/ RUST INHIBITIVE PRIMER AND ENAMEL PAINT (CONCEALED BEHIND RAMP), TYP ALL— REPOINT MASONRY WHERE DAMAGED TO MATCH EXISTING ADJACENT, TYP ATAIL, CONDUIT REMOVAL—

NEW PRECAST CONCRETE SPLASHBLOCK, TYP ALL-

REPLACE ALL SIDING WITH— HARDIEPLANK (OR APP EQ) SMOOTH BOARD SIDING

REFRAME OPENING FOR THREE INDOWS TO MATCH W 104 AND W 105-





RENOVATION 78703 78703 MESS HVLL

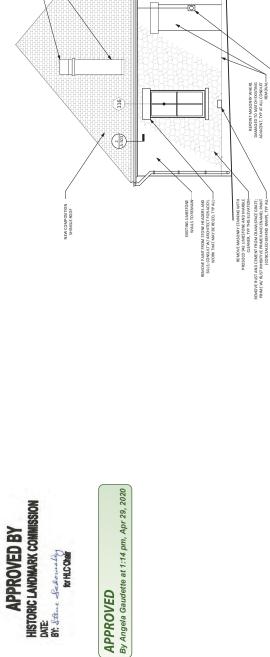
REPOINT MASONRY WHERE
DAMAGED TO MAY CHESTING
ADJACENT, TYP AT ALL CONDUIT
REMOVAL
ELECTRIC METER TO REMAIN
IN THIS LOCATION

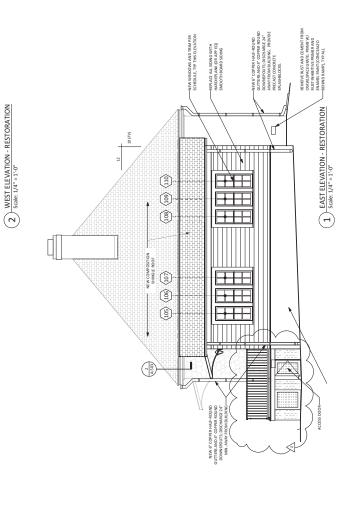
A 214/2000
SHET WARE
EAST/WEST
RESTORATION
ELEVATIONS

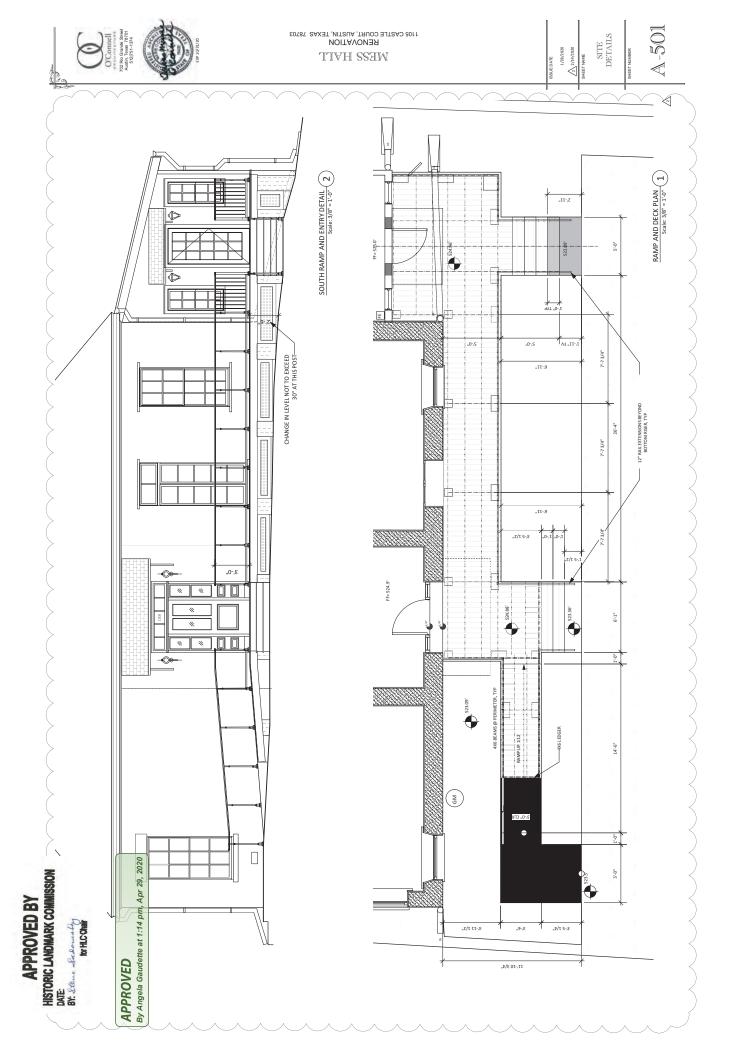
A-212

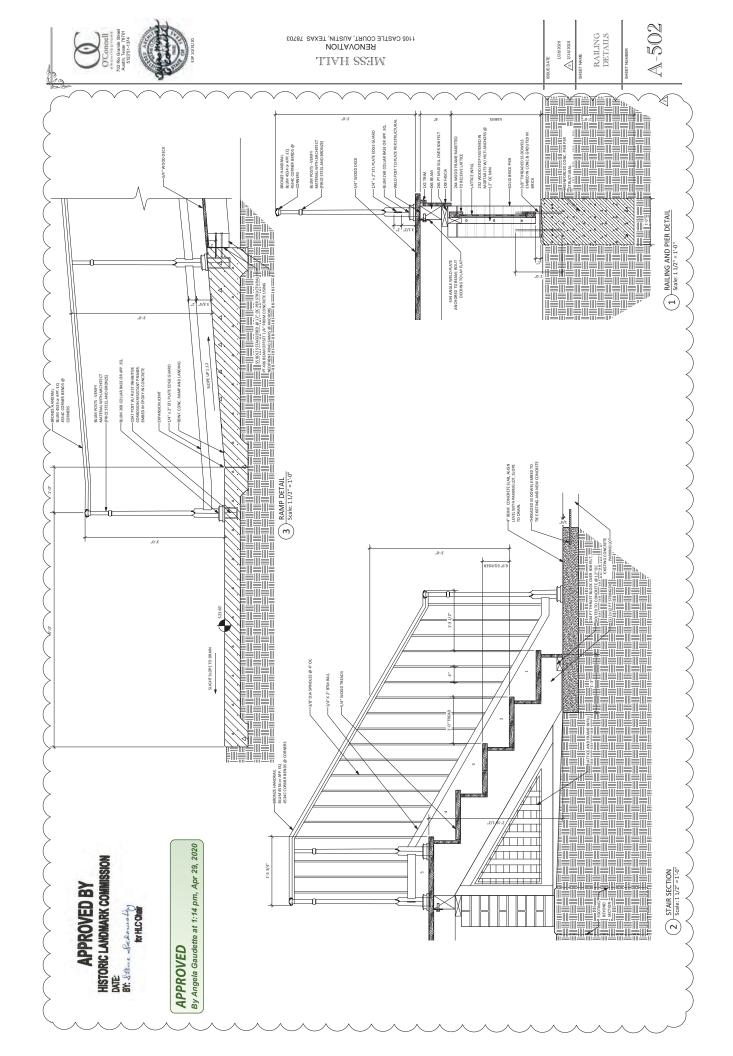
O'Connell
A R G HITE CTU R E
702 R O G G G ANDE STREET
AUSIGN Town 78701
5.21751-1374

