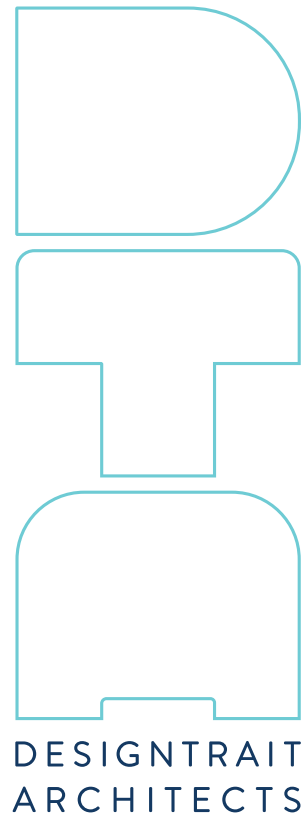


MAUFRAIS GARAGE/ ADU

906 MAUFRAIS ST
AUSTIN, TX 78703

PERMIT SET | APRIL 06, 2022



PROJECT LOCATION | PROXIMITY MAP



PROJECT DATA

LOT SIZE:	9,149 SQ FT
IMPERVIOUS COVERAGE:	41% (3,758 SQ FT)
FLOOR AREA RATIO:	40% (3,618 SQ FT)
BUILDING COVERAGE:	37% (3,393 SQ FT)
MAIN BUILDING EXISTING AIR-CONDITIONED AREA	
TOTAL:	2,902 SQ FT
1ST FLOOR:	2,138 SQ FT
2ND FLOOR:	764 SQ FT
ADU NEW AIR-CONDITIONED AREA	
TOTAL:	550 SQ FT
1ST FLOOR:	0 SQ FT
2ND FLOOR:	550 SQ FT
EXISTING COVERED AREAS	
FRONT PORCH:	118 SQ FT
REAR PATIO:	200 SQ FT
PARKING	
MAIN CARPORT:	207 SQ FT
ADU GARAGE:	528 SQ FT
DRIVEWAY	
MAIN STRIPS:	187 SQ FT
ADU STRIPS:	93 SQ FT

ARCHITECTURAL SYMBOLS

	DRAWING NUMBER		DOOR DESIGNATION NUMBER (PLAN)		WALL SECTION KEY
	WINDOW DESIGNATION NUMBER (PLAN)		PARTITION TYPE (PLAN)		SHEET NUMBER
	CENTERLINE		ROOM NAME AND FLOOR FINISH DESIGNATION		DRAWING NUMBER
	FINISH CEILING HEIGHT AND MATERIAL (RCP)		ELEVATION CHANGE		PLATELINE OR FINISH FLOOR ELEVATION (ELEVATIONS AND SECTIONS)
	SOLID ARROW WITH CORRESPONDING LETTER DESIGNATION INDICATES DRAWING		INTERIOR ELEVATION KEY		DETAIL SECTION
	SHEET NUMBER		DRAWING NUMBER		REVISION MARKER
	DETAIL KEY		REVISION ADDENDA NUMBER		

GRAPHIC LEGEND

2X NEW STUD WALL

HOSE BIB	TREE TRUNKS

NOTES:

- FOR INTERIOR WALL FINISHES REVIEW INTERIOR ELEVATIONS
- FOR EXTERIOR WALL FINISH-SEE EXTERIOR ELEVATIONS
- VERIFY ALL DIMENSIONS IN FIELD

GENERAL NOTES

- CONTRACTOR TO COORDINATE STAGING AREAS
- ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE CONDITIONS AFFECTING WORK UNDER THIS CONTRACT.
- COORDINATE MECHANICAL PLUMBING, FIRE SPRINKLERS AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.
- THE DRAWINGS, SPECIFICATIONS, AND IDEAS CONTAINED HEREIN ARE THE INTELLECTUAL AND MATERIAL PROPERTY OF THE ARCHITECT, AND SHALL NOT BE REUSED, REPRODUCED, OR ALTERED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. FAILURE TO OBTAIN PERMISSION VIOLATES UNITED STATES COPYRIGHT LAWS AND SUBJECTS THE VIOLATOR TO LEGAL PROSECUTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP AND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS.
- THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PERFORMED OR FURNISHED.
- NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS, ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- EACH PRIME CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL MATERIALS STORED OR INSTALLED ON THE SITE SHALL BE SUBJECT TO DAMAGE OR THEFT.
- PROVIDE AND PAY FOR ALL COST FOR TEMPORARY FACILITIES AND SERVICES REQUIRED FOR THE PROPER AND EXPEDITIOUS PROSECUTION OF THE CONTRACT WORK, INCLUDING JOB SITE TELEPHONE. MAKE ALL TEMPORARY CONNECTIONS TO EXISTING UTILITIES IN LOCATIONS ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION THEREOF. PAY ALL COSTS FOR TEMPORARY ELECTRICAL POWER, WATER AND HEATING.
- PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA.
- A COMPLETE SET OF AS-BUILTS SHALL BE FURNISHED TO THE ARCHITECT AT COMPLETION OF THE PROJECT. THE CLOSE-OUT PACKAGE IN A FORM OF A HARD BINDER, INDEXED, LABELED AND DIVIDERS FOR THE CLIENT INCLUDES COPIES OF PERMITS AND THE CERTIFICATE OF OCCUPANCY, A LIST OF SUB-CONTRACTOR AND PHONE NUMBERS, ALL WARRANTIES AND MANUALS, ETC. LIST OF PAINT TYPES AND FORMULAS. ONE COPY SHOULD GO DIRECTLY TO THE OWNER. PROVIDE PAINT COLORS AND FORMULAS OF ALL PAINTS.
- GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT HIS BID PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY.
- ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AS MANDATED BY ALL GOVERNING JURISDICTIONS.
- CONSTRUCTION DRAWINGS AND DOCUMENTS ARE GENERAL IN NATURE AND DO NOT INCLUDE OR ANTICIPATE EVERY CONDITION POSSIBLE. CONTRACTOR & SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DRAWINGS THOROUGHLY AND MAKE A DETAILED SITE VISIT TO REVIEW EXISTING FIELD CONDITIONS. ANY INCONSISTENCY, DISCREPANCY, AMBIGUITY, OR ANY OTHER QUESTIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT AND/OR OWNER FOR CLARIFICATION AND RESOLUTION PRIOR TO THE DELIVERY OF ANY BID AND PRIOR TO PROCEEDING WITH THE WORK IN QUESTION AND/OR OTHER RELATED WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS AND SHALL RELIEVE THE ARCHITECT FROM ANY CONSEQUENCES THEREBY ARISING.
- CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED FOR CONSTRUCTION.
- ALL DESIGN OF STRUCTURAL COMPONENTS INCLUDING THE FOUNDATION, BEAMS, POSTS, STRUCTURAL FRAMING, CONNECTORS, AND FASTENERS ARE NOT IN THE ARCHITECT'S SCOPE AND MUST BE PROVIDED BY OTHERS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE WORK, ALL OF WHICH SHALL BE PROVIDED IN FULL ACCORDANCE WITH AND REASONABLY INFERRABLE FROM THE CONTRACT DOCUMENTS AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.
- DRAWINGS AND NOTES TO DRAWINGS, INCLUDING THOSE OF THE ENGINEER OR CONSULTANT, ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, THE APPROPRIATE INTENT AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.
- WRITTEN DIMENSIONS SHALL GOVERN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE SCALED.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY, ACTIONS, AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTOR'S EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND SUBCONTRACTORS TO PROVIDE COMPLETE WORKING SYSTEMS THROUGHOUT PROJECT.
- CONTRACTOR TO SUBMIT ALL REQUIRED SHOP DRAWINGS TO ARCHITECT AND/OR OWNER BEFORE PROCEEDING WITH THE WORK RELATED TO THE SHOP DRAWINGS.
- ALL WORK NOTED "BY OTHERS" OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH OTHER CONTRACTORS AS REQUIRED AND SHALL PROVIDE ACCESS TO THE PROJECT AS NEEDED.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FURNISH THE ARCHITECT AND/OR OWNER A SCHEDULE OF VALUES THAT INCLUDES A DETAILED LIST OF ENTIRE SCOPE OF WORK AND THE MATERIAL QUANTITIES INVOLVED IN THE PROJECT AND THEIR RESPECTIVE CONTRACT DOLLAR AMOUNTS, INCLUDING A SEPARATE COLUMN FOR SALES TAX.
- CONTRACTOR SHALL FURNISH THE ARCHITECT AND/OR OWNER A PUNCH LIST INCLUDING ALL THE ITEMS TO BE COMPLETED PRIOR TO THE PROJECT'S SUBSTANTIAL COMPLETION. ARCHITECT AND/OR OWNER SHALL REVIEW CONTRACTOR'S PUNCH LIST AND PROVIDE ADDITIONAL ITEMS TO BE INCLUDED IN THE PUNCH LIST.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR CODE OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT.
- ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL DRAWINGS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR OPPOSITE HAND DETAILS.
- STORE AND HANDLE ALL MATERIALS IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PROTECT ALL MATERIALS FROM DAMAGE, WEATHER, EXCESSIVE TEMPERATURES, AND CONSTRUCTION OPERATIONS.
- REQUESTS TO SUBSTITUTE ANY PRODUCT OR MATERIAL SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND/OR OWNER FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWINGS SHALL BE REQUIRED PRIOR TO SUBSTITUTION APPROVAL. PROPOSED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL REVIEW ALLOWANCES AND NOTIFY THE ARCHITECT AND/OR OWNER OF AMOUNTS THAT SEEM INSUFFICIENT OR NOT ACCURATE. ALLOWANCE AMOUNTS INCLUDE ONLY THE COST OF MATERIAL, DELIVERY, AND SALES TAX.
- ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR THE GREATER OF THE MANUFACTURER'S WARRANTY OR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DETERIORATION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF THE OWNER'S PROPERTY, SITE VEGETATION, AND ALL TREES THAT ARE TO REMAIN.
- CONTRACTOR SHALL BE RESPONSIBLE ON A DAILY BASIS FOR SITE CLEAN UP AND REMOVAL OF ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
- PROVIDE CONSTRUCTION WASTE MANAGEMENT INCLUDING THE SEPARATION OF REUSABLE OR RECYCLABLE MATERIALS INTO SEPARATE CONTAINERS.

PROJECT DESCRIPTION

A NEW ADU, SECONDARY DWELLING UNIT, WITH A TWO-CAR GARAGE, SECOND LEVEL STUDIO, AND ROOF DECK. IT WILL BE CONSTRUCTED ON A LOT WITH AN EXISTING SINGLE-FAMILY RESIDENCE THAT IS REGISTERED IN THE NATIONAL REGISTER OF HISTORIC DISTRICTS.

ASSOCIATED PERMITS & DOCUMENTS

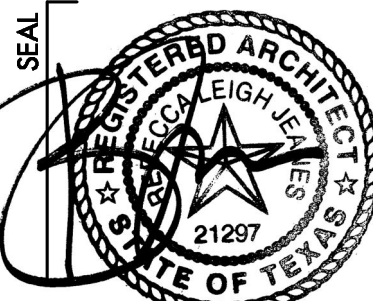
Demo Permit : City of Austin 2019-067026 BP
Building Permit : City of Austin 2020-038722 BP

PROJECT TEAM

CLIENT WM CAPITAL PARTNERS 100 CONGRESS AVE, STE 1510 AUSTIN, TX	ARCHITECT DESIGNTRAIT CONTACT: BECKY JEANES 2525 SOUTH LAMAR STE #9 AUSTIN, TX 78704 PH: (512) 542-0073 EMAIL: BECKY@DESIGNTRAIT.COM
STRUCTURAL ENGINEER AMO STRUCTURAL ENGINEERING CONTACT: ALEX OLIVAS 1250 SOUTH CAPITAL OF TEXAS HIGHWAY BLDG. 3 SUITE 400 AUSTIN, TX 78746 PH: (432) 894-5744 EMAIL: AOLIVAS@AMO-SE.COM	CONTRACTOR JARROD ACRES CONTACT: JARROD ACRES PH: (737) 202-0435 EMAIL: JARRODACRES@GMAIL.COM

DRAWING INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	SURVEY
A1.0	PLOT PLAN
A1.1	FLOOR PLAN GARAGE/STUDIO
A1.2	REFLECTED CEILING PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A6.0	INTERIOR ELEVATIONS
A7.0	DOOR & WINDOW SCHEDULES
A7.1	FINISH, PLUMBING, & APPLIANCE SCHEDULES
STRUCTURAL	
S001	FOUNDATION PLAN
S102	FOUNDATION DETAILS
S201	LEVEL 1 HEADERS PLAN
S202	LEVEL 1 CEILING FRAMING PLAN
S203	LEVEL 2 HEADERS PLAN
S204	ROOF (LEVEL 2 CEILING) FRAMING PLAN
S205	LEVEL 1 WIND BRACING
S206	LEVEL 1 WIND BRACING
S301	WIND BRACING DETAILS
S302	WIND BRACING DETAILS
S303	STAIR FRAMING PLAN
S304	STAIR FRAMING ELEVATIONS
S305	STAIR FRAMING DETAILS
S306	STAIR FRAMING DETAILS
S307	TYPICAL STRUCTURAL CONNECTORS
S308	TYPICAL FRAMING DETAILS



