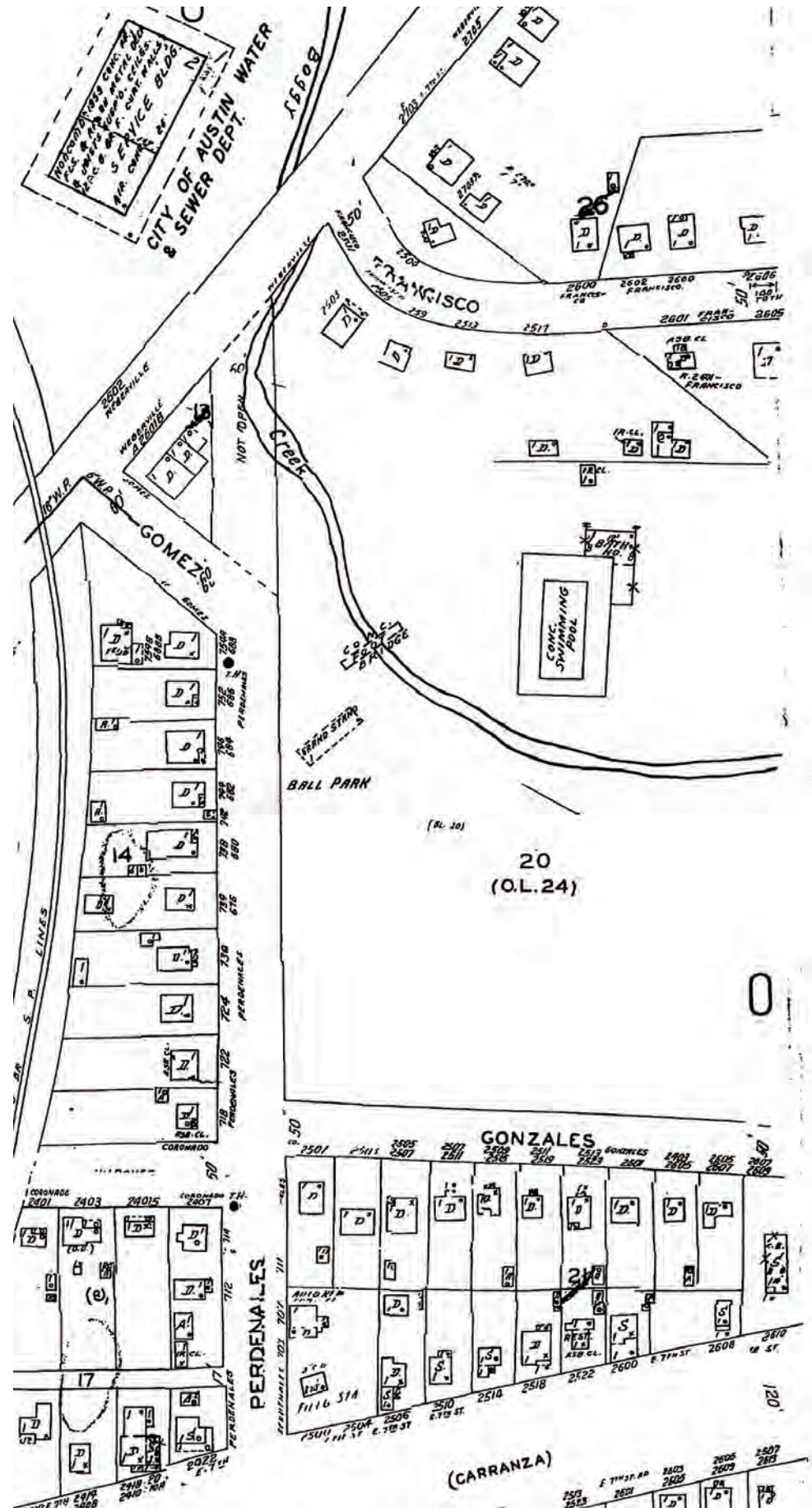




PARQUE ZARAGOZA NEIGHBORHOOD PARK
PARQUE ZARAGOZA RESTROOM
REHABILITATION PROJECT

June 14, 2022

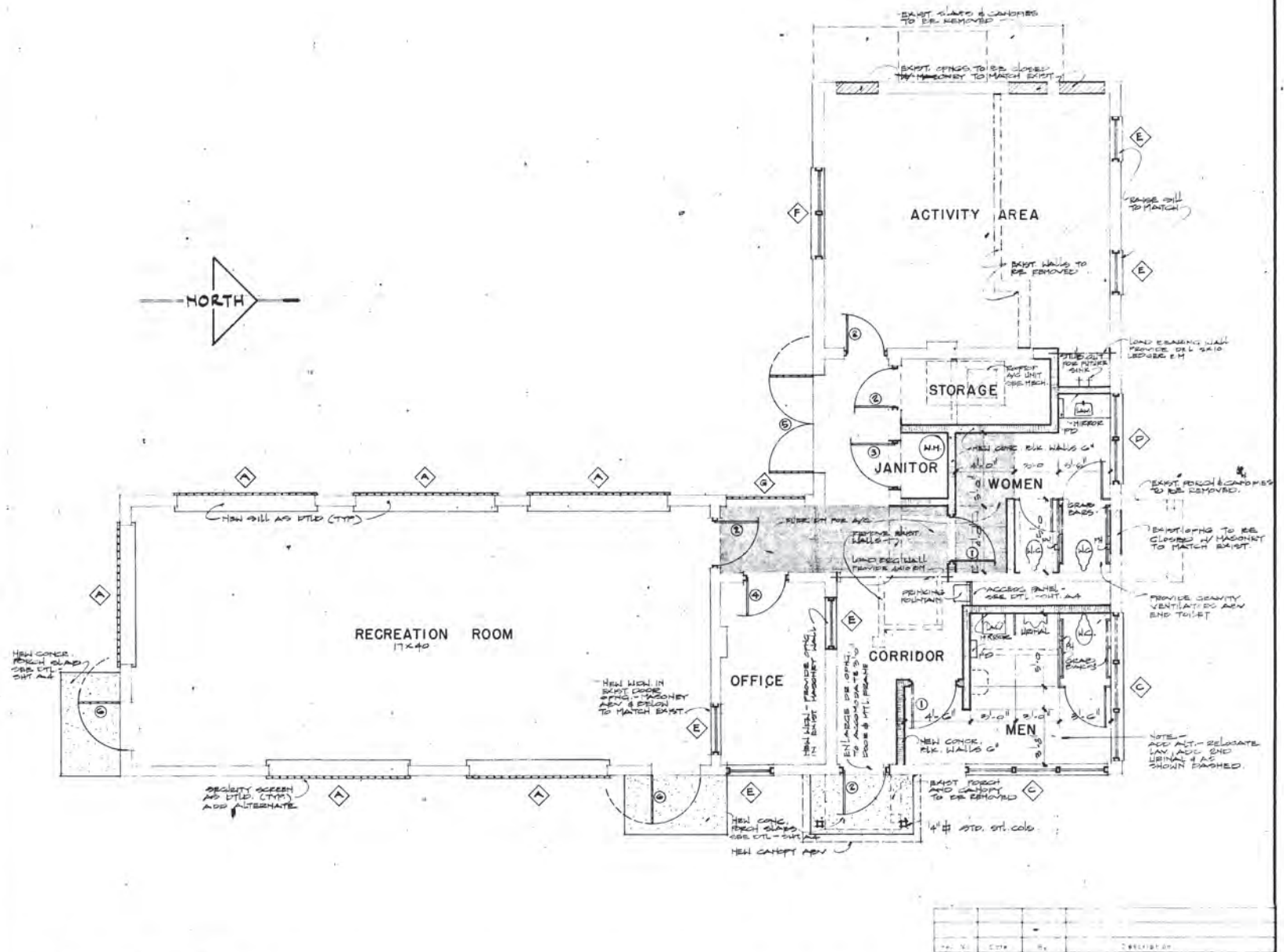




Chronology

- 1931 — Zaragosa Park (now Zaragoza Park) established, with baseball field and picnic and celebration areas
- 1933 — Swimming pool constructed at the park, used for summer swim season
- 1941 — Shelter house, with dressing and toilet facilities for pool users, built by the NYA
- 1971 — Planning for renovation of the bathhouse was begun
- 1975 — Bid awarded for renovation of the bathhouse, including installation of air conditioning
- 1996 — New Parque Zaragoza Recreation Center building dedicated at the park
- 2022 — Parque Zaragoza listed on National Register, with bathhouse as a contributing building