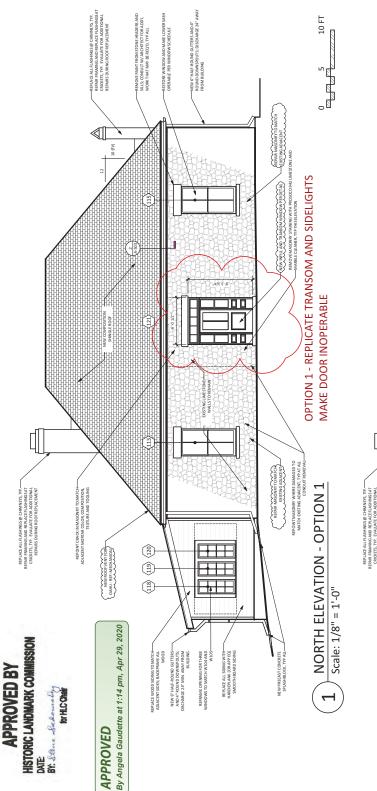


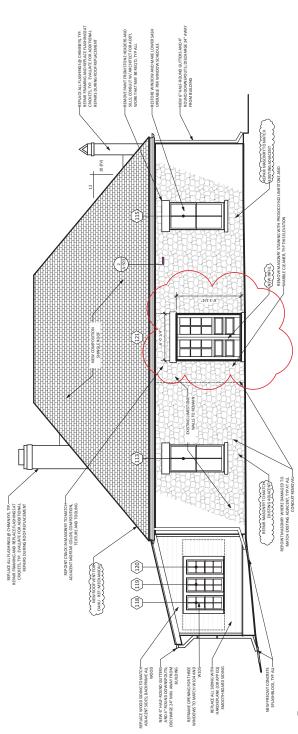












NORTH ELEVATION - OPTION 2 Scale: 1/8" = 1'-0"

NO REAL HISTORIC REFERENCE. FROM INSIDE, CAN BE TRIMMED TO LOOK LIKE WINDOWS OPTION 2 - NEW INFILL IN PROPORTION TO THE NORTH ELEVATION WINDOWS

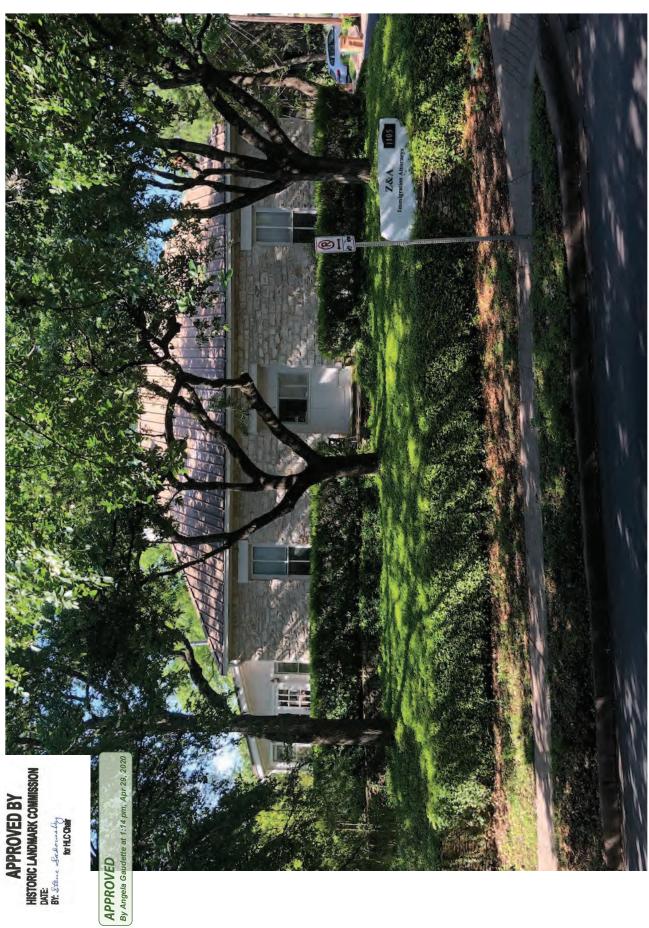


Figure 1 North elevation view from West 12th Street (camera facing south). Photo taken May 5, 2019

1105 Castle Court
Application for Certificate of Appropriateness





Figure 2 South elevation and main entrance, view from parking lot (camera facing north). Photo taken June 25, 2019



# APPROVED BY HISTORIC LANDINARK COMMISSION DATE BY: Stale Reformed by Kentschaft

APPROVED

By Angela Gaudette at 1:14 pm, Apr 29, 2020

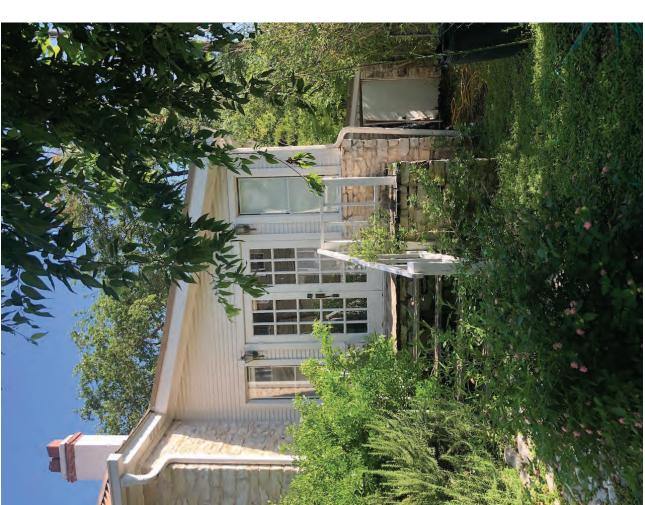


Figure 3 South elevation view of modern addition; unknown construction date (camera facing north). Photo taken May 5, 2019