04-06-22

PROJECT
Maufrais Garage/ ADU
906 Maufrais St
Austin, TX 78703

DRAWN BY
mp, bn, ch

SET/ISSUE
Permit Set

06-April-2022

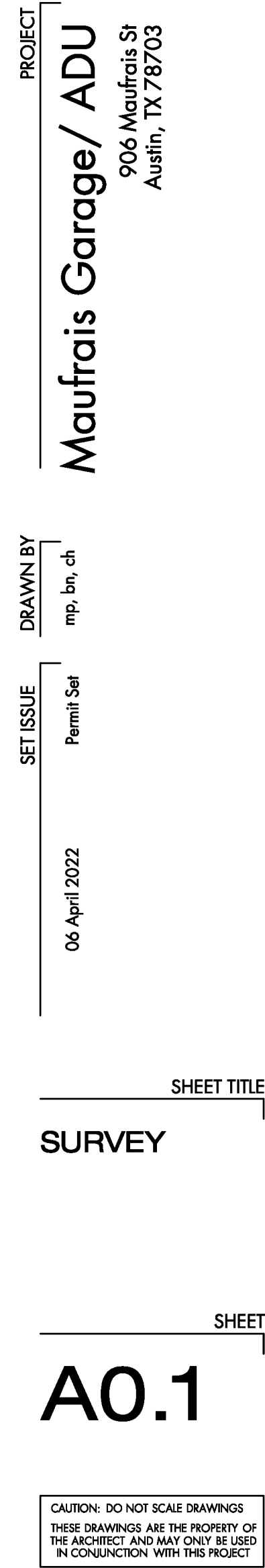
SHEET TITLE

COVER

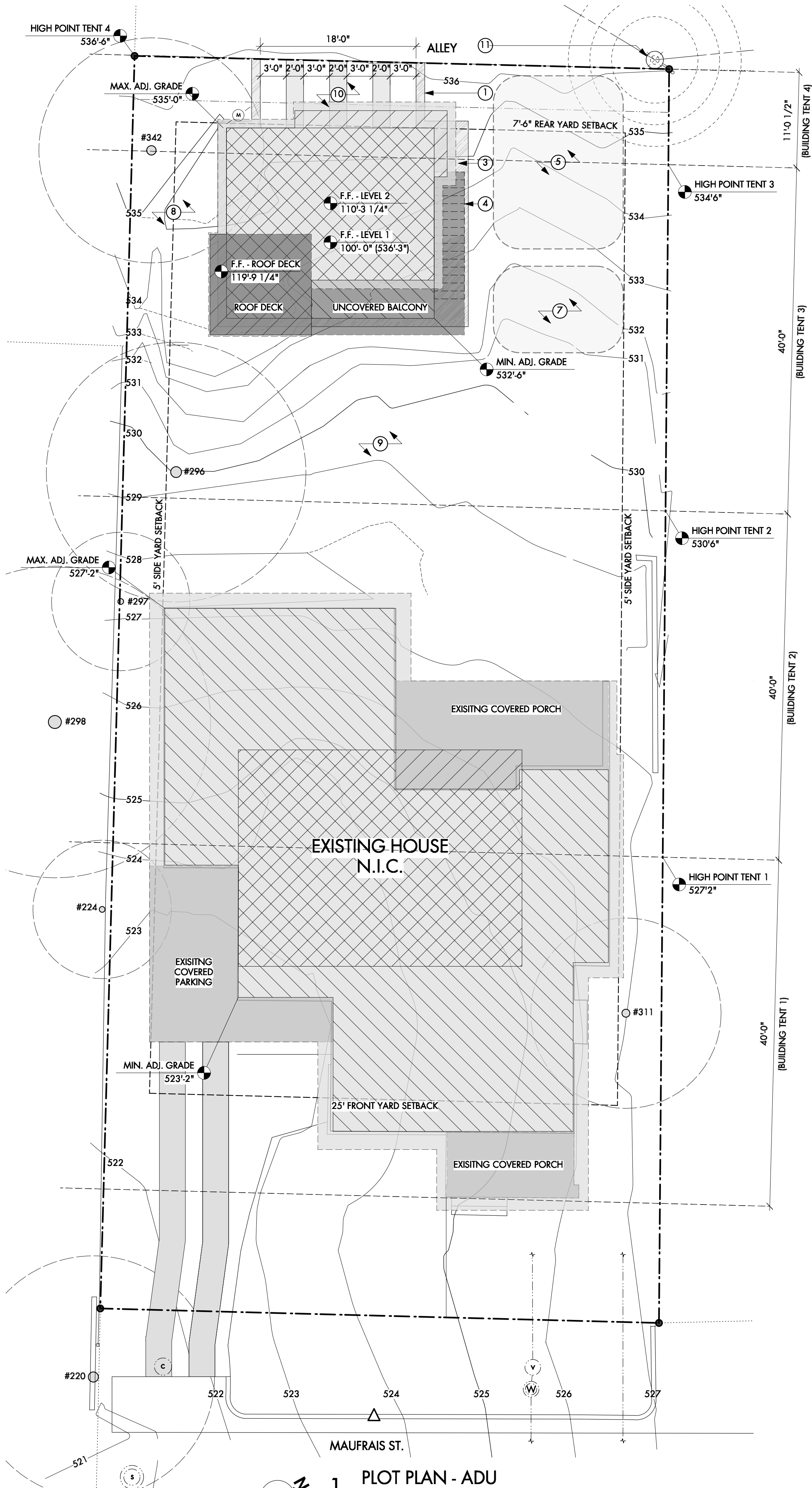
SHEET

A0.0

CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF
THE ARCHITECT AND MAY ONLY BE USED
IN CONNECTION WITH THIS PROJECT



CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF
THE ARCHITECT AND MAY ONLY BE USED
IN CONJUNCTION WITH THIS PROJECT



1 PLOT PLAN - ADU
Scale: 1/8" = 1'-0" 24" x 36"
1/16" = 1'-0" 11" x 17"

GENERAL NOTES | ARCHITECTURAL SITE PLAN

- Do not scale the drawings. If a specific dimension is not given, contact designtrait for clarification.
- Keynotes located on this sheet are for this sheet only.
- Tree locations are approximate.
- The design illustrated in these documents is furnished by the architect under a limited scope services agreement with the Owner and are therefore provided as a "builder's set" for general intent only. All products and the detailing of their installation, including flashing, underlayments, and weather resistive barriers, should be installed in strict compliance with manufacturer's recommendations and in compliance with all applicable codes as mandated by all governing jurisdictions.
- Tree protection must remain in place through the landscaping and sprinklers need to be placed to stay out of the 1/4 CRZ with a preferred drip system in the 1/2 / full CRZ if possible.
- Tree protection fencing is required for all trees within the limits of construction. Fencing should be indicated to protect the entire Critical Root Zone (CRZ) area or as much of the CRZ as is practical. Fencing is required to be chain-link mesh at a minimum height of five feet. When the tree protection fencing cannot incorporate the entire 1/2 Critical Root Zone, an eight inch layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the Critical Root Zone.
- Foot traffic is considered a root zone disturbance, as well. 2x4 or greater size planks (6' tall minimum) are required to be strapped securely around protected trees trunks and root flares when protective fencing does not incorporate the entire 1/2 CRZ for any reason at any time in the project.
- Protected trees on site as required in the Environmental Criteria Manual section 3.5.2. Do not cut or fill greater than 4" in the 1/2 CRZ of protected trees. No impact allowed within the 1/4 CRZ of protected trees.
- Avoid the 1/2 Critical Root Zones of Protected Trees with any newly proposed work. If trenching within the 1/2 CRZ of Protected Trees cannot be avoided, the trenches will have to be air spaded by a Certified Arborist for the 30" to avoid damaging roots 1.5" + in diameter and the paid receipt for the work will be required by the Final Tree Inspector.
- GC to coordinate and locate utilities, contact Designtrait for location approval.
- Fire, gas and water service lanes to be coordinated with general contractor based on site conditions.
- 8" layer of mulch within the entire available root zone area is required for all trees which have disturbance indicated within any portion of the Critical Root Zone.

ARCHITECTURAL SITE PLAN LEGEND

AC	A/C UNIT	— OE —	UTILITY LINE
G	GAS METER	— //	WOOD FENCE
U	UTILITY POLE	— W —	WATER LINE
M	ELECTRIC METER	— S —	SEWER
STAGING AREA		— - -	TREE FENCING

KEY NOTES | ARCHITECTURAL SITE PLAN

- Metal edging.
- Existing water meter.
- Gravel or crushed granite.
- New ADU stair.
- Proposed material staging area. Dumpster and spoils placement cannot be located within the 1/2 CRZ of any protected trees. Use existing driveway as an access route.
-
- Area designated for portable toilet and concrete washout. Cannot be within the full CRZ of any protected tree.
- Swale to divert drainage. GC to field verify location.
- Landscape terraced gravel or crushed granite filled steps w/ metal edging.
- Concrete driveway paths w/ gravel or crushed granite between.
- Pole mounted electrical meter w/ underground feed to A & B units. GC to verify location.

CONCRETE FOUNDATION NOTES:

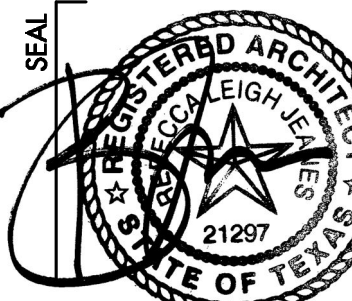
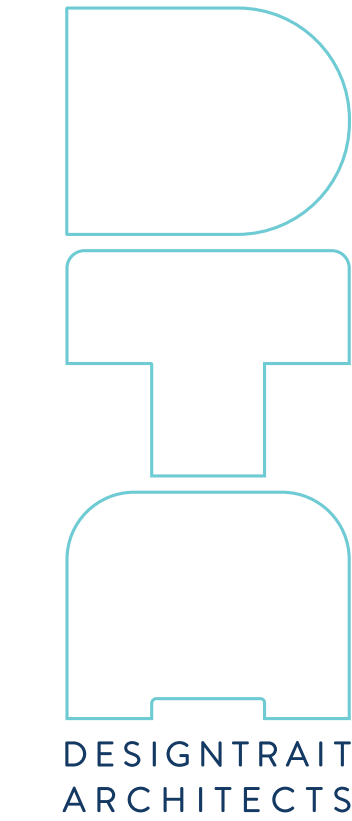
- *Concrete line pump: Wrap connections of concrete line pump with plastic to prevent concrete slurry from leaching into ground and near roots of trees.
- *Concrete truck: If heavy equipment of any kind will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

TREE LEGEND

TREE LEGEND	NOTE
#219 24" Ash	Removed
#220 14" Elm	
#224 8" Live Oak	
#236 13" Elm	Demo
#292 10" Hackberry	Removed
#293 8" Pecan	Removed
#294 11" Hackberry	Removed
#295 7" Hackberry	Removed
#296 15" Bois Arc	
#297 Bois Arc	
#298 18" Elm	
#311 11" Pecan	
#319 11" Hackberry	Removed
#340 12" Hackberry	
#342 13" Hackberry	
#345 11" Hackberry	

KEY PLOT PLAN

	FIRST FLOOR
	SECOND FLOOR
	ROOF
	COVERED PATIO
	STAGING AREA
	PROTECTED AREA



04-06-22

PROJECT
Maufrais Garage/ADU
906 Maufrais St
Austin, TX 78703

DRAWN BY
mp, bn, ch
SET ISSUE
Permit Set
06 April 2022

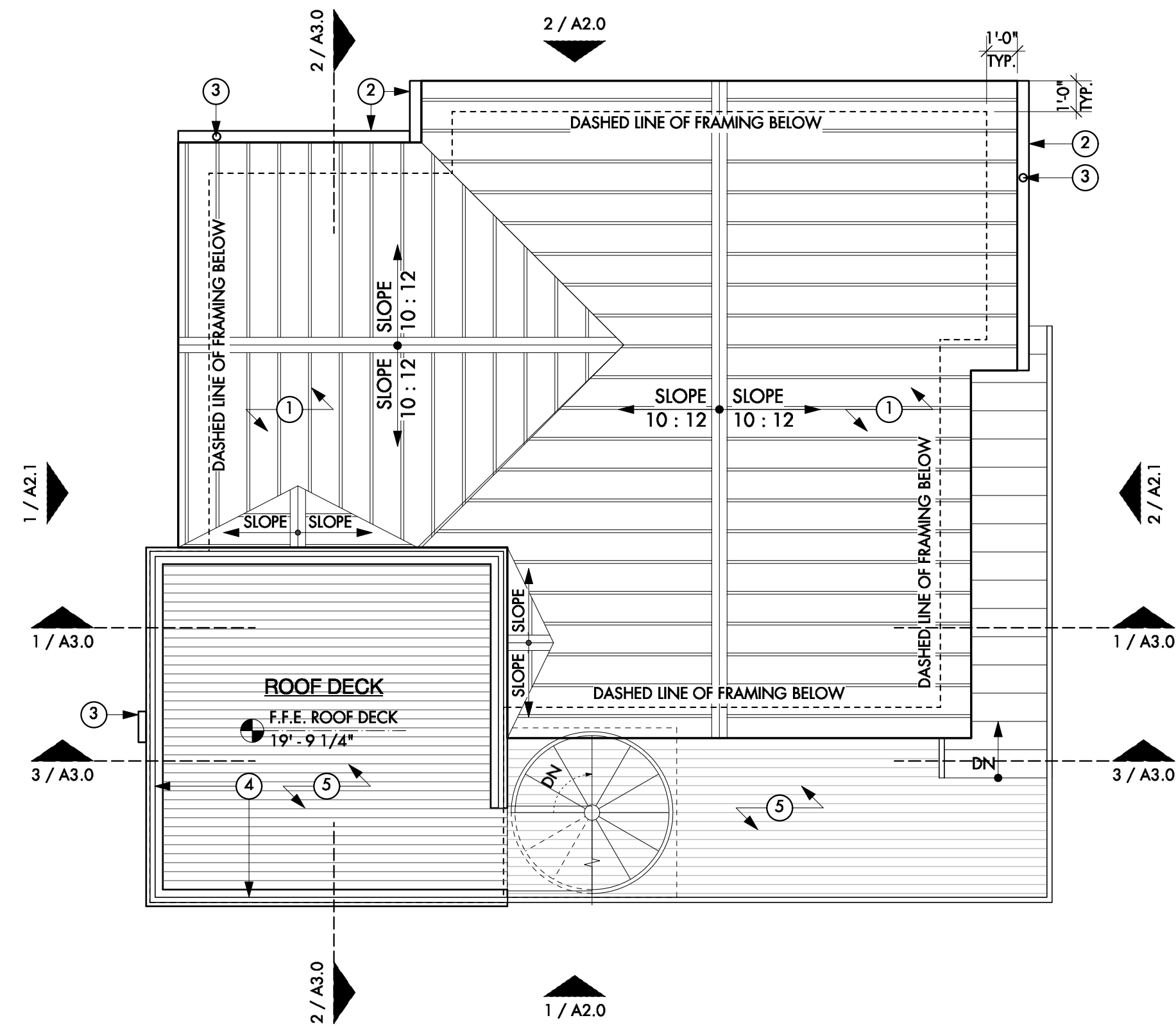
SHEET TITLE

PLOT PLAN

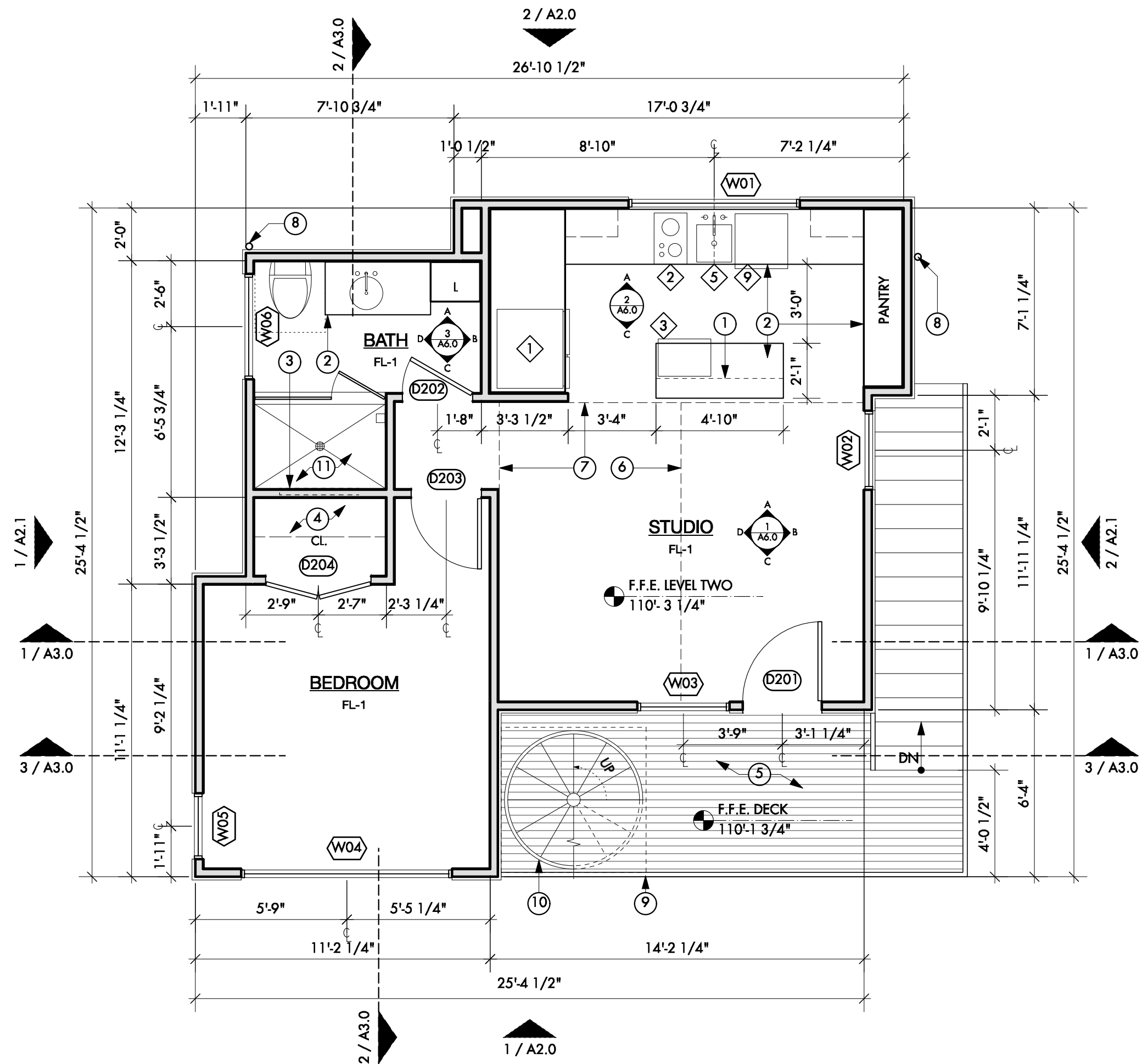
SHEET

A1.0

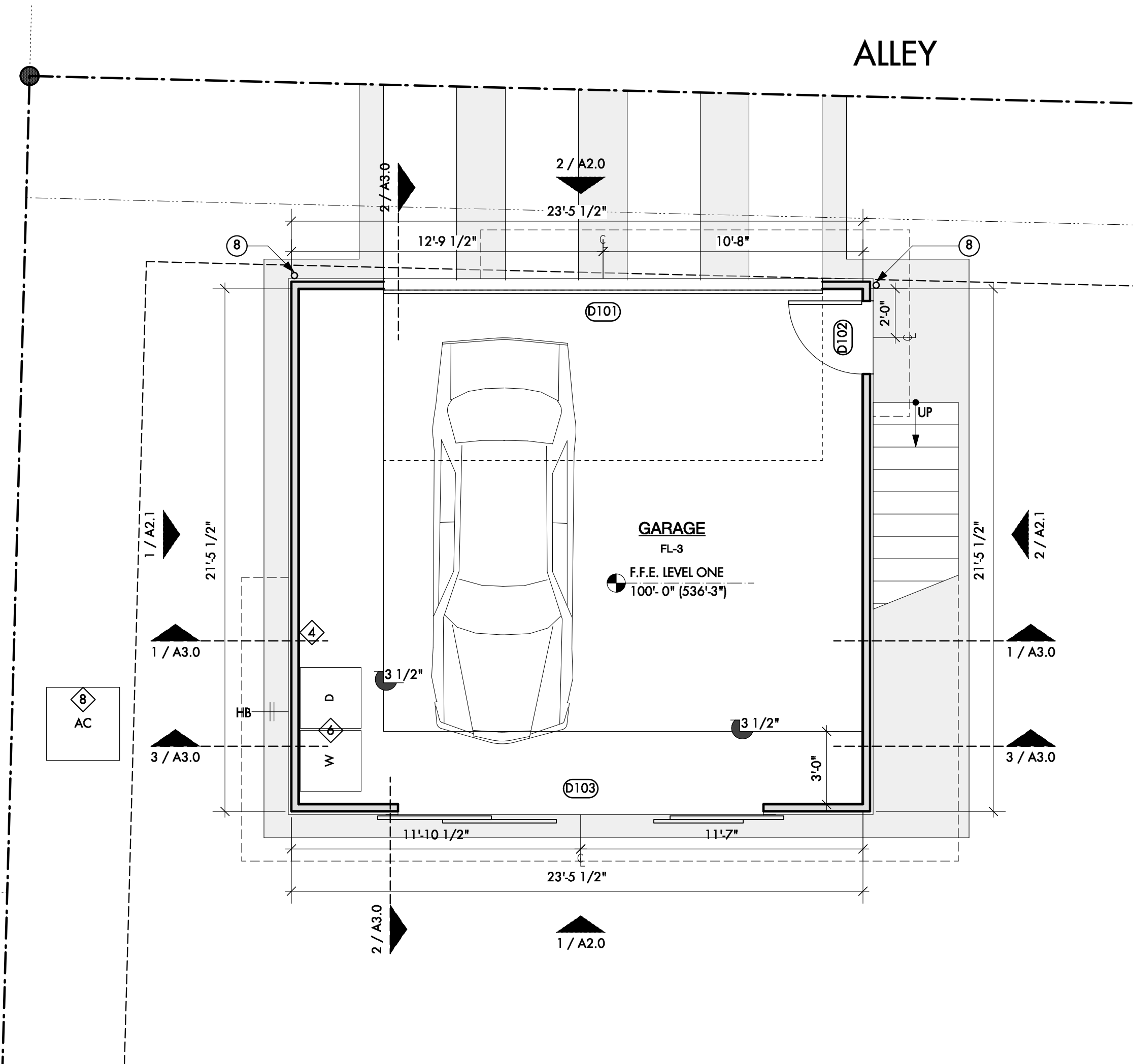
CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF
THE ARCHITECT AND MAY ONLY BE USED
IN CONJUNCTION WITH THIS PROJECT



3 ROOF PLAN | GARAGE/ STUDIO
Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



2 FLOOR PLAN LEVEL 2 | GARAGE/ STUDIO
Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



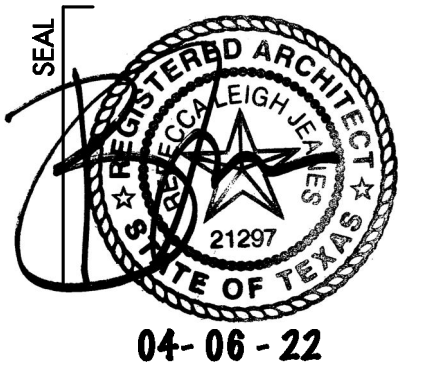
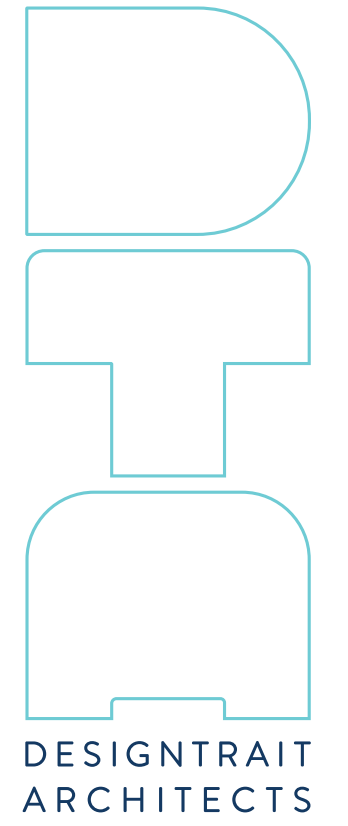
1 FLOOR PLAN LEVEL 1 | GARAGE/ STUDIO
Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"

GENERAL NOTES | PLAN

1. Keynotes located on this sheet are for this sheet only.
2. Do not scale the drawings. If a specific dimension is not given, contact Designtrait for clarification.
3. Dimensions are to face of frame or centerline of frame as noted.
4. Contractor shall exercise reasonable precaution in the protection of all existing finishes to remain and/or all existing substrates to receive new finish; Contractor shall provide protective coverings and impact protection for all floor, partition, ceiling, window, glass, and all other existing finishes in the project area and for all finishes which may be subject to traffic or construction activity in adjacent areas; extend protection from building entry(ies) to project area(s).
5. Contractor shall walk project site with Architect and Owner to review extent of demolition and identify any additional components that need to be removed in order to provide proposed new construction or that the Owner wishes to be removed as part of the scope of project.
6. Existing walls might carry or transfer roof and/or ceiling loads. Consult with a qualified structural engineer to verify load bearing status of all existing walls prior to any demolition work. Provide transfer beams or alternate structure if necessary. Provide temporary shoring where required.
7. Repair all finishes and materials that occur from the removal or demolition procedure.
8. The Contractor shall remove from demolished walls or portions of walls all power circuits and switch legs back to first junction box. Remove any millwork or wall-mounted fixtures from walls indicated to be demolished and not otherwise shown. Any building fixtures removed from the Project and not disposed of shall be salvaged as directed by the Owner's representative. The Contractor shall take care not to unreasonably cause damage to the building fixtures.
9. Provide tempered glazing as required by local codes.
10. Provide submittals and shop drawings showing number of windows, locations of tempered glazing, etc.
11. Window and door types indicate rough sizes only. GC shall field verify the appropriate glazing and leaf sizes in the field prior to ordering. For any questions contact Designtrait.
12. GC responsible for removing any temporary infill panels at all window locations.
13. Verify final finishes with owner.

KEYNOTES | PLANS (#)

1. Dashed line of wall below.
2. Pre-manufactured millwork. Verify dimension with owner.
3. Tiled shower niche, refer to interior elevations.
4. Closet finish out provided by owner.
5. Pressure treated and sealed wood decking.
6. Dashed line of sloped ceiling above.
7. Dashed line of ceiling transition above.
8. Downspout. Dump into area drain and daylight down grade.
9. Guardrail.
10. Spiral stair to roof deck above.
11. Kardi-Shower-Kit, refer to plumbing schedule, P9.



PROJECT
Maufrais Garage/ ADU
906 Maufrais St
Austin, TX 78703

DRAWN BY
mp, bn, ch

SET ISSUE
Permit Set

06 April 2022

SHEET TITLE

FLOOR PLAN
GARAGE/
STUDIO

SHEET

A1.1

CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF
THE ARCHITECT AND MAY ONLY BE USED
IN CONJUNCTION WITH THIS PROJECT

ELECTRICAL LEGEND			
MATERIAL	CEILING HEIGHT AND MATERIAL CALL OUT (HT. A.F.F. - relative (HT. A.F.F. - overall))		
	DUPLEX CEILING RECEPTACLE		DISPOSAL
	DUPLEX RECEPTACLE		SMOKE, HEAT OR IONIZATION DETECTOR
	UNDER-COUNTER RECEPTACLE		THERMOSTAT
	APPLIANCE RECEPTACLE		SURFACE MOUNTED PANELBOARD
	GROUND FAULT INTERRUPTER		ELECTRICAL METER
	GROUND FAULT INTERRUPTER IN CABINET		SLOT DIFFUSER
	WATER PROOF RECEPTACLE		SLOT RETURN
	UNDER-COUNTER WATER PROOF RECEPTACLE		CEILING SUPPLY
	220 VOLT RECEPTACLE		TELEPHONE OUTLET
	DUPLEX FLOOR RECEPTACLE		DATA OUTLET
	SWITCH-SINGLE		TELEVISION OUTLET
	SWITCH W/DIMMER		CEILING FAN
	SURFACE MOUNTED FIXTURE		
	PENDANT		
	WALL SCONCE		
	CONTINUOUS LINEAR LIGHTING		

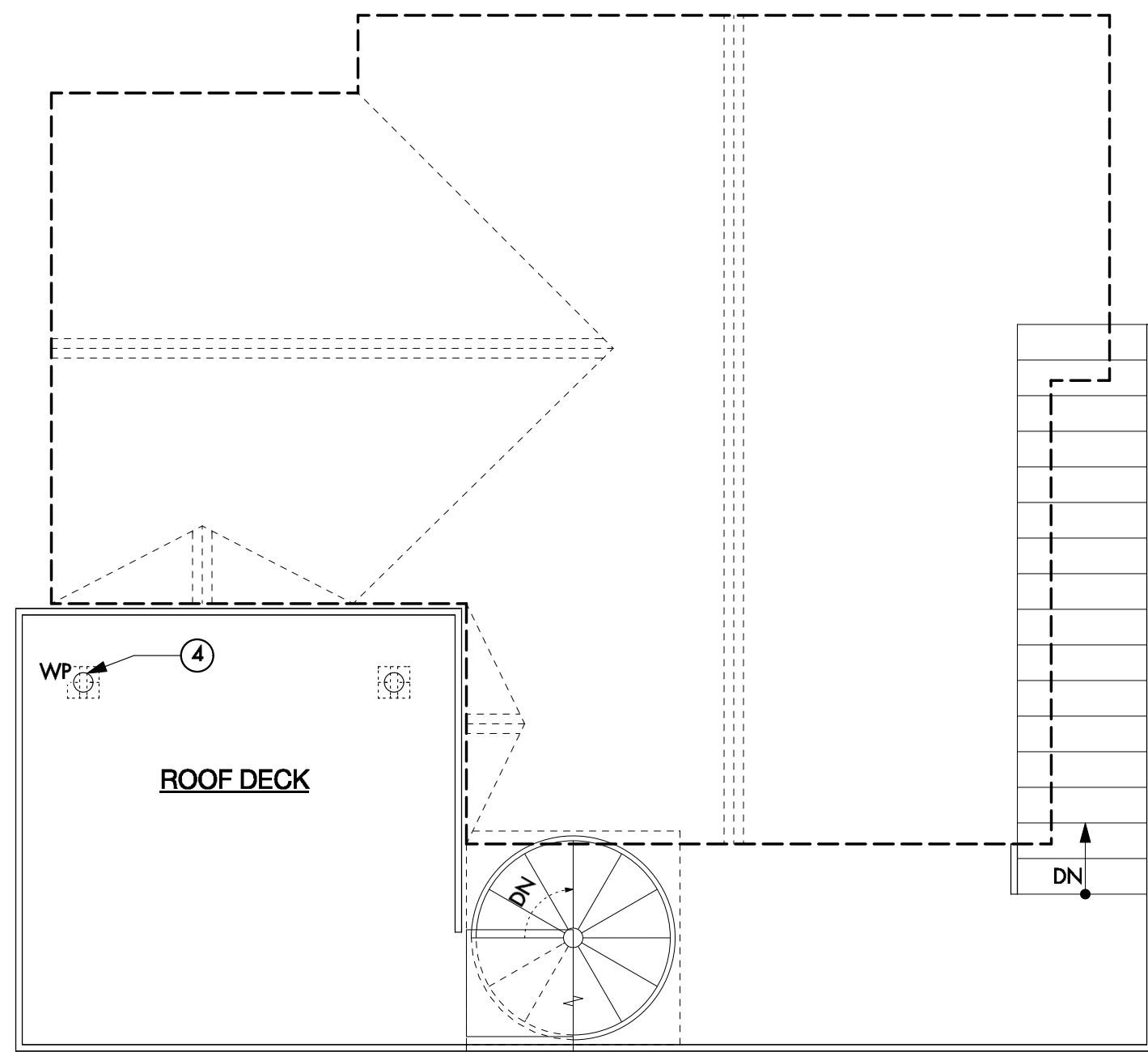
KEY NOTES | RCP (X)

