SYMBOL LEGEND

FFE 0" — FFE OR GRADE ELEVATION AS NOTED

112 — DOOR NUMBER

116 — WINDOW NUMBER

A — WALL TYPE (PLAN VIEW)

NEW WALL (PLAN VIEW)

℄ — CENTERLINE

EQUAL DIMENSIONS IN LINE

1 / A-211 — ELEVATION (LARGE SCALE)

N W E S / 1/A-401 — ELEVATION (SMALL SCALE)

1 / A-211 — SECTION DETAIL

1 / A-211 — PLAN/ ELEVATION DETAIL

MATERIALS LEGEND

- BRICK MASONRY
- CONCRETE (Detail Scale)
- EARTH
- STEEL (Detail Scale)
- FRAMING WOOD (Detail Scale)
- BLOCKING - NON-CONTINUOUS (Detail Scale)
- FINISHED WOOD
- PLYWOOD
- BATT INSULATION
- RIGID INSULATION
- PLASTER OR CONCRETE AS NOTED (Detail Scale)
- NEW PARTITION WALL (see plan legend)

ABBREVIATIONS

&	And	EQ	Equal Spacing, Equivalent	MANUF	Manufacturer	S	South		
#	Pound	EQUIP	Equipment	MAX	Maximum	SALV	Salvage		
@	At	EXH	Exhaust	MECH	Mechanical	SAU	Self-Adhering Underlayment		
		EXST'G	Existing	M/E	Mechanical/Electrical	SCH'D	Scheduled		
A/C	Air Conditioning	EXT	Exterior	MEP	Mechanical, Electrical, & Plumbing	SECT	Section		
ACOUST	Acoustical					SEP	Seperate, Seperated		
ADD'L	Additional	FAR	Floor-Area Ratio	MIN	Minimum	SF	Square Feet		
ADJ	Adjacent	FF(E)	Finished Floor (Elevation)	MISC	Miscellaneous	SHT	Sheet		
AFF	Above Finish Floor	FIN	Finish(ed)	MTD	Mounted	SIM	Similar		
AHJ	Authority Having Jurisdiction	FIXT	Fixture	MTL	Metal	SHTG	Sheathing		
AHU	Air Handling Unit	FLR	Floor			SK	Sink		
APPROX	Approximately	FT	Feet, Foot	N	North	SMACNA	Sheet Metal & Air Conditioning National Association, Inc.		
ARCH	Architect	FTG	Footing	NA	Not Applicable				
ASTM	American Society for Testing & Materials	FV	Field Verify	NIC	Not in Contract	SPECS	Specifications		
		FV HT	Field Verify Height	NO	Number	SPEC'D	Specified		
				NSF	Net Square Feet	SQ	Square		
BOR	Bottom of Rafter	GA	Gauge	NTS	Not to Scale	SS	Stainless Steel		
BRD	Board	GALV	Galvanized			STL	Steel		
BLDG	Building	GC	General Contractor	OC	On Center	STRUCT	Structural		
BDRM	Bedroom	GFCI	Ground Fault Circuit Interrupt	OCEW	On Center Each Way	SUSP	Suspended		
BTM	Bottom	GL	Glass	OP'G	Opening	SW	Switch		
BTWN	Between	GM	Gas Meter	OVHD	Overhead	SYM	Symmetrical		
		GPM	Gallons Per Minute	OZ	Ounce				
CAB	Cabinet	GR	Grade			T&G	Tongue & Groove		
CF	Cubic Feet	GRND	Ground	P&I	Provide & Install	TEMP	Temporary, Tempered		
CJ	Control Joint	GSF	Gross Square Feet	PC	Photo Cell	THK	Thick		
CL	Centerline	GYP BD	Gypsum Wall Board	PG	Page				
CLG	Ceiling			PL	Plate or Plateline	TOT	Total		
CLO	Closet	HB	Hose Bib			TOW	Top of Wall		
CLR	Clear	HDR	Header	PR	Pair	TRTD	Treated		
COL	Column	HDWR	Hardware	PSF	Pounds Per Square Foot	TYP	Typical		
COMP	Composite	HORIZ	Horizontal	PSI	Pounds Per Square Inch				
CONC	Concrete	HR	Hour	PT	Pressure Treated	UC	Under Counter		
CONST	Construction	HT	Height	PTD	Painted	UCR	Under Counter Refrigerator		
CONT	Continuous	HTG	Heating	PVC	Polyvinyl Chloride	UL	Underwriter's Laboratory		
COORD	Coordinate, Coordination	HVAC	Heat/Ventilation/ Air Conditioning	PVMT	Pavement	UNFIN	Unfinished		
CRZ	Critical Root Zone			PWD	Plywood	UNO	Unless Noted Otherwise		
CVR	Cover								
CW	Cold Water	I.E.	Id Est (That Is)	QTR	Quarter	VB	Vapor Barrier		
		IN	Inches			VERT	Vertical		
D	Deep, Depth, Dryer	INAC	Inaccessible	R	Radius/Refrigerator	VFY	Verify		
DBL	Double	INCL	Including	RCP	Reflected Ceiling Plan				
DEMO	Demolish, Demolition	INFO	Information	RE/REF	Reference	W	Wide, Width, West, Washing Machine		
DH	Double Hung	INSUL	Insulation	REINF	Reinforced	W/	With		
DIA	Diameter	INT	Interior	REQ'D	Required	W/O	Without		
DIAG	Diagonal, Diagonally			REQMT'S	Requirements	W/D	Stackable Washer Dryer		
DN	Down	JNT	Joint	REV	Revision	WD	Wood		
DS	Downspout	JST	Joist	RFG	Roofing	WDW	Window		
DW	Dishwasher			RM	Room	WH	Water Heater		
DWG	Drawing	KIT	Kitchen	RO	Rough Opening	WM	Water Meter		
DWR	Drawer			ROW	Right of Way	WP	Waterproofing		
		L	Length			WT	Weight		
E	East	LAM	Laminated						
EA	Each	LAV	Lavatory			YD	Yards		
EJ	Expansion Joint	LB(S)	Pound(s)						
EM	Electric Meter	LF	Linear Foot						
EQ	Equal Spacing, Equivalent	LP	Light Pole or Lightning Protection						
EQUIP	Equipment	LT	Light						
EXST'G	Existing	LVR	Louver						
EXT	Exterior								

DESIGN TEAM

ARCHITECTURE

O'CONNELL ARCHITECTURE, LLC
TERESA O'CONNELL, AIA
3908 AVENUE B, SUITE 309
AUSTIN, TEXAS 78751
512.751.1374

STRUCTURAL ENGINEERING

TSEN ENGINEERING
210 BARTON SPRINGS RD. SUITE 250
AUSTIN, TEXAS 78704
512.474.4001

CIVIL ENGINEERING

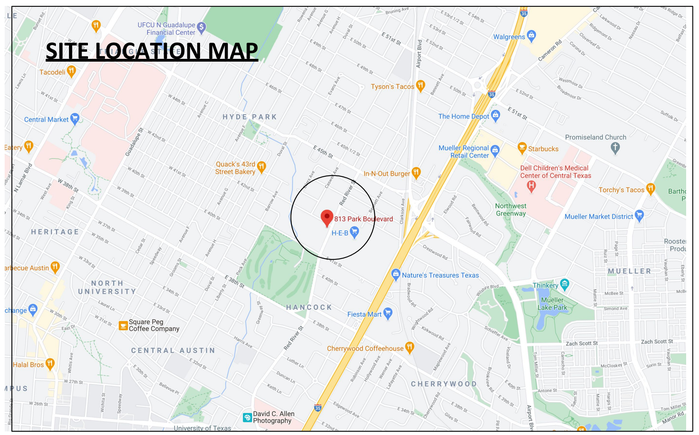
DUNAWAY ASSOCIATES, L.P.
5707 SOUTHWEST PARKWAY, SUITE 2-250
AUSTIN, TEXAS. 78735
817.335.1121

811-813 Park Blvd

LAND AREA	23089.5	SF	
MAIN HOUSE	**Existing**	**New**	**Total**
Basement **	229		229
First Floor	1637		1637
Second Floor	1645		1645
Attic *	UNF	578	578
GARAGE	**Existing**	**New**	**Total**
First Floor *	575		575
Second Floor	575		575
Building Impervious Cover			**2212**
			9.58%
SITE	**Existing**	**New**	**Total**
Site Walls & Fencing	56	227	283
Driveway		2763	2763
Sidewalks	238	1625	1863
Terrace		397	397
Equipment Pads	151	16	167
	445	5028	5473
Impervious Cover, total	2657		7685
	12%		33.28%
FAR *	**0.17**		**0.2170**

* Garage and Attic finished as Living Space
** Basement Mechanical Space Exempt from FAR

SITE LOCATION MAP



PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 33 AND 34 BLK 23 OLT 14 DIV C PERRY ESTATE

ZONING: SF-3

YEAR CONSTRUCTED: 1929
Eligible for Austin Historic Landmark and National Register of Historic Places

APPLICABLE CODES: International Residential Code, 2021

OCCUPANCY: R-1, R-3

CONSTRUCTION TYPE: V-B

DRAWING INDEX

GENERAL NOTES

1. All work shall be performed in a professional matter, and in accordance with the International Residential Code, 2021, related trade codes, and applicable local codes, ordinances and laws.
2. Historic designation of this building requires the Contractor and his subcontractors to exercise special caution in executing the work to prevent unnecessary damage to historic features, conditions, or materials. Contractor shall inform all subcontractors and workmen of these requirements.
3. The Contractor shall thoroughly example and familiarize himself with the requirements of the Contract Documents. Any conflicts shall be brought to the Architect's attention for resolution prior to the work being installed.
4. Perform all work in a safe and conscientious manner to prevent injuries and damage to the building and workers. Contractor shall maintain OSHA Standards for job safety and worker protection, and comply with applicable state and local government requirements.
5. Building permitting will be coordinated by the Owner and Architect prior to construction. Contractor is responsible for all trade permits, inspections, and compliance requirements.
6. Maintain the building and site in a clean and orderly condition.
7. The Contractor shall visit the site of the proposed work and full acquaint himself with the existing conditions regarding site access, staging, parking limitations, security, and other aspects of constructibility.
8. The Contractor shall coordinate work between all trades in this contract to ensure a smooth and timely workflow.
9. All work to be warranted for one year from the date of Substantial Completion unless otherwise noted.

O'Connell ARCHITECTURE
3908 Avenue B, #309
Austin, Texas 78751
512|751-1374

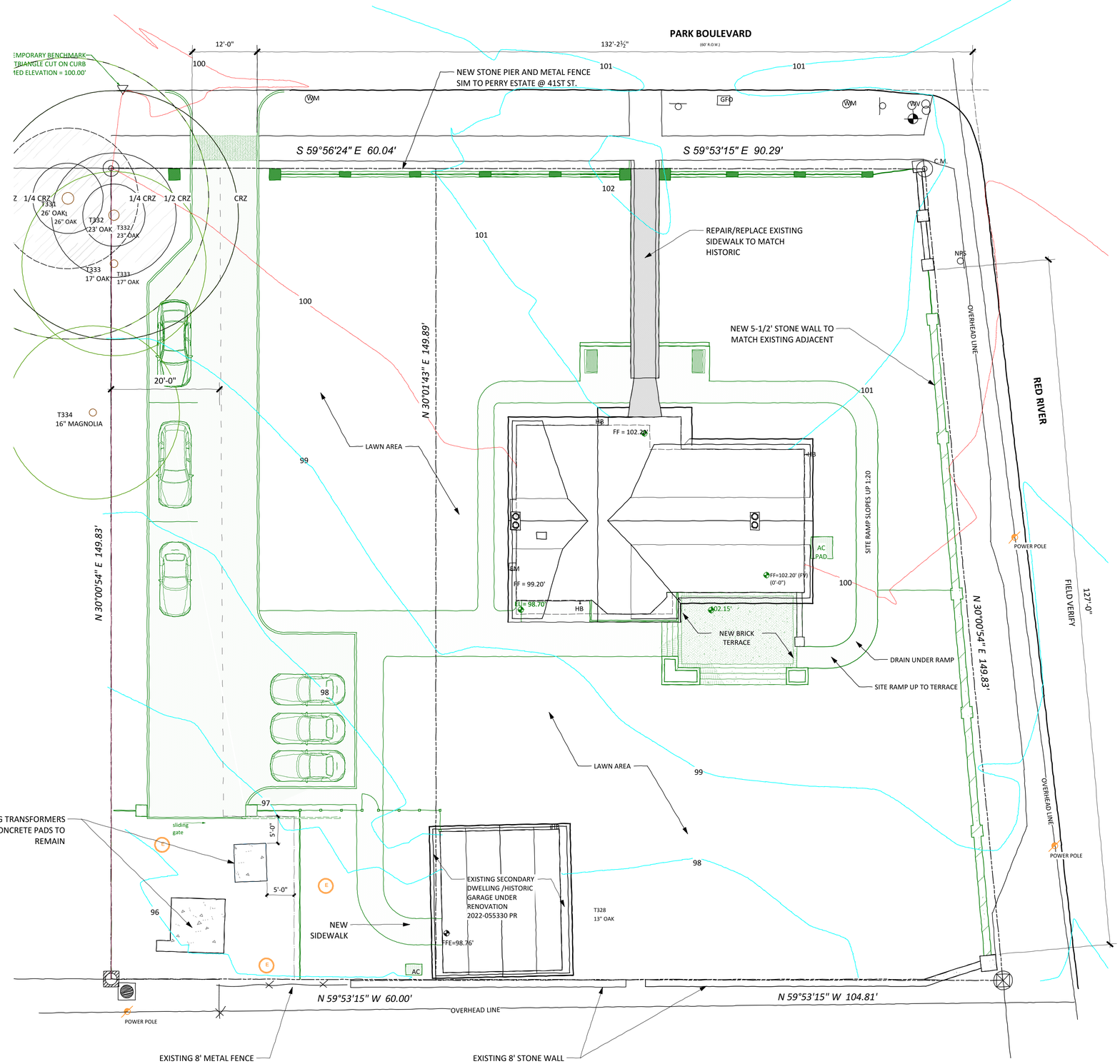
REGISTERED ARCHITECT — MARIE O'CONNELL — 15432 — STATE OF TEXAS

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE
PRINT: 5/6/22

SHEET NAME
COVER SHEET

SHEET NUMBER
A-000



1 NEW SITE PLAN
Scale: 1" = 10'-0"

O'Connell
ARCHITECTURE
3908 Avenue B, #309
Austin, Texas 78751
512|751-1374

REGISTERED ARCHITECT
MARIE O'CONNELL
15432
STATE OF TEXAS
EXP. 10-31-22

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE

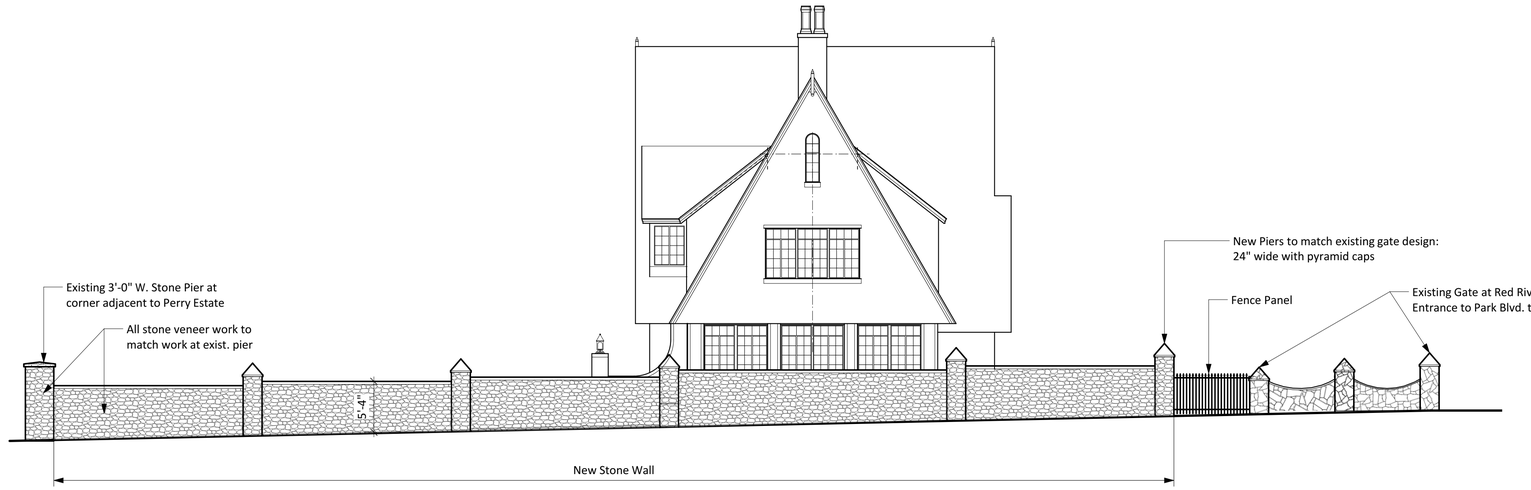
PRINT: 5/6/22

SHEET NAME

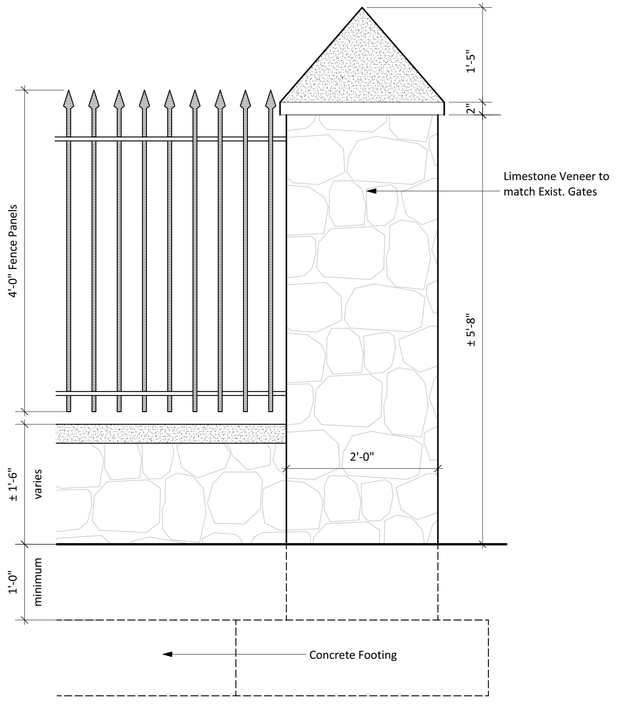
PROPOSED SITE PLAN

SHEET NUMBER

A-101



2 VIEW from RED RIVER
Scale: 1/8" = 1'-0"



3 FENCE & WALL DETAIL
Scale: 1" = 1'-0"

1 PARTIAL VIEW of PROPOSED FENCE on PARK BLVD.
Scale: 1/4" = 1'-0"

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ARCHITECTURE
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Austin, Texas 78751
512|751-1374