FLOOR PLAN

scale = 1/8" = 1'-0"

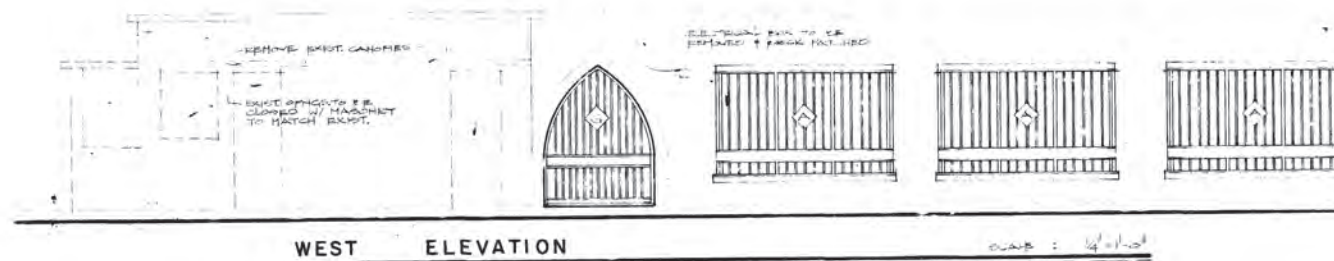
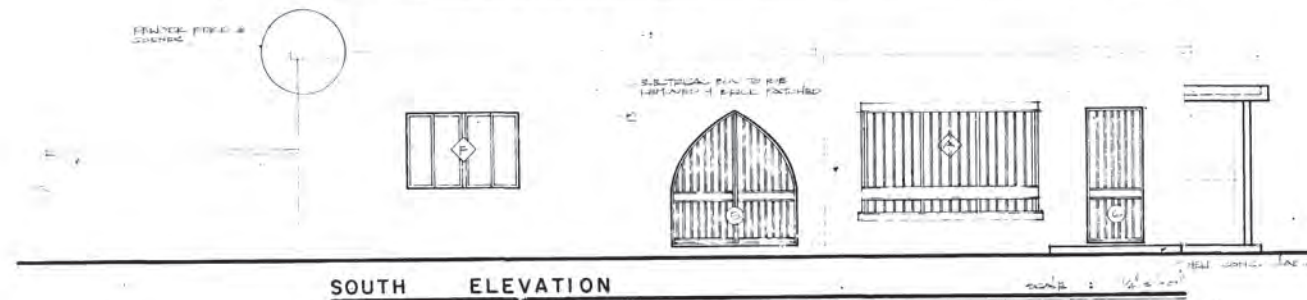
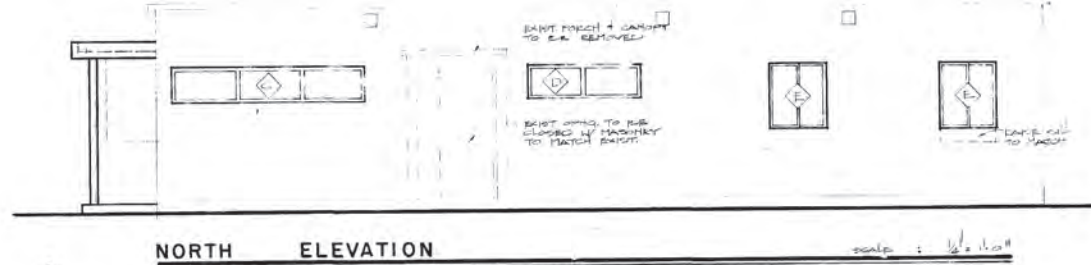
GENERAL NOTES

1. ALL FLOORS TO RECEIVE 1 1/2" CONCR. MIN. TO LEVEL.
2. CONTRACTOR TO VERIFY EXIST. CONDITIONS BEFORE REMOVAL OF LOAD BEARING WALLS & NOTIFY ENGINEER OF CONDITIONS.
3. REMOVE ALL EXIST. CLG. - REPLACE OR REPAIR ALL DAMAGED STRUCTURES AS NEEDED.

**CITY OF AUSTIN, TEXAS
MODEL CITIES AREA AND PARK
SITES IMPROVEMENTS
C.I.P. PROJECT 8648 9**

**ARCHITECTