

**PLANNING COMMISISON  
SITE PLAN – COMPATIBILITY VARIANCES ONLY**

**CASE NUMBER:** SP-2021-0102C      **PC HEARING DATE:** June 14th, 2022

**PROJECT NAME:** 1400 Cedar Ave

**ADDRESS:** 1400 Cedar Ave

**COUNCIL DISTRICT:** 1

**OWNER/APPLICANT:** Urban Gravity (512) 259-6877  
5110 Lancaster Ct  
Austin, TX 78723

**ENGINEER:** Civiltude LLC (Alejandra Flores) (512) 761-6161  
5110 Lancaster Ct  
Austin, TX 78723

**CASE MANAGER:** Zack Lofton (512) 978-1735  
[zack.lofton@austintexas.gov](mailto:zack.lofton@austintexas.gov)

**NEIGHBORHOOD PLAN:** Chestnut Neighborhood Plan Area

**PROPOSED DEVELOPMENT:**

The applicant is proposing to redevelop 2 lots with commercial land uses zoned CS-MU-V-CO-NP into a 7-unit Condominium Residential land use with parking, bike parking and public sidewalk improvements.

**DESCRIPTION OF WAIVER:**

This item was a discussion item at the April 12<sup>th</sup> Planning Commission meeting, and the applicant made adjustments to their proposed site plan based on the Planning Commission and community feedback. It was again a discussion item at the May 24<sup>th</sup> Planning Commission meeting where it was postponed until this meeting.

The applicant is requesting a waiver from § 25-2-1063. This site is subject to a 25' compatibility setback and the proposed development is encroaching into the 25' setback on the north and west property lines. The west property line abuts an alley with an SF-3 property with a 5' rear setback on the opposite side of the alley and the north property line abuts an SF-3 property with a 5' interior side yard setback. After the April 12<sup>th</sup> meeting discussion, the applicant is now proposing the two units on the north side of the site to be setback 7' from the triggering north property line and the units on the western side to be setback 18' from the triggering property on the west side. If approved, this waiver will not impact sightlines at the intersection of 14<sup>th</sup> Street and Cedar Avenue.

**COMPATIBILITY:**

Section 25-2-1051 states that Article 10 Compatibility Standards apply if a use in a SF-6 or less restrictive zoning district is located on a property across the street from or adjoining a property on which is zoned SF-5 or more restrictive, or on which a use is permitted in a SF-5 or more restrictive zoning district is located.

§ 25-2-1063 - HEIGHT LIMITATIONS AND SETBACKS FOR LARGE SITES.

(A) This section applies to a site that has:

- (1) an area that exceeds 20,000 square feet; or
- (2) a street frontage that exceeds 100 feet.

(B) In this section, the term "structure" excludes a rain garden using no concrete that is designed in accordance with the Environmental Criteria Manual. A person may not construct a structure 25 feet or less from property:

- (1) in an urban family residence (SF-5) or more restrictive zoning district; or
- (2) on which a use permitted in an SF-5 or more restrictive zoning district is located

**SUMMARY STAFF RECOMMENDATION:**

Staff recommends approval of the compatibility setback waiver request and the site complies with all other compatibility standard requirements, such as lighting, screening, and building heights.

**PROJECT INFORMATION**

<b>TOTAL SITE AREA</b>	12,095 sq. ft.	0.2777 acres	
<b>EXISTING ZONING</b>	CS-MU-V-CO-NP		
<b>WATERSHED</b>	Boggy Creek (Urban)		
<b>WATERSHED ORDINANCE</b>	Comprehensive Watershed Ordinance		
<b>TRAFFIC IMPACT ANALYSIS</b>	Not required		
<b>CAPITOL VIEW CORRIDOR</b>	None		
<b>PROPOSED ACCESS</b>	Cedar Avenue		
	<b>Allowed/Required</b>	<b>Existing</b>	<b>Proposed</b>
<b>FLOOR-AREA RATIO</b>	2:1	0.35:1	1.36:1
<b>BUILDING COVERAGE</b>	95%	4,270 sf / 35.3%	6,043 sf / 50%
<b>IMPERVIOUS COVERAGE</b>	80%	11,788 sf / 97.46%	8,926 sf / 73.8%
<b>PARKING</b>	9	6	11

\*A 20% parking reduction is permitted in the urban core and Subchapter E permits parking reductions.

**EXISTING ZONING AND LAND USES**

	<b>ZONING</b>	<b>LAND USES</b>
<i>Site</i>	CS-MU-V-CO-NP	Commercial
<i>North</i>	SF-3-NP	Single-family residential
<i>South</i>	SF-3-NP	14 <sup>th</sup> Street then single-family residential with accessory dwelling unit
<i>East</i>	CS-MU-V-CO-NP	Cedar Avenue then Commercial
<i>West</i>	SF-3-NP	Alley then single-family residential with accessory dwelling unit

**ABUTTING STREETS**

<b>Street</b>	<b>Right-of-Way Width</b>	<b>Pavement Width</b>	<b>Classification</b>
Cedar Avenue	50 feet	30 feet	Local City Street
14 <sup>th</sup> Street	50 feet	30 feet	Local City Street

**NEIGHBORHOOD ORGANIZATIONS:**

- Austin Independent School District
- Austin Lost and Found Pets
- Austin Neighborhoods Council
- Chestnut Addition Neighborhood Assn. (C.A.N.A.)
- Chestnut Neighborhood Plan Contact Team

Chestnut Neighborhood Revitalization Corporation (CNRC)

Del Valle Community Coalition

East Austin Conservancy

Friends of Austin Neighborhoods

Homeless Neighborhood Association

Neighborhood Empowerment Foundation

Neighbors United for Progress

Preservation Austin

SELTexas

Sierra Club, Austin Regional Group



# CIVILITUDE

ENGINEERS & PLANNERS

5110 Lancaster Court  
Austin, Texas 78723  
Firm Registration #12469

**4 of 19**  
Phone 512 761 6161  
Fax 512 761 6167  
info@civiltude.com  
www.civiltude.com

May 11, 2022

**To: Zack Lofton**  
**Development Services Department**

**Re: Compatibility Setback Waiver**  
**1400 Cedar Ave (SP-2021-0102C)**  
**1400 Cedar Ave, Austin, TX 78702**

Dear Mr. Lofton,

On behalf of our client, Urban Gravity LLC, we are submitting a waiver request for the 1400 Cedar Ave project. We are requesting the following waiver to the Land Development Code to make the project feasible:

**Request: Allow to reduce the 25' no build setback to 7' [LDC 25.2.1063].**

The site is composed of 2 tracts of land adding up to 0.28 acres zoned CS-MU-V-CO-NP, surrounded by SF-3-NP properties. If it were to comply with compatibility standards, this site would be forced to be developed within 0.16-acres. This number of townhomes is not achievable within that footprint, given that compatibility also limits our height.

We would like to request that the compatibility standards are modified to reduce the no build zone from 25' to 7' from the SF-3 property located north to this site, and 25' to 18' from the eastern SF-3 property. Attached to this letter is the proposed building elevations sheet.

We believe this request does not disrupt the neighborhood's feel and meets the intent of the code, such that no high density or commercial developments occur in a near proximity to a single-family lot. The proposed density is 7 homes for two commercial lots.

Please accept this letter as our official request. If you have any questions, please call us at 512-761-6161.

Sincerely,

Alejandra Flores  
Project Engineer



**CIVILITUDE**  
ENGINEERS & PLANNERS

5110 Lancaster Court  
Austin, Texas 78723  
Firm Registration #12469

**5 of 19**  
Phone 512 761 6161  
Fax 512 761 6167  
hello@civiltitude.com  
www.civiltitude.com

May 16, 2022

Denise Lucas  
City of Austin Permitting and Development Center  
6310 Wilhelmina Delco Dr.  
Austin, TX 78752

Re: Engineer's Summary Letter  
Site Plan Application  
1400 Cedar Avenue, Austin, Texas 78702

Dear Ms. Lucas,

On behalf of our client, we are submitting an enclosed Site Plan Development Permit application package for 1400 Cedar Ave. The project proposes 7 single-family detached condominium units on a 0.2776-acre property located within the Full-Purpose jurisdiction of the City of Austin. No portion of the site is within the 100-year floodplain, and the site is outside Edwards Aquifer Recharge Zone.