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RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE
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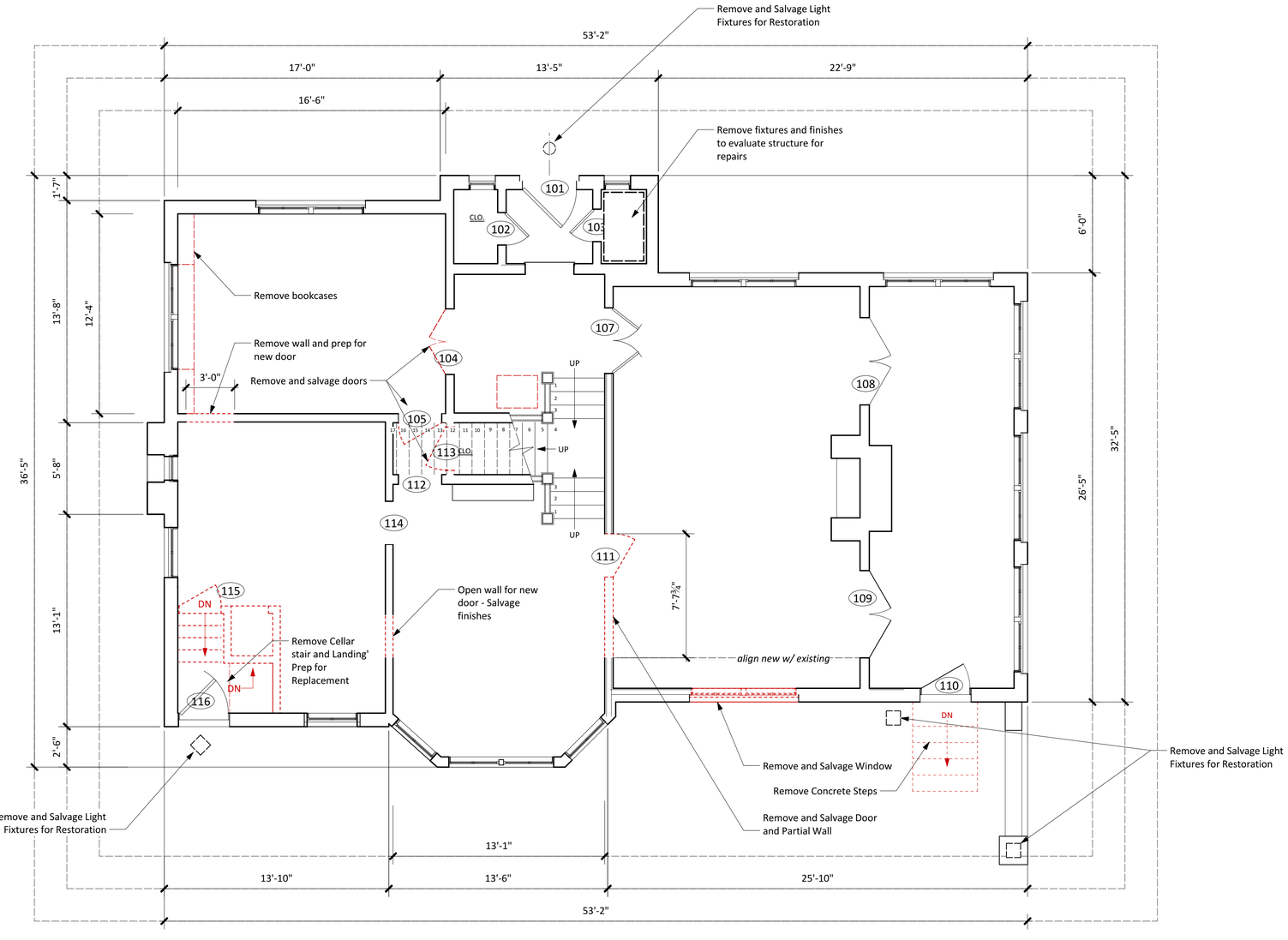
SHEET NAME
PROPOSED FENCES

SHEET NUMBER
A-102



1 FIRST FLOOR - DEMO

Scale: 1/4" = 1'-0"

1637 sq. ft. gross floor area

Dimensions are for planning purposes only, and accurate to one inch. Field verify all critical dimensions and all spatially sensitive locations.

0 5 10 15 FT

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RESTORATION
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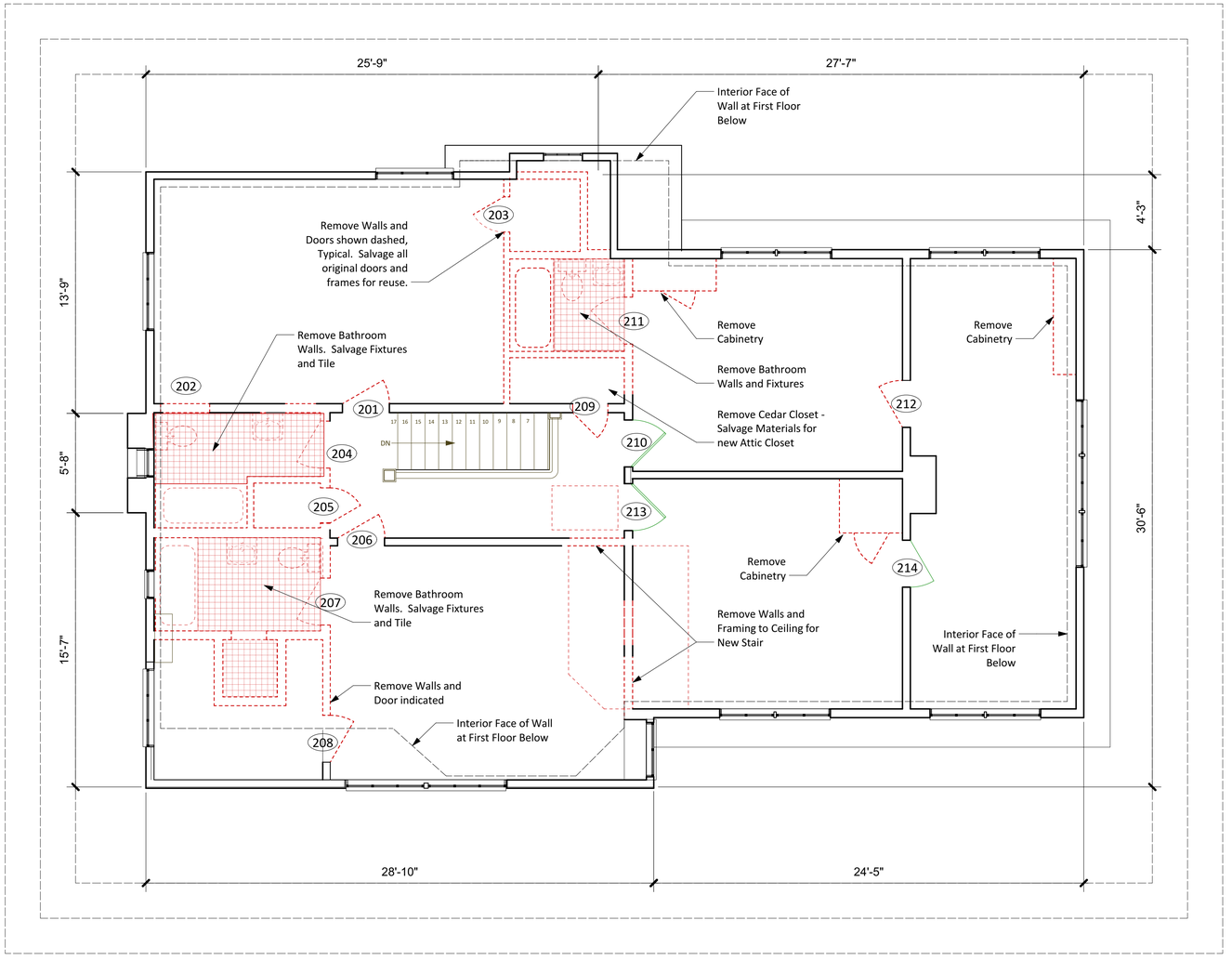
SHEET NAME
FIRST FLOOR PLAN - DEMO

SHEET NUMBER
A-111



1 SECOND FLOOR - DEMO

Scale: 1/4" = 1'-0"

1645 sq. ft. gross floor area

Dimensions are for planning purposes only, and accurate to one inch. Field verify all critical dimensions and all spatially sensitive locations.

0 5 10 15 FT

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REGISTERED ARCHITECT
KATHERINE O'CONNELL
15432
STATE OF TEXAS

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE
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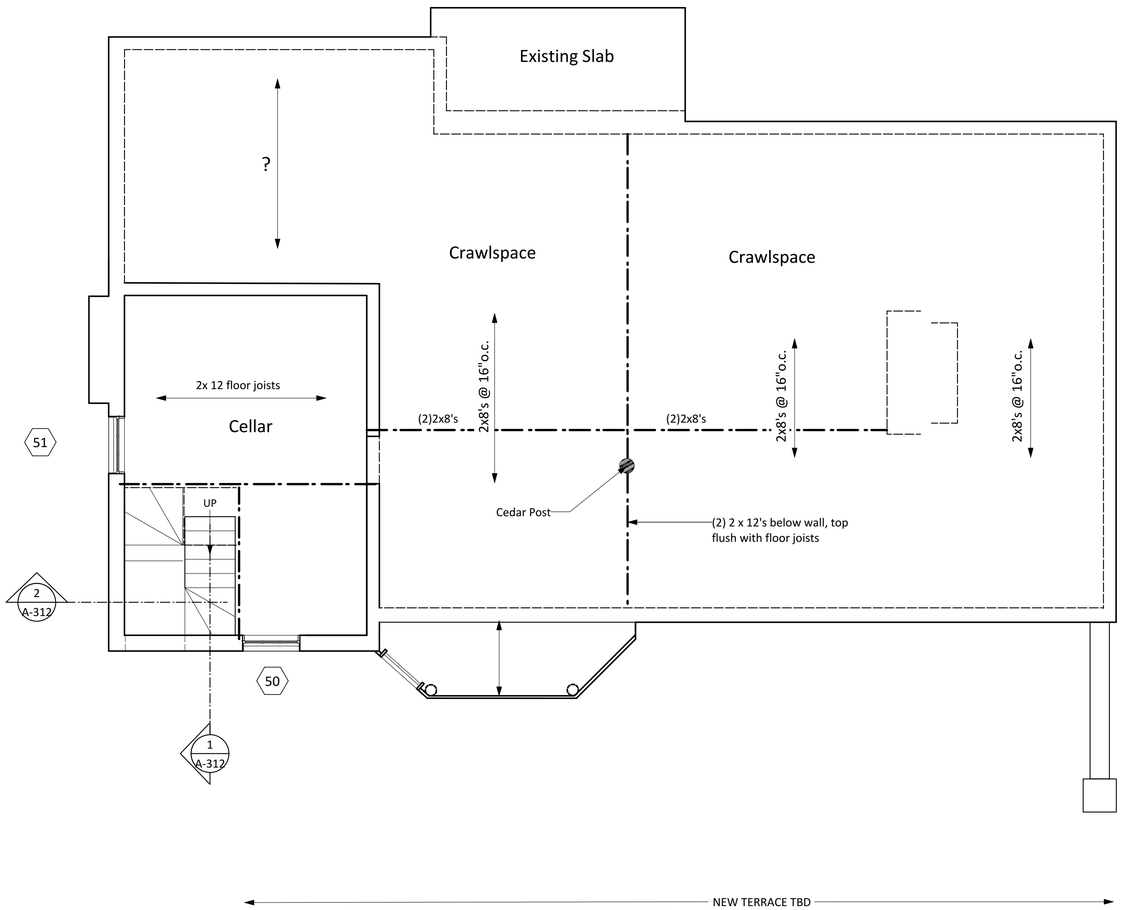
SHEET NAME
SECOND FLOOR PLAN - DEMO

SHEET NUMBER
A-112



1 FOUNDATION PLAN
Scale: 1/4" = 1'-0"

Dimensions are for planning purposes only, and accurate to one inch. Field verify all critical dimensions and all spatially sensitive locations.

0 5 10 15 FT

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REGISTERED ARCHITECT MARIE O'CONNELL 15432 STATE OF TEXAS

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

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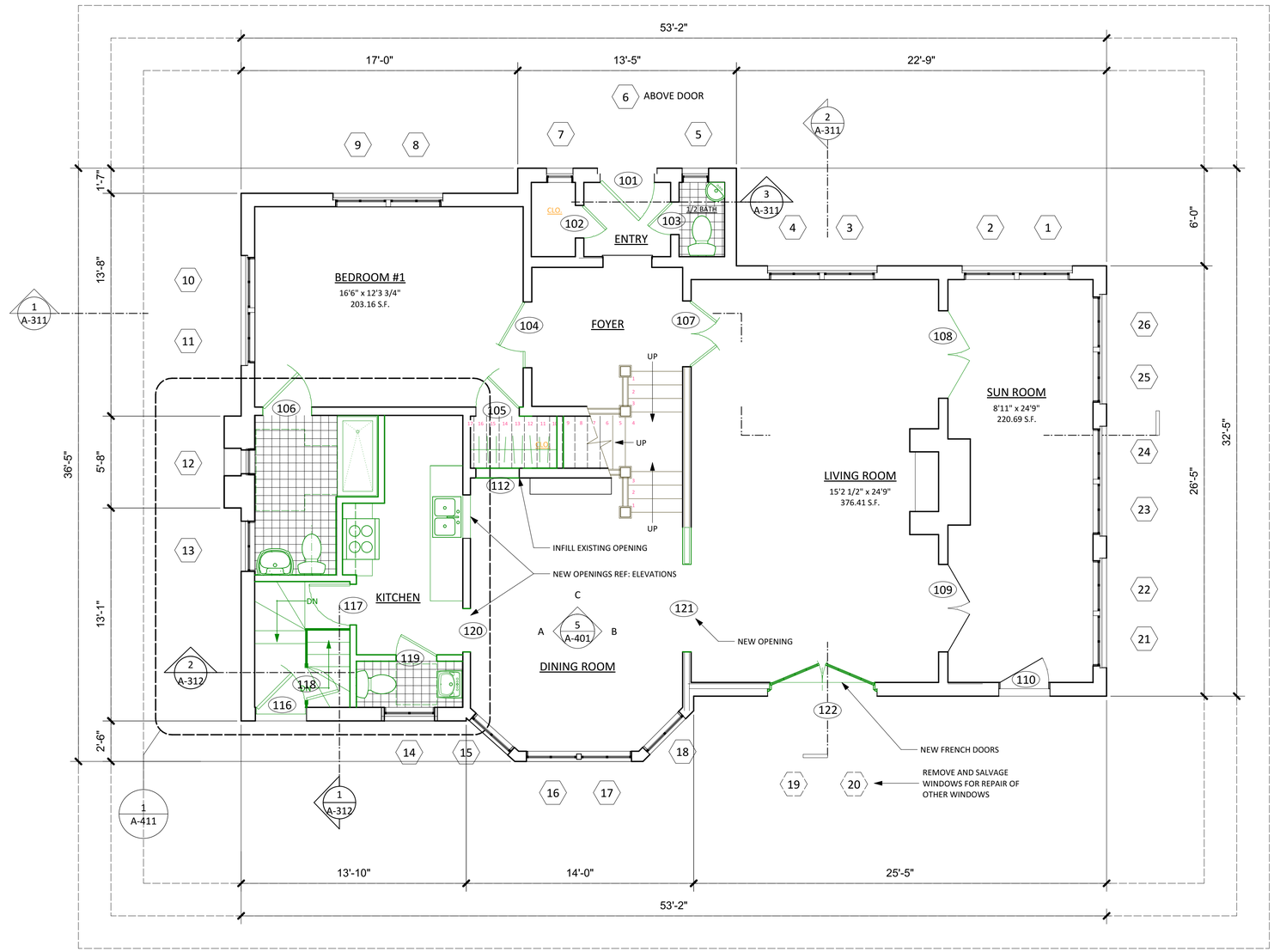
SHEET NAME
FOUNDATION PLAN

SHEET NUMBER
A-120



1 FIRST FLOOR - PROPOSED
Scale: 1/4" = 1'-0"

Dimensions are for planning purposes only, and accurate to one inch. Field verify all critical dimension, and at all spatially sensitive locations.

0 5 10 15 FT

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MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE

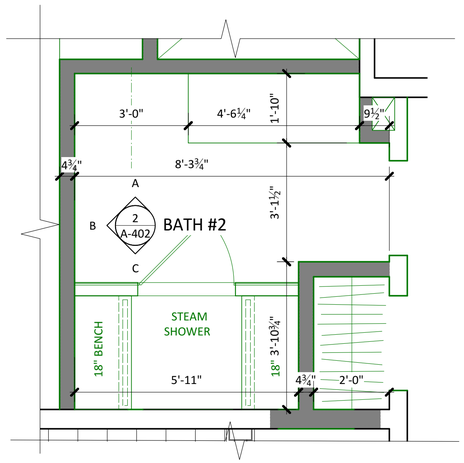
PRINT: 5/6/22

SHEET NAME

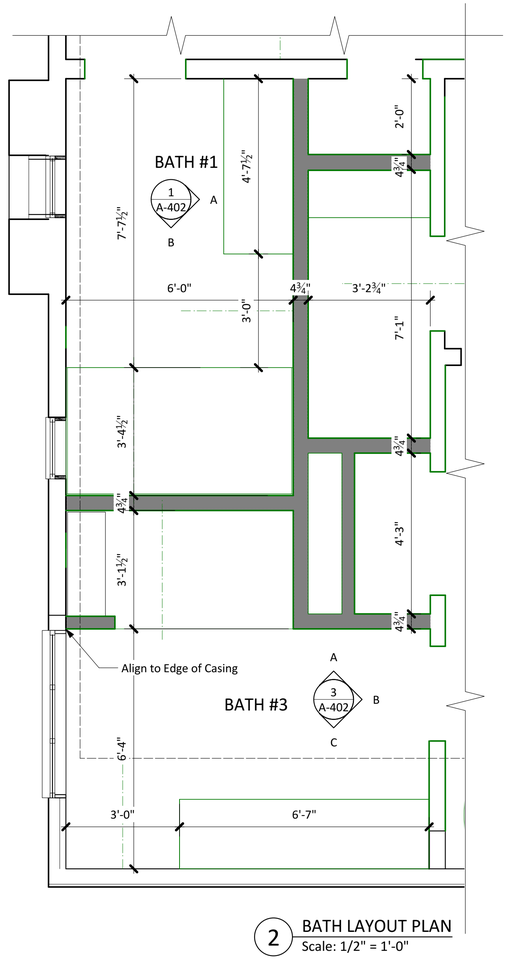
FIRST FLOOR PLAN

SHEET NUMBER

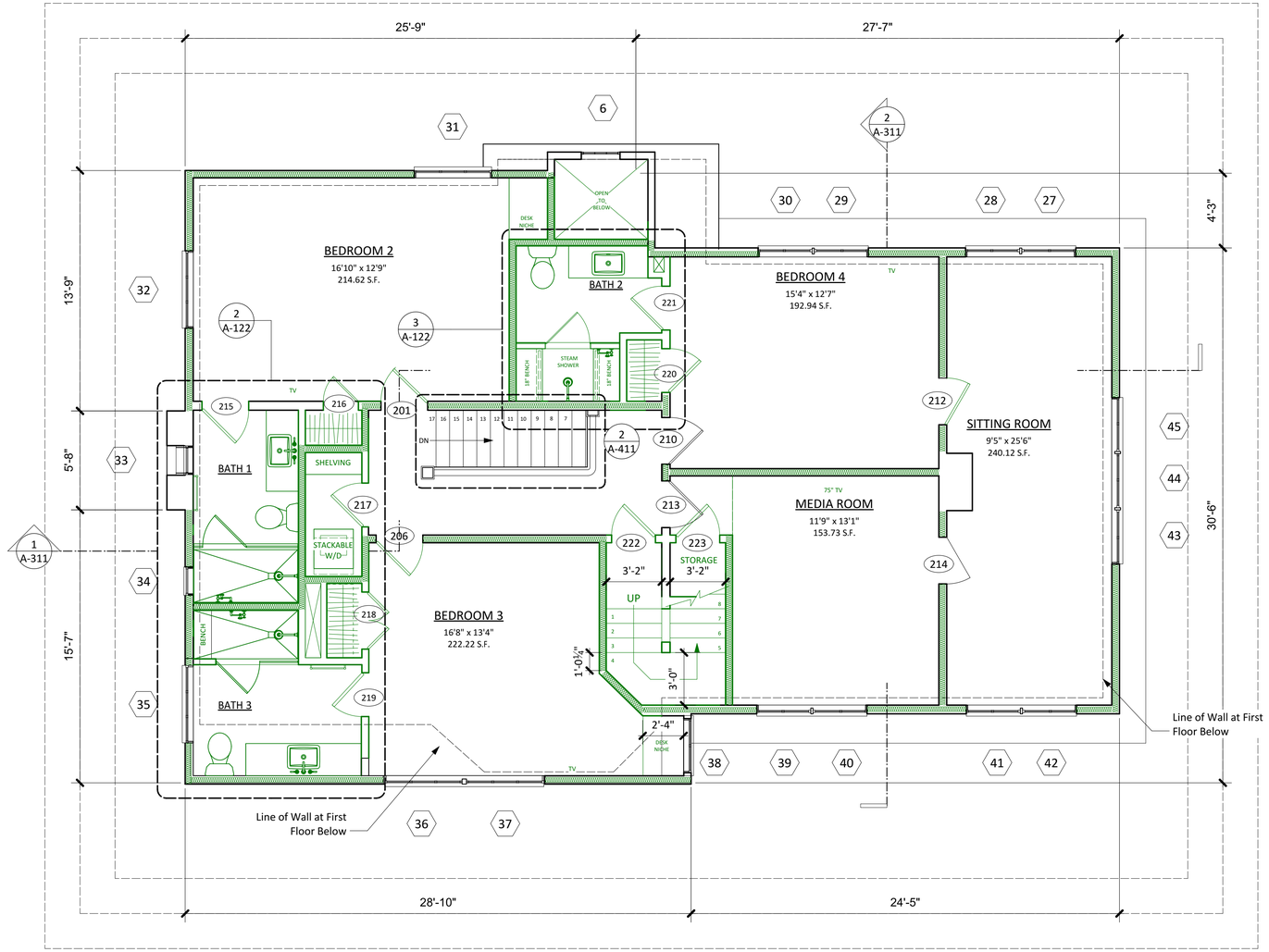
A-121



3 BATH LAYOUT PLAN
Scale: 1/2" = 1'-0"



2 BATH LAYOUT PLAN
Scale: 1/2" = 1'-0"



1 SECOND FLOOR - PROPOSED
Scale: 1/4" = 1'-0"

Dimensions are for planning purposes only, and accurate to one inch. Field verify all critical dimensions and all spatially sensitive locations.

0 5 10 15 FT

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REGISTERED ARCHITECT
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15432
STATE OF TEXAS

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

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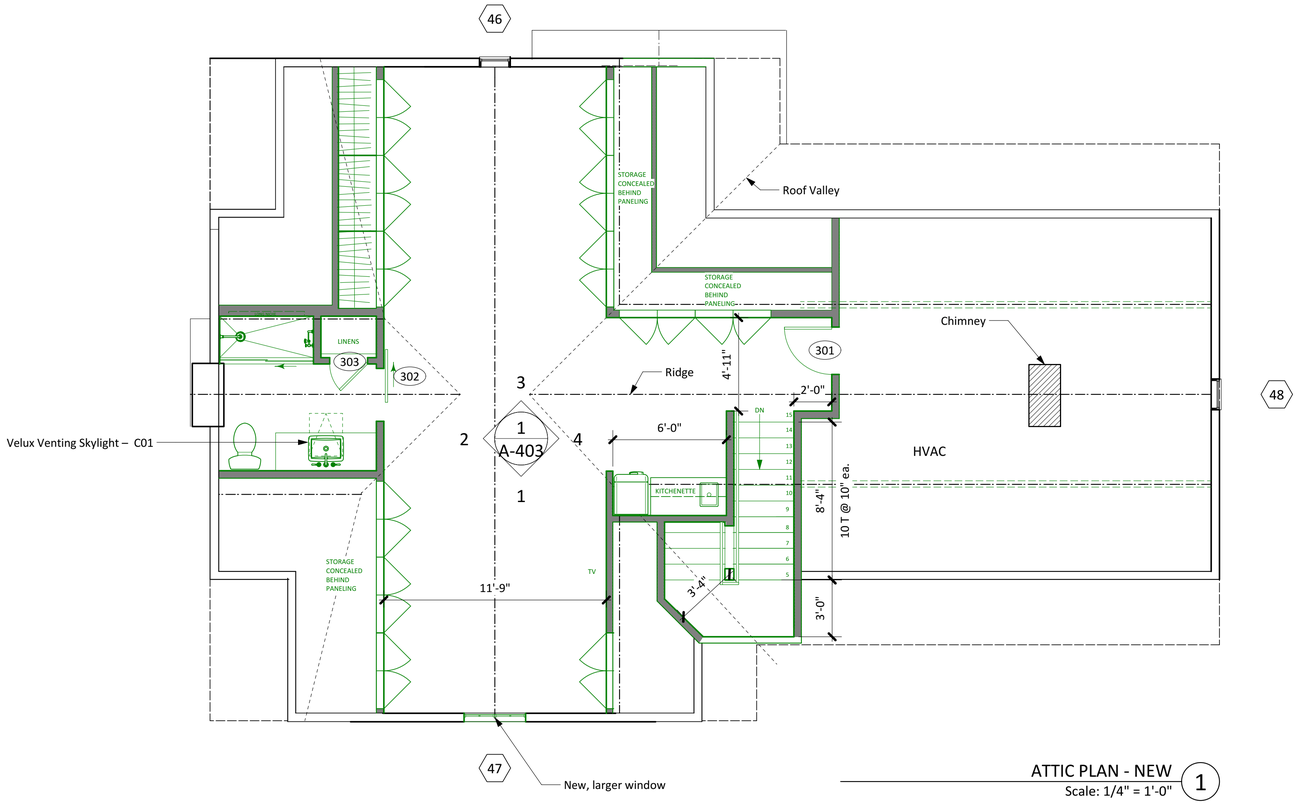
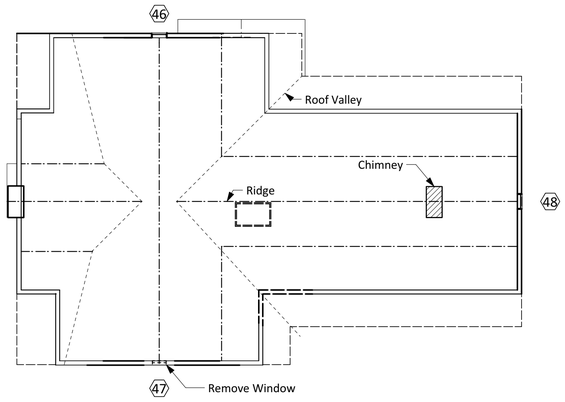
SHEET NAME
SECOND FLOOR PLAN

SHEET NUMBER
A-122



ATTIC PLAN - NEW 1
Scale: 1/4" = 1'-0"

0 5 10 15 FT



ATTIC PLAN - DEMO 2
Scale: 1/8" = 1'-0"

Dimensions are for planning purposes only, and accurate to one inch. Field verify all critical dimensions and all spatially sensitive locations.

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REGISTERED ARCHITECT MARIE O'CONNELL 15432 STATE OF TEXAS

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

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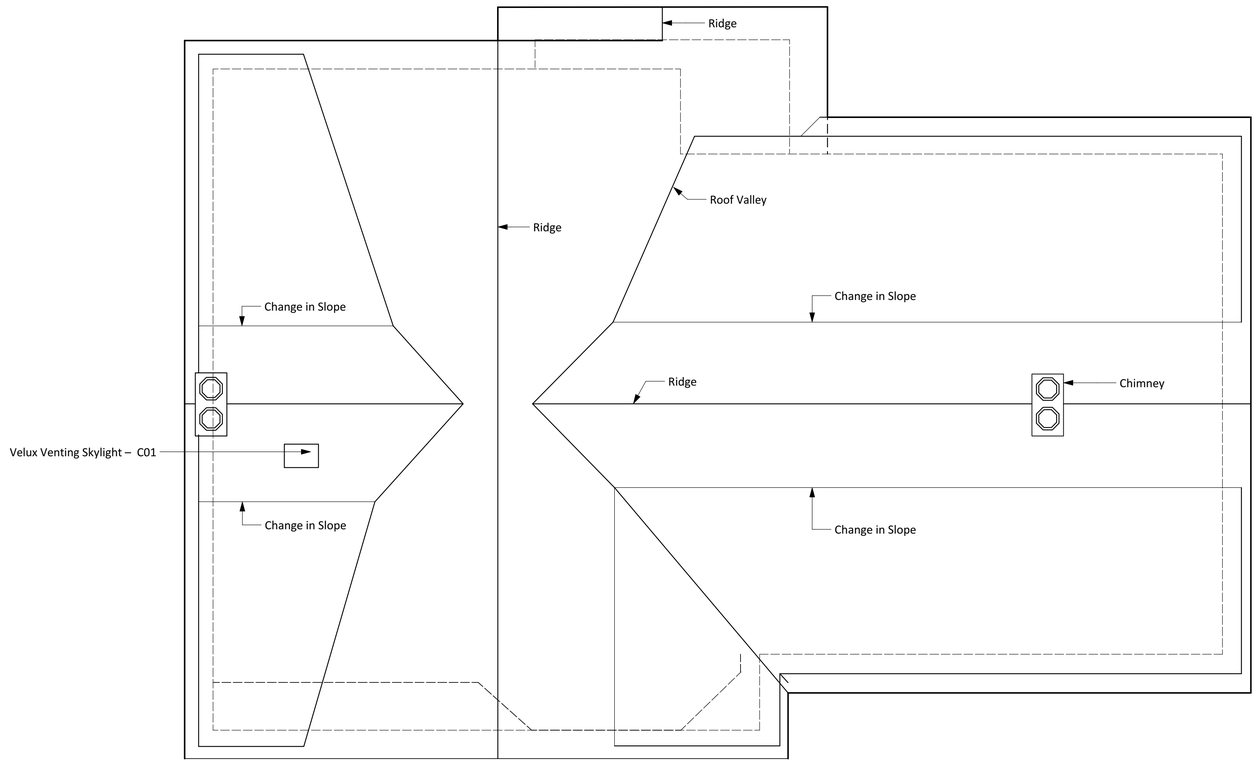
SHEET NAME

ATTIC FLOOR PLAN

SHEET NUMBER

A-123



1 ROOF PLAN
Scale: 1/4" = 1'-0"

0 5 10 15 FT

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MARIE O'CONNELL
15432
STATE OF TEXAS

MILLER-LONG HOUSE
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813 PARK BOULEVARD, AUSTIN, TEXAS 78751

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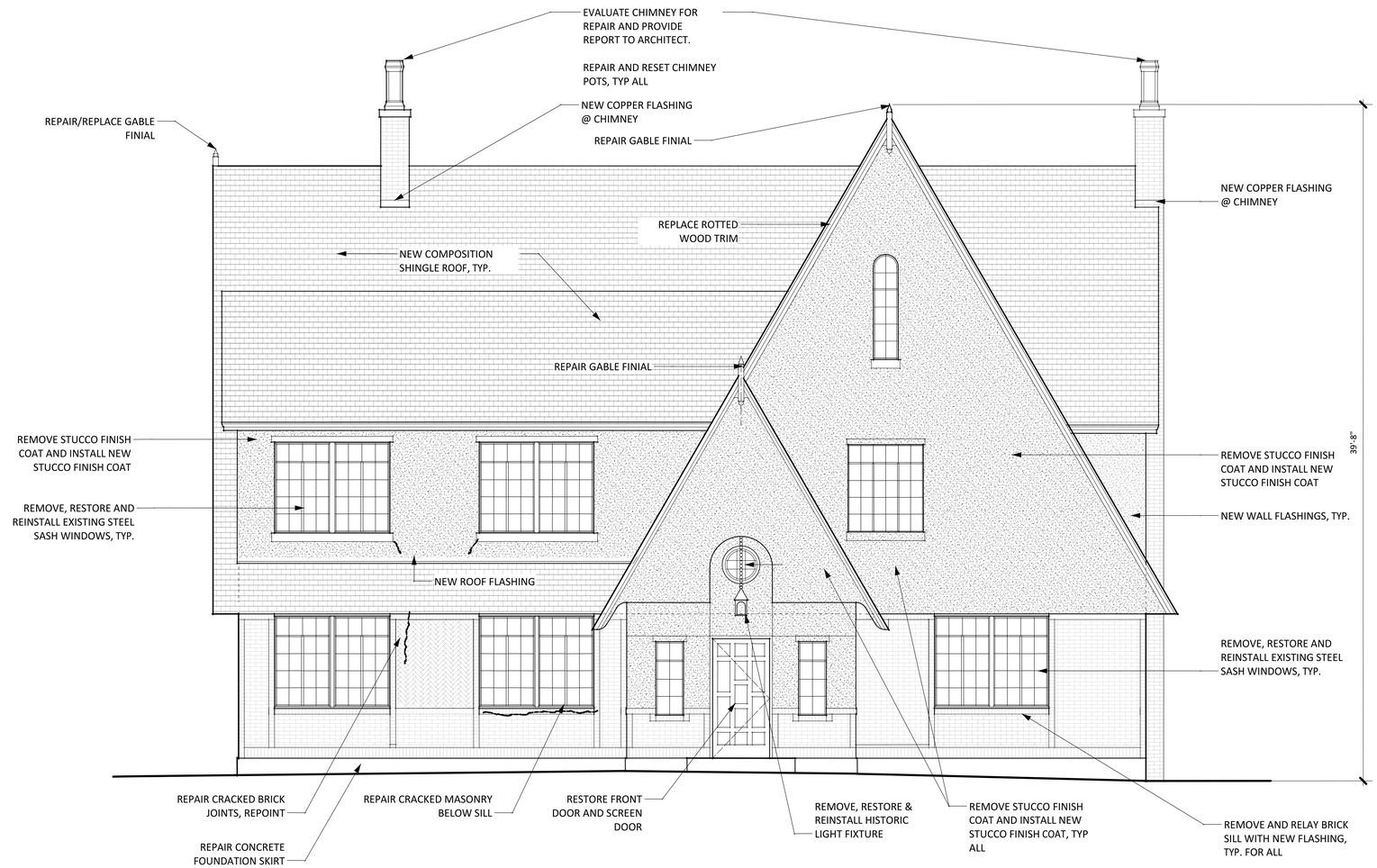
SHEET NAME
ROOF PLAN

SHEET NUMBER
A-124



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"

0 5 10 15 FT

RESTORATION SCOPE

Concrete

1. Repair/replace concrete foundation skirt over original buff-brick perimeter beam to match historic character, texture, and finish.

Stucco

2. Throughout second floor and first floor entry area, remove stucco finish and replace with new 3-coat stucco over wire lath. Insulate wall and install vapor barrier per details. Finish texture to match original "Lace and Skip" trowel finish – see supplemental information provided by Architect.
3. Window heads and sills at second and third floor are currently formed stucco – verify original detailing with Architect through selective demolition and investigations.

Masonry

4. Repoint all broken and deteriorated mortar joints with new mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched.
5. Remove existing brick sills, clean bricks, install new sill flashing and relay with proper pitch to exterior. Refer to detail herein. Mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched. Brick salvaged from the south elevation of the garage may be used in these repairs.
6. Repair and repoint brickwork at chimneys, reset chimney pots.
7. Clean all masonry to remove algae staining using gentlest means possible. Pressurized water not to exceed 400psi. Cleaning program including all products and processes to be approved by Architect and mocked-up prior to use.

Wood

8. Replace rotted wood at eaves and rake boards, finials, moldings, door and window trim with new to match original detailing. Wood species to be approved by Architect through submittal samples. Acceptable wood species include selected types of mahogany, smooth-finished cedar, or other rot-, warp-, and check-resistant wood. Paint finish to match historic or approved equal.
9. Restore exterior doors by removing finishes and using epoxy consolidation repair techniques in lieu of replacement to the maximum extent possible. Review condition of all doors and verify Restoration Program with Architect prior to start of work. Allow Architect access for evaluation of original finishes. Replace all door thresholds with solid oak tapered thresholds.

Hardware

10. Restore all original door hardware, or replace in kind if damage is beyond repair. Provide and install new deadbolts at exterior doors and as scheduled.
11. Replace broken hardware at casement windows to match original character. Weatherstrip all operable windows.

Steel Casement Windows

12. Remove, restore, and reinstall steel casement windows. Replace irreparable stock to match original character. Match original exterior finish: Black paint.
13. New steel casement window at attic level to match original character, refer to window

Roof

14. 10. Remove existing composition shingle roof and flashings and install new felt, flashings and architectural composition shingle roof. Product:
15. Replace all roof vents and appurtenances at roof, and paint finish to match roof. Locate all on the south (rear) face of the building.
16. Provide and install new skylights as indicated in Roof Plan.

Mechanical

17. New Mitsubishi mini-split ducted systems throughout.

Electrical

18. New electrical service to be underground to meter and disconnect where indicated on plan.
19. Restore all historic exterior light fixtures including new wiring and restored finishes.

O'Connell ARCHITECTURE
3908 Avenue B, Suite 309
Austin, Texas 78751
512|751-1374

REGISTERED ARCHITECT JOSEPHINE MARIE O'CONNELL 15432 STATE OF TEXAS

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE
PRINT: 5/6/22

SHEET NAME
NORTH ELEVATION

SHEET NUMBER
A-211

1 EAST ELEVATION
Scale: 1/4" = 1'-0"

0 5 10 15 FT

RESTORATION SCOPE

Concrete

1. Repair/replace concrete foundation skirt over original buff-brick perimeter beam to match historic character, texture, and finish.

Stucco

2. Throughout second floor and first floor entry area, remove stucco finish and replace with new 3-coat stucco over wire lath. Insulate wall and install vapor barrier per details. Finish texture to match original "Lace and Skip" trowel finish – see supplemental information provided by Architect.
3. Window heads and sills at second and third floor are currently formed stucco – verify original detailing with Architect through selective demolition and investigations.

Masonry

4. Repoint all broken and deteriorated mortar joints with new mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched.
5. Remove existing brick sills, clean bricks, install new sill flashing and relay with proper pitch to exterior. Refer to detail herein. Mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched. Brick salvaged from the south elevation of the garage may be used in these repairs.
6. Repair and repoint brickwork at chimneys, reset chimney pots.
7. Clean all masonry to remove algae staining using gentlest means possible. Pressurized water not to exceed 400psi. Cleaning program including all products and processes to be approved by Architect and mocked-up prior to use.

Wood

8. Replace rotted wood at eaves and rake boards, finials, moldings, door and window trim with new to match original detailing. Wood species to be approved by Architect through submittal samples. Acceptable wood species include selected types of mahogany, smooth-finished cedar, or other rot-, warp-, and check-resistant wood. Paint finish to match historic or approved equal.
9. Restore exterior doors by removing finishes and using epoxy consolidation repair techniques in lieu of replacement to the maximum extent possible. Review condition of all doors and verify Restoration Program with Architect prior to start of work. Allow Architect access for evaluation of original finishes. Replace all door thresholds with solid oak tapered thresholds.

Hardware

10. Restore all original door hardware, or replace in kind if damage is beyond repair. Provide and install new deadbolts at exterior doors and as scheduled.
11. Replace broken hardware at casement windows to match original character. Weatherstrip all operable windows.

Steel Casement Windows

12. Remove, restore, and reinstall steel casement windows. Replace irreparable stock to match original character. Match original exterior finish: Black paint.
13. New steel casement window at attic level to match original character, refer to window

Roof

14. 10. Remove existing composition shingle roof and flashings and install new felt, flashings and architectural composition shingle roof. Product:
15. Replace all roof vents and appurtenances at roof, and paint finish to match roof. Locate all on the south (rear) face of the building.
16. Provide and install new skylights as indicated in Roof Plan.

Mechanical

17. New Mitsubishi mini-split ducted systems throughout.

Electrical

18. New electrical service to be underground to meter and disconnect where indicated on plan.
19. Restore all historic exterior light fixtures including new wiring and restored finishes.

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3908 Avenue B, Suite 309
Austin, Texas 78751
512|751-1374

REGISTERED ARCHITECT
MARIE O'CONNELL
15432
STATE OF TEXAS

MILLER-LOCKHART HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE

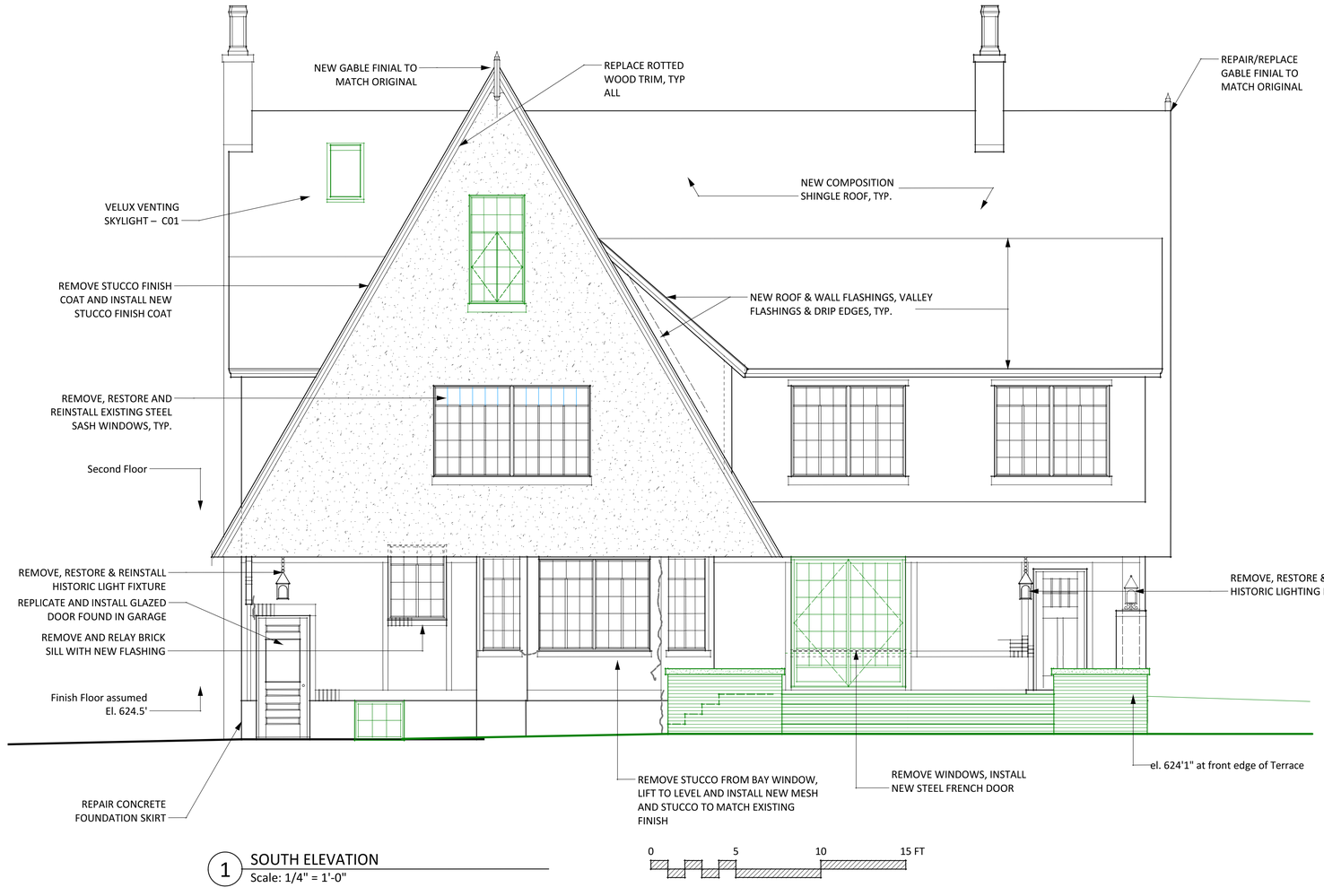
PRINT: 5/6/22

SHEET NAME

EAST ELEVATION

SHEET NUMBER

A-212



1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

RESTORATION SCOPE

Concrete

1. Repair/replace concrete foundation skirt over original buff-brick perimeter beam to match historic character, texture, and finish.

Stucco

2. Throughout second floor and first floor entry area, remove stucco finish and replace with new 3-coat stucco over wire lath. Insulate wall and install vapor barrier per details. Finish texture to match original "Lace and Skip" trowel finish – see supplemental information provided by Architect.
3. Window heads and sills at second and third floor are currently formed stucco – verify original detailing with Architect through selective demolition and investigations.

Masonry

4. Repoint all broken and deteriorated mortar joints with new mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched.
5. Remove existing brick sills, clean bricks, install new sill flashing and relay with proper pitch to exterior. Refer to detail herein. Mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched. Brick salvaged from the south elevation of the garage may be used in these repairs.
6. Repair and repoint brickwork at chimneys, reset chimney pots.
7. Clean all masonry to remove algae staining using gentlest means possible. Pressurized water not to exceed 400psi. Cleaning program including all products and processes to be approved by Architect and mocked-up prior to use.

Wood

8. Replace rotted wood at eaves and rake boards, finials, moldings, door and window trim with new to match original detailing. Wood species to be approved by Architect through submittal samples. Acceptable wood species include selected types of mahogany, smooth-finished cedar, or other rot-, warp-, and check-resistant wood. Paint finish to match historic or approved equal.
9. Restore exterior doors by removing finishes and using epoxy consolidation repair techniques in lieu of replacement to the maximum extent possible. Review condition of all doors and verify Restoration Program with Architect prior to start of work. Allow Architect access for evaluation of original finishes. Replace all door thresholds with solid oak tapered thresholds.

Hardware

10. Restore all original door hardware, or replace in kind if damage is beyond repair. Provide and install new deadbolts at exterior doors and as scheduled.
11. Replace broken hardware at casement windows to match original character. Weatherstrip all operable windows.

Steel Casement Windows

12. Remove, restore, and reinstall steel casement windows. Replace irreparable stock to match original character. Match original exterior finish: Black paint.
13. New steel casement window at attic level to match original character, refer to window

Roof

14. 10. Remove existing composition shingle roof and flashings and install new felt, flashings and architectural composition shingle roof. Product:
15. Replace all roof vents and appurtenances at roof, and paint finish to match roof. Locate all on the south (rear) face of the building.
16. Provide and install new skylights as indicated in Roof Plan.

Mechanical

17. New Mitsubishi mini-split ducted systems throughout.

Electrical

18. New electrical service to be underground to meter and disconnect where indicated on plan.
19. Restore all historic exterior light fixtures including new wiring and restored finishes.

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REGISTERED ARCHITECT MARIE O'CONNELL 15432 STATE OF TEXAS Exp. 02/31/22

MILLER-LONG HOUSE
RESTORATION
819 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE

PRINT: 5/6/22

SHEET NAME

SOUTH ELEVATION

SHEET NUMBER

A-213

1 WEST ELEVATION
Scale: 1/4" = 1'-0"

RESTORATION SCOPE

Concrete

1. Repair/replace concrete foundation skirt over original buff-brick perimeter beam to match historic character, texture, and finish.

Stucco

2. Throughout second floor and first floor entry area, remove stucco finish and replace with new 3-coat stucco over wire lath. Insulate wall and install vapor barrier per details. Finish texture to match original "Lace and Skip" trowel finish – see supplemental information provided by Architect.
3. Window heads and sills at second and third floor are currently formed stucco – verify original detailing with Architect through selective demolition and investigations.

Masonry

4. Repoint all broken and deteriorated mortar joints with new mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched.
5. Remove existing brick sills, clean bricks, install new sill flashing and relay with proper pitch to exterior. Refer to detail herein. Mortar to match original in color, composition, texture, and tooling. Take particular note of mortar aggregate which must be matched. Brick salvaged from the south elevation of the garage may be used in these repairs.
6. Repair and repoint brickwork at chimneys, reset chimney pots.
7. Clean all masonry to remove algae staining using gentlest means possible. Pressurized water not to exceed 400psi. Cleaning program including all products and processes to be approved by Architect and mocked-up prior to use.

Wood

8. Replace rotted wood at eaves and rake boards, finials, moldings, door and window trim with new to match original detailing. Wood species to be approved by Architect through submittal samples. Acceptable wood species include selected types of mahogany, smooth-finished cedar, or other rot-, warp-, and check-resistant wood. Paint finish to match historic or approved equal.
9. Restore exterior doors by removing finishes and using epoxy consolidation repair techniques in lieu of replacement to the maximum extent possible. Review condition of all doors and verify Restoration Program with Architect prior to start of work. Allow Architect access for evaluation of original finishes. Replace all door thresholds with solid oak tapered thresholds.

Hardware

10. Restore all original door hardware, or replace in kind if damage is beyond repair. Provide and install new deadbolts at exterior doors and as scheduled.
11. Replace broken hardware at casement windows to match original character. Weatherstrip all operable windows.

Steel Casement Windows

12. Remove, restore, and reinstall steel casement windows. Replace irreparable stock to match original character. Match original exterior finish: Black paint.
13. New steel casement window at attic level to match original character, refer to window

Roof

14. 10. Remove existing composition shingle roof and flashings and install new felt, flashings and architectural composition shingle roof. Product:
15. Replace all roof vents and appurtenances at roof, and paint finish to match roof. Locate all on the south (rear) face of the building.
16. Provide and install new skylights as indicated in Roof Plan.

Mechanical

17. New Mitsubishi mini-split ducted systems throughout.

Electrical

18. New electrical service to be underground to meter and disconnect where indicated on plan.
19. Restore all historic exterior light fixtures including new wiring and restored finishes.

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REGISTERED ARCHITECT
MARIE O'CONNELL
15432
STATE OF TEXAS
EXP. 10-31-23

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE

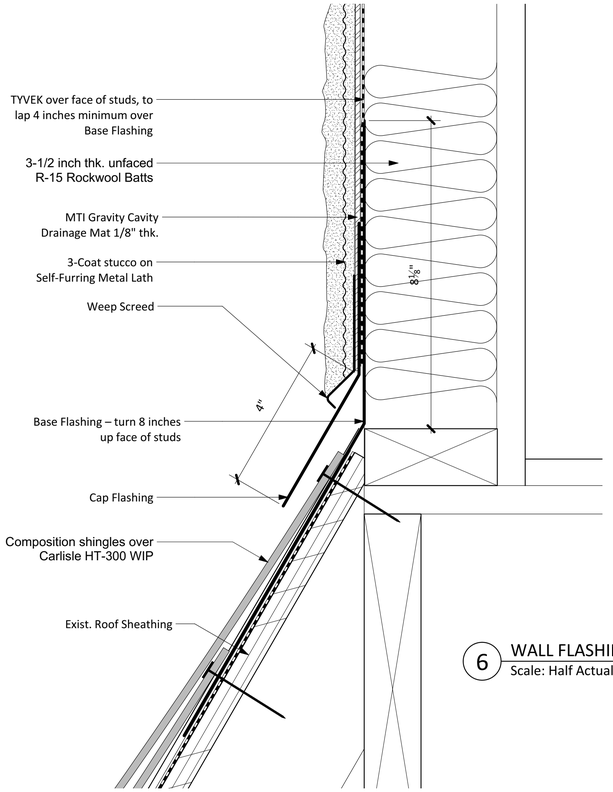
PRINT: 5/6/22

SHEET NAME

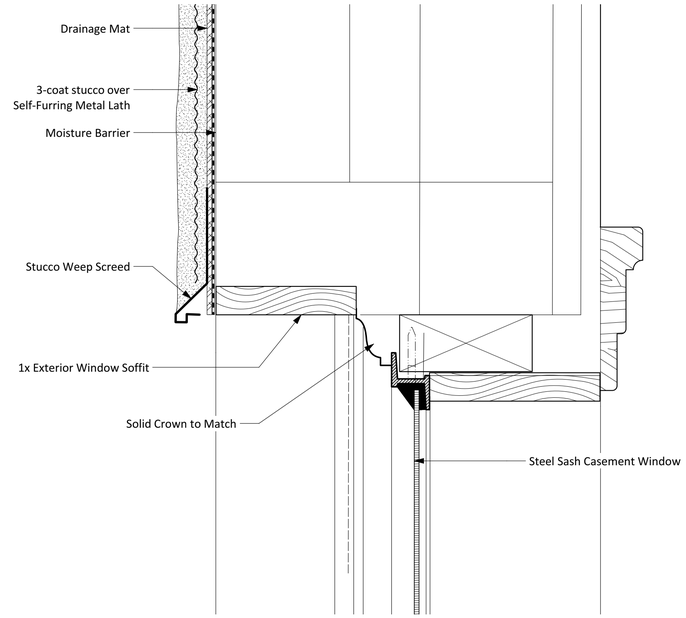
WEST ELEVATION

SHEET NUMBER

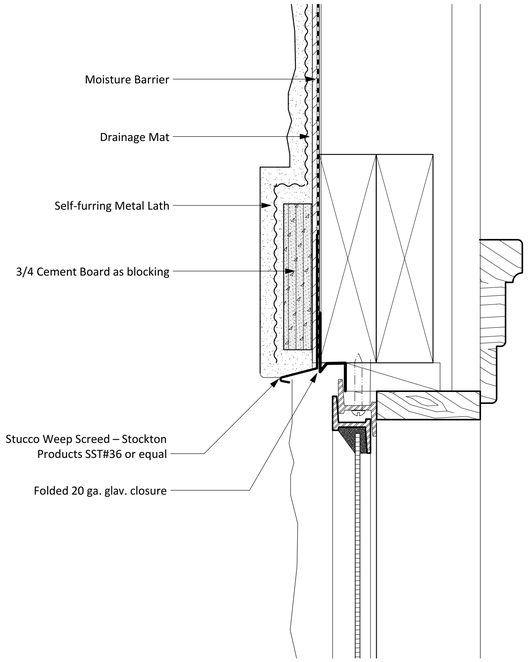
A-214



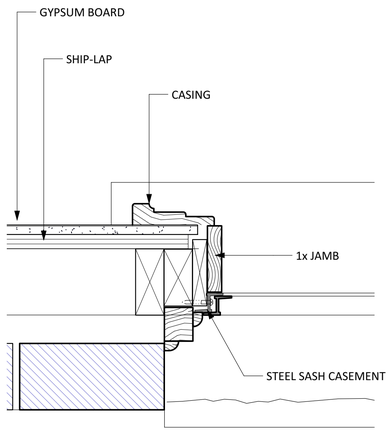
6 WALL FLASHING DETAIL
Scale: Half Actual Size



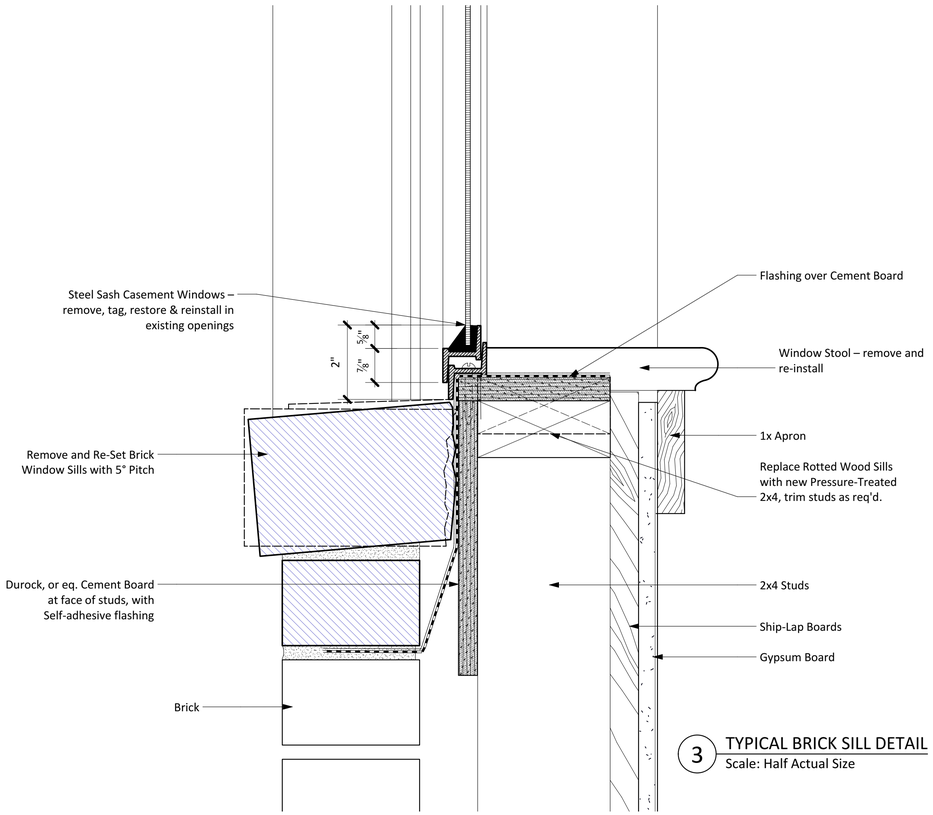
4 WINDOW HEAD DETAIL
Scale: Half Actual Size