1. Verify location w/ Owner.
2. Electrical panel
3. Stucco finish.
4. Floor outlet recessed, flush w/ decking.

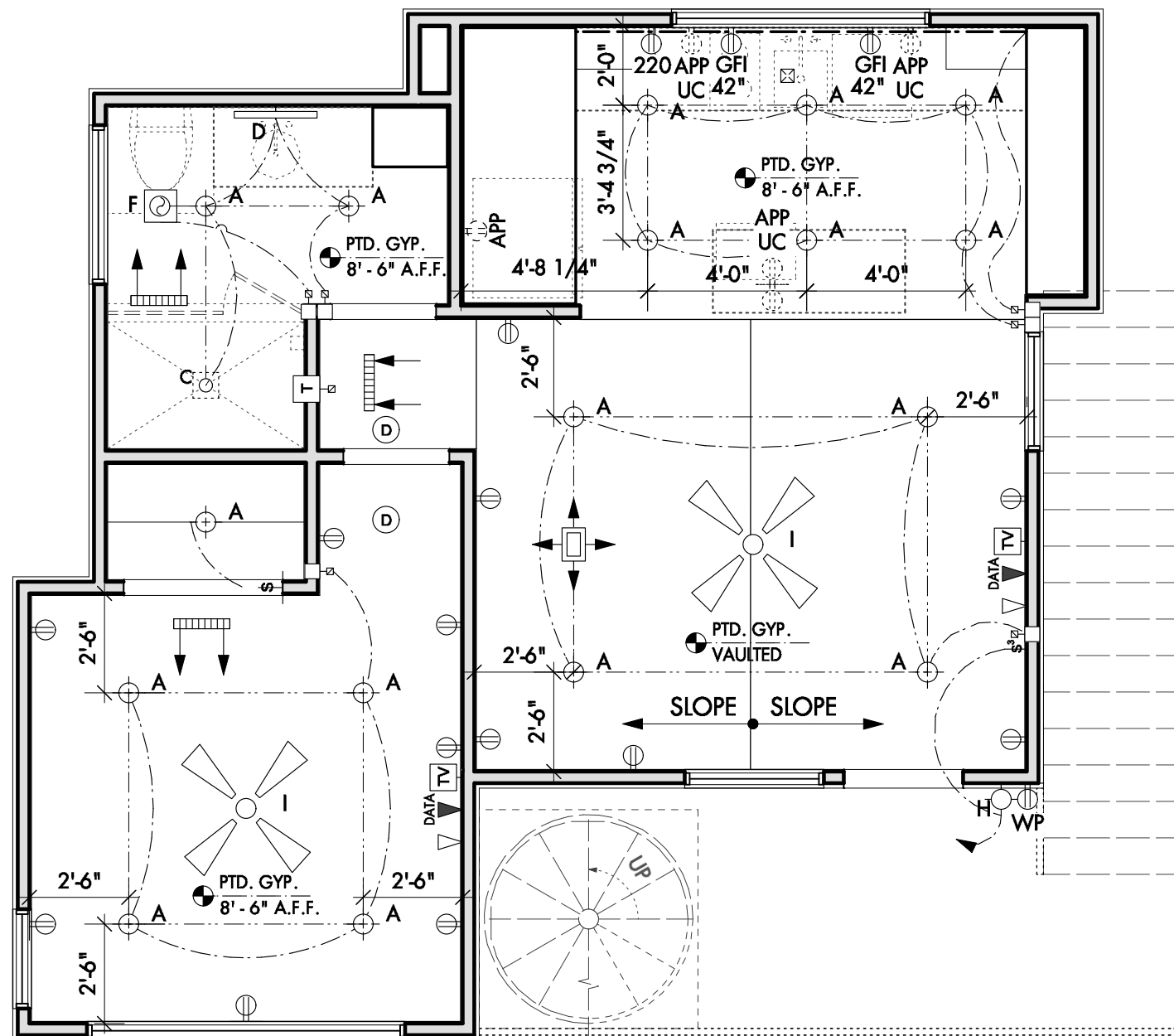
LIGHTING FIXTURE SCHEDULE						
ID	TYPE	LOCATION	MANUF.	MODEL	LAMP	REMARKS
A	3" RECESSED CAN	VARIES	-	-	LED	DIMMABLE
B	RECESSED 3" LIGHT FIXTURE WALL WASHER	LIVING	-	-	LED	DIMMABLE
C	RECESSED 3" LIGHT FIXTURE WET LOC.	BATHROOM	-	-	LED	DIMMABLE
D	WALL SCONCE	BATHROOM	-	-	LED	CENTER ON SINK, REFER TO INT. ELEVATIONS. VERIFY W/ OWNER.
E	SURFACE MOUNTED FIXTURE	GARAGE	-	-	LED	VERIFY LOCATION AND TYPE W/ OWNER
F	EXHAUST FAN	BATHROOM	-	-	LED	USE W/ HUMIDITY SENSOR SWITCH
G	WALL SCONCE	EXTERIOR	-	-	LED	VERIFY LOCATION AND TYPE W/ OWNER
H	LINEAR STRIP	UPPER CABINETS	-	-	LED	DIMMABLE
I	CEILING FAN	VARIES	-	-	LED	DIMMABLE

RCP/ELECT. NOTES

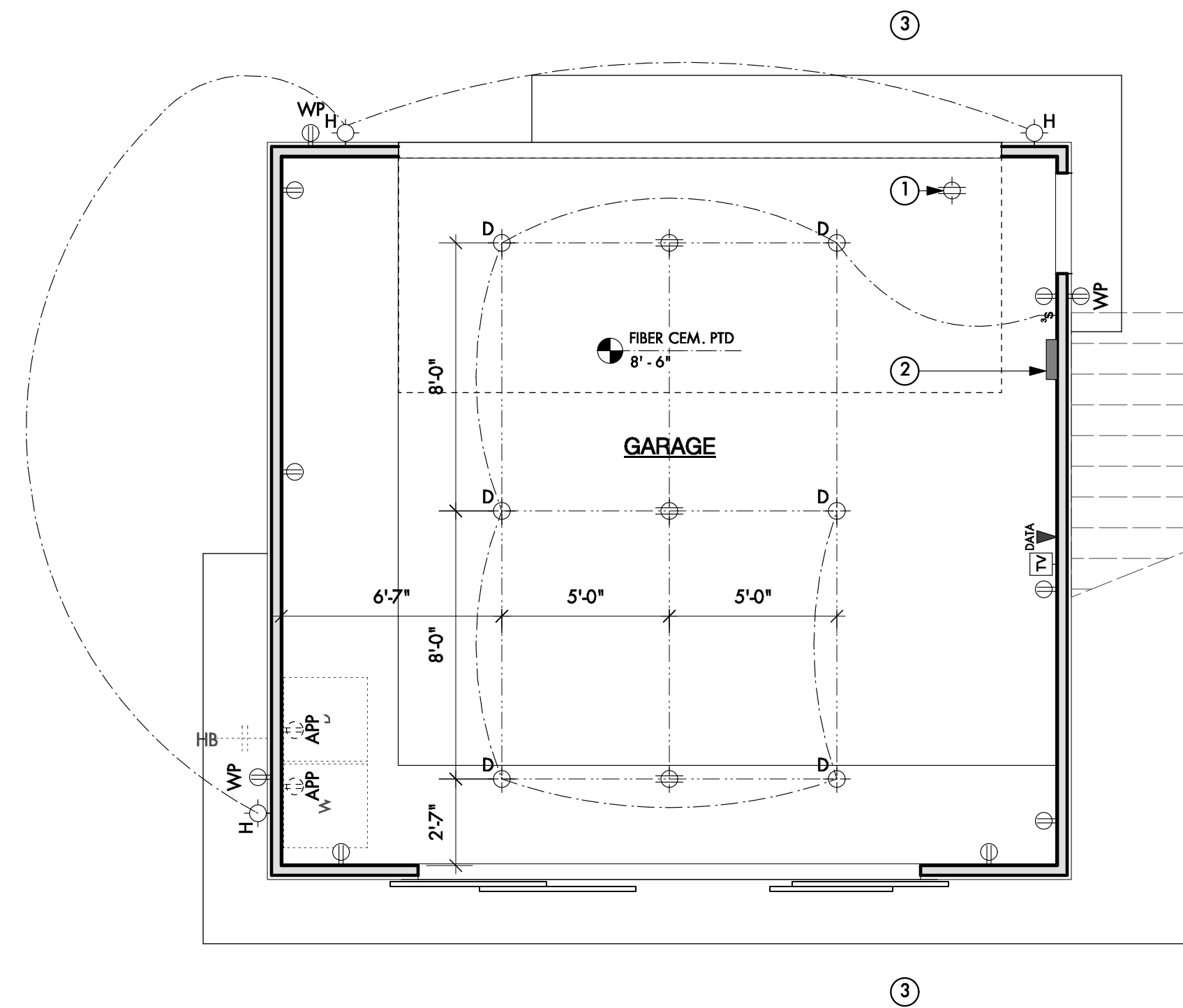
1. SCHEDULE WALK THRU & VERIFY LOCATIONS OF ALL ELECT. FIXTURE, OUTLET, PANEL, CABLE DATA, SMOKE DETECTORS, SWITCHES, ETC. W/OWNER & ARCH. IN FIELD FOR FINAL APPROVAL
2. ALL FIXTURES TO BE ALIGNED & SPACED AS SHOWN, PLAN FRAMING AS REQ'D.
3. ALL SWITCH PLATES & WALL PLATES TO BE SELECTED BY OWNER & ARCH.
4. ALL SWITCHES, EXCEPT IN MECH. AREAS TO BE DIMMABLE
5. ALL CEILING/WALL MOUNTED EQUIPMENT INCLUDING FIXTURE TRIMS, NON-DECORATIVE MECH. GRILLES, EXHAUST FANS, SPEAKER COVERS, SMOKE DETECTORS, ETC. TO BE PAINTED TO MATCH ADJ. SURFACE FINISH UNLESS NOTED OTHERWISE, CONSULT W/ARCH. PRIOR TO WORK.
6. ALL SWITCH PLATES TO BE MOUNTED AT 48" A.F.F. U.N.O.
7. SCH. WALK THRU WITH MECH. SUB/ARCH & OWNER TO VERIFY AIR SUPPLY & AIR RETURN LOC.
8. ALL ELECT. WALL MOUNTED OUTLETS TO BE MOUNTED ON BASE BOARD U.N.O. PLATES TO MATCH BASE BOARD. ALL ELECT. FLOOR MOUNTED OUTLETS TO HAVE STL. PLATE COVER. INSTALL FLUSH W/F.
9. LIGHT BEAM PATTERN OF EACH LAMP IS TO BE DETERMINED BY THE ARCH.
10. FOR PRODUCTS ALTERNATES CONTRACTOR & SUBS SHALL PROVIDE CUT SHEETS FOR ARCH. APPROVAL PRIOR TO PURCHASE
11. PROVIDE CUT SHEETS FOR ALL AIR SUPPLY & AIR RETURN GRILLS, LINEAR DIFFUSERS & SLOT DIFFUSERS
12. CONTRACTOR SHALL PROVIDE APPROPRIATE DOCUMENTS THAT REFLECT ANY CHANGES TO THE ORIGINAL SPECIFICATIONS OR LAYOUT
13. PROVIDE 2 SPARE LAMPS OF EACH TYPE FOR THE OWNER
14. PROVIDE OWNER WITH ALL MANUF. INSTRUCTIONS
15. CONTRACTOR TO PROVIDE GFI OUTLETS AT ALL WET AREAS AS REQUIRED BY CODE
16. SWITCHES TO BE GANGED
17. FOR EACH FIXTURE PROVIDE ALL NECESSARY PARTS (I.E. TRANSFORMERS, TRIM, LEADS, LAMPS, FITTINGS)
18. CONTRACTOR TO COORDINATE SECURITY/MEDIA/SOUND & COMPUTER SYSTEMS W/OWNER. CONTRACTOR TO PROVIDE NECESSARY ELECTRICAL CONNECTIONS PER OWNER'S CONSULTANT.
19. EACH FIXTURE TO BE SUITABLE FOR INTENDED LOC. & INSTALLATION CONDITION, I.E. INSULATED CEILING, ADJ. CAN IN SLOPED CEILING, SAME TRIM SIZE/STYLE IN EACH SPACE OR CIRCUIT ETC.
20. ELECTRICIAN TO USE I.C. OR NON I.C. FIXTURE KITS AS REQUIRED
21. ALL LIGHT FIXTURES LOCATED IN WET LOC. & CLOSETS SHALL HAVE LENS COVER & COMPLY W/CODE REQUIREMENTS
22. PROVIDE CORRECT HOUSING/PLATFORM FOR EACH RECESSED FIXTURES ACCORDING TO MANUF. RECOMMENDATIONS, CEILING CONDITION & LOC.
23. LOCATE ALL STUCCO WEEP SCREEDS & VENTS IN FIELD W/ARCHITECT
24. ALL DIFFERENT RECESSED CANS TO MATCH STYLE & SIZE U.N.O.
25. PROVIDE DIMMERS ON ALL BATHROOM AND BEDROOM RECESSED LIGHTING FIXTURES. VERIFY W/ OWNER.



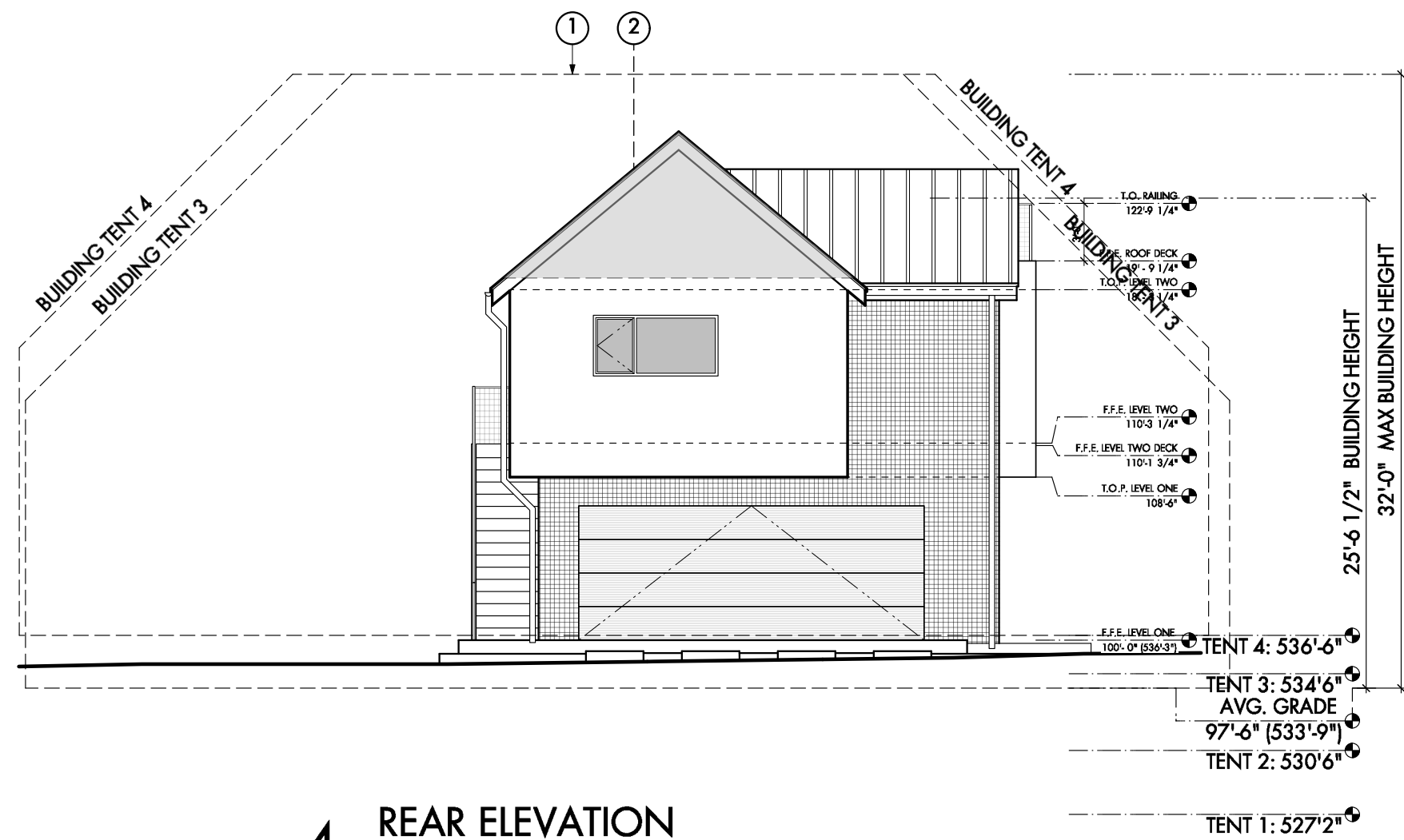
3 POWER & LIGHTING - ROOF
Scale: 1/4" = 1'-0"



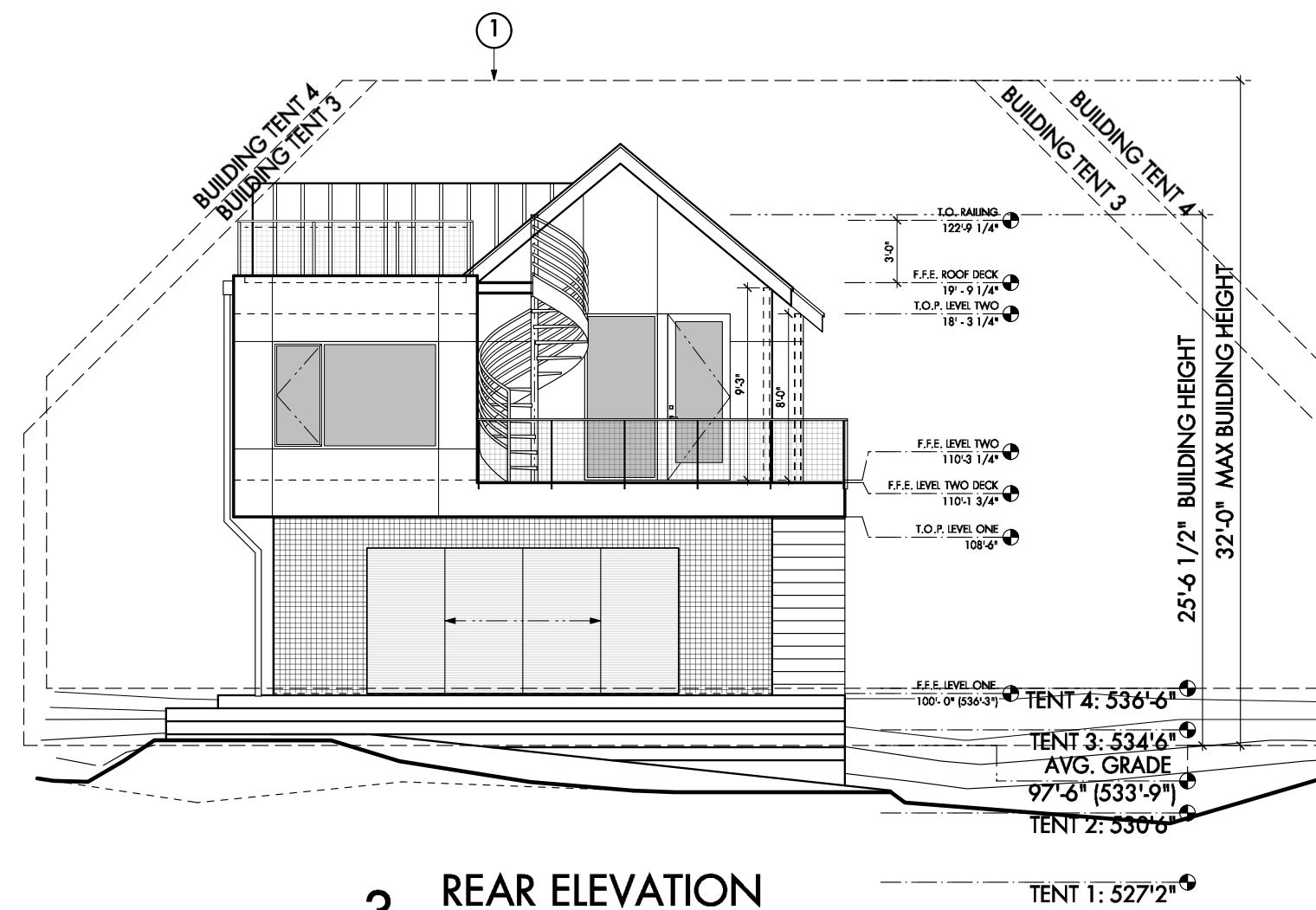
2 RCP STUDIO - LEVEL 2
Scale: 1/4" = 1'-0"



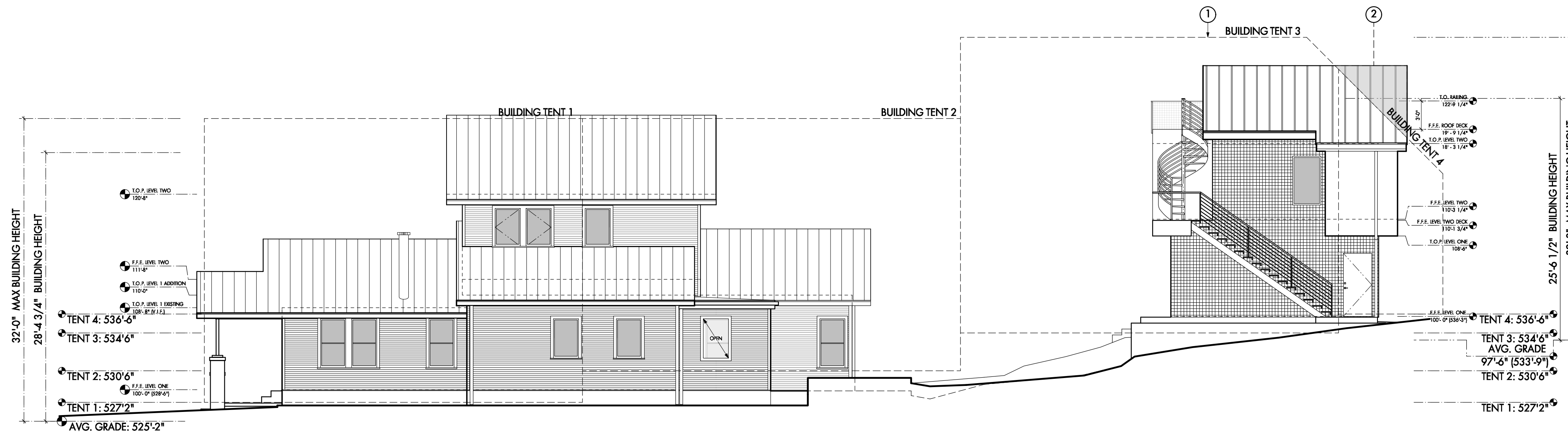
1 RCP GARAGE - LEVEL 1
Scale: 1/4" = 1'-0"



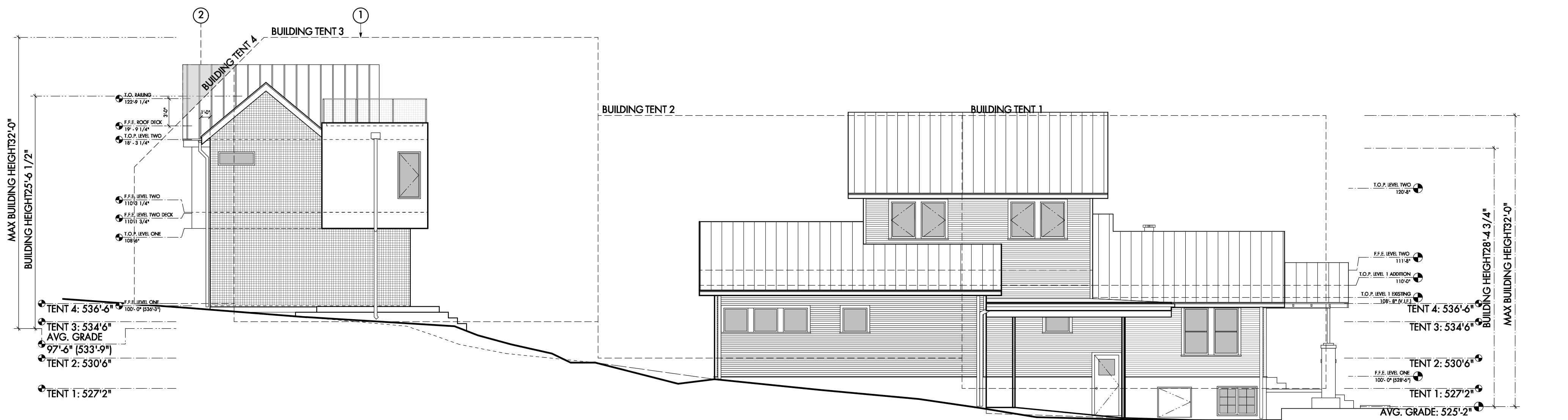
4 REAR ELEVATION
Scale: 1/8" = 1'-0" 24" x 36"
1/16" = 1'-0" 11" x 17"



3 REAR ELEVATION
Scale: 1/8" = 1'-0" 24" x 36"
1/16" = 1'-0" 11" x 17"



2 NORTH ELEVATION
Scale: 1/8" = 1'-0" 24" x 36"
1/16" = 1'-0" 11" x 17"



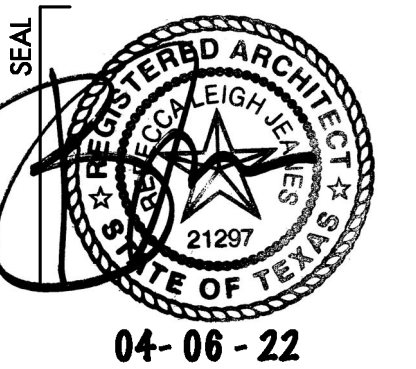
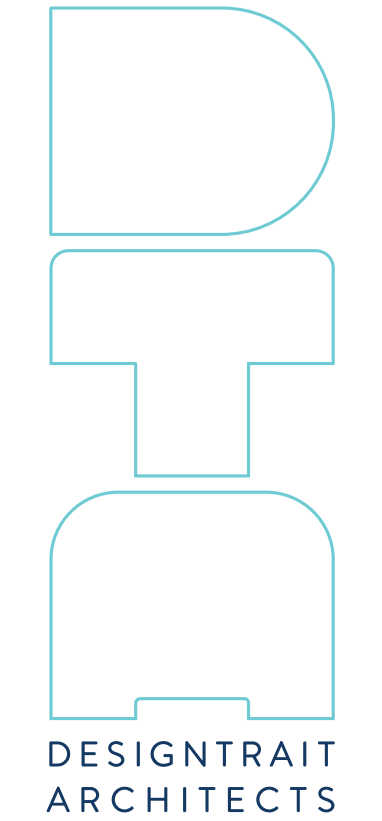
1 SOUTH ELEVATION
Scale: 1/8" = 1'-0" 24" x 36"
1/16" = 1'-0" 11" x 17"

GENERAL NOTES | ELEVATIONS

1. Do not scale the drawings. If a specific dimension is not given, contact designtrail for clarification.
2. Keynotes located on this sheet are for this sheet only.
3. Frame sample and all hardware to be approved by designtrail.
4. Provide submittals & shop drawings showing number of windows, locations, of tempered glazing, etc.

KEYNOTES | TENT ELEVATIONS

1. McMansion Tent.
2. McMansion compliant. Refer to Subchapter F: Residential Design and Compatibility Standards Article 2 Section 2.6 E.



PROJECT
Maufrais Garage/ADU
906 Maufrais St
Austin, TX 78703

DRAWN BY
mp, bn, ch

SET/ISSUE
Permit Set

06 April 2022

SHEET TITLE
**TENT
ELEVATIONS**

SHEET
A2.0

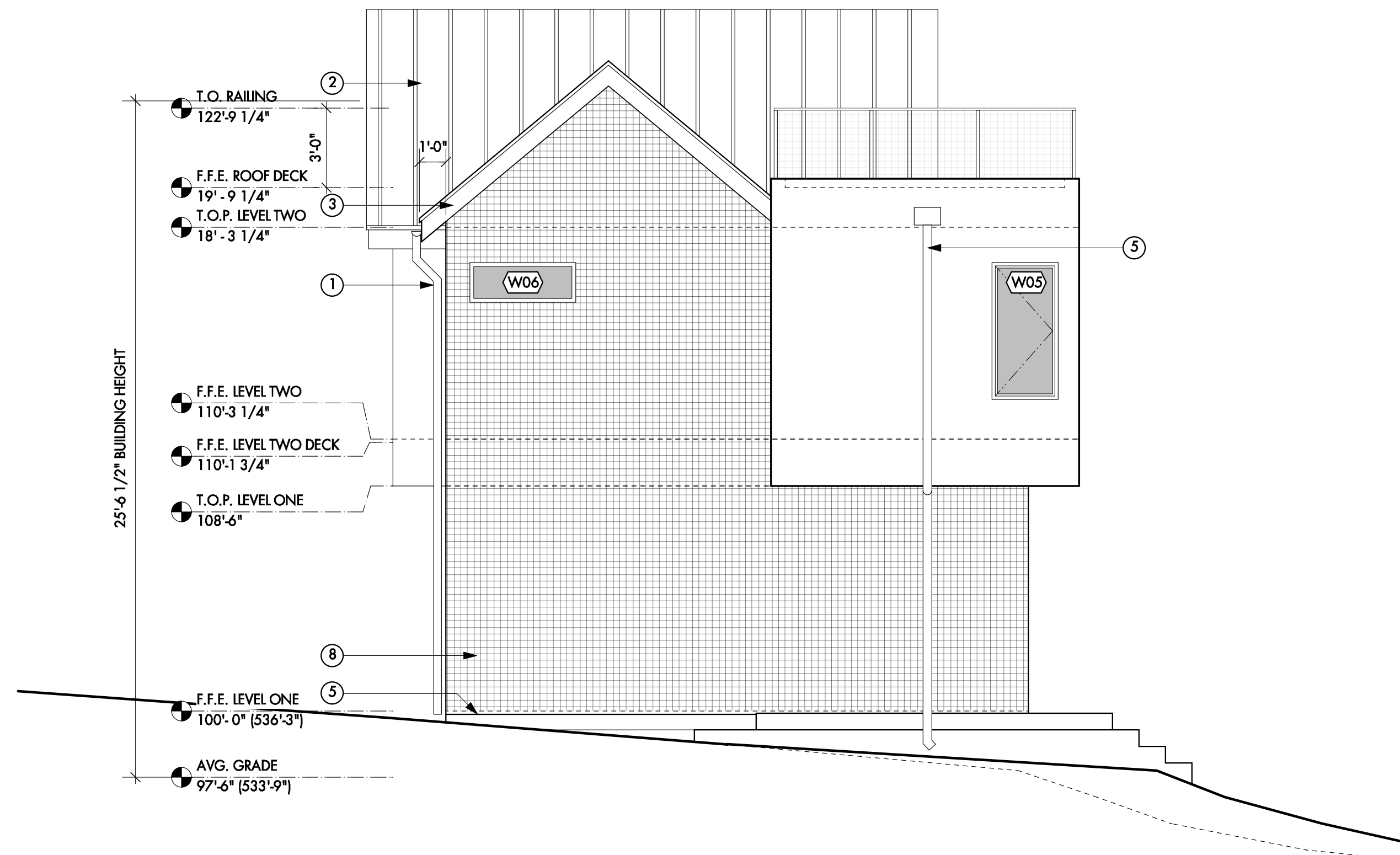
CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF
THE ARCHITECT AND MAY ONLY BE USED
IN CONJUNCTION WITH THIS PROJECT

KEYNOTES | ELEVATIONS (#)