Figure 4 Southeast corner of building along Castle Court (camera facing northwest). Photo taken May 31, 2019



#### PID 107041 | 1105 CASTLE CT

Property Summary Report | 2022 Online Services | TRAVIS COUNTY APPRAISAL DISTRICT

#### GENERAL INFO

**ACCOUNT** 

Property ID: 107041

Geographic ID: 0109010708

Type: R Zoning: MF4

Agent: MORRIS DAWN BRADY

Legal Description: LOT 7 LESS N 5FT OLT 5 DIV Z

**CASTLE COURT** 

Property Use: 59

**LOCATION** 

Address: 1105 CASTLE CT AUSTIN TX 78703

Market Area:

Market Area CD: **CEN** Map ID: 011008

**PROTEST** 

**Protest Status:** Informal Date: Formal Date:

#### **OWNER**

Name: 1105 W 12 LLC

Secondary Name: % PETER PINCOFFS

Mailing Address: 221 W 6TH ST STE 1400 AUSTIN TX

78701-3420

Owner ID: 1750762 100.00 % Ownership:

Exemptions:

#### **VALUES**

#### **CURRENT VALUES**

Land Homesite: N/A Land Non-Homesite: N/A Special Use Land Market: N/A Total Land: N/A

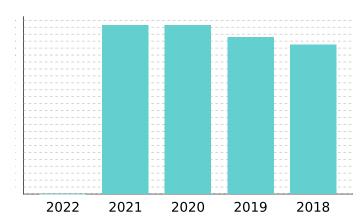
Improvement Homesite: N/A Improvement Non-Homesite: N/A **Total Improvement:** N/A

Market: N/A Special Use Exclusion (-): N/A Appraised: N/A

Value Limitation Adjustment (-): N/A

Net Appraised: N/A

#### **VALUE HISTORY**



Values for the current year are preliminary and are subject to change.

January 14, 2022

#### **VALUE HISTORY**

Year	Land Market	Improvement	Special Use Exclusion	Appraised	Value Limitation Adj (-)	Net Appraised
2022	N/A	N/A	N/A	N/A	N/A	N/A
2021	\$778,412	\$436,183	\$0	\$1,214,595	\$0	\$1,214,595
2020	\$778,412	\$437,088	\$0	\$1,215,500	\$0	\$1,215,500
2019	\$778,412	\$349,845	\$0	\$1,128,257	\$0	\$1,128,257
2018	\$648,677	\$425,889	\$0	\$1,074,566	\$0	\$1,074,566

Date Printed:

#### **TAXING UNITS**

Unit	Description	Tax Rate	Net Appraised	Taxable Value	Estimated Tax	
01	AUSTIN ISD	N/A	N/A	N/A	N/A	
02	CITY OF AUSTIN	N/A	N/A	N/A	N/A	
03	TRAVIS COUNTY	N/A	N/A	N/A	N/A	
0A	TRAVIS CENTRAL APP DIST	N/A	N/A	N/A	N/A	
2J	TRAVIS COUNTY HEALTHCARE DISTRICT	N/A	N/A	N/A	N/A	
68	AUSTIN COMM COLL DIST	N/A	N/A	N/A	N/A	
	TOTAL TAX RATE:	0.00000				
ESTIMATED TAXES WITH CURRENT EXEMPTIONS:						
ESTIMATED TAXES WITHOUT EXEMPTIONS:						

DO NOT PAY FROM THIS ESTIMATE. This is only an estimate provided for informational purposes and may not include any special assessments that may also be collected. Please contact the tax office for actual amounts.