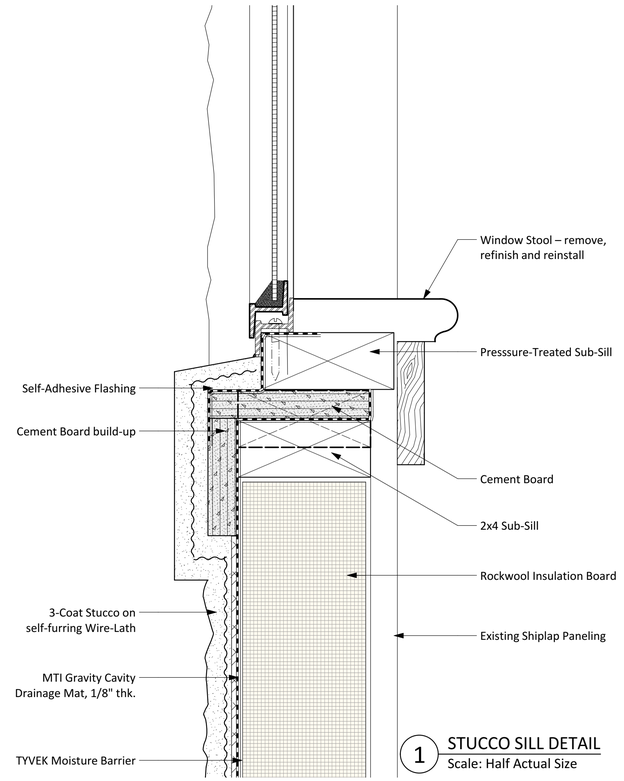
2 STUCCO WINDOW HEAD
Scale: Half Actual Size



5 TYPICAL WINDOW JAMB
Scale: 3" = 1'-0"



3 TYPICAL BRICK SILL DETAIL
Scale: Half Actual Size



1 STUCCO SILL DETAIL
Scale: Half Actual Size

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REGISTERED ARCHITECT
MARIE O'CONNELL
15432
STATE OF TEXAS
EXP. 08-31-22

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE
PRINT: 5/6/22

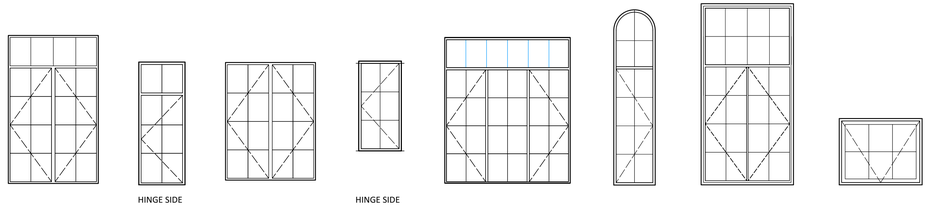
SHEET NAME
DETAILS

SHEET NUMBER
A-501

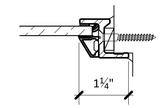
WINDOW SCHEDULE

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS

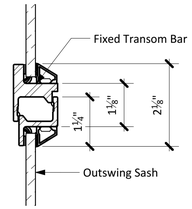
Mark	Room	Type	Dimensions			Material	Lites	Notes
FIRST FLOOR			Width	Height	Head Ht			
1	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
2	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
3	Living Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
4	Living Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
5	Half Bath #1	B	1'-7"±	4'-1"±	6'-6"±	Steel	2x4 lights	
6	Entry		2'2" DIA			Wood		
7	Closet	B	1'-7"±	4'-1"±	6'-6"±	Steel	2x4 lights	
8	Guest Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	Interior wooden screens
9	Guest Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	Interior wooden screens
10	Guest Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	Interior wooden screens
11	Guest Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	Interior wooden screens
12	Bath Guest Rm. #1	B	3'-1"±	4'-1"±	8'-0"	Steel	2x4 lights	
13	Bath Guest Rm. #1	C	1'-7"±	4'-1"±	8'-0"	Steel	4x4 lights	Missing Center Bar
14	Half Bath #2	C	1'-7"±	4'-1"±	8'-0"	Steel	4x4 lights	
15	Dining Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
16	Dining Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
17	Dining Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
18	Dining Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
19	Living Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	Remove and Salvage for Parts
20	Living Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	Remove and Salvage for Parts
21	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
21	Sun Room	A	3'-1"±	4'-1"±	8'-0"	Steel	4x4 lights	
22	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
23	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
24	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
25	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
26	Sun Room	A	3'-1"±	5'-1"±	7'-4 ½"	Steel	4x5 lights	
SECOND FLOOR								
27	Sitting Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	Interior wooden screens
28	Sitting Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	Interior wooden screens
29	Bedroom 4	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	Interior wooden screens
30	Bedroom 4	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	Interior wooden screens
31	Bedroom 2	E	4'-7"±	5'-1"±	7'-2"	Steel	6x5 lights	Sprung L/H Sash
32	Bedroom 2	E	4'-7"±	5'-1"±	7'-2"	Steel	6x5 lights	Missing right-hand sash
33	Bath 1	D	1'-7"±	3'-1"±	7'-7"	Steel	2x3 lights	
34	Bath 1	B	1'-7"±	4'-1"±	7'-7"	Steel	2x4 lights	Interior wooden screens
35	Bath 3	E	4'-7"±	5'-1"±	7'-2"	Steel	6x5 lights	Interior wooden screens, mismatched handle
36	Bedroom 3	E	4'-7"±	5'-1"±	7'-2"	Steel	6x5 lights	
37	Bedroom 3	E	4'-7"±	5'-1"±	7'-2"	Steel	6x5 lights	
38	Bedroom 3	B sim	3'-1"±	4'-1"±	7'-6"	Steel	4x4 lights	No transom
39	Media Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	Replace missing center bar to match original
40	Media Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	
41	Sitting Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	
42	Sitting Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	
43	Sitting Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	
44	Sitting Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	
45	Sitting Room	A	3'-1"±	5'-1"±	7'-2"	Steel	4x5 lights	
THIRD FLOOR								
46	Attic - North Side	F	1'-7"±	6'-2"	9'-0"	Steel	2x6 light-arch	
47	Attic	G	3'-1"±	6'-3"±	9'-2"	Steel	4x6 lights	New window sim to type A, but with add'l transom row
48	Attic - East Side	F Sim	1'-7"±	6'-2"	9'-0"	Steel	2x5 light-arch	3-lite tall operable sash
49	Attic	Velux venting skylight or approved equal						
BASEMENT								
50	Basement	H	2'-9"	2'-2"		Steel	3x2 lights	New window to replace missing original
51	Basement	H	2'-9"	2'-2"		Steel	3x2 lights	New window to replace missing original



3 WINDOW TYPES
Scale: 3/8" = 1'-0"



A Fixed Sash Head & Jamb
Scale: Half Actual Size



B Fixed Transom over Csmt.
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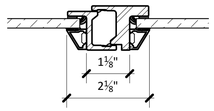

C French Csmt. Meeting Stile
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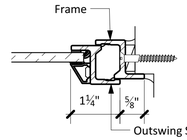
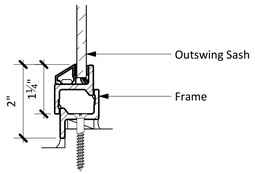


D Csmt. Jamb Detail
Scale: Half Actual Size

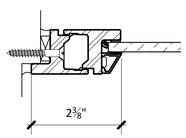


E Csmt. Sill Detail
Scale: Half Actual Size

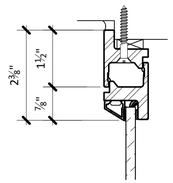
Basis of Window Design: Torrance Steel Window Co, 2600 Series

All Dimensions on details shown at the exterior of window

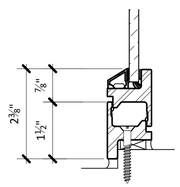
Installation shall conform to details on Sheet A-501



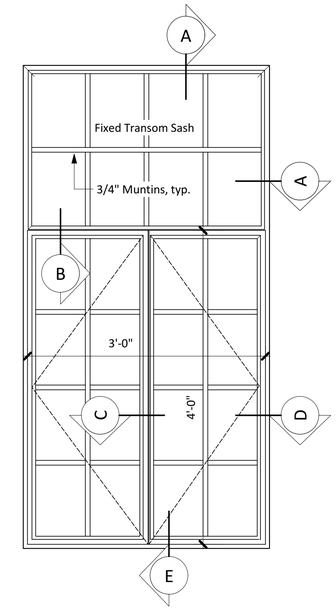
G Hopper Jamb Detail
Scale: Half Actual Size



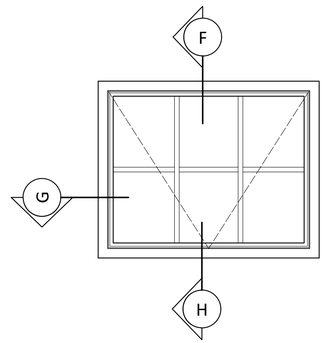
F Hopper Head Detail
Scale: Half Actual Size



H Hopper Sill Detail
Scale: Half Actual Size



1 WINDOW 47 (New)
Scale: 1" = 1'-0"



2 NEW BSMT. WINDOWS
Scale: 1" = 1'-0"

O'Connell ARCHITECTURE
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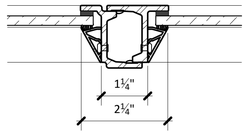
MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE
PRINT: 5/6/22

SHEET NAME
DOORS & WINDOWS

SHEET NUMBER
A-610



D Meeting Stile Detail
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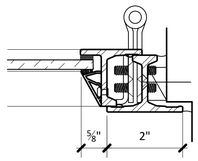

C Jamb Detail
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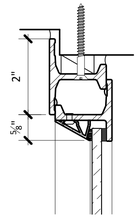
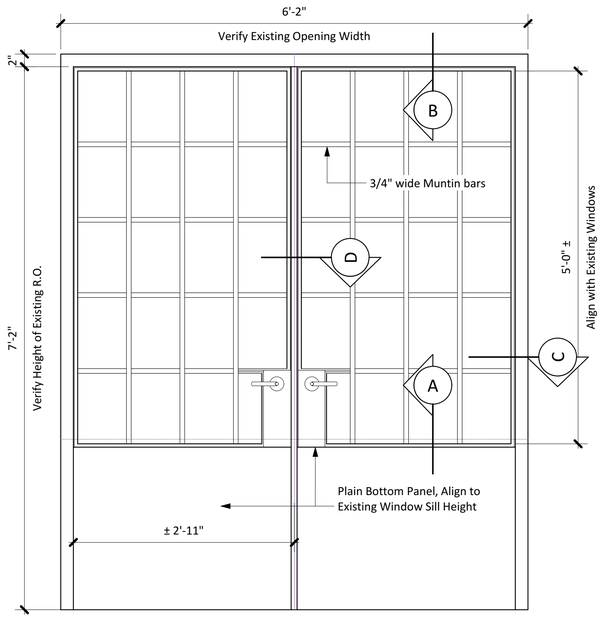
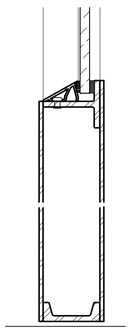


B Door Head Detail
Scale: Half Actual Size





A Door Bottom Rail
Scale: Half Actual Size

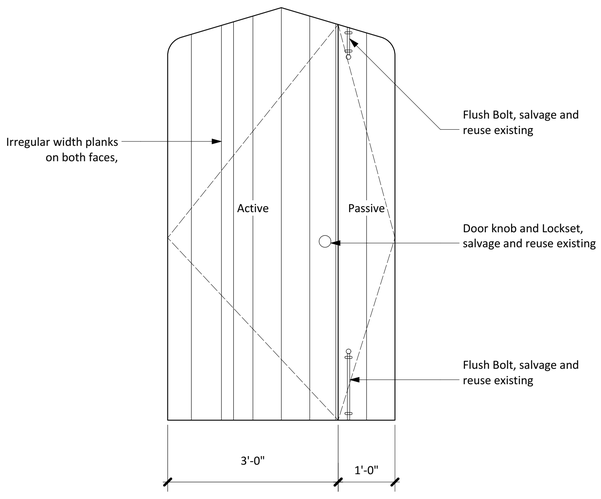
5 NEW FRENCH DOOR #122
Scale: 1" = 1'-0"

Basis of design: Torrance Steel Window
Co. 1900 Series French Door

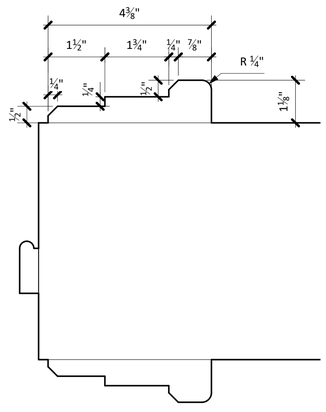
DOOR SCHEDULE

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS

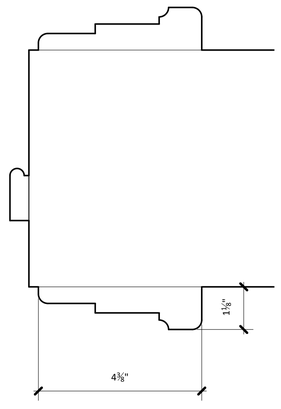
Mark	Room	Type	Dimensions		Material	Lites	Notes
			Width	Height			
101	Front Door	F	3'-4"	7'-0"	Wood		Refinish historic Front Door
102	Entry Closet	A	2'-0"	6'-8"	Wood		Sand & refinish
103	Entry Half Bath	A	2'-0"	6'-8"	Wood		Sand & refinish
104	Bed Room #1	C	(2x) 2'-0"		Wood		planked @ inner, consult with architect
105	Closet- Bed Room #1	A	2'-8"	6'-8"	Wood		Reverse Swing, sand & refinish
106	Bath- Bed Room #1	A	3'-0"	6'-8"	Wood		New Door
107	Living Room	C	(2x) 2'-0"	7'-2"	Wood		planked @ inner, sand & refinish
108	Living Room	D	(2x) 2'-8"	7'-2"	Wood	15 each	Pair of historic French doors, sand & refinish
109	Living Room	D	(2x) 2'-8"	7'-2"	Wood	15 each	Pair of historic French doors, sand & refinish
110	Sun Room	E	2'-10"	7'-9"	Wood	8 lights	Refinish door and hardware
111	Dining Room	B	2'-8"	7'-2"	-		Salvage
112	Opening-close up		2'-8"	6'-8"	-		no door
113	Closet	A	2'-8"	6'-8"	-		Salvage for reuse
114	Kitchen	A	2'-8"	6'-8"	-		Salvage for reuse
115	Back Stair	A	2'-7"	6'-7"	Wood		Salvage for reuse
116	Rear Door from kitchen	G	2'-10"	6'-8"	Wood		Historic Door in Garage fits in existing frame
117	Kitchen back stair	A	2'-6"	6'-8"	Wood		New Door
118	Cellar Stair	A	2'-0"	6'-8"	Wood		New Door
119	Kitchen Half Bath	A	2'-6"	6'-8"	Wood		New Door
120	Dining Room	cased opn'g	2'-8"	6'-8"	-		
121	Dining Room	cased opn'g	5'-4"	7'-2"	-		
122	Living Room	NEW			Steel		New French doors
201	Bed Room #2	A	2'-8"	6'-7"	Wood		Reverse swing, sand & refinish
202	Bath- Bed Room #2	A	2'-8"	6'-8"	Wood		salvage door for use at #215
203	Closet- Bed Room #2	A	2'-0"	6'-7 ½"	Wood		Salvage door to owner
204	Hall to Bath	A	2'-8"	6'-7"	Wood		salvage door for use at #222
205	Closet	A	2'-0"	6'-7 ½"	Wood		salvage door for use at #216
206	Bedroom #3	A	2'-8"	6'-7 ½"	Wood		Reverse swing, sand & refinish
207	Bathroom #3	A	2'-8"	6'-7"	Wood		salvage door for use at #219
208	Closet- Bedroom #3	A	2'-8"	6'-7"	Wood		Salvage door to owner
209	Closet	A	2'-0"		Wood		Salvage door to owner
210	Bed Room #4	A	2'-8"	6'-7 ½"	Wood		Sand & refinish
211	Bath-Bed Room #4	A	2'-8"		Wood		Salvage door for use at #217
212	Sitting Room	A	2'-8"		Wood		Reverse swing, sand & refinish
213	Media Room	A	2'-8"		Wood		Sand & refinish
214	Sitting Room	A	2'-8"		Wood		Sand & refinish
215	Bath- Bed Room #2	A	2'-8"	6'-8"	Wood		Relocate door & frame 202, sand & refinish
216	Closet- Bed Room #2	A	2'-0"	6'-8"	Wood		Relocate door & frame 205, sand & refinish
217	Laundry Closet	A	2'-8"	6'-8"	Wood		Relocate door & frame 211, sand & refinish
218	Closet Bed Room #3	A	(2x) 1'-8"	6'-8"	Wood		New Door
219	Bath Bed Room #3	A	2'-8"	6'-8"	Wood		Relocate door & frame 207, sand & refinish
220	Closet Bed Room #4	A	2'-6"	6'-8"	Wood		New Door
221	Bath Bed Room #4	A	2'-6"	6'-8"	Wood		New Door
222	Attic Stair	A	2'-8"	6'-8"	Wood		Relocate door & frame 204, sand & refinish
223	Closet Media Room	A	2'-6"	6'-8"	Wood		New Door
301	Attic	A	2'-6"	6'-8"	Wood		New Door
302	Bath	A	2'-8"	6'-8"	Wood		New Sliding Barn Door
303	Linen Closet	A	2'-0"	6'-8"	Wood		New Door



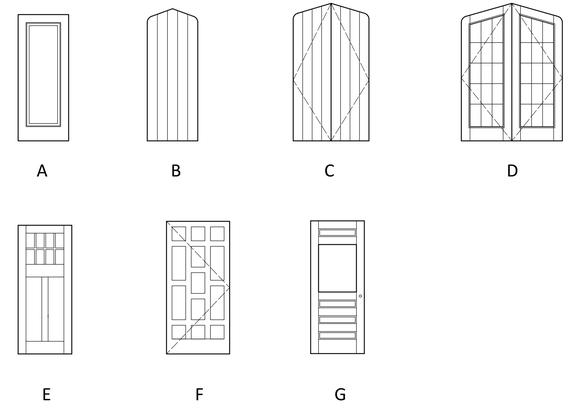
4 NEW LEAVES FOR DOOR 104
Scale: 3/4" = 1'-0"



3 CASING PROFILE FOR NEW DOORS
Scale: Half Actual Size



2 TYPICAL EXISTING DOOR CASING
Scale: Half Actual Size



1 DOOR TYPES
Scale: 1/4" = 1'-0"

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MARIE O'CONNELL
15432
STATE OF TEXAS

MILLER-LONG HOUSE
RESTORATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE

PRINT: 5/6/22

SHEET NAME

DOORS

SHEET NUMBER

A-620

SYMBOL LEGEND

FFE 0" — FFE OR GRADE ELEVATION AS NOTED

112 — DOOR NUMBER

116 — WINDOW NUMBER

A — WALL TYPE (PLAN VIEW)

NEW WALL (PLAN VIEW)

℄ — CENTERLINE

EQUAL DIMENSIONS IN LINE

1 / A-211 — ELEVATION (LARGE SCALE)

N W E S / 1/A-401 — ELEVATION (SMALL SCALE)

1 / A-211 — SECTION DETAIL

1 / A-211 — PLAN/ ELEVATION DETAIL

MATERIALS LEGEND

- BRICK MASONRY
- CONCRETE (Detail Scale)
- EARTH
- STEEL (Detail Scale)
- FRAMING WOOD (Detail Scale)
- BLOCKING - NON-CONTINUOUS (Detail Scale)
- FINISHED WOOD
- PLYWOOD
- BATT INSULATION
- RIGID INSULATION
- PLASTER OR CONCRETE AS NOTED (Detail Scale)
- NEW PARTITION WALL (see plan legend)

GENERAL NOTES

1. All work shall be performed in a professional matter, and in accordance with the International Residential Code, 2012, related trade codes, and applicable local codes, ordinances and laws.
2. Base drawings used in these documents were prepared by others, and may contain dimensional discrepancies. Contractor shall verity critical dimensions before beginning work. Do not scale drawings. Ask Architect for needed dimensions if not provided.
3. Historic designation of this building requires the Contractor and his subcontractors to exercise special caution in executing the work to prevent unnecessary damage to historic features, conditions, or materials. Contractor shall inform all subcontractors and workmen of these requirements.
4. The Contractor shall thoroughly example and familiarize himself with the requirements of the Contract Documents. Any conflicts shall be brought to the Architect's attention for resolution prior to the work being installed.
5. Perform all work in a safe and conscientious manner to prevent injuries and damage to the building and workers. Contractor shall maintain OSHA Standards for job safety and worker protection, and comply with applicable state and local government requirements.
6. Building permitting will be coordinated by the Owner and Architect prior to construction. Contractor is responsible for all trade permits, inspections, and compliance requirements.
7. Maintain the building and site in a clean and orderly condition.
8. The Contractor shall visit the site of the proposed work and full acquaint himself with the existing conditions regarding site access, staging, parking limitations, security, and other aspects of constructibility.
9. The Contractor shall coordinate work between all trades in this contract to ensure a smooth and timely workflow.
10. All work to be warranted for one year from the date of Substantial Completion unless otherwise noted.