The site contains two legal lots (TCAD Parcels 0210111413 and 0210111412) and is platted under Vol. 2 Page 154. The property is located within the Boggy Creek Watershed, classified as Urban. The site is zoned CS-MU-V-CO-NP and is within the City of Austin's Chestnut Neighborhood Planning Area. An RSMP application is not required since the impervious cover onsite seems to be dated back in the 1950s-1960s. A request for fee in-lieu of water quality will be submitted with the formal submittal, since the site is less than 0.5 acres. Drainage pattern remains the same as existing conditions and runoff intensity will be reduced by the proposed development due to decrease in impervious cover.

The site is currently developed with single-family homes on both lots. The site has frontage and existing driveways on Cedar Avenue and 14<sup>th</sup> St. All parking requirements are met on site. Proposed building and improvements will be served by the existing City of Austin's Utility.

If you have any questions, please do not hesitate to contact us at 512-761-6161.

Sincerely,



Nhat M. Ho  
President

# CURRENT PROPOSAL

PRELIMINARY  
Not for regulatory approval,  
permitting, or construction.

W Travis Lucy  
TX 21664

5/10/22



INFO@LLVLLWORK  
512.565.0016

## 1400 Cedar Avenue

Urban Gravity LLC  
1400/1402 Cedar Ave  
Austin, Texas  
78702

### Directory

**Owner**  
Urban Gravity LLC

**Civil Engineer**  
Civiltude Engineers & Planners  
Contact: Whitney Benson  
512-761-6161  
Whitney@civiltude.com

**Architect**  
LLVLL Work LLC  
Contact: Travis Lucy, AIA  
512-565-0016  
travis@llvll.work

**MEP Engineer**  
Mint Engineers  
Contact: Rex Drake, PE  
512-270-9960  
rdrake@mintengineers.com



**Unit Summary (SF)**

Unit	1st	2nd	3rd	Total	Other	Patio/Porch	Balcony	(Non-Habitable Attic)
Unit 1	1,864 SF	3BR, 3.5BA, 2 Car Garage						
Unit 2	1,875 SF	3BR, 3.5BA, 2 Car Garage						
Unit 3	1,875 SF	3BR, 3.5BA, 2 Car Garage						
Unit 4	1,680 SF	2BR, 2.5BA, 1 Car Garage						
Unit 5	1,614 SF	2BR, 2.5BA, 1 Car Garage						
Unit 6	2,320 SF	3BR, 2.5BA, 1 Car Garage + Study						
Unit 7	2,320 SF	3BR, 2.5BA, 1 Car Garage + Study						

**Area Summary (SF)**

Conditioned	1st	2nd	3rd	Total	Other	Patio/Porch	Balcony	(Non-Habitable Attic)
Unit 1	300	751	813	1,864	437	36	62	-
Unit 2	302	758	815	1,875	437	36	58	-
Unit 3	302	758	815	1,875	437	36	58	-
Unit 4	427	792	422	1,680	316	32	62	434
Unit 5	419	778	417	1,614	309	36	62	424
Unit 6	730	1,640	550	2,920	310	60	60	550
Unit 7	734	1,644	550	2,928	310	77	57	550

\*Includes habitable attic area in conditioned total

### Site Development

No.	note	Date
1	Site Dev R1	2/8/22
2	Site Dev R2	2/28/22
3	Site Dev R3	5/10/22

### Site Plan

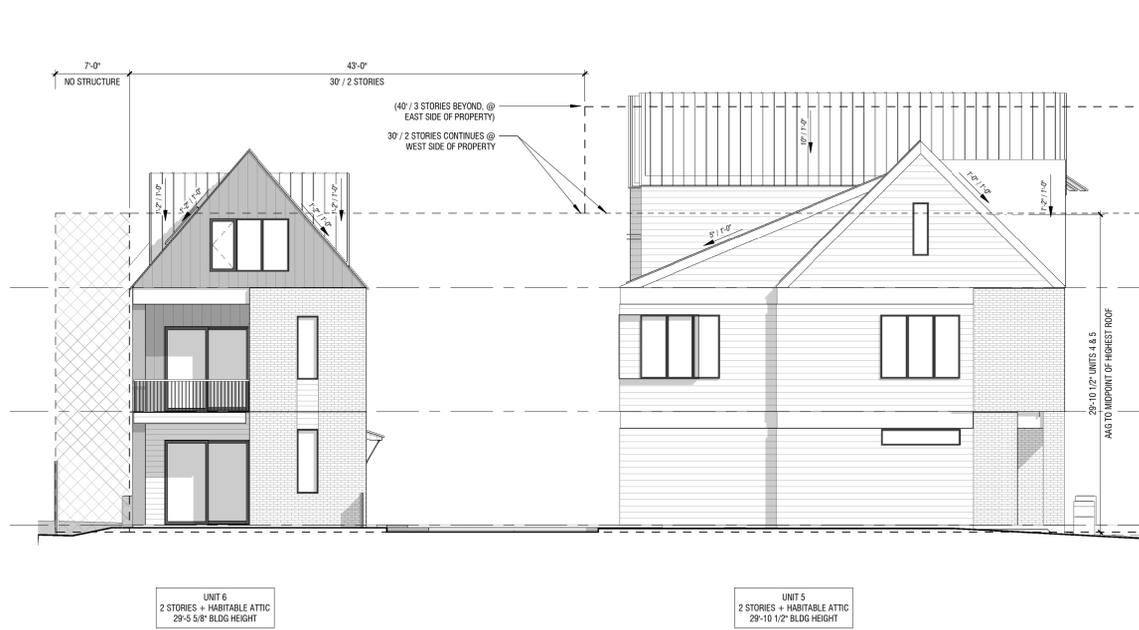
SITE PLAN APPROVAL SHEET \_\_\_\_\_ OF \_\_\_\_\_  
 FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ ON \_\_\_\_\_  
 CHAPTER \_\_\_\_\_ OF THE CITY OF AUSTIN CODE \_\_\_\_\_  
 EXPIRATION DATE (25-5-81, LDC) \_\_\_\_\_ CASE MANAGER \_\_\_\_\_  
 PROJECT EXPIRATION DATE (ORD #970905-A) \_\_\_\_\_ DWFZ \_\_\_\_\_ DDZ \_\_\_\_\_

Director, DEVELOPMENT SERVICES DEPARTMENT \_\_\_\_\_  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
 Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a Building permit is not required), must also be approved prior to the Project Expiration Date.

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

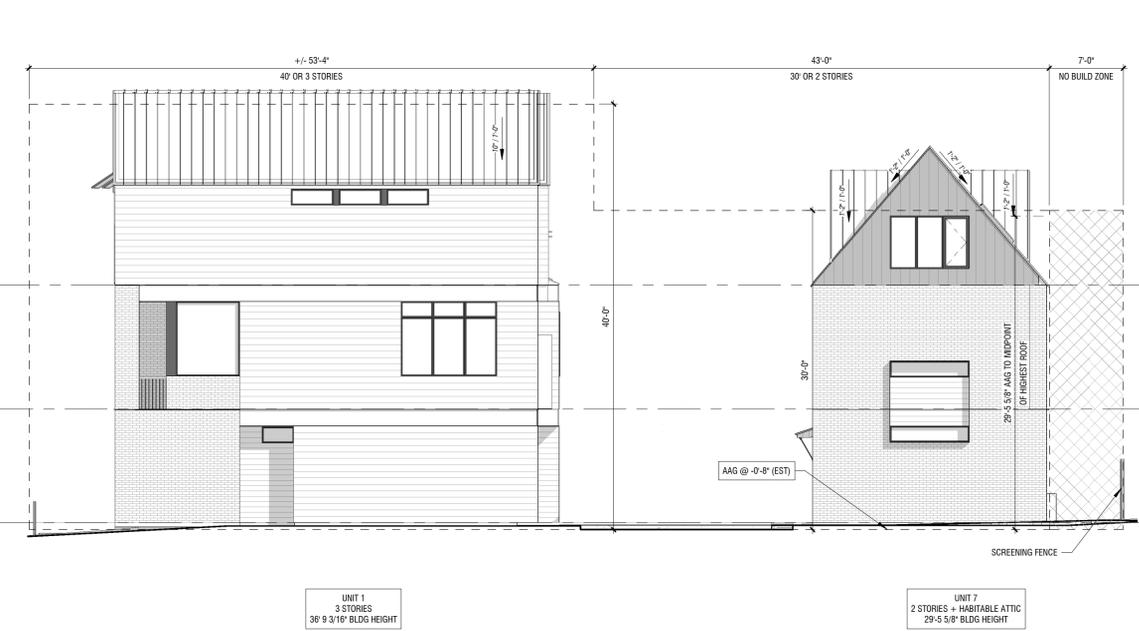
# CURRENT PROPOSAL



4 Building A&B West Elevation  
1/8" = 1'-0" A2.00



2 Building A North Elevation  
1/8" = 1'-0" A2.00



3 Building A&B East Elevation  
1/8" = 1'-0" A2.00



1 Building A South Elevation  
1/8" = 1'-0" A2.00

PRELIMINARY  
Not for regulatory approval,  
permitting, or construction.

W Travis Lucy  
TX 21664

5/10/2022



INFO@LLVLLWORK  
512.565.0016

**1400 Cedar Avenue**  
Urban Gravity LLC  
1400/1402 Cedar Ave  
Austin, Texas  
78702

### Site Development

No.	note	Date
Site Dev R1		2/8/22
Site Dev R2		2/28/22
Site Dev R3		5/10/22

### Exterior Elevations

SITE PLAN APPROVAL SHEET \_\_\_\_\_ OF \_\_\_\_\_  
 FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ ON \_\_\_\_\_  
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Director, DEVELOPMENT SERVICES DEPARTMENT  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
 Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a Building permit is not required), must also be approved prior to the Project Expiration Date.*

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

# CURRENT PROPOSAL

PRELIMINARY  
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5/10/22



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512.565.0016

## 1400 Cedar Avenue

Urban Gravity LLC  
1400/1402 Cedar Ave  
Austin, Texas  
78702



2 Building B South Elevation  
1/8" = 1'-0" A2.01



1 Building B North Elevation  
1/8" = 1'-0" A2.01

### Site Development

No.	note	Date
Site Dev R1		2/8/22
Site Dev R2		2/28/22

### Exterior Elevations

SITE PLAN APPROVAL SHEET \_\_\_\_\_ OF \_\_\_\_\_  
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Director, DEVELOPMENT SERVICES DEPARTMENT \_\_\_\_\_  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
 Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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SITE INFORMATION TABLE			
Gross Site Area (GSA)	12,095 SF	0.2777 Acres	
Net Site Area (NSA)	12,095 SF	0.2777 Acres	
Existing Land Use	Single Family or Duplex		
Proposed Land Use	Condominium Residential		
Zoning	CS-MU-V-CO-NP		
Gross Floor Area	13,562 SF	112.1% GSA	
Building Coverage	5,933 SF	49.1% GSA	
Impervious Cover (See IC Table)	8,748 SF	72.3% GSA	
Open Space Area	1,190 SF	9.8%	
Floor-To-Area Ratio	1.12 : 1		
Building Height	(Varies) Refer to Building Elevations Sheets		
Foundation Type	Slab on Grade		

BUILDING SUMMARY TABLE						
Unit No.	# Stories	Height	Sprinkler System	Foundation Type	Gross Floor Area	
					SF	% of GFA
1	3	36' 9.2"	NFPA 13D	Slab on Grade	1,864	13.7%
2	3	36' 9.2"	NFPA 13D	Slab on Grade	1,875	13.8%
3	3	36' 9.2"	NFPA 13D	Slab on Grade	1,875	13.8%
4	2	29' 10.5"	NFPA 13D	Slab on Grade	1,686	12.4%
5	2	29' 10.5"	NFPA 13D	Slab on Grade	1,614	11.9%
6	2	29' 5.6"	NFPA 13D	Slab on Grade	2,320	17.1%
7	2	29' 5.6"	NFPA 13D	Slab on Grade	2,328	17.2%
<b>TOTAL</b>					<b>13,562</b>	<b>100.0%</b>

PARKING SUMMARY TABLE			
Land Use	Quantity	Parking Ratio	Required Spaces
Condominium Residential (2-Bedroom)	2	1.5/unit plus 0.5 per additional	4
Condominium Residential (3-Bedroom)	5	1.5/unit plus 0.5 per additional	12.5
<b>Base Parking Requirement</b>			
Urban core reduction 20% per 25-6-478(A)			
Showers Reduction 10% per 25-6-478(D)			
<b>Total Parking Required</b>			
<b>Total Parking Provided</b>			
<b>Total Bike Parking Provided (5 or 5% total)</b>			

IMPERVIOUS COVER SUMMARY TABLE				
	Gross Site Area (GSA)	Net Site Area (NSA)	ERC	Proposed Net
	12,095 SF	12,095 SF	0.278 Ac.	0.278 Ac.
			Existing to Remain	Existing to be Removed
Building Footprint (SF and % GSA)	-	4,270	5,933	5,933
Main Driveway (SF)	-	35.30%	49.05%	49.05%
Sidewalk & Others (SF)	-	1,629	2,201	2,201
Total IC (SF)	-	5,889	615	615
Total IC (AC)	-	11,788	8,748	8,748
Total (% GSA)	0.00%	0.271	0.201	0.201
	0.00%	97.46%	72.33%	72.33%

- GENERAL NOTES:**
- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
  - TRASH CONTAINERS SHALL NOT BE LEFT AT CURB SIDE UNATTENDED. SIGNS MUST BE POSTED ON THE BUILDING OR AT A LOCATION THAT IS PUBLICLY VISIBLE INDICATING THAT TRASH CONTAINERS MAY NOT BE LEFT AT CURBSIDE. THE SIGN SHALL INDICATE THE CITY OF AUSTIN'S CODE ENFORCEMENT PHONE NUMBER FOR THE PUBLIC TO REPORT VIOLATIONS.
  - SERVICE COMMITMENT FROM A COMMERCIAL TRASH SERVICE MUST BE PROVIDED INDICATING THEY CAN PROVIDE SERVICE. THE LETTER SHOULD ADDRESS THE MINIMUM CLEARANCE REQUIREMENT FOR THE SERVICE VEHICLES.
  - NO ACCESSIBLE UNITS, ADAPTABLE UNITS, PUBLIC ACCOMMODATIONS OR AMENITIES ARE PROPOSED ON SITE.
  - EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.
  - APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
  - ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
  - SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
  - THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. THE MAXIMUM HORIZONTAL PROJECTION IS 30 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:12 AND 1:15, AND 40 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:16 AND 1:20.
  - EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.
  - EACH LOT REPRESENTS THE MAXIMUM POTENTIAL DEVELOPMENT. ACTUAL DEVELOPMENT MAY BE THE SAME OR LESS THAN WHAT IS SHOWN.

- AUSTIN FIRE DEPARTMENT NOTES:**
- SIGNS AND IDENTIFICATION MARKERS DESIGNATING FIRE ZONES/FIRE LANES. AFTER DESIGNATION OF A FIRE ZONE OR FIRE LANE UNDER THIS ARTICLE, THE FIRE CHIEF SHALL GIVE NOTICE OF THE DESIGNATION TO THE OWNER OF THE PROPERTY, DIRECTING THE OWNER TO CAUSE, AT THE EXPENSE OF THE OWNER, MARKINGS TO BE PAINTED ON ANY AREAS DESIGNATED AS A FIRE ZONE OR FIRE LANE. THE MARKINGS MUST BE RED WITH WHITE STENCILING READING "FIRE ZONE / TOW AWAY ZONE" OR "FIRE LANE / TOW AWAY ZONE" IN LETTERING AT LEAST THREE INCHES IN HEIGHT. THE STENCILING SHALL BE AT INTERVALS OF 35 FEET OR LESS. IN ADDITION, THE OWNER SHALL CAUSE SIGNS TO BE POSTED AT BOTH ENDS OF A FIRE ZONE OR FIRE LANE. ALTERNATIVE MARKINGS OF FIRE ZONES AND FIRE LANES MAY BE APPROVED BY THE FIRE CHIEF PROVIDED FIRE ZONES OR FIRE LANES ARE CLEARLY IDENTIFIED AT BOTH ENDS AND AT INTERVALS NOT TO EXCEED 35 FEET AND ARE CLEARLY MARKED "TOW AWAY ZONES" AT LEAST EVERY 35 FEET. THE SIGNS SHALL BE INSTALLED WITH THE TOP OF THE SIGN NO HIGHER THAN EIGHT FEET ABOVE GRADE AND NO LESS THAN FIVE FEET ABOVE THE GRADE.
  - DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.

- SUBCHAPTER E NOTES:**
- ALL EXTERIOR LIGHTING SHALL BE HOODED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT DIRECTED AT THE ADJACENT ZONED AND USED SF-5 OR MORE RESTRICTIVE USE (ORD. 910620-C, EXHIBIT B § VIII.10.K).



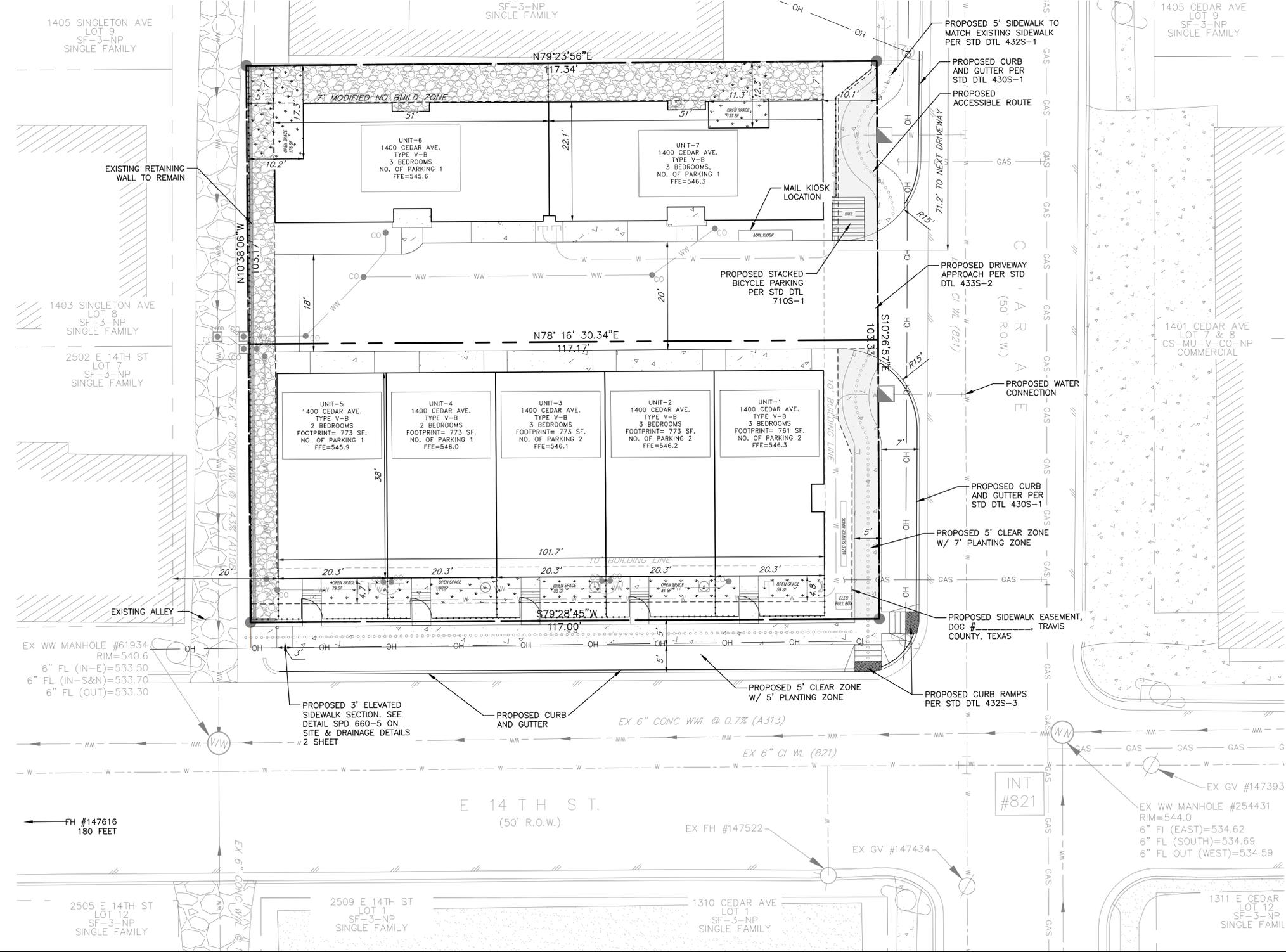
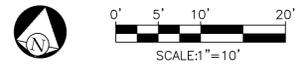
Figure 34: Examples of fully-shielded light fixtures.

- COMPATIBILITY STANDARD NOTES:**
- ALL EXTERIOR LIGHTING WILL BE FULLY SHIELDED FROM COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED AT BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
  - ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE.
  - THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12), WILL BE PROHIBITED.
  - THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES.
  - EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED.

EXISTING LEGEND	
	WATERLINE W/ GATE VALVE
	WASTEWATER W/ MANHOLE
	GROUND CONTOUR
	HYDRANT W/ GATE VALVE
	WATERLINE W/ GATE VALVE
	WASTEWATER W/ MANHOLE
	GROUND CONTOUR
	ACCESSIBLE ROUTE
	CONCRETE PAVEMENT

**DOWNSPOUTS NOTE:**  
ALL ROOFS MUST DRAIN TOWARD THE PROPOSED DRIVE ISLE.

**SCREENING NOTE:**  
SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.



NO.	DATE	REVISIONS	SHEET

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

1400 CEDAR  
1400 CEDAR AVE, AUSTIN, TEXAS 78702

**SITE PLAN**

**CIVILITUDE**  
ENGINEERS & PLANNERS

5110 LANCASTER CT. AUSTIN, TX 78723 FIRM REG # F12469  
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: 1"=10'

JOB NO: A474

DGN BY: PB

DWN BY: PB

RVW BY: MVR

STATE OF TEXAS  
Professional Engineer Seal  
11/19/94  
02/08/2022

SITE PLAN APPROVAL SHEET 07 OF 21  
FILE NUMBER: SP-2021-0102C APPLICATION DATE: 03/23/2021  
APPROVED BY COMMISSION ON UNDER SECTION 112 ON  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (25-5-B1, LDC): CASE MANAGER ROSEMARY AVILA  
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ

Director, DEVELOPMENT SERVICES DEPARTMENT  
RELEASED FOR GENERAL COMPLIANCE: ZONING-CS-MU-V-CO-NP

Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Forms and/or a notice of construction of a Building permit is not required, must also be approved prior to the Project Expiration Date.

SHEET NO. 07 OF 21



# B-1 Property Profile

## Legend

### Zoning

- Lake Austin, Rural Residence (LA;
- Single Family (SF-1; SF-2; SF-3; SI
- Mobile Home (MH)
- Multi-family (MF-1; MF-2; MF-3; MF
- Commercial (CH; CR; CS; CS-1; G
- Office (GO; LO; NO)
- Industrial (IP; LI; MI; R&D; W/LO)
- CBD; Downtown Mixed Use (DMU)
- ERC; NBG; TND; TOD
- Planned Unit Development (PUD)
- Agriculture, Development Reserve
- Aviation, Public, Unzoned (AV; P; U
- Unclassified

Zoning Text



0.1 0 0.04 0.1 Miles

NAD\_1983\_StatePlane\_Texas\_Central\_FIPS\_4203\_Feet

Date Printed:

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Notes



# B-1 Property Profile

## Legend

### Zoning

- Lake Austin, Rural Residence (LA;
- Single Family (SF-1; SF-2; SF-3; SI
- Mobile Home (MH)
- Multi-family (MF-1; MF-2; MF-3; MF
- Commercial (CH; CR; CS; CS-1; G
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- ERC; NBG; TND; TOD
- Planned Unit Development (PUD)
- Agriculture, Development Reserve
- Aviation, Public, Unzoned (AV; P; L
- Unclassified

Zoning Text



1: 600



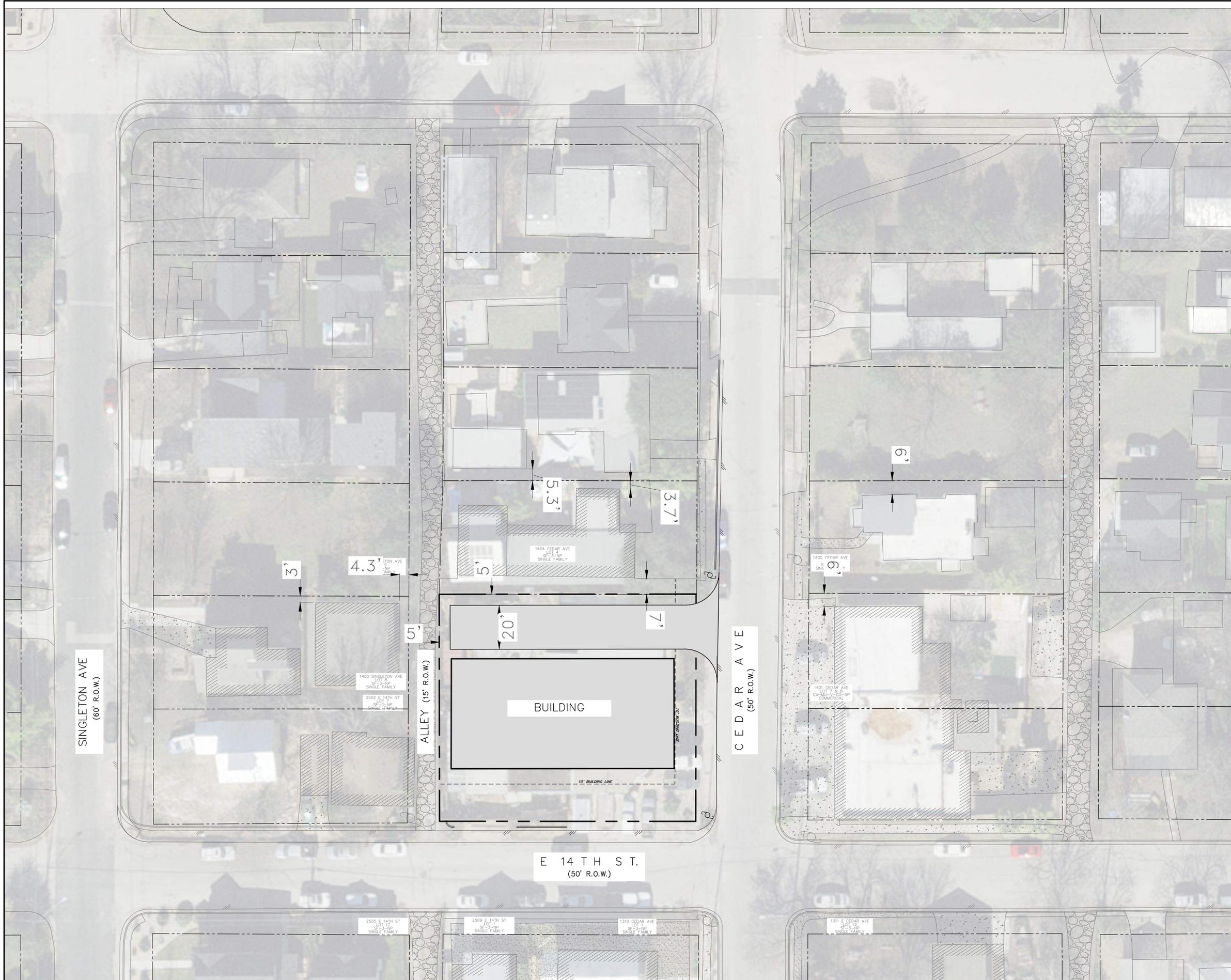
0.0 0 0.01 0.0 Miles

NAD\_1983\_StatePlane\_Texas\_Central\_FIPS\_4203\_Feet

Date Printed:

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Notes



NO.	DATE	REVISIONS	SHEET

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1400 CEDAR  
 1400 CEDAR AVE, AUSTIN, TEXAS 78702  
 SETBACK EXHIBIT

**CIVILITUDE**  
 ENGINEERS & PLANNERS  
 5110 LANCASTER CT. AUSTIN, TX 78723 FIRM REG # F12469  
 PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

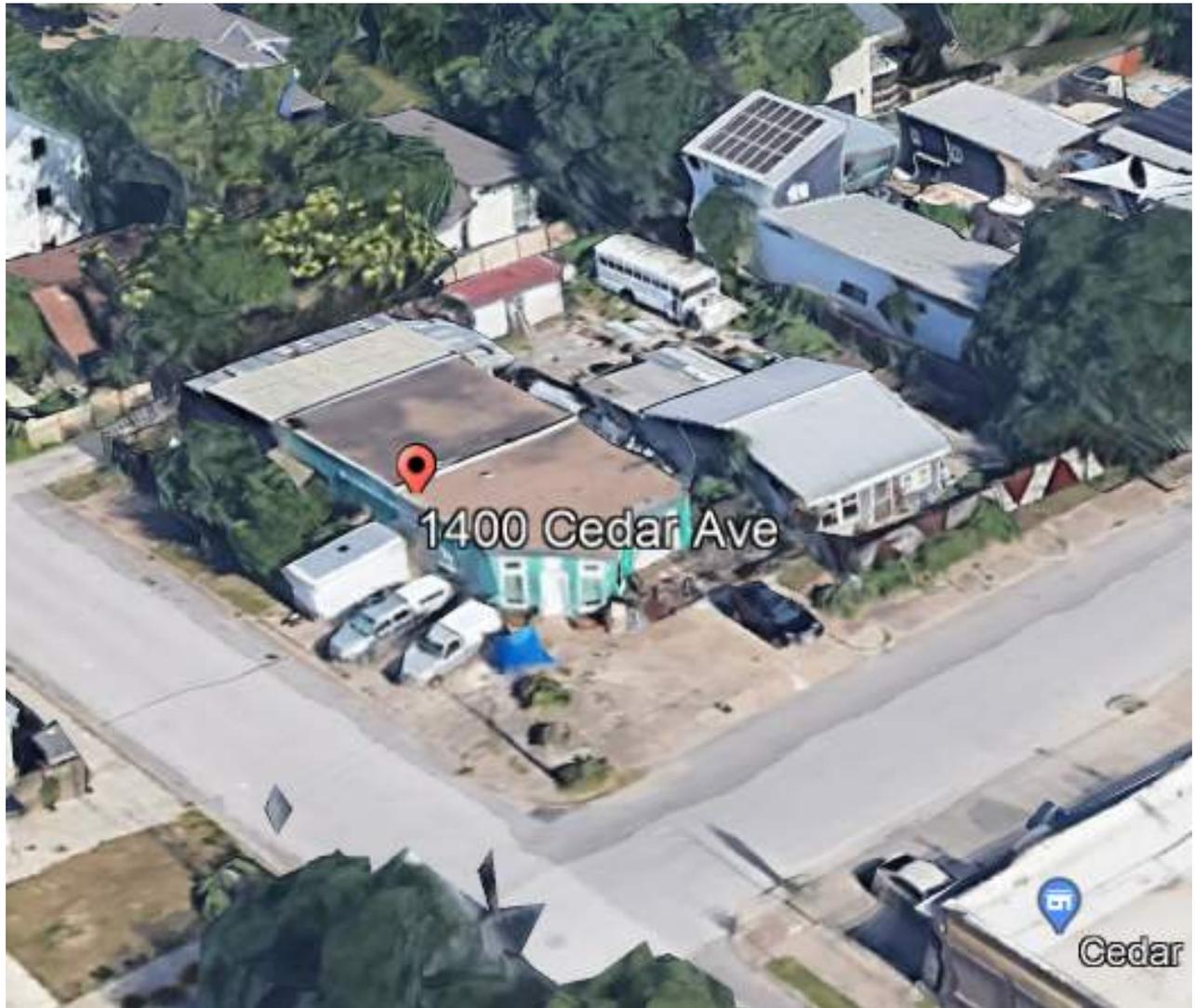
SCALE: \_\_\_\_\_  
 JOB NO: **A474**  
 DGN BY: **PB**  
 DWN BY: **PB**  
 RVW BY: **MVR**

SITE PLAN APPROVAL SHEET OF **21**  
 FILE NUMBER: **SP-2021-0102C** APPLICATION DATE: **03/23/2021**  
 APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION **112** ON  
 CHAPTER **25-5** OF THE CITY OF AUSTIN CODE  
 EXPIRATION DATE (25-5-81, LDC) \_\_\_\_\_ CASE MANAGER **ROSEMARY AVILA**  
 PROJECT EXPIRATION DATE (ORD.#970905-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DDZ \_\_\_\_\_

Director, DEVELOPMENT SERVICES DEPARTMENT \_\_\_\_\_  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: **CS-MU-V-CO-NP**  
 Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

Final plans must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction of a Building permit is not required, must also be approved prior to the Project Expiration Date. SHEET NO. OF **21**

1400-1402 CEDAR AVE, AUSTIN, TX, 78702  
 1400 CEDAR AVE  
 SP-2021-0102C



SITE INFORMATION TABLE			
Gross Site Area (GSA)	12,095 SF	0.2777 Acres	
Net Site Area (NSA)	12,095 SF	0.2777 Acres	
Existing Land Use	Single Family or Duplex		
Proposed Land Use	Condominium Residential		
Zoning	CS-MU-V-CO-NP		
Gross Floor Area	13,562 SF	112.1% GSA	
Building Coverage	5,933 SF	49.1% GSA	
Impervious Cover (See IC Table)	8,748 SF	72.3% GSA	
Open Space Area	1,190 SF	9.8%	
Floor-To-Area Ratio	1.12 : 1		
Building Height	(Varies) Refer to Building Elevations Sheets		
Foundation Type	Slab on Grade		

BUILDING SUMMARY TABLE								
Unit No.	Building Footprint SF	# Stories	Height	FFE	Sprinkler System	Foundation Type	Gross Floor Area SF	% of GFA
1	760	3	36' 9.2"	546.3	NFPA 13D	Slab on Grade	1,867	13.8%
2	773	3	36' 9.2"	546.2	NFPA 13D	Slab on Grade	1,875	13.8%
3	773	3	36' 9.2"	546.1	NFPA 13D	Slab on Grade	1,875	13.8%
4	773	2	29' 10.5"	543.0	NFPA 13D	Slab on Grade	1,686	12.4%
5	773	2	29' 10.5"	545.9	NFPA 13D	Slab on Grade	1,614	11.9%
6	1,042	2	29' 5.6"	545.6	NFPA 13D	Slab on Grade	2,320	17.1%
7	1,039	2	29' 5.6"	546.3	NFPA 13D	Slab on Grade	2,328	17.2%
				<b>TOTAL</b>			<b>13,565</b>	<b>100.0%</b>

PARKING SUMMARY TABLE			
Land Use	Quantity	Parking Ratio	Required Spaces
Townhome	7	2/Unit	14
Base Parking Requirement			
Urban core reduction 20% per 25-6-478			
<b>Total Parking Required</b>			
<b>11</b>			
<b>Total Parking Provided</b>			
<b>11</b>			
<b>Total Bike Parking Provided (5 or 5% total)</b>			
<b>6</b>			

IMPERVIOUS COVER SUMMARY TABLE				
Gross Site Area (GSA)	12,095 SF	0.278 Ac.		
Net Site Area (NSA)	12,095 SF	0.278 Ac.		
		<b>Existing to be Removed</b>	<b>Proposed</b>	<b>Proposed Net</b>
ERC				
Building Footprint (SF and % GSA)		4,270	5,933	5,933
		0.00%	49.05%	49.05%
Main Driveway (SF)		1,629	2,201	2,201
Sidewalk & Others (SF)		5,889	615	615
Total IC (SF)		11,788	8,748	8,748
Total IC (AC)		0.271	0.201	0.201
Total (% GSA)		0.00%	97.46%	72.33%

- GENERAL NOTES:**
- APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
  - TRASH CONTAINERS SHALL NOT BE LEFT AT CURB SIDE UNATTENDED. SIGNS MUST BE POSTED ON THE BUILDING OR AT A LOCATION THAT IS PUBLICLY VISIBLE INDICATING THAT TRASH CONTAINERS MAY NOT BE LEFT AT CURBSIDE. THE SIGN SHALL INDICATE THE CITY OF AUSTIN'S CODE ENFORCEMENT PHONE NUMBER FOR THE PUBLIC TO REPORT VIOLATIONS.
  - SERVICE COMMITMENT FROM A COMMERCIAL TRASH SERVICE MUST BE PROVIDED INDICATING THEY CAN PROVIDE SERVICE. THE LETTER SHOULD ADDRESS THE MINIMUM CLEARANCE REQUIREMENT FOR THE SERVICE VEHICLES.
  - NO ACCESSIBLE UNITS, ADAPTABLE UNITS, PUBLIC ACCOMMODATIONS OR AMENITIES ARE PROPOSED ON SITE.
  - EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.
  - APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
  - ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50. ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
  - SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
  - THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN. THE MAXIMUM HORIZONTAL PROJECTION IS 30 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:12 AND 1:15, AND 40 FEET FOR A RAMP WITH A SLOPE BETWEEN 1:16 AND 1:20.
  - EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.
  - EACH LOT REPRESENTS THE MAXIMUM POTENTIAL DEVELOPMENT. ACTUAL DEVELOPMENT MAY BE THE SAME OR LESS THAN WHAT IS SHOWN.

- AUSTIN FIRE DEPARTMENT NOTES:**
- SIGNS AND IDENTIFICATION MARKERS DESIGNATING FIRE ZONES/FIRE LANES, AFTER DESIGNATION OF A FIRE ZONE OR FIRE LANE UNDER THIS ARTICLE, THE FIRE CHIEF SHALL GIVE NOTICE OF THE DESIGNATION TO THE OWNER OF THE PROPERTY, DIRECTING THE OWNER TO CAUSE, AT THE EXPENSE OF THE OWNER, MARKINGS TO BE PAINTED ON ANY AREAS DESIGNATED AS A FIRE ZONE OR FIRE LANE. THE MARKINGS MUST BE RED WITH WHITE STENCILING READING "FIRE ZONE" / "TOW AWAY ZONE" OR "FIRE LANE" / "TOW AWAY ZONE" IN LETTERING AT LEAST THREE INCHES IN HEIGHT. THE STENCILING SHALL BE AT INTERVALS OF 35 FEET OR LESS. IN ADDITION, THE OWNER SHALL CAUSE SIGNS TO BE POSTED AT BOTH ENDS OF A FIRE ZONE OR FIRE LANE. ALTERNATIVE MARKINGS OF FIRE ZONES AND FIRE LANES MAY BE APPROVED BY THE FIRE CHIEF PROVIDED FIRE ZONES OR FIRE LANES ARE CLEARLY IDENTIFIED AT BOTH ENDS AND AT INTERVALS NOT TO EXCEED 35 FEET AND ARE CLEARLY MARKED "TOW AWAY ZONES" AT LEAST EVERY 35 FEET. THE SIGNS SHALL BE INSTALLED WITH THE TOP OF THE SIGN NO HIGHER THAN EIGHT FEET ABOVE GRADE AND NO LESS THAN FIVE FEET ABOVE THE GRADE.
  - DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.

- SUBCHAPTER E NOTES:**
- ALL EXTERIOR LIGHTING SHALL BE HOODED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT DIRECTED AT THE ADJACENT ZONED AND USED SF-5 OR MORE RESTRICTIVE USE (ORD. 910620-C, EXHIBIT B § VIII.10.K).



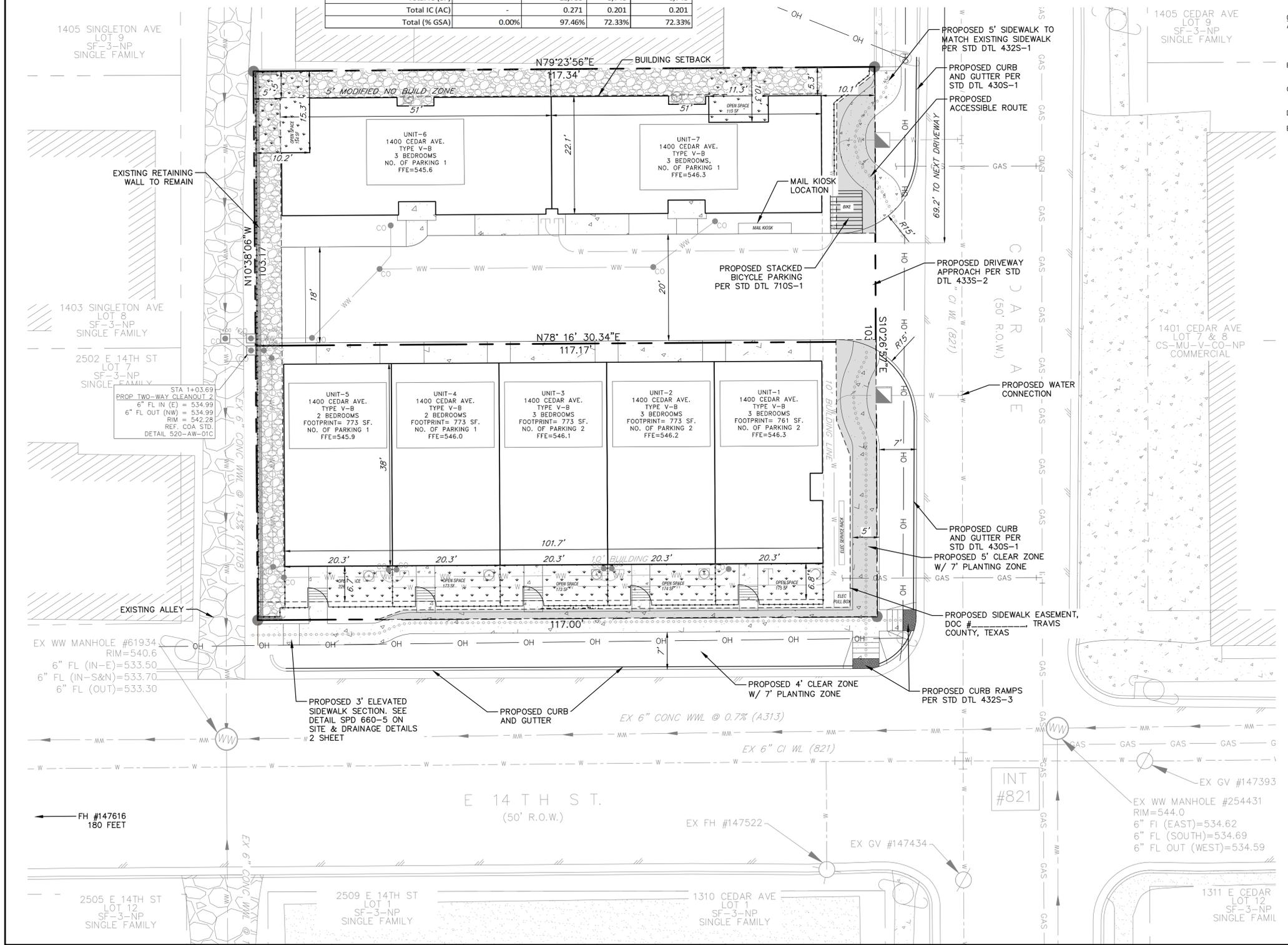
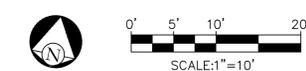
Figure 34: Examples of fully-shielded light fixtures.

- COMPATIBILITY STANDARD NOTES:**
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED FROM IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED AT BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
  - ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM A PROPERTY USED OR ZONED AS SF-5 OR MORE RESTRICTIVE.
  - THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12), WILL BE PROHIBITED.
  - THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES.
  - EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED.

EXISTING LEGEND	
	WATERLINE W/ GATE VALVE
	WASTEWATER W/ MANHOLE
	GROUND CONTOUR
	HYDRANT W/ GATE VALVE
	WATERLINE W/ GATE VALVE
	WASTEWATER W/ MANHOLE
	GROUND CONTOUR
	ACCESSIBLE ROUTE
	CONCRETE PAVEMENT

**DOWNSPOUTS NOTE:**  
ALL ROOFS MUST DRAIN TOWARD THE PROPOSED DRIVE ISLE.

**SCREENING NOTE:**  
SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.



NO.	DATE	REVISIONS	SHEET

1400 CEDAR  
1400 CEDAR AVE, AUSTIN, TEXAS 78702

**SITE PLAN**

**CIVILITUDE ENGINEERS & PLANNERS**

5110 LANCASTER CT. AUSTIN, TX 78723 FIRM REG # F12469  
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SCALE: 1"=10'

JOB NO: A474

DGN BY: PB

DWN BY: PB

RVW BY: MVR



SITE PLAN APPROVAL SHEET 07 OF 21

FILE NUMBER: SP-2021-0102C APPLICATION DATE: 03/23/2021

APPROVED BY COMMISSION UNDER SECTION 112 ON CHAPTER 25-5 OF THE CITY OF AUSTIN CODE

EXPIRATION DATE (25-5-B1, LDC): CASE MANAGER ROSEMARY AVILA

PROJECT EXPIRATION DATE (ORD.#970905-A) DWP# DDZ

Director, DEVELOPMENT SERVICES DEPARTMENT	
RELEASED FOR GENERAL COMPLIANCE: ZONING-CS-MU-V-CO-NP	
Rev. 1	Correction 1
Rev. 2	Correction 2
Rev. 3	Correction 3

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Forms and/or a notice of construction of a Building permit is not required, must also be approved prior to the Project Expiration Date.

SHEET NO. 07 OF 21

1400-1402 CEDAR AVE, AUSTIN, TX, 78702

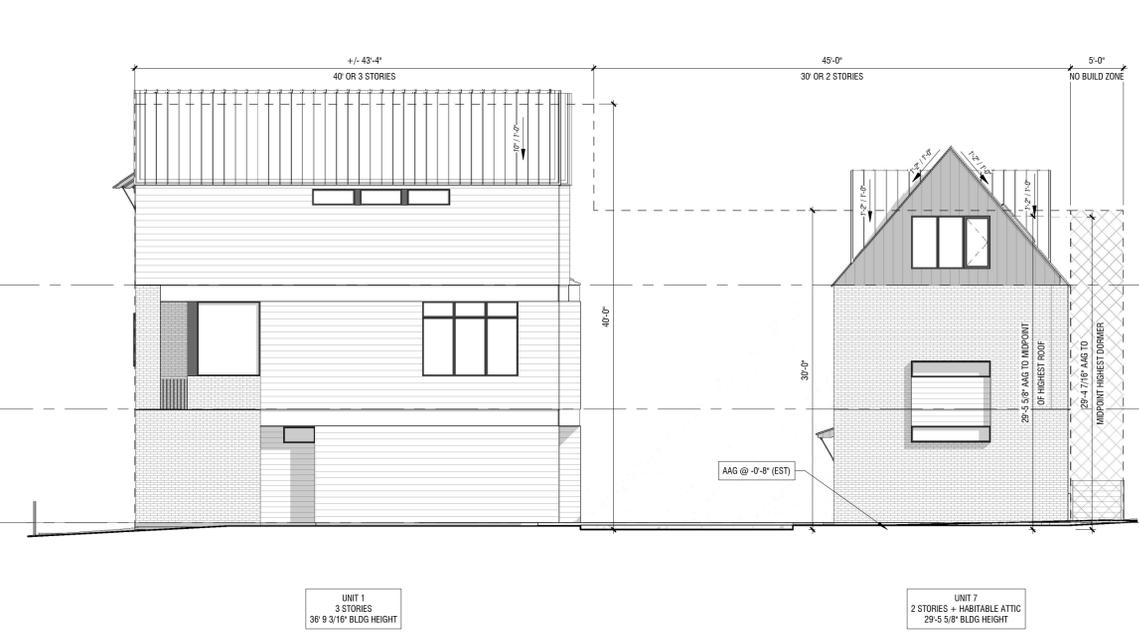
1400 CEDAR AVE

SP-2021-0102C



4 Building A&B West Elevation  
1/8" = 1'-0" A2.00

2 Building A North Elevation  
1/8" = 1'-0" A2.00



3 Building A&B East Elevation  
1/8" = 1'-0" A2.00

1 Building A South Elevation  
1/8" = 1'-0" A2.00

PRELIMINARY  
Not for regulatory approval,  
permitting, or construction.

W Travis Lucy  
TX 21664

2/28/22



INFO@LLVLLWORK  
512.565.0016

**1400 Cedar Avenue**  
Urban Gravity LLC  
1400/1402 Cedar Ave  
Austin, Texas  
78702

Site Development

No.	note	Date
Site Dev R1		2/8/22
Site Dev R2		2/28/22

Exterior Elevations

SITE PLAN APPROVAL SHEET \_\_\_\_\_ OF \_\_\_\_\_  
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 APPROVED BY COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ ON \_\_\_\_\_  
 CHAPTER \_\_\_\_\_ OF THE CITY OF AUSTIN CODE \_\_\_\_\_ CASE MANAGER \_\_\_\_\_  
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Director, DEVELOPMENT SERVICES DEPARTMENT  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
 Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

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W Travis Lucy  
TX 21664

2/28/22



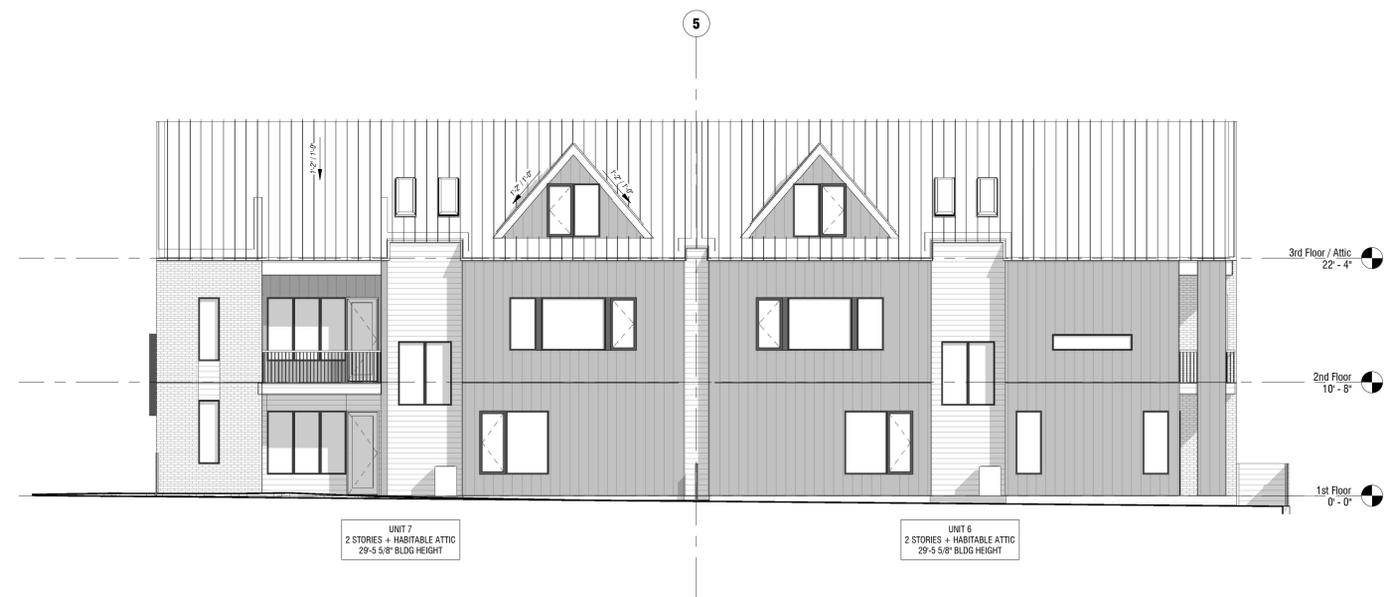
INFO@LLVLLWORK  
512.565.0016

### 1400 Cedar Avenue

Urban Gravity LLC  
1400/1402 Cedar Ave  
Austin, Texas  
78702



2 Building B South Elevation  
1/8" = 1'-0" A2.01



1 Building B North Elevation  
1/8" = 1'-0" A2.01

#### Site Development

No.	note	Date
Site Dev R1		2/8/22
Site Dev R2		2/28/22

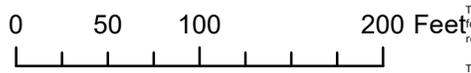
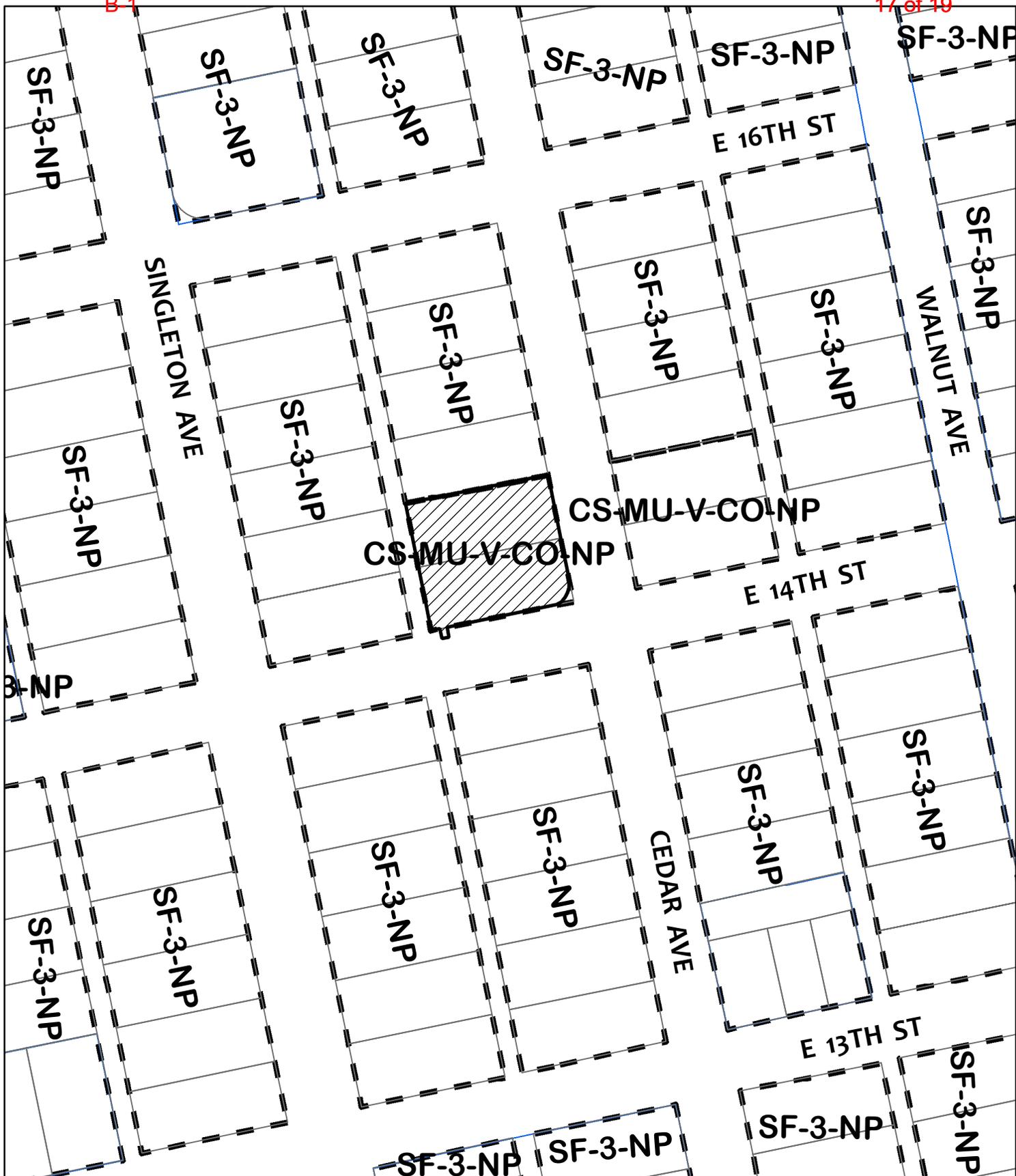
#### Exterior Elevations

SITE PLAN APPROVAL SHEET \_\_\_\_\_ OF \_\_\_\_\_  
 FILE NUMBER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
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Director, DEVELOPMENT SERVICES DEPARTMENT \_\_\_\_\_  
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SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_



CASE#: SP-2021-0102C  
 ADDRESS: 1400 Cedar Avenue  
 CASE NAME: 1400 Cedar Ave  
 MANAGER: Zack Lofton



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March 25, 2022

City of Austin Planning Commission

**Re: Compatibility Setback Waiver for 1400 Cedar Avenue**

Dear Planning Commissioners,

This letter is to inform the Commission that the Chestnut Neighborhood Plan Contact Team does not support the requested compatibility waiver for 1400 Cedar Avenue to reduce the setback from 25 feet to 5 feet.

The Chestnut Neighborhood has a long history of supporting density in our neighborhood, as seen by our adoption of all the neighborhood infill tools as well as working with the city to create the MLK TOD. That said, we believe a 5-foot setback is inappropriate in this location and unnecessary for the success of this project. As seen in the attached exhibit, even with the current building footprint sizes, a 15-foot setback appears doable. With more thoughtful design, the 25-foot setback might be doable as well. Despite repeated requests by the neighborhood, the applicant did not meet with the Neighborhood Plan Contact Team to discuss this project. This is very unfortunate, as we believe there is a solution here that provides the desired density and better aligns with our neighborhood plan.

Thank you for your consideration.

Respectfully,

Chestnut Neighborhood Plan Contact Team