#### **IMPROVEMENT**

Improvement #1: OFF/RETAIL (SFR) Improvement Value: N/A Main Area: 1,978
State Code: F5 Gross Building Area: 6,826

Туре	Description	Class CD	Exterior Wall	Number of Units	EFF Year Built	Year	SQFT
1ST	1st Floor	WV		0	1900	1900	1,666
1ST	1st Floor	WS		1	1900	1900	312
522C	FIREPLACE COMM	WV		0	1900	1900	3
551	PAVED AREA	CA		1	1900	1900	2,500
095	HVAC RESIDENTIAL	WV		0	1900	1900	1,978
571C	STORAGE DET COMM	WV		0	1900	1900	40
612C	TERRACE UNCOVERD	WV		0	1900	1900	144
581C	STORAGE ATT COMM	WV		0	1900	1900	30
539	FENCE FV	F-V		1	1900	1900	1
512C	DECK UNCOVRED COMM	WV		0	1900	1900	77
512C	DECK UNCOVRED COMM	WV		0	1900	1900	39
612C	TERRACE UNCOVERD	WV		0	1900	1900	36

#### **Improvement Features**

1ST Shape Factor: R, Floor Factor: 1ST, Grade Factor: G

1ST Foundation: PIER AND BEAM, Roof Style: HIP, Roof Covering: METAL, Shape Factor: R, Floor Factor: 1ST, Grade Factor: G

#### **LAND**

Land	Description	Acres	SQFT	Cost per SQFT	Market Value	Special Use Value
LAND	Land	0.199	8,649.02	\$90.00	N/A	N/A

#### **DEED HISTORY**

Deed Date	Туре	Description	Grantor/Seller	Grantee/Buyer	Book ID	Volume	Page	Instrument
1/9/18	SW	SPECIAL WARRANTY	ZHANG JERRY Z & JIE JI	1105 W 12 LLC				2018006966
4/7/08	SW	SPECIAL WARRANTY	SWAC REAL ESTATE L P	ZHANG JERRY Z & JIE JI				2008058204 TR

Page 2 of 3 Effective Date of Appraisal: January 1 Date Printed: January 14, 2022 Powered By: <True Prodigy>

Deed Date	Туре	Description	Grantor/Seller	Grantee/Buyer	Book ID	Volume	Page	Instrument
11/22/02	WD	WARRANTY DEED	SOUTHWEST AUTO CHLOR SYSTEM IN	SWAC REAL ESTATE L P		00000	00000	2002226996 TR
1/4/73	WD	WARRANTY DEED		SOUTHWEST AUTO CHLOR SYSTEM IN		04535	00894	
1/4/73	WD	WARRANTY DEED	SHANKS DAVID S			04535	00894	
6/7/71	WD	WARRANTY DEED		SHANKS DAVID S		04079	02339	

Page 3 of 3 Effect

Effective Date of Appraisal: January 1

Date Printed: January 14, 2022

NO 2290273

### TAX CERTIFICATE Bruce Elfant Travis County Tax Assessor-Collector P.O. Box 1748 Austin, Texas 78767 (512) 854-9473

ACCOUNT NUMBER: 01-0901-0708-0000

PROPERTY OWNER:

PROPERTY DESCRIPTION:

1105 W 12 LLC % PETER PINCOFFS 221 W 6TH ST STE 1400 AUSTIN, TX 78701-3420

LOT 7 LESS N 5FT OLT 5 DIV Z CASTL

E COURT

ACRES

.1986 MIN% .00000000000 TYPE

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CASTLE SITUS INFORMATION: 1105

AUSTIN

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR ENTITY 2021 AUSTIN ISD CITY OF AUSTIN (TRAV) TRAVIS COUNTY TRAVIS CENTRAL HEALTH ACC (TRAVIS) TOTAL

\*ALL PAID\* \*ALL PAID\*

\*ALL PAID\*
\*ALL PAID\*

\*ALL PAID\*

TOTAL SEQUENCE

\*ALL PAID\*

\*ALL PAID\* TOTAL TAX: UNPAID FEES: INTEREST ON FEES: COMMISSION: NONE NONE NONE \*ALL PAID\* TOTAL DUE ==>

TAXES PAID FOR YEAR 2021

\$26,437.85

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2021 EXCEPT FOR UNPAID YEARS, LISTED ABOVE. The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).
Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 01/05/2022

Fee Paid: \$10.00

Bruce Elfant Tax Assessor-Collector

Adilas Cudino

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#### PART II - VERIFICATION CHECK LIST:

<u> </u>	Complete Part II - Application for Verification including Record of Expenditures.
	Copy of the approved Certificate of Eligibility.
<b>✓</b>	Signed Statement of Compliance with Certificate of Appropriateness and Minimum Expenditures, Authorization for Inspection by City Officials, and Affidavit Regarding Taxes, Fees, Fines and Penalties
	Copy of the Certificate of Occupancy.
<u> </u>	Executed Commitment to Repay, acknowledged before a notary public.
	Copy of City Council resolution if the abatement exceeds \$50,000.