ABBREVIATIONS

&	And	CONC	Concrete	FAR	Floor-Area Ratio	I.E.	Id Est (That Is)	MTL	Metal	R	Radius/Refrigerator				
#	Pound	CONT	Continuous	FF(E)	Finished Floor (Elevation)	IG	Insulated Glass	N	North	RCP	Reflected Ceiling Plan	STL	Steel		
@	At	COORD	Coordinate, Coordination	FIN	Finish(ed)	IN	Inches	NA	Not Applicable	RE/REF	Reference	STRUCT	Structural		
A/C	Air Conditioning	CRZ	Critical Root Zone	FIXT	Fixture	INAC	Inaccessible	NIC	Not in Contract	REINF	Reinforced	T&G	Tongue & Groove		
ACOUST	Acoustical	CVR	Cover	FLR	Floor	INCL	Including	NO	Number	REQ'D	Required	TEMP	Temporary, Tempered		
ADD'L	Additional	CW	Cold Water	FT	Feet, Foot	INFO	Information	NSF	Net Square Feet	REQMT'S	Requirements	THK	Thick		
ADJ	Adjacent	D	Deep, Depth, Dryer	FTG	Footing	INSUL	Insulation	NTS	Not to Scale	REV	Revision	TOT	Total		
AFF	Above Finish Floor	DBL	Double	FV	Field Verify	INT	Interior	OC	On Center	RFG	Roofing	TOW	Top of Wall		
AHJ	Authority Having Jurisdiction	DEMO	Demolish, Demolition	FV HT	Field Verify Height	JNT	Joint	OCEW	On Center Each Way	RM	Room	TRTD	Treated		
AHU	Air Handling Unit	D-H	Double Hung	GA	Gauge	JST	Joist	OP'G	Opening	RO	Rough Opening	TYP	Typical		
APPROX	Approximately	DIA	Diameter	GALV	Galvanized	L	Length	OVHD	Overhead	ROW	Right of Way	UC	Under Counter		
ARCH	Architect	DIAG	Diagonal, Diagonally	GFCI	Ground Fault Circuit Interrupt	LB(S)	Pound(s)	OZ	Ounce	S	South	UNFIN	Unfinished		
ASTM	American Society for Testing & Materials	DN	Down	GL	Glass	LF	Linear Foot	P&I	Provide & Install	SALV	Salvage	UNO	Unless Noted Otherwise		
		DS	Downspout	GPM	Gallons Per Minute	LP	Light Pole or Lightning Protection	PC	Photo Cell	SAU	Self-Adhering Underlayment	VERT	Vertical		
BRD	Board	DW	Dishwasher	GR	Grade	LT	Light	PG	Page	SCH'D	Scheduled	W	Wide, Width, West, Washing Machine		
BLDG	Building	DWG	Drawing	GSF	Gross Square Feet	LVR	Louver	PL	Plate or Platteline	SF	Square Feet				
BDRM	Bedroom	DWR	Drawer	GYP BD	Gypsum Wall Board	MFGR	Manufacturer	PR	Pair	SHT	Sheet	W/	With		
BTWN	Between	E	East	HB	Hose Bib	MAX	Maximum	PSF	Pounds Per Square Foot	SIM	Similar	W/O	Without		
CAB	Cabinet	EA	Each	HDR	Header	MECH	Mechanical	PSI	Pounds Per Square Inch	SHTG	Sheathing	W/D	Stackable Washer Dryer		
CL	Centerline	EJ	Expansion Joint	HDWR	Hardware	M/E	Mechanical/Electrical	PT	Pressure Treated	SMACNA	Sheet Metal & Air Conditioning	WD	Wood		
CLG	Ceiling	EM	Electric Meter	HORIZ	Horizontal	MEP	Mechanical, Electrical, & Plumbing	PTD	Painted		National Association, Inc.	WDW	Window		
CLO	Closet	EQ	Equal Spacing, Equivalent	HR	Hour			PVC	Polyvinyl Chloride	SPECS	Specifications	WH	Water Heater		
CLR	Clear	EQUIP	Equipment	HT	Height	MIN	Minimum	PVMT	Pavement	SPEC'D	Specified	WM	Water Meter		
COL	Column	EXST'G	Existing	HVAC	Heat/Ventilation/ Air Conditioning	MISC	Miscellaneous	PWD	Plywood	SQ	Square	WP	Waterproofing		
COMP	Composite	EXT	Exterior			MTD	Mounted	QTR	Quarter	SS	Stainless Steel				

DESIGN TEAM

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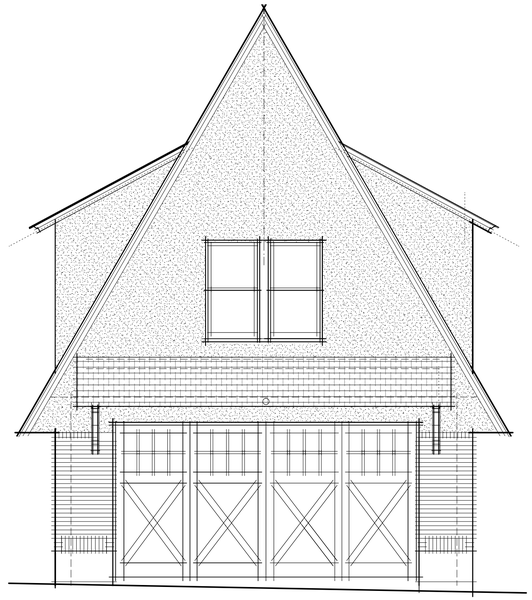


NORTH ELEVATION - FACING PARK BLVD

HISTORY

The Miller-Long House and Garage located at the corner of Park Blvd and Red River were constructed in the Tudor Revival style for Tom Miller and his wife Nellie in 1929. Tom Miller was an influential community leader who served as Mayor from 1933-1949 and 1955-1961, 22 years in all. The Tom Miller Dam is named in his honor.

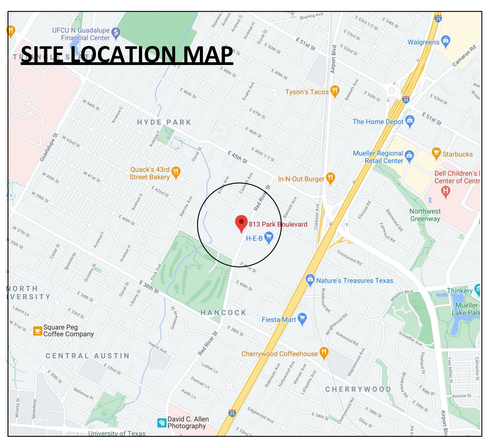
Emma and Stuart Long purchased the property in 1950. Emma Long was the first female council member in Austin and later served as Mayor Pro Tem, another first for a woman. Long was a strong advocate for desegregation of public buildings, fair housing, and lower utility rates, as well as fair pay for firefighters, and police. Emma Long Park (formerly "City Park") is named in her honor.

Tom Miller and Emma Long are arguably two of Austin's most influential, effective, and dynamic leaders at a pivotal time in the city's history and development. A classic example of the Tudor Revival style of the early 20th century, the house has many distinctive features and finishes and remains closely associated with Miller and Long. Applications to the National Register of Historic Places and Austin Landmark designation are in process.

PROJECT INFORMATION

LEGAL DESCRIPTION:	LOT 33 AND 34 BLK 23 OLT 14 DIV C PERRY ESTATE
ZONING:	SF-3
APPLICABLE CODE:	2021 IRC
OCCUPANCY:	Secondary Dwelling
YEAR CONSTRUCTED:	1929
HISTORIC:	Officially determined eligible for individual listing on the National Register of Historic Places

SITE LOCATION MAP



AREA CALCULATIONS

811 Park - Lot 33		8662
813 Park - Lot 34		14427
	Total Lot Area per UDA	23089
Gross Floor Area		
Main House - Existing to Remain	First Floor	1637
	Second Floor	1637
	Attic over 6 ft. hgt.	709
	Area - House	**3983**
Secondary Dwelling (This Permit)	Ground Floor (conversion from garage)	575
	Second Floor	575
	Area - ADU	**1150**
Floor/Area Ratio		**22.2%**
Impervious Cover		
House - Existing (NIC)		1637
Stair and Site Wall - Existing		34
Garage/Apartment - Existing		575
Concrete Driveway		1554
Easement Access Drive		1289
Concrete Walks		350
Transformer Pads (NIC)		145
New stone wall		
Terrace, ramp, and stairs		
New path to Perry gate		
Brick Walk - New		117
AC Pad - New		4
Total Impervious Cover		5705
% Impervious Cover		**24.7%**

SHEET LIST

Architectural Drawings

A-000	Cover Sheet
A-900	Site Plan
A-901	Demoltion Plans & Floor Plans
A-902	North and West Elevations
A-903	South and East Elevations
A-904	Sections & Wall Details
A-905	Details
A-906	Garage Door Details
A-907	Schedules & Lighting Plans

Structural Drawings

S-801	Structural Notes
S-802	Structural Notes
S-803	Structural Notes
S-901	Garage Foundation and Floor Framing Plan
S-902	Ceiling and Roof Framing Plan
S-1001	Typical Details
S-1101	Foundation Details
S-1201	Framing Details
S-1202	Framing Details

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MARIE O'CONNELL — REGISTERED ARCHITECT — 15432 — STATE OF TEXAS — EXP. 08/31/22

MILLER-LONG HOUSE GARAGE APARTMENT RENOVATION

813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE

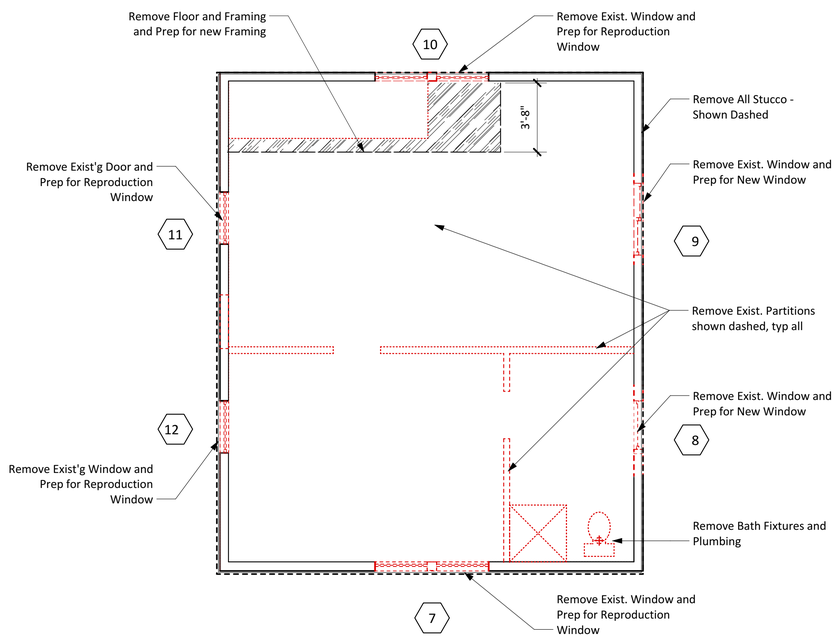
PRINT: 5/6/22

SHEET NAME

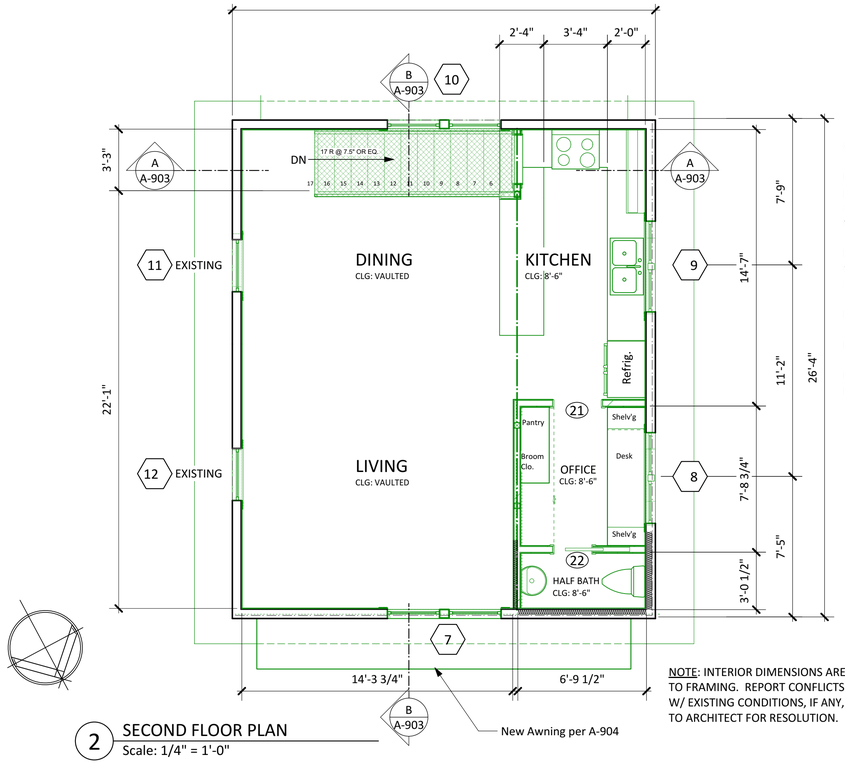
COVER
SITE PLAN
NOTES

SHEET NUMBER

A-000



4 SECOND FLOOR - Demolition Plan
Scale: 1/4" = 1'-0"



GENERAL NOTES

Provide and Install all new plumbing, electrical, mechanical, and fire detection systems throughout.

Replace windows as scheduled with new to match original character.

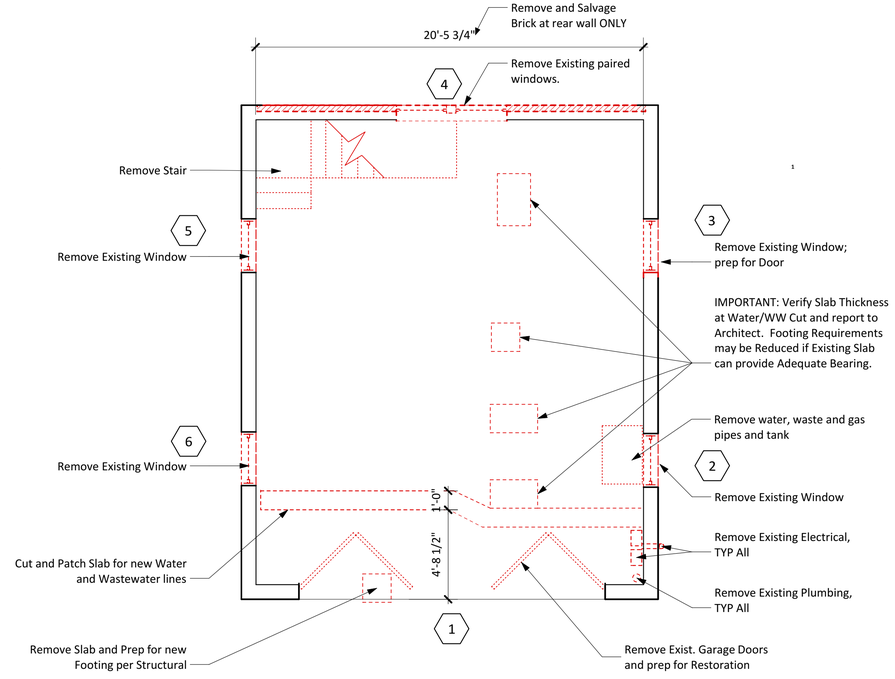
Finishes per Finish Schedule

Doors per Door Schedule.

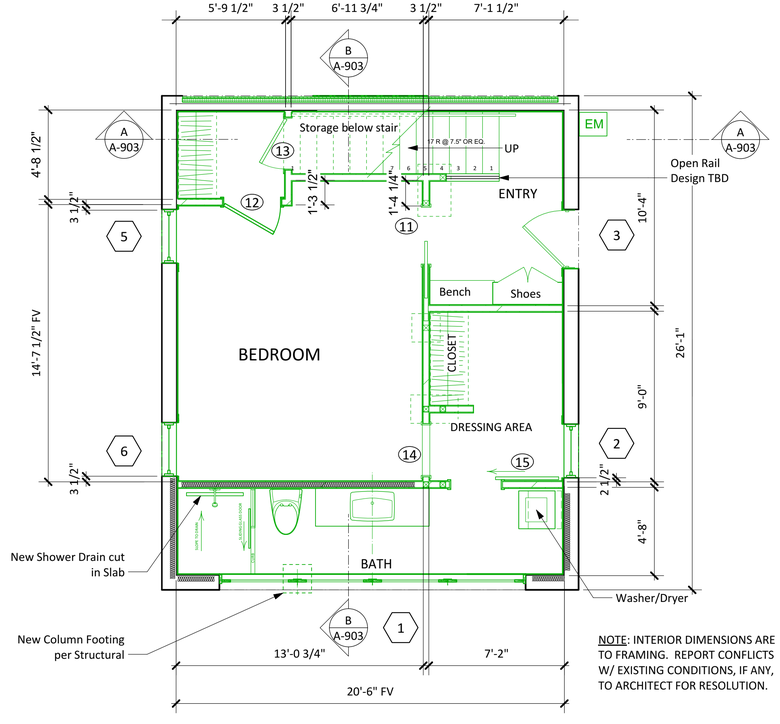
Refer to A-906 for Electrical and HVAC Plans

NOTE: INTERIOR DIMENSIONS ARE TO FRAMING. REPORT CONFLICTS W/ EXISTING CONDITIONS, IF ANY, TO ARCHITECT FOR RESOLUTION.