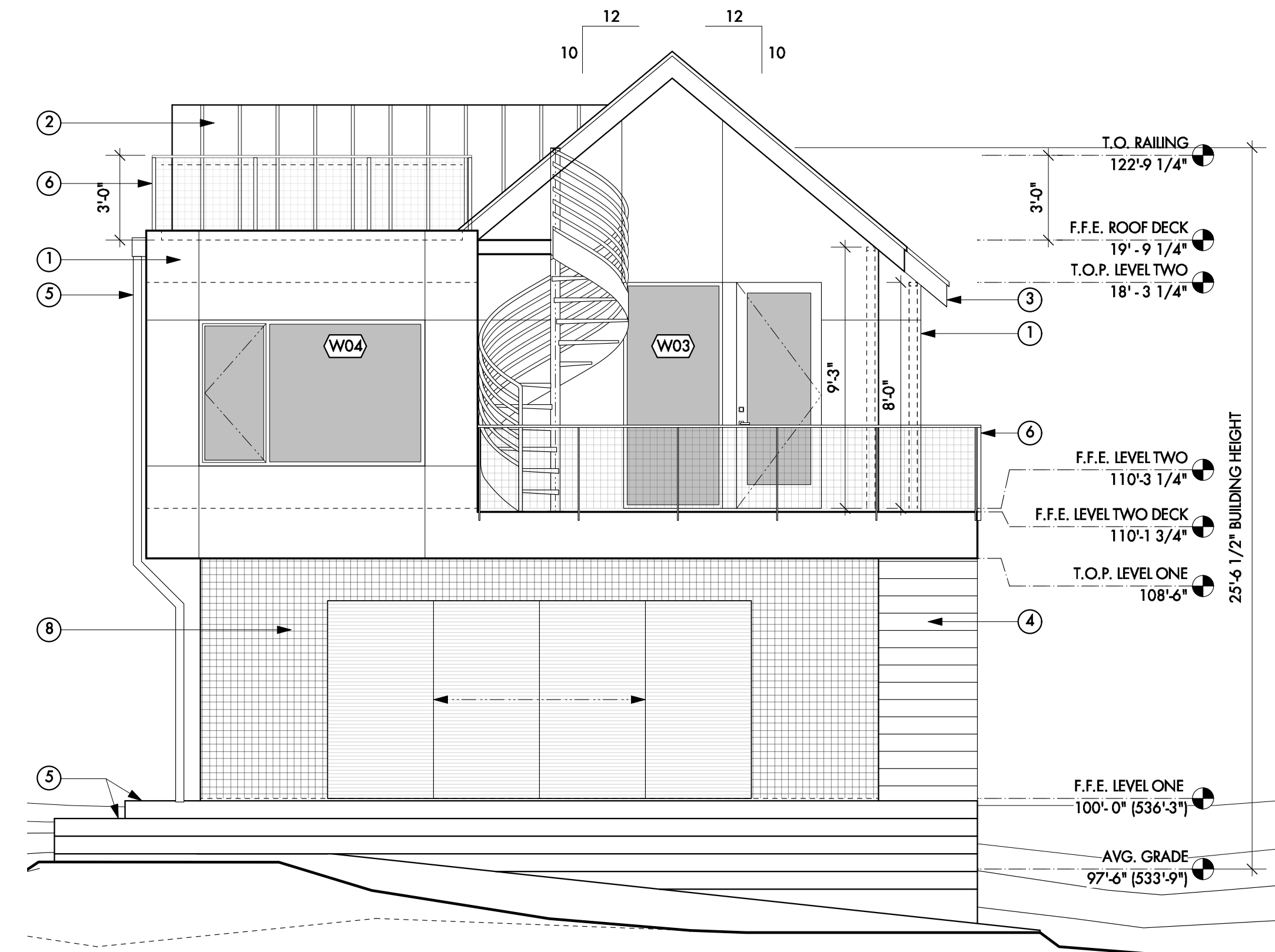
1. Stucco.
2. Standing seam metal roof.
3. Pld. Hardie fascia.
4. Wood stair, Refer to structural.
5. Landscaping per landscape designer.
6. Railing, (E) MTL-1.
7. Downspout, coordinate size accordingly w/ roof area for efficient drainage.
8. Metal mesh, (E) MTL-1.
9. Spiral stair.

GENERAL NOTES | ELEVATIONS

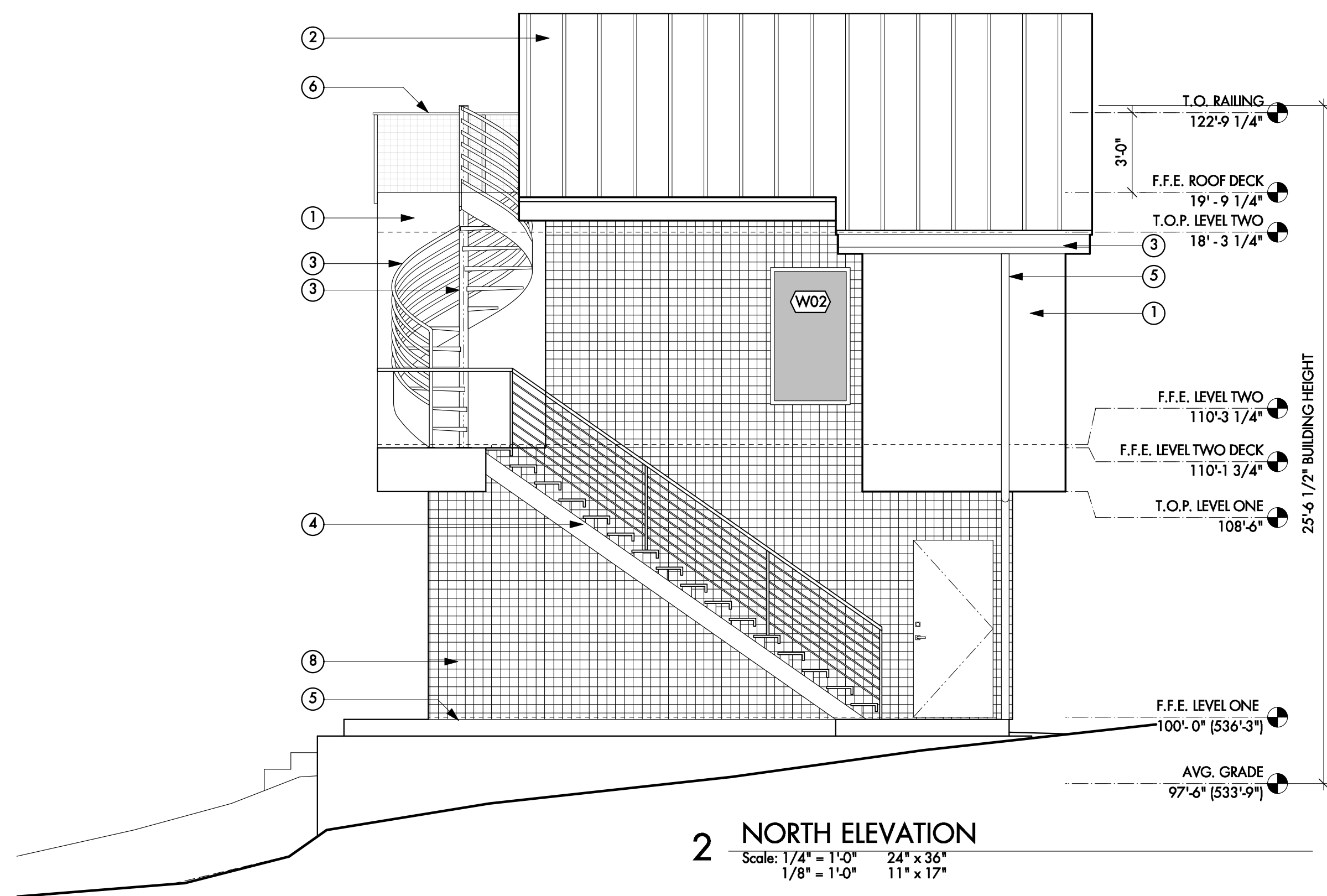
1. Do not scale the drawings. If a specific dimension is not given, contact designtrait for clarification.
2. Keynotes located on this sheet are for this sheet only.
3. Frame sample and all hardware to be approved by designtrait.
4. Provide submittals & shop drawings showing number of windows, locations, of tempered glazing, etc.



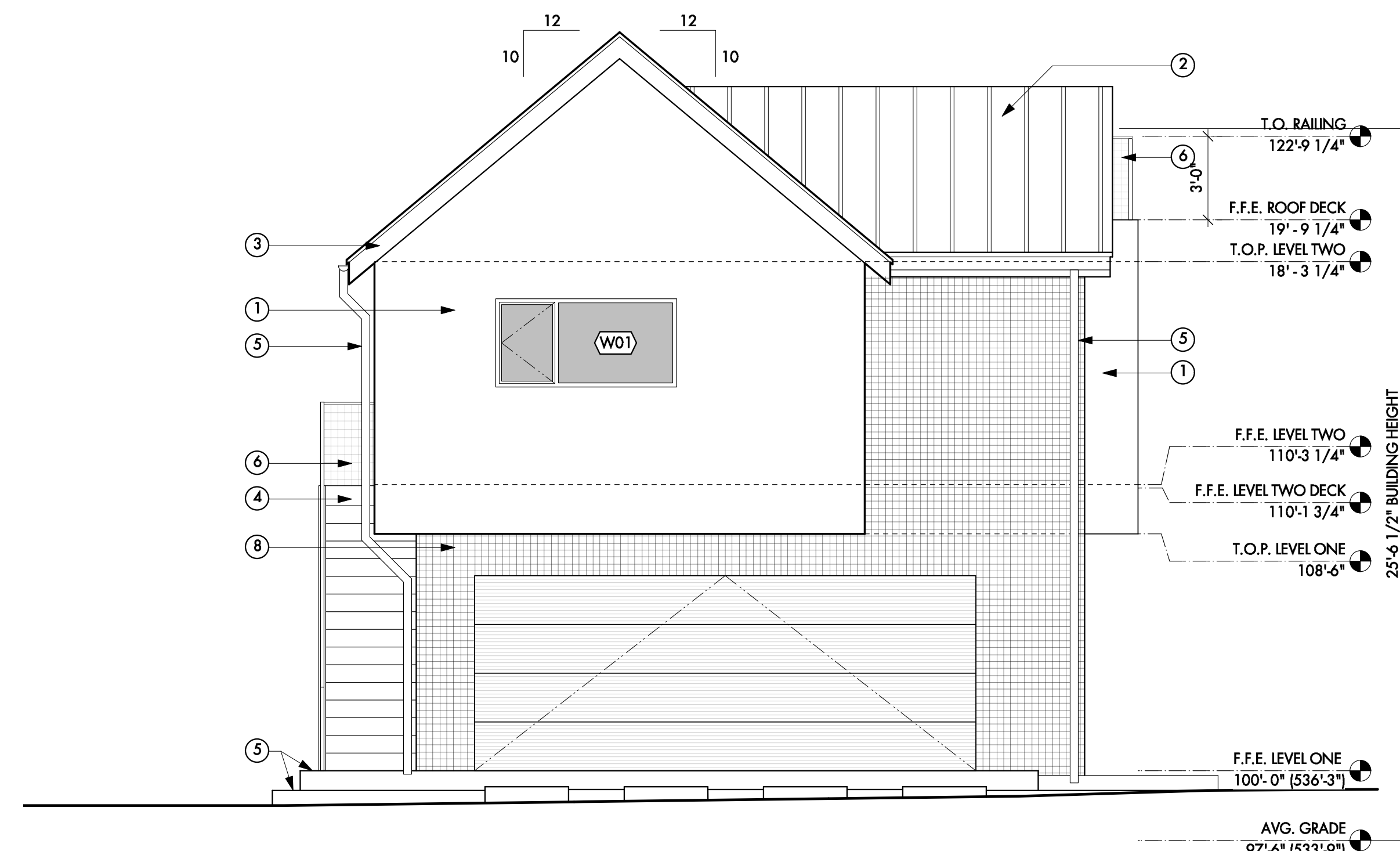
4 SOUTH ELEVATION
Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



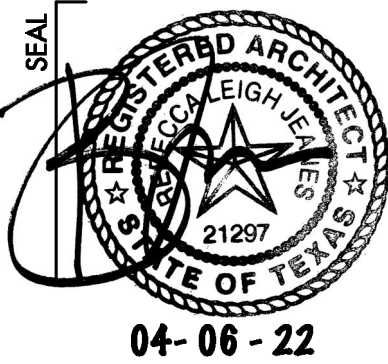
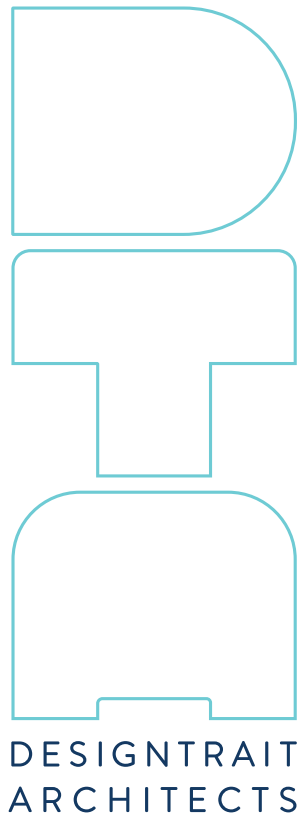
3 EAST ELEVATION
Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



2 NORTH ELEVATION
Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



1 WEST ELEVATION
Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



PROJECT
Maufrais Garage/ ADU
906 Maufrais St
Austin, TX 78703

DRAWN BY
mp, bn, ch

SET/ISSUE
Permit Set

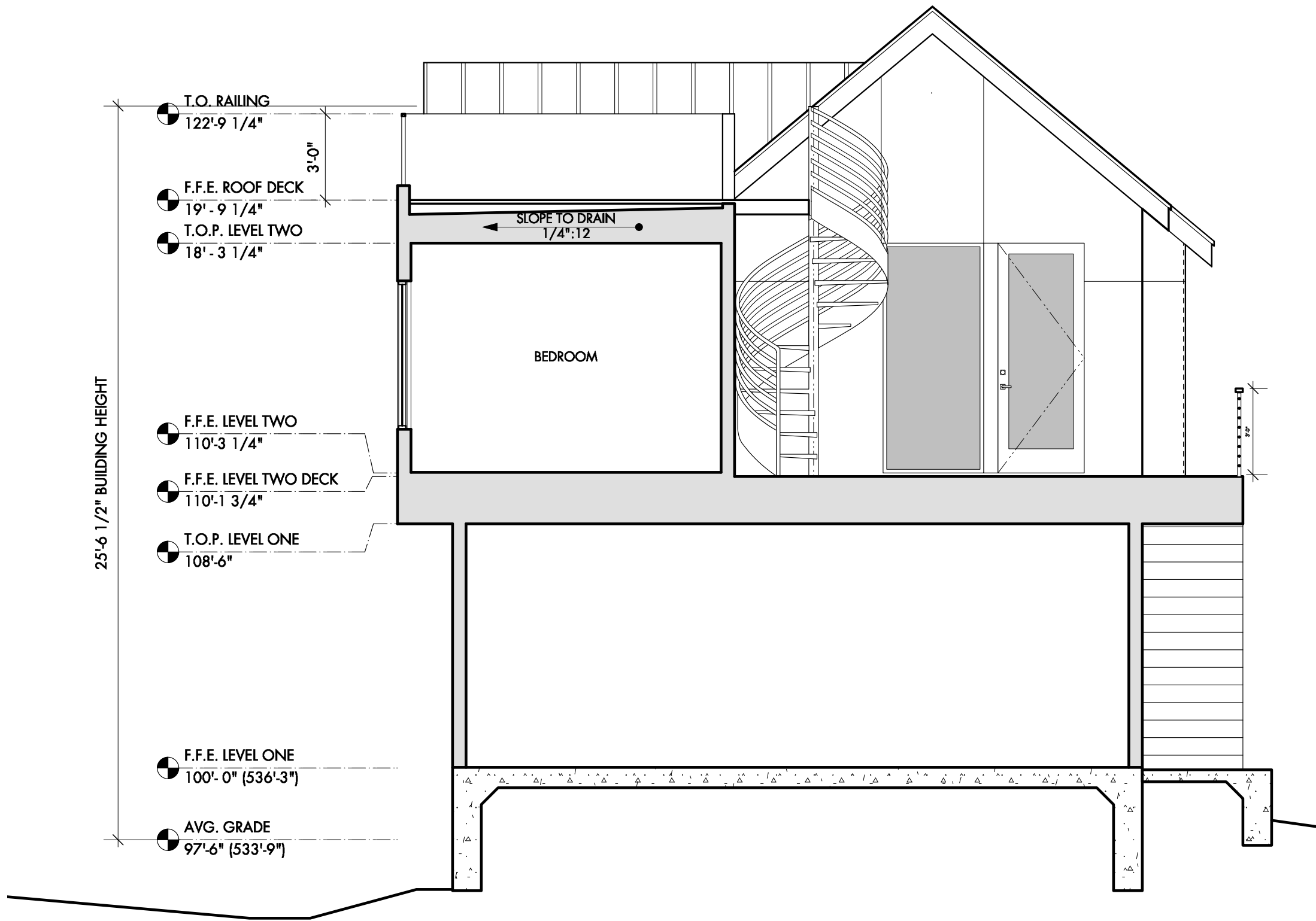
06 April 2022

SHEET TITLE
BUILDING SECTION

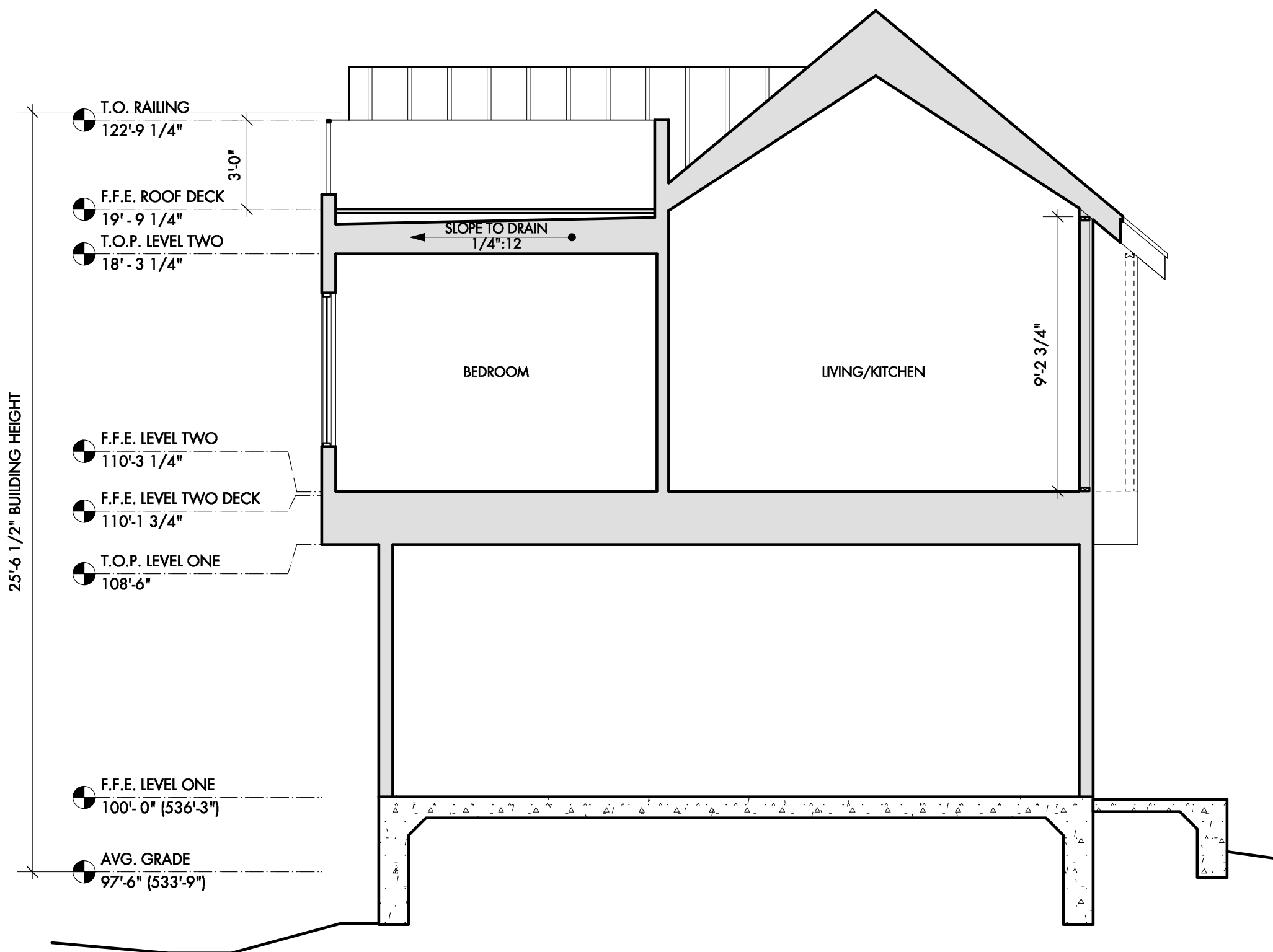
SHEET
A3.0

CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF
THE ARCHITECT AND MAY ONLY BE USED
IN CONJUNCTION WITH THIS PROJECT

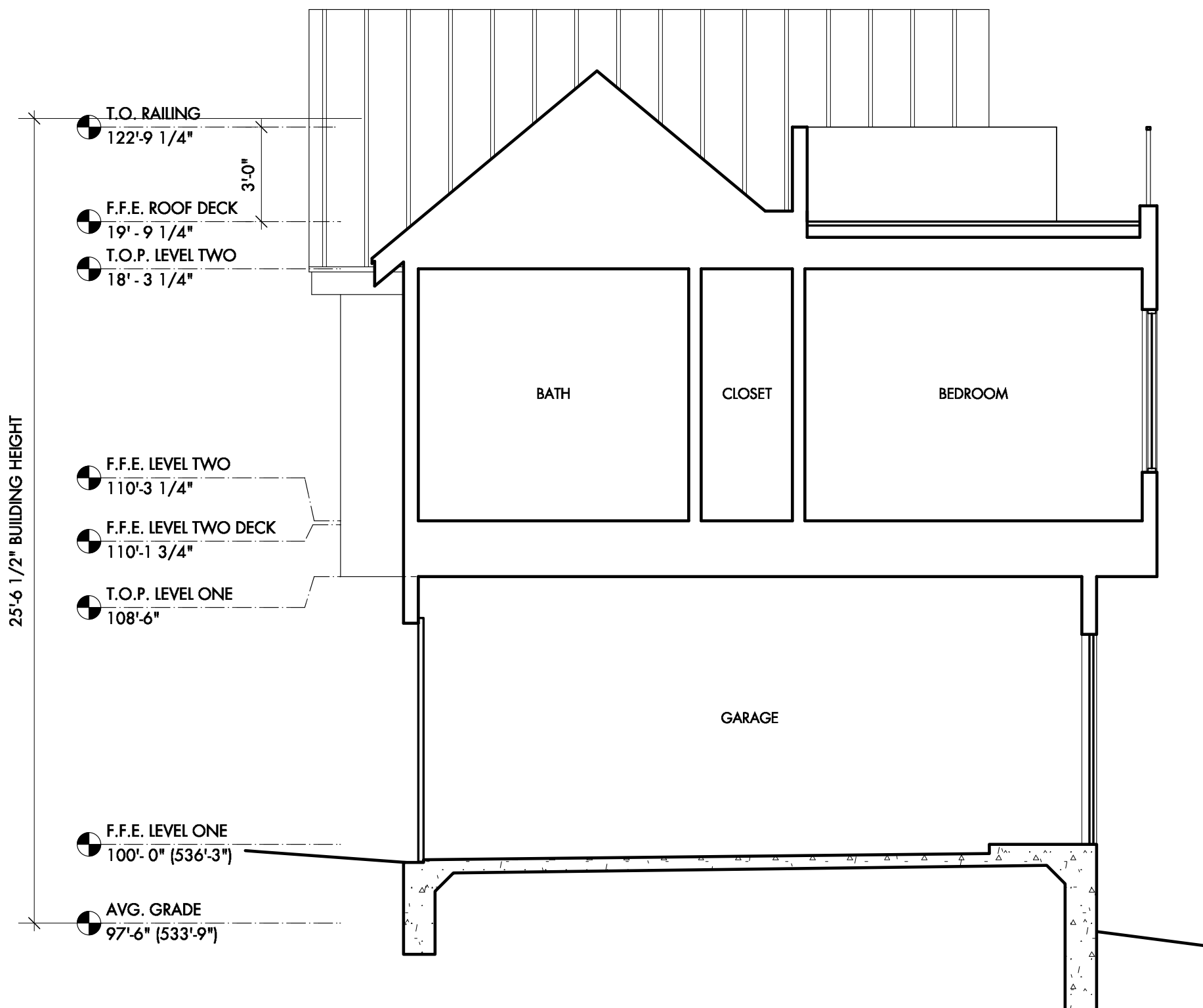
- GENERAL NOTES
1. Do not scale the drawings. If a specific dimension is not given, contact designtrait for clarification.
 2. Keynotes located on this sheet are for this sheet only.
 3. Frame sample and all hardware to be approved by designtrait.
 4. Provide submittals & shop drawings showing number of windows, locations, of tempered glazing, etc.



3 BUILDING SECTION
Scale: 1/4" = 1'-0"



1 BUILDING SECTION
Scale: 1/4" = 1'-0"



2 BUILDING SECTION
Scale: 1/4" = 1'-0"

SYMBOL LEGEND | INTERIOR FINISHES

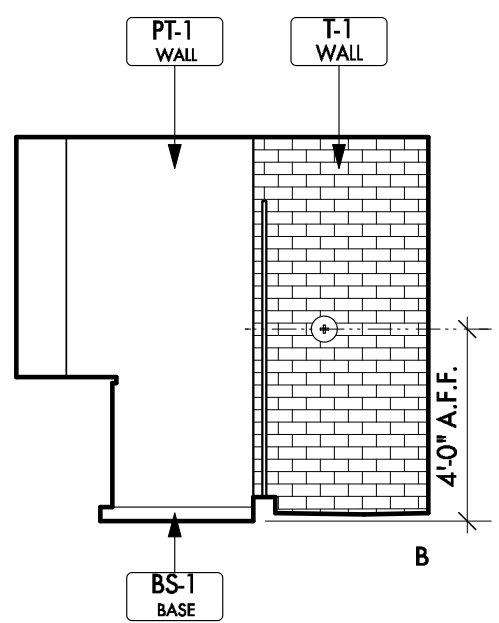
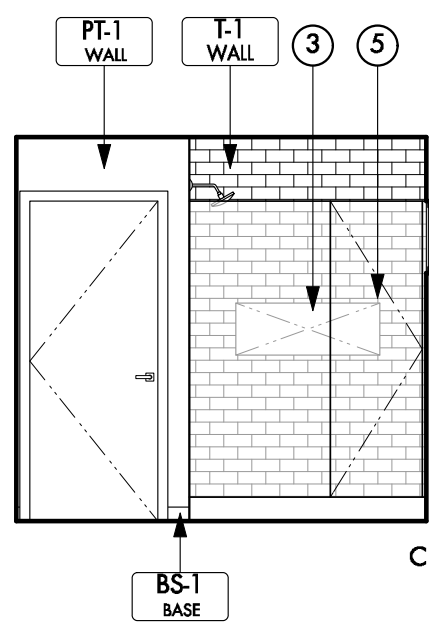
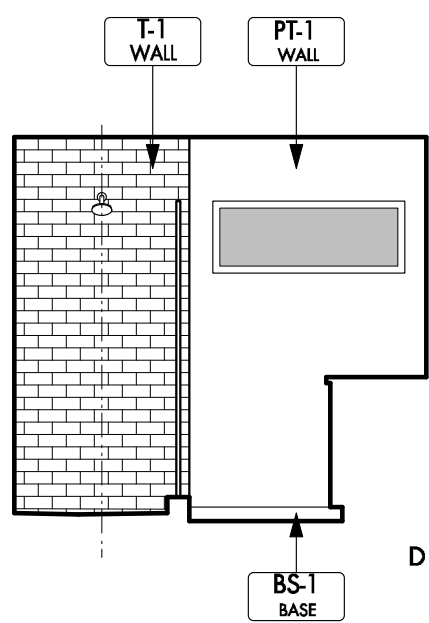
XXX
LOCATION) MATERIAL LOCATION AND DESIGNATION

KEY NOTES | INTERIOR ELEVATIONS

1. Light fixture per schedule.
2. Towel bar
3. Tiled niche.
4. .
5. Glass shower door, owner provided and installed.
6. HVAC return grille, refer to manuf. for size.
7. Open shelves

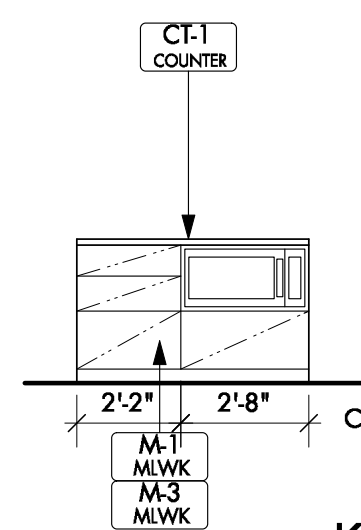
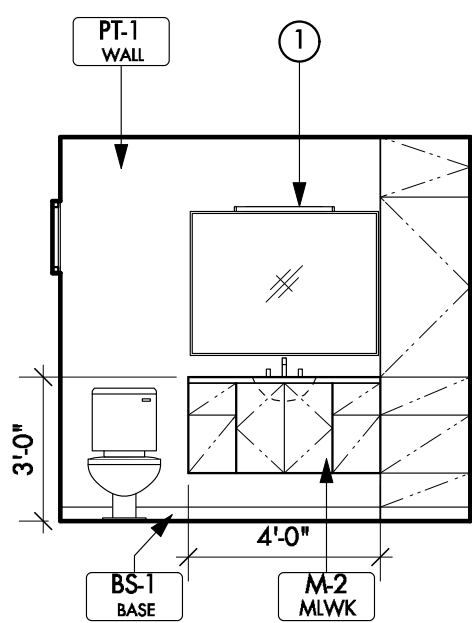
GENERAL NOTES

1. Do not scale the drawings. If a specific dimension is not given, contact designtrait for clarification.
2. Keynotes located on this sheet are for this sheet only.
3. Provide tempered glazing as required by local codes.
4. Frame sample and all hardware to be approved by designtrait.
5. Provide submittals & shop drawings showing number of windows, locations, of tempered glazing, etc.
6. Window types indicate rough sizes only. GC shall field verify the appropriate glazing sizes in the field prior to ordering. For any questions contact designtrait.
7. GC responsible for removing temporary infill panels at all window locations.



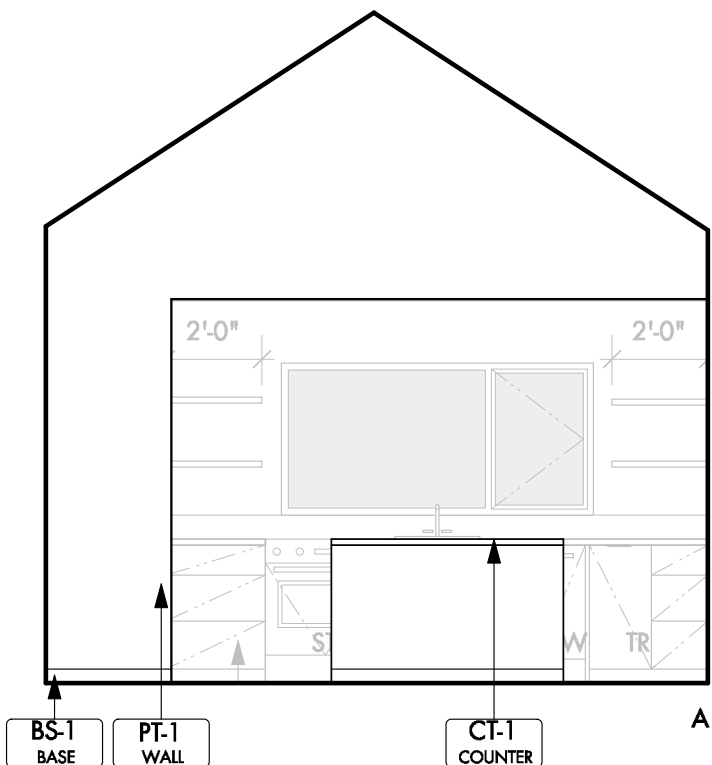
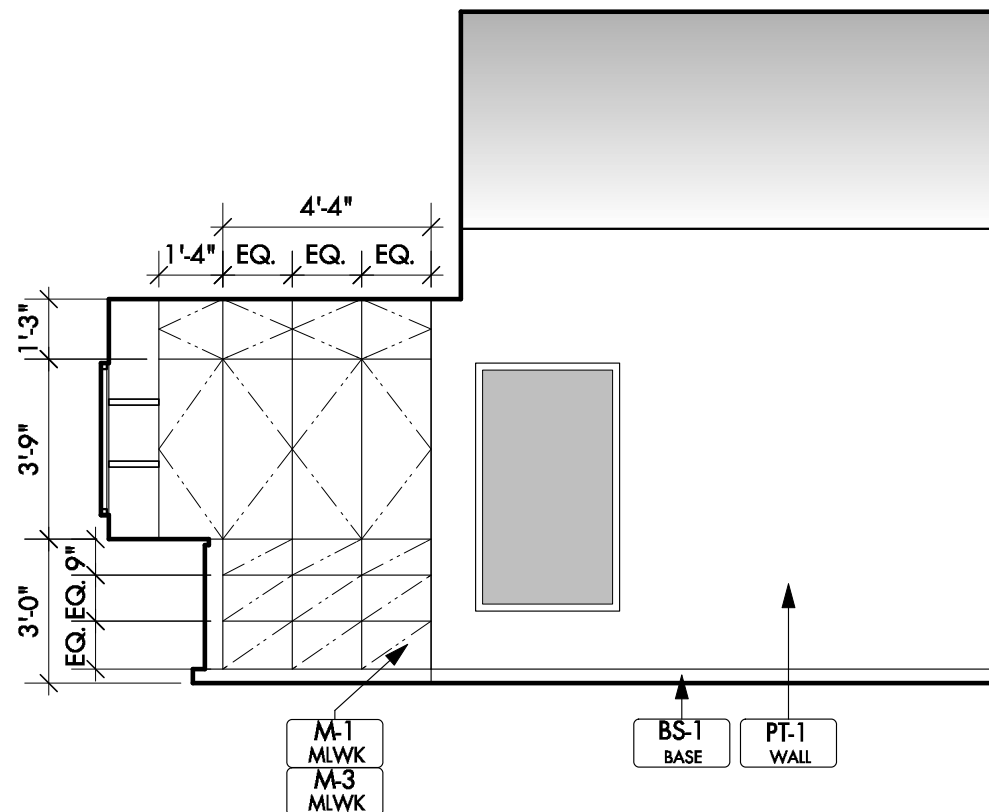
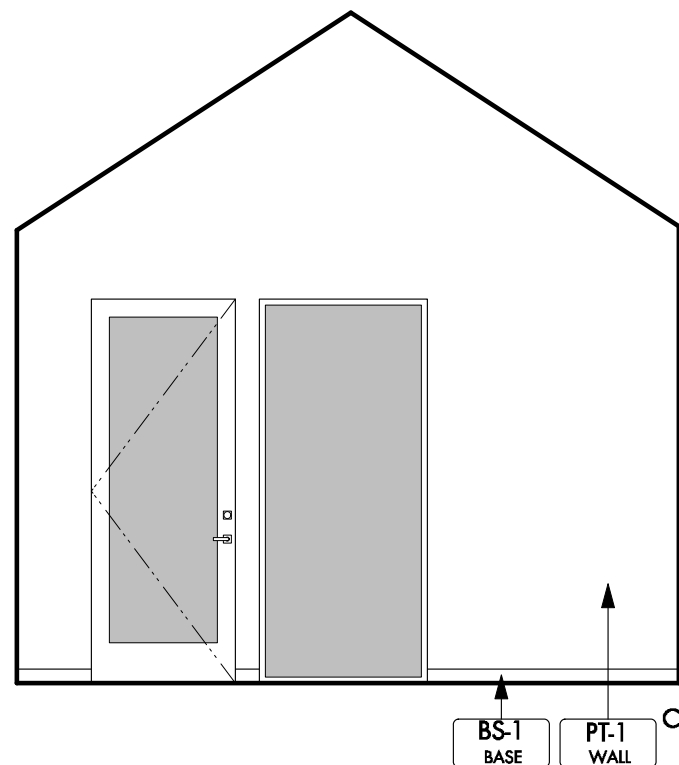
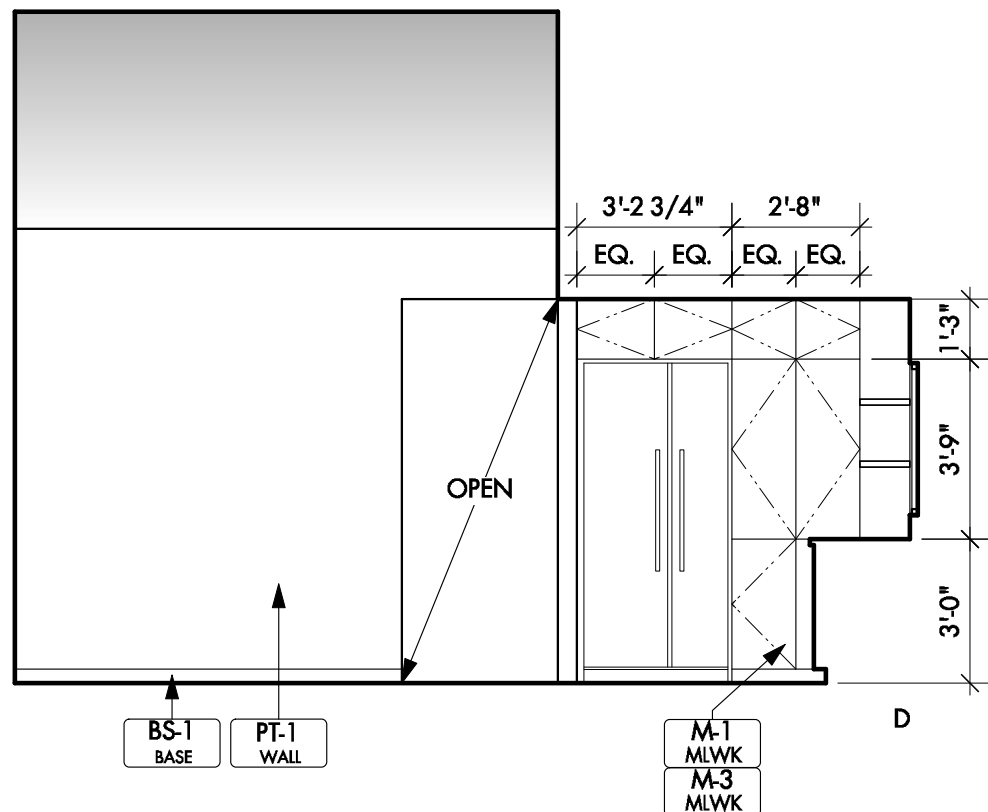
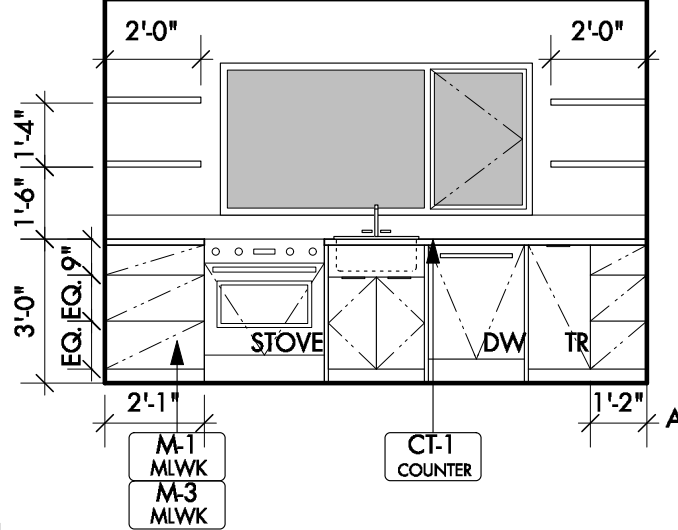
3 BATHROOM

Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



2 KITCHEN

Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"



1 LIVING


Scale: 1/4" = 1'-0" 24" x 36"
1/8" = 1'-0" 11" x 17"

WINDOW ELEVATIONS						GENERAL NOTES	
						<ol style="list-style-type: none">1. ANODIZED BLACK FINISH. CLEAR, LOW-E 1" IGU GLASS TO MEET U-VALUE & SHGC OF APPROVED ENVELOPE RES CHECK.2. WINDOW & DOOR STYLES AND FINISHES TO MATCH.3. INSTALL SAFETY GLAZING PER IRC 2015 R308.4, ALL HAZARDOUS GLASS MUST BE IDENTIFIED AS TEMPERED GLASS.4. FABRICATOR SHALL SUPPLY SHOP DRAWINGS FOR ALL WINDOWS AND WINDOW DETAILS.	
LEGEND						<p>Ⓟ TEMPERED SAFETY GLAZING</p> <p>W0X WINDOW TAG</p>	

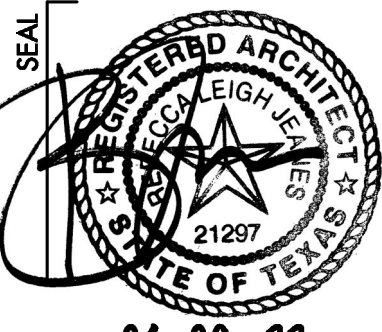
DOOR SCHEDULE												DOOR GENERAL NOTES	
Type	#	Size (WxHxD)	Door Material	Door Finish	Manufacturer	Frame Material	Frame Finish	Jamb	Head	Threshold	Transom/ Sidelite	Hardware Set	Notes
A	D101	18'-0" x 7'-0"	Roll Up	Anodized Black	TBD	Metal	Anodized Black	-	-	-	-	-	Insulate door panel
B	D102	3'-0" x 6'-8"	Metal w/ Insulation	Painted	Armor Door	Metal	Painted	-	-	-	-	#2	Insulate door panel
C	D103	15'-0" x 7'-0"	Metal w/ Insulation	Painted		Metal	Painted	-	-	-	-		
D	D201	3'-0" x 8'-0"	Solid Core w/ Glass	Painted/ Frosted	Krosswood Doors	Wood	Painted	-	-	-	W03	#2	Insulate door panel, Clear Low E 1" IGU, Frosted Safety Glazing
E	D202	2'-8" x 6'-8"	Solid Core Wood	Painted	Krosswood Doors	Wood	Painted	-	-	-	-	#1	
F	D203	2'-8" x 6'-8"	Solid Core Wood	Painted	Krosswood Doors	Wood	Painted	-	-	-	-	#1	
F	D204	4'-0" x 6'-8"	Solid Core Wood	Painted	TBD	Wood	Painted	-	-	-	-	#3	
DOOR TYPES												LEGEND	
												<p>Ⓟ TEMPERED SAFETY GLAZING</p> <p>A DOOR TYPE</p>	
HARDWARE KEY												<p>SET #1 - KWIKSET 155HFL PASSAGE LATCH WITH PRIVACY LOCK</p> <p>SET #2 - KWIKSET 156HFLS KEYED LOCKSET W/ DEAD BOLT, THRESHOLD, & WEATHERSTRIPPING</p> <p>SET #3 - KWIKSET 154HFL PASSAGE LATCH</p>	

INTERIOR FINISH SCHEDULE							LEGEND	INTERIOR FINISH SCHEDULE NOTES
Material	ID	Material	Manufacturer	Style/MFG. #/Color	Finish - Finish Class	Notes	<div><div>XXX</div> TAG</div> <div><div>XXX</div> ← <div>XXX</div> FLOORING/CEILING MATERIAL DESIGNATION AND TRANSLATION</div>	1. -
Paints	PT-1	Paint	Sherwin Williams	7042 Shoji White	Eggshell Finish	Verify w/ Owner & Designtrait		
Base	BS-1	1"x4" Paint Grade Wood	TBD	-	-	-		
Floor	FL-1	Wood	Malibu Wide Plank	Hickory Crescent	-	-		
	FL-2	Shower Tile	-	-	Unpolished, 12x24	-		
Counter	CT-1	Butcher Block	Swaner Hardwood	OLPCA09625	Finished Oak	-		
Millwork	MW-1	-	Ikea	-	-	Verify w/ Owner, Use MW-3 door and drawer faces.		
-	MW-2	Wall Hung Vanity 60"	Formosa	FCB31-123612ACA-CWHU	-	Bathroom w/ Countertop and Sink		
-	MW-3	Door and Drawer face	Semihandmade	-	Prefinished Night Sky	Verify with Owner		
Tile	T-1	Shower Wall	Floor & Decor	100484815, UPC 888369120917	Volakas Polished Porcelain Mosaic	Verify w/ Owner & Designtrait		

EXTERIOR FINISH SCHEDULE							LEGEND	EXTERIOR FINISH SCHEDULE NOTES
Material	ID	Material	Manufacturer	Style/MFG. #/Color	Finish - Finish Class	Notes	(E) XX-X MATERIAL DESIGNATION (E) REFERS TO EXTERIOR FINISH	1. All products and the detailing of their installation, including flashing, underlayments, and weather resistive barriers, should be installed in strict compliance with manufacturer's recommendations and in compliance with all applicable codes as mandated by all governing jurisdictions. Consult with architect and third party envelope consultant when needed.
Paints	(E) PT-1	Paint	-	-	-	Verify w/Owner & Design/tra		
Specialty	(E) SPT-1	Decking	-	-	-	Owner Provided		
Metal	(E) MTL-1	Wire Mesh	McNichols	3"x3", 3603190041	(E) PT-1	Provide submittal for equivalent products		
	(E) MTL-2	-	-	-	-	-		
	(E) MTL-3	Fascia	-	-	(E) PT-1	-		
	(E) MTL-4	-	-	-	-	-		
Siding	(E) SD-1	Hardie Panel	James Hardie	Smooth 4'x10'	(E) PT-1	-		

APPLIANCE SCHEDULE				LEGEND	APPLIANCE SCHEDULE NOTES
KEY	EQUIPMENT TYPE	MANUFACTURER/MODEL/FINISH	COMMENTS	<div> EQUIPMENT SYMBOL</div>	1. -
1	Refrigerator	KitchenAid, KUDR204EPA	Undercounter, panel ready, Use Proflow PFX146205 water line		
2	Cook Top	KitchenAid, KECC056R	Black		
3	Microwave	LG, LVMHM2237S	Built in over cook top		
4	Water Heater, Tankless	-	Refer to MEP		
5	Disposer	InSinkErator, Badger SXP	3/4 HP, GC provide power cord, use sink-top switch push button.		
6	Washer/Dryer	-	Owner Provided		
7	Heat Pump	-	-		
8	Air Handler	-	-		
9	Dishwasher	-	-		

PLUMBING SCHEDULE							LEGEND	PLUMBING SCHEDULE NOTES
#	ITEM	MANUF.	MODEL NAME	MODEL #	COLOR/FINISH	COMMENTS	<div><div>(X)</div> FIXTURE SYMBOL</div>	1. Owner provided items will be installed after prefab construction and installation is completed.
P1	Kitchen Faucet	Kohler	Evoke	K-6332	Polished Chrome	-		
P2	Kitchen Sink	Kohler	Vault 1.5"	K-3840-1	Stainless Steel	Drop In		
P3	Bathroom Faucet	Kohler	Purist Widespread	K-14406-3	Chrome	-		
P4	Bathroom Mirror	-	-	-	-	Owner Provided		
P5	Shower Door	-	-	-	-	Owner Provided		
P6	Toilet	Kohler	Santa Rosa	K-10491-0	White	-		
P7	Shower Trim	Kohler	Purist Single Hdl	KTS14422-3	Chrome	-		
P8	Shower Valve	Kohler	Rite Temp 1/2"	K-8304K	n/a	-		
P9	Shower Kit	Schluter	Kerdi-Shower Kit SS	KSK965152SPVCE	Stainless Steel	-		



04-06-22

PROJECT
Maufrais Garage/ ADU
906 Maufrais St
Austin, TX 78703

DRAWN BY
mfp, bn, ch
SET/ISSUE
Permit Set
06 April 2022

SHEET TITLE
FINISH,
PLUMBING, &
APPLIANCE
SCHEDULES

SHEET
A7.1

CAUTION: DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF
THE ARCHITECT AND MAY ONLY BE USED
IN CONJUNCTION WITH THIS PROJECT