Address of property:	1105 Castle Court Austin, TX	( 78703
Name of Historic Dis	trict: Castle Hill Local Historic [	District
Legal Description of	Property: LOT 7 LESS N 5FT (	DLT 5 DIV Z CASTLE COURT
Tax Parcel ID Numb	er: <u>0109010708</u>	
Mailing Address: 39  City: Austin  Owner:	CONTACT: ecture, LLC/Tere O'Connell, AIA  08 Avenue B, Room 309  State: TX Zip: 78751	Telephone: (512) 751-1374  Mobile phone: Email:
Name: Peter Pincoffs	1 W. 6th Street, Suite 1400	Telephone:
City: Austin	State: TX Zip: 78701	Mobile phone: Email:
Brief description of c Site work improved accessibi	of, downspouts and gutters; new HVAC, electrical	
<del></del>	nd security system. Masonry was rebuilt and repoir ding, new windows, new roof and accessible entry.	Interior work included replacement of damaged wood
foundation work done after di completely rebuilt. Total eligible expend	scovering floor joists were resting on grade. Chimn litures: \$1,419,768.00	sed stone walls, plaster walls, gypsum board ceilings. Major eys that were covered in stucco and suffering from deterioration were 19 Building improvements only)
Inspection com	servation Office use only:  pleted  d per approved Certificate of Eligibility a  leted per approved Certificate of Eligibil	
Historic Preservation	on Officer	

#### **RECORD OF REHABILITATION EXPENDITURES**

Address of Property:			
Scope of Work	Contractor/vendor	Receipt Date	Amount
Demolition	Pinnelli Builders	12/20/20	\$ 48,526.00
Abatement			\$ 10,580.00
Site - Preparation/Prote	ction		\$ 23,845.00
Exterior Paint			\$ 71,468.00
Window Restoration			\$ 48,520.00
Roof			\$ 19,056.00
Porches and Accessibilit	y Ramp		\$ 33,621.00
Foundation			\$ 24,719.00
Masonry Repair			\$129,998.00
Exterior Trim			\$ 20,230.00
Electrical			\$128,686.00
Plumbing			\$ 26,463.00
HVAC			\$ 80,962.00
Insulation - Roof and Wa	lls		\$ 14,967.00
Gutters			\$ 3,440.00
Exterior Doors			\$ 7,442.00
Interior partitions, ceiling	s and floors		\$213,500.00
Labor, materials related	to eligible costs		\$ 70,962.00
		Total:	\$ 976,985.00
F	Pre-rehabilitation/restor	ation value of property:	\$1,128,257.00
	% of value spent on re	habilitation/restoration:	87%
	% of total cost	spent on exterior work:	39%

Attach additional pages if needed.

THE STATE OF Texas	_ § _ §
EXPENDITURES, AUTHO	TITH CERTIFICATE OF APPROPRIATENESS AND MINIMUM PRIZATION FOR INSPECTION BY CITY OFFICIALS, ARDING TAXES, FEES, FINES AND PENALTIES
Property Address: 1105 Castle Court Aus Owner's Name: 1105 W 12 LLC	stin, TX 78703
I am over 18 years of age and am co I am the owner of the property identif I am seeking a tax abatement for the	fied above.
	oplication for a tax abatement, including all attachments, is nave made the minimum expenditure on the rehabilitation cates of appropriateness.
I authorize city officials to visit and in verification for a tax abatement.	spect the property as necessary to certify eligibility and
	understand the program requirements, and that I will not m requirements have been met and I have obtained a y of Austin.
I affirm that the improvements compland Design Standards.	y with the historic area combining district Preservation Plan
	plication to Travis County Appraisal District each year that year, and that if I do not make the application in time, abatement for that year.
Property or any property owned by a	City of Austin fees, fines or penalties are owed, on the business association in which I have an ownership interest.
Signature	E. Chem Sheelle 2/1/22  Owner/Applicant Date
I declare under penalty of perjury that	t the statements above are true and correct.
Subscribed and sworn to before me, the 15+ day of Jerualy,	by the said E. Reter Pincoffs , this 2022, to certify which witness my hand and seal of office.
CHERYL BONORDEN My Notary ID # 1895729 Expires February 21, 2025	Notary Public, State of