2 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



3 GROUND FLOOR - Demolition & Footing Work
Scale: 1/4" = 1'-0"



NOTE: INTERIOR DIMENSIONS ARE TO FRAMING. REPORT CONFLICTS W/ EXISTING CONDITIONS, IF ANY, TO ARCHITECT FOR RESOLUTION.

1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

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REGISTERED ARCHITECT MARIE O'CONNELL 15432 STATE OF TEXAS

EXP 10.31.21

MILLER-LONG HOUSE
GARAGE APARTMENT RENOVATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

ISSUE DATE
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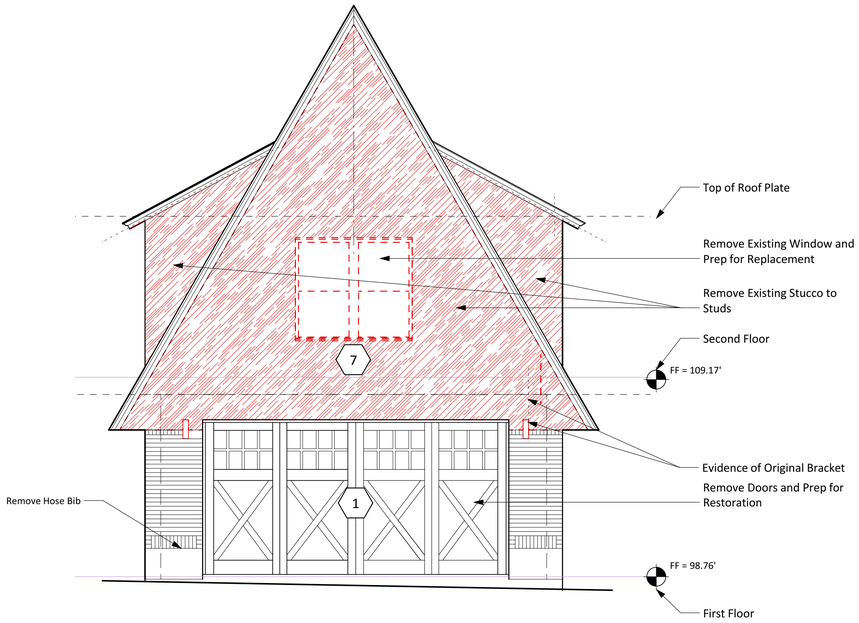
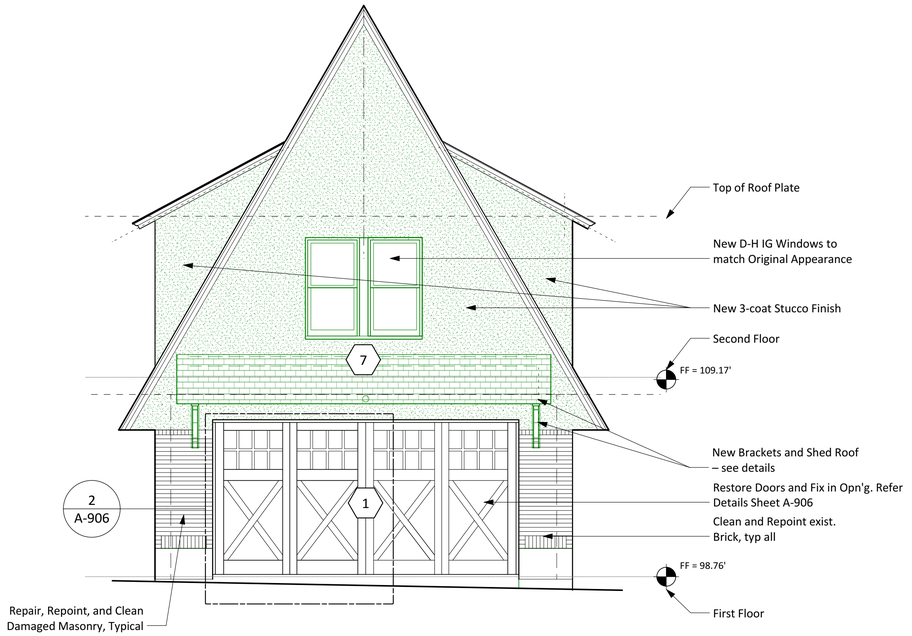
SHEET NAME
DEMO AND NEW PLANS

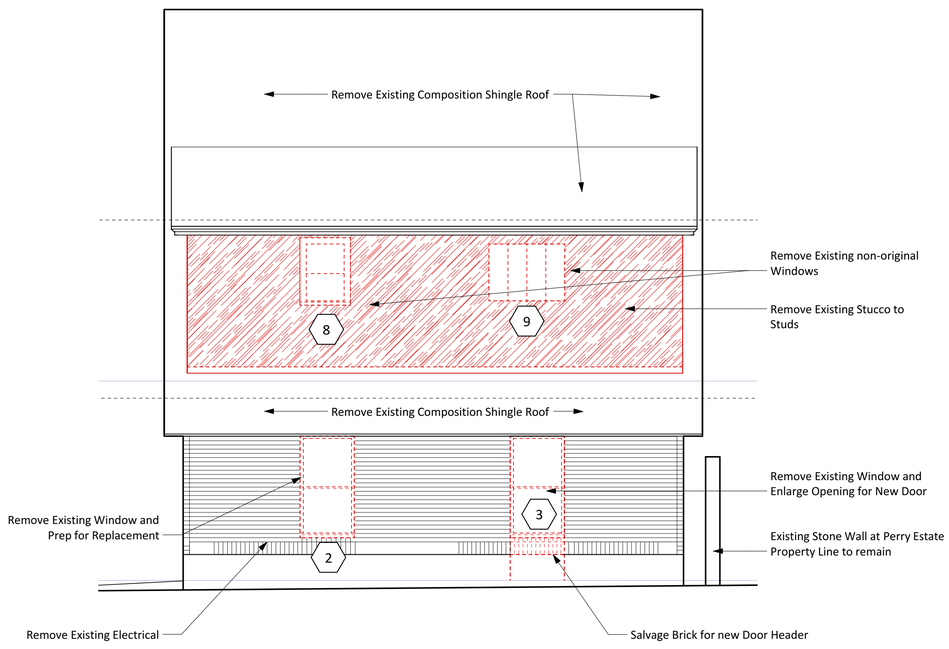
SHEET NUMBER
A-901



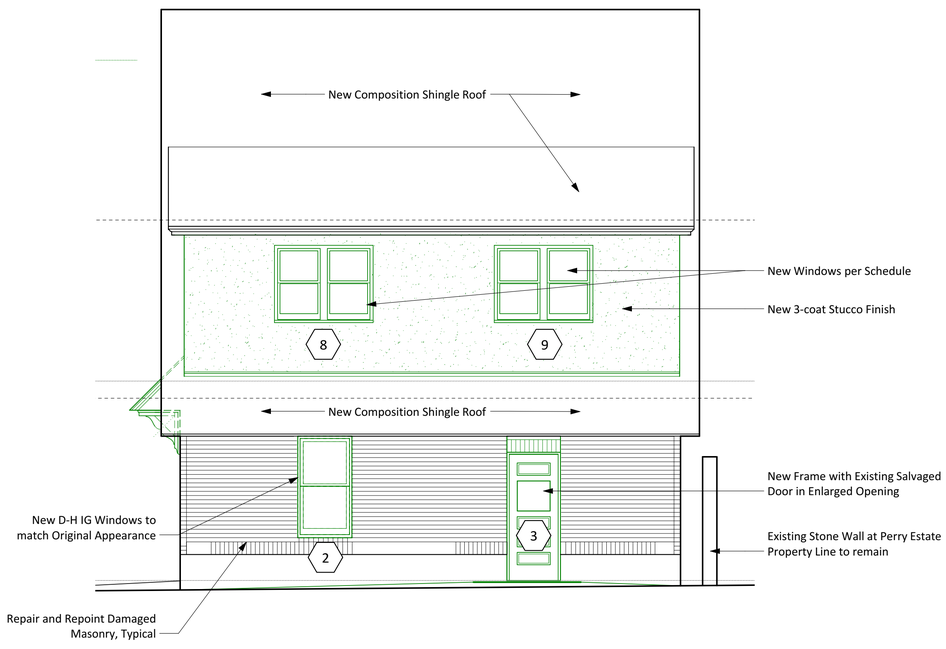
4 NORTH ELEVATION - Demolition
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



3 WEST ELEVATION - Demolition
Scale: 1/4" = 1'-0"



1 WEST ELEVATION
Scale: 1/4" = 1'-0"

0 5 10 15 FT

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STATE OF TEXAS

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GARAGE APARTMENT RENOVATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

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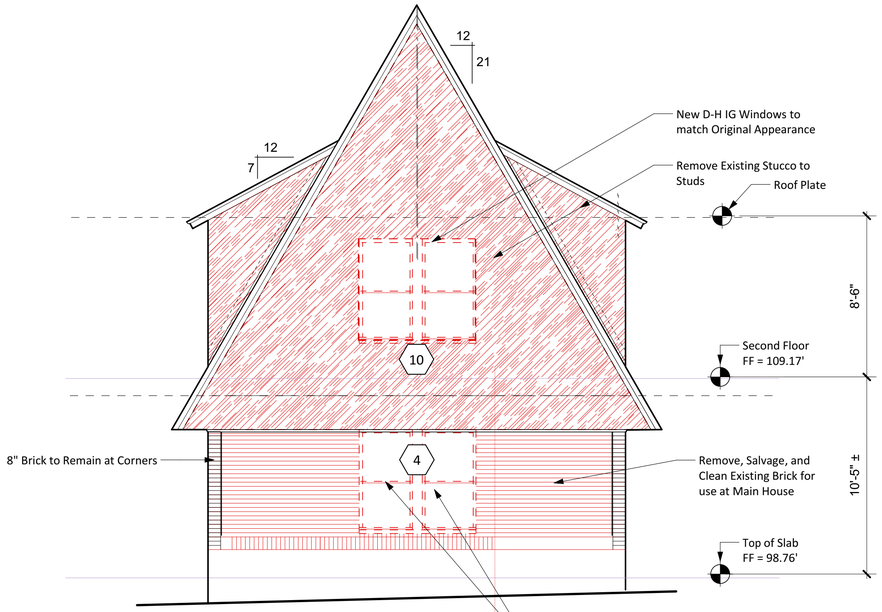
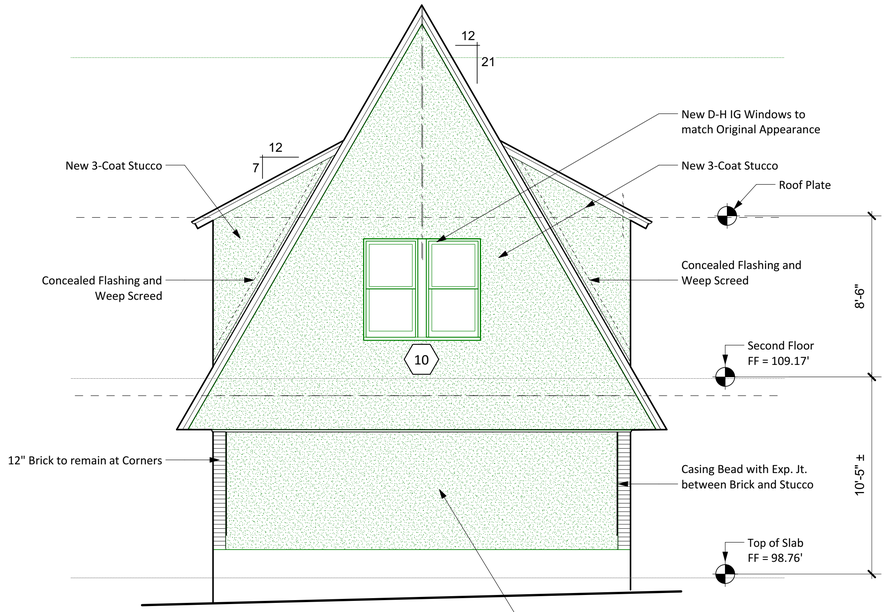
PRINT: 5/6/22

SHEET NAME
North and West ELEVATIONS

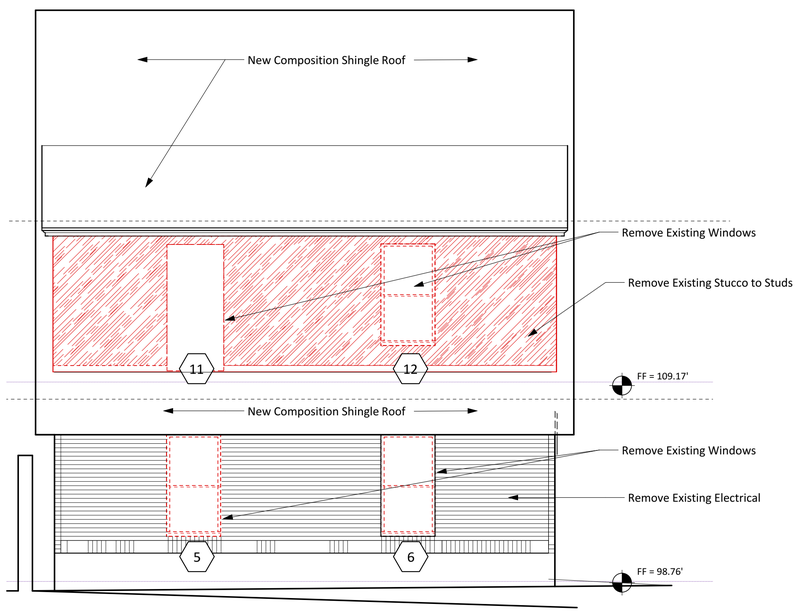
SHEET NUMBER
A-902



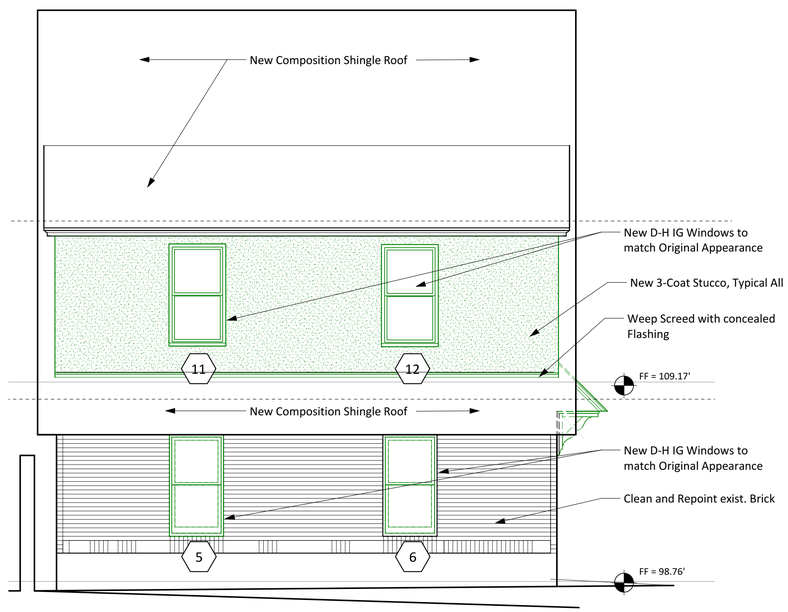
4 SOUTH ELEVATION - Demolition
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



3 EAST ELEVATION - Demolition
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
Scale: 1/4" = 1'-0"

0 5 10 15 FT

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512|751-1374

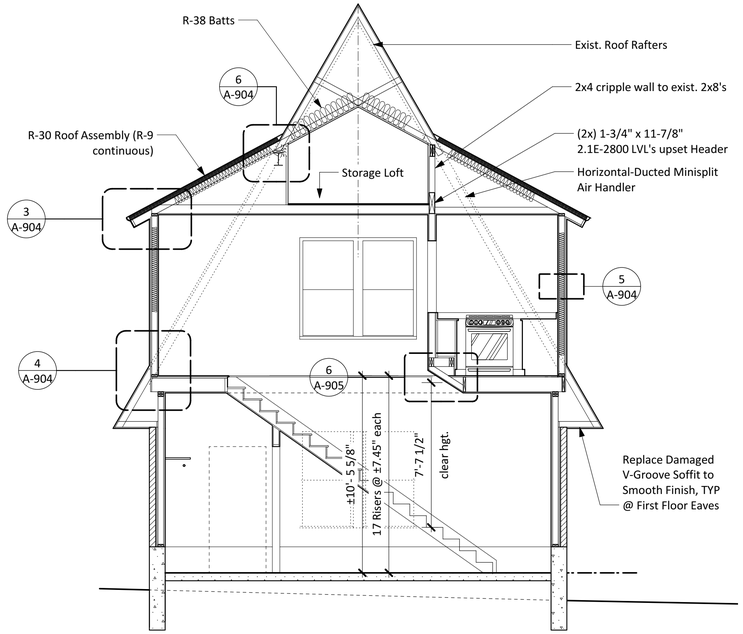
REGISTERED ARCHITECT MARIE O'CONNELL BEARDEN 15432 STATE OF TEXAS
EXP 10.31.21

MILLER-LONG HOUSE
GARAGE APARTMENT RENOVATION
813 PARK BOULEVARD, AUSTIN, TEXAS 78751

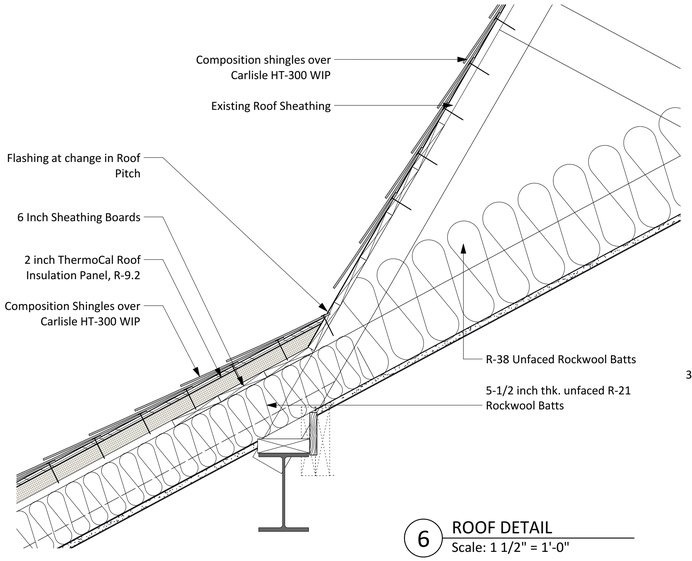
ISSUE DATE
PRINT: 5/6/22

SHEET NAME
South and East ELEVATIONS

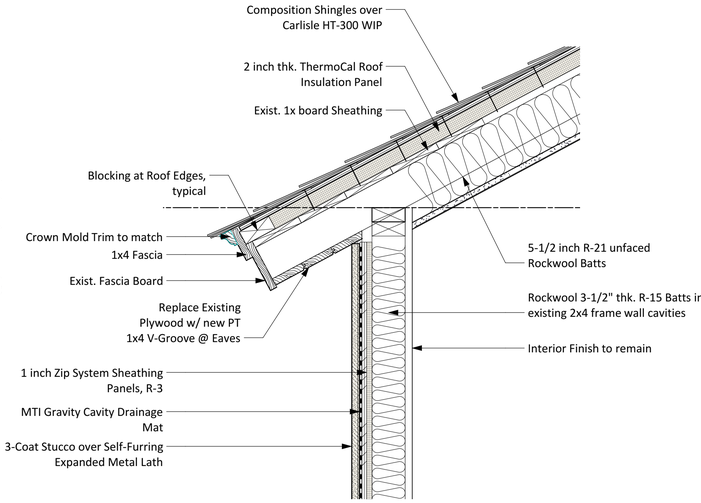
SHEET NUMBER
A-903



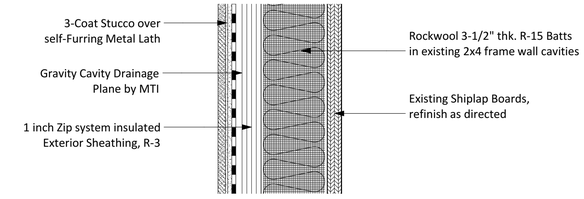
A SECTION A-A at STAIR
Scale: 1/4" = 1'-0"



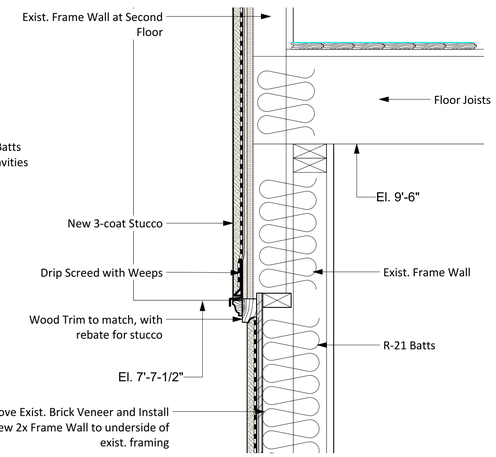
6 ROOF DETAIL
Scale: 1 1/2" = 1'-0"



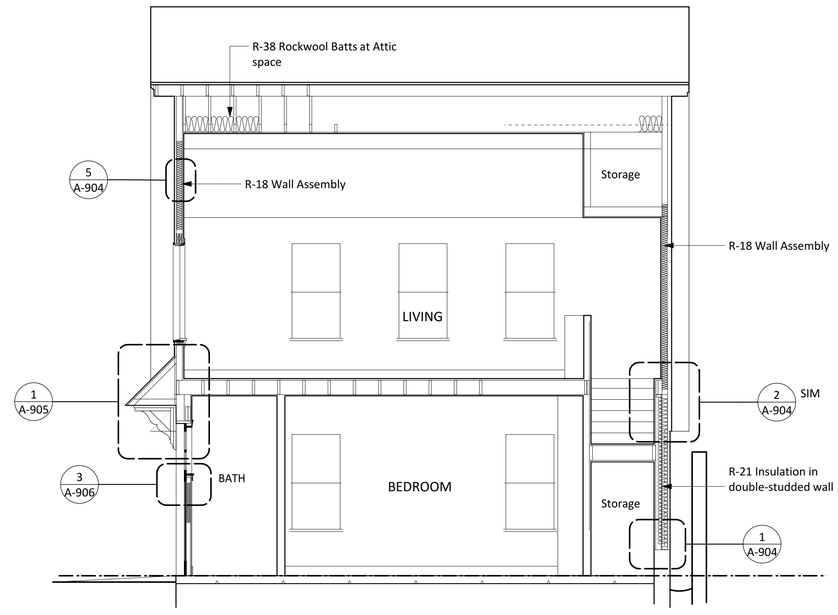
3 EAVE DETAIL
Scale: 1 1/2" = 1'-0"



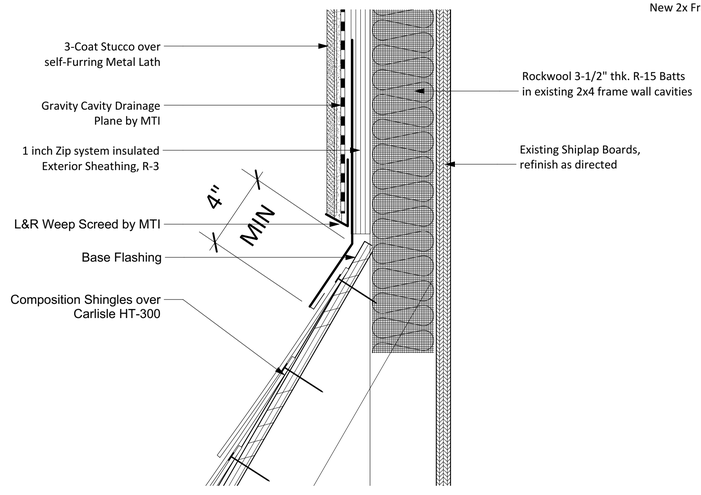
5 TYPICAL WALL—Second Floor
Scale: 3" = 1'-0"



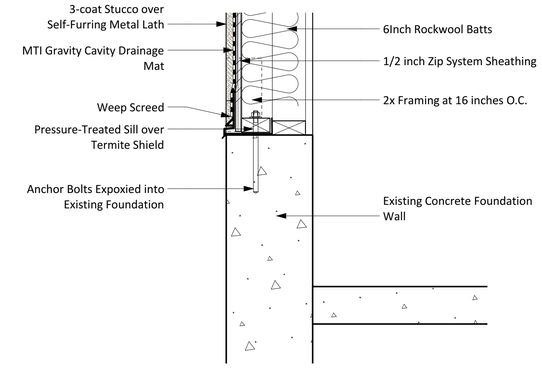
2 DETAIL at SECOND FLOOR
Scale: 1 1/2" = 1'-0"



B SECTION B-B
Scale: 1/4" = 1'-0"



4 SIDE WALL FLASHING
Scale: 3" = 1'-0"



1 SILL DETAIL — REAR WALL
Scale: 1 1/2" = 1'-0"

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EXP 10.31.21

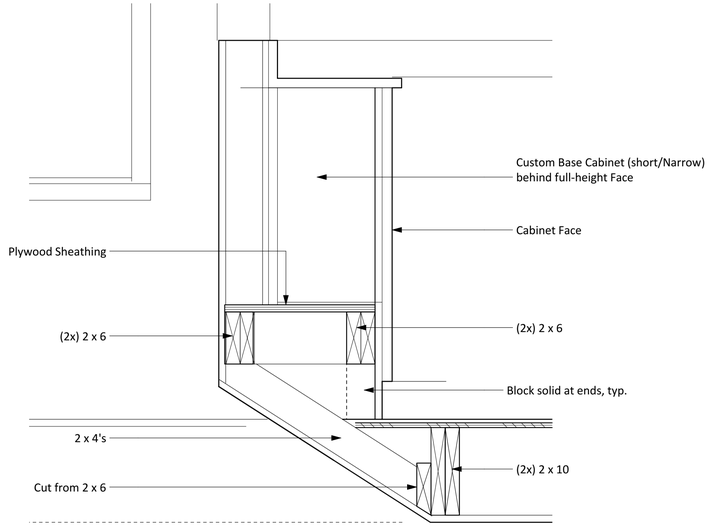
MILLER-LONG HOUSE GARAGE APARTMENT RENOVATION

813 PARK BOULEVARD, AUSTIN, TEXAS 78751

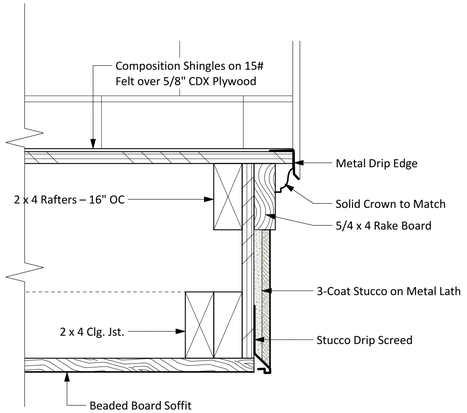
ISSUE DATE
PRINT: 5/6/22

SHEET NAME
WALL DETAILS

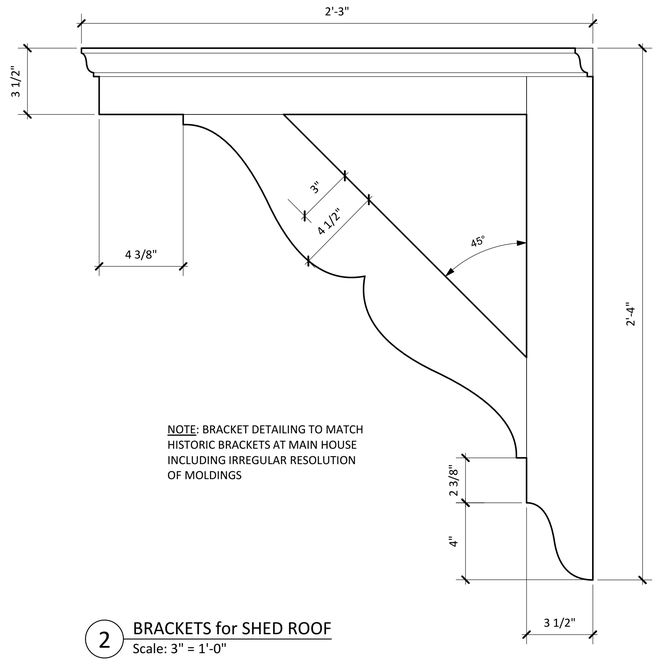
SHEET NUMBER
A-904



6 SPLAY at STAIR OPENING
Scale: 1 1/2" = 1'-0"



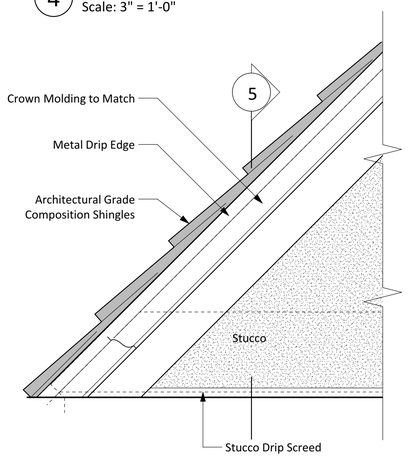
5 EAVE SECTION
Scale: 3" = 1'-0"



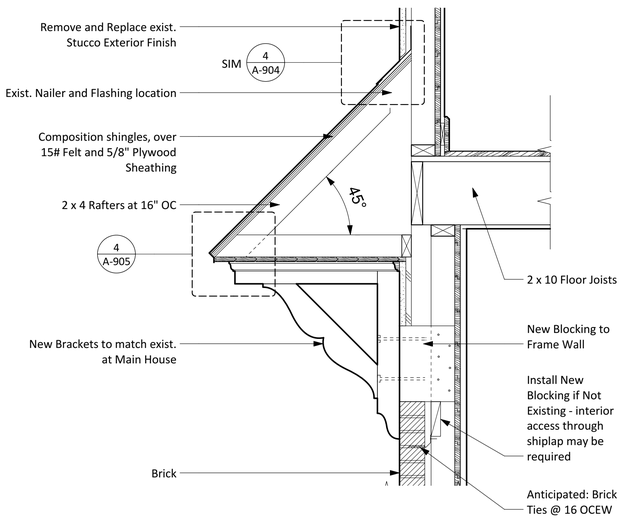
NOTE: BRACKET DETAILING TO MATCH HISTORIC BRACKETS AT MAIN HOUSE INCLUDING IRREGULAR RESOLUTION OF MOLDINGS

2 BRACKETS for SHED ROOF
Scale: 3" = 1'-0"

4 SHED ROOF @ GARAGE DOORS
Scale: 3" = 1'-0"



3 EAVE DETAIL – GARAGE SHED
Scale: 3" = 1'-0"



1 SHED ROOF over GARAGE DOORS
Scale: 1" = 1'-0"

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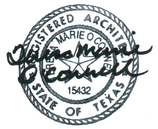

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DETAILS

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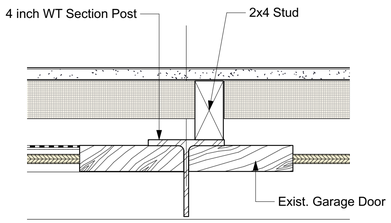
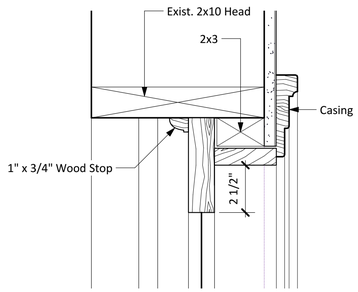
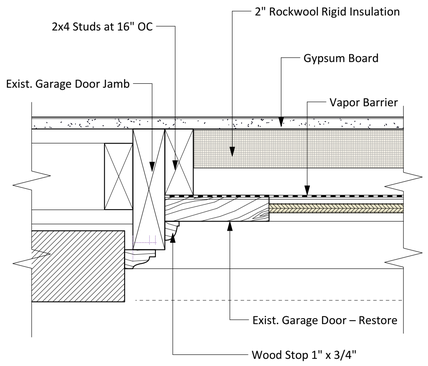
A-905



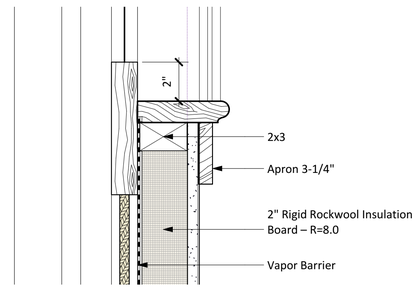
6 GARAGE DOOR — DETAIL
Scale: 3" = 1'-0"



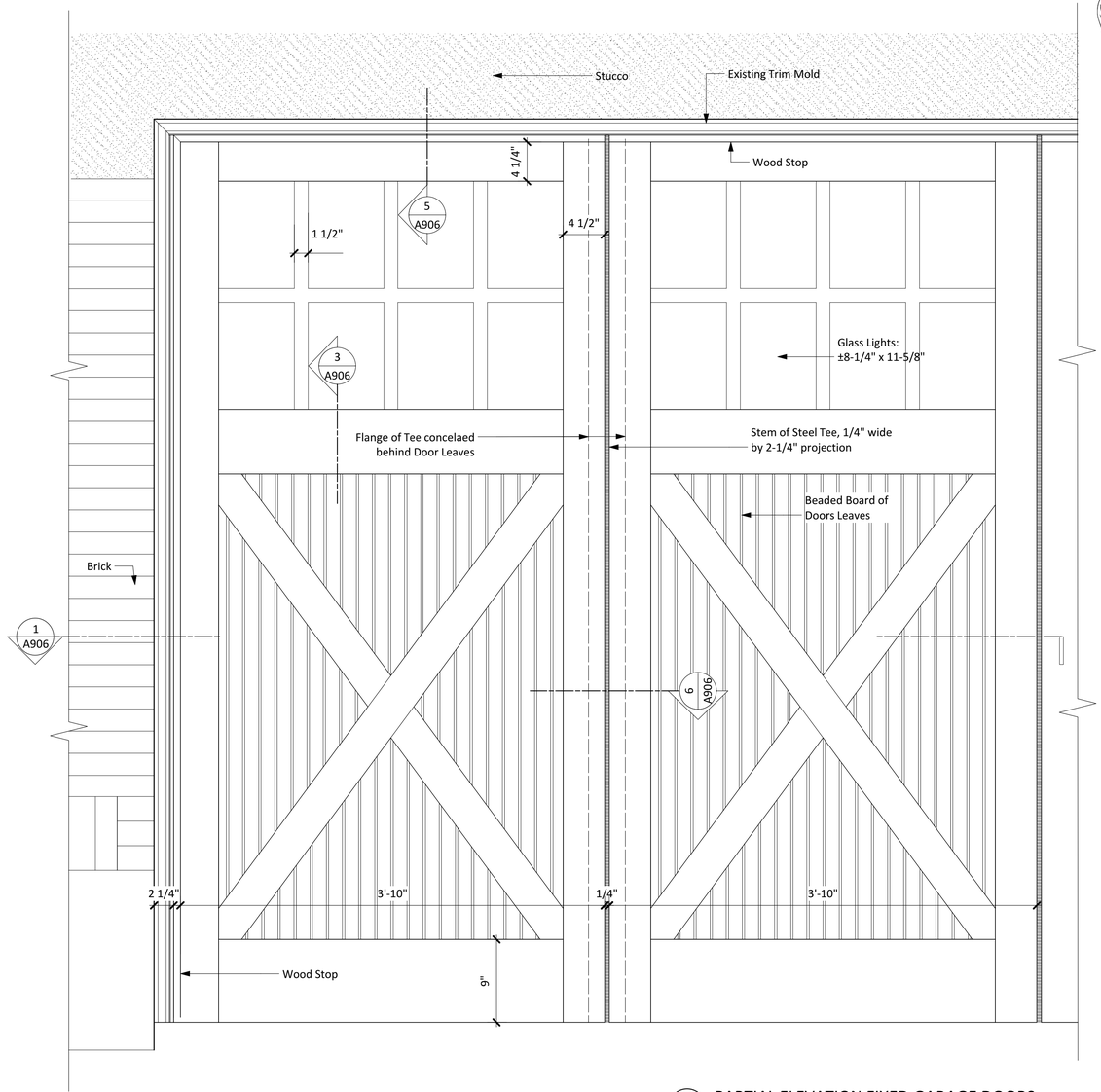
5 GARAGE DOOR – HEAD DETAIL
Scale: 3" = 1'-0"



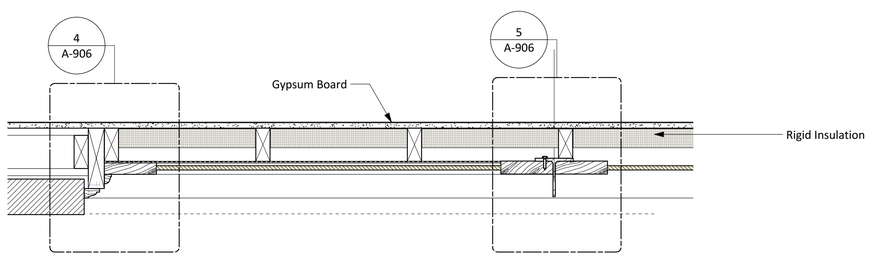
4 JAMB DETAIL – GARAGE DOOR
Scale: 3" = 1'-0"



3 GARAGE DOOR – SILL DETAIL
Scale: 3" = 1'-0"



2 PARTIAL ELEVATION FIXED GARAGE DOORS
Scale: 1 1/2" = 1'-0"



1 PLAN DETAIL – GARAGE DOOR
Scale: 1 1/2" = 1'-0"

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ISSUE DATE
PRINT: 5/6/22

SHEET NAME
GARAGE DOOR DETAILS

SHEET NUMBER
A-906