## City of Austin CERTIFICATE OF OCCUPANCY

#### BUILDING PERMIT NO 2020-033356 BP

**ISSUE DATE:** 12/23/2020

**BUILDING ADDRESS:** 1105 CASTLE CT

**LEGAL DESCRIPTION:** LOT 7 LESS N 5FT OLT 5 DIV Z CASTLE COURT

PROPOSED OCCUPANCY:

C-1000 Commercial Remodel Remodel - Interior remodel to existing office.

BUILDING GROUP/DIVISION: B Business offices

NEW BUILDING SQUARE FOOTAGE

RE MODEL BUILDING SQUARE FOOTAGE: 2,056 SQ.FT.

**SPRINKLER SYSTEM: NA** 

CODE YEAR: 2015 CODE TYPE: IBC

FIXED OCCUPANCY: 0 NON FIXED OCCUPANCY: 0

**TYPE OF CONSTRUCTION: 5B** 

**CONTRACTOR:** Pinnelli Chris Pinnelli Builders, Inc.

\*\*\*\*\*\*\* CERTIFICATE OF OCCUPANCY \*\*\*\*\*\*\*\*\*\*\*\*\*\*\*

THIS IS TO CERTIFY THAT THE BUILDING OR STRUCTURE AT THE ADDRESS LISTED ABOVE HAS BEEN INSPECTED FOR COMPLIANCE WITH THE REQUIREMENTS OF THE AUSTIN CITY CODE FOR THE GROUP AND DIVISION OF OCCUPANCY LISTED ABOVE.

NEITHER THE ISSUANCE OF THIS CERTIFICATE NOR THE INSPECTIONS MADE SHALL LESSEN THE RESPONSIBILITY OR LIABILITY OF ANY PERSON, FIRM OR CORPORATION

OWNING, OPERATING, CONTROLLING OR INSTALLING ANY APPLIANCE OR MATERIAL UPON THE PREMISE, OR DOING ANY WORK WHATSOEVER ON SUCH PREMISE.

THE CITY OF AUSTIN DOES NOT ASSUME ANY RESPONSIBILITY OR LIABILITY BY REASON OF THE INSPECTION OR REINSPECTION OF THE PREMISE; OR THE ISSUANCE OF THIS "CERTIFICATE OF OCCUPANCY"; OR BY ANY REASON OF ANY APPROVAL OR DISAPPROVAL.

BUILDING CODE REVIEWER: Farhana Yasmin

For Beth Culver, Building Official

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COUNTY OF Travis §
COOKIT OF TRAVIO
CITY OF AUSTIN HISTORIC AREA DISTRICT TAX ABATEMENT
STATEMENT OF COMMITMENT TO REPAY TAXES FOR NONCOMPLIANCE
Property Address: 1105 Castle Court Austin, TX 78703
Owner's Name: 1105 W 12 LLC
I am over 18 years of age and am competent to sign this Affidavit.
I am the owner of the property identified above.
I am seeking a tax abatement for the property identified above.
I, the owner of property identified above, do hereby commit to repay to the City of Austin all City taxes previously abated on property should the property be determined by the City Building Official or Historic Preservation Officer to be out of compliance with any of the provisions of Section 25-11 of the City of Austin Code of Ordinances or the historic area combining district Preservation Plan and Design Standards.
I understand this commitment shall be filed by the City of Austin in the Travis County Deed Records and shall run with the land and bind the owner and the owner's heirs and assigns. I further understand that any unpaid repayment shall constitute a lien against said property.
I hereby indemnify the City of Austin against all claims arising out of the granting of an abatement.
I hereby indemnify the City of Austin against all claims arising out of the granting of an abatement.
Signature E. Dew Queofts 2/1/22
Signature E. Dew Queofts 2/1/22
Signature E. Deus Queofts 2/1/22 Owner/Applicant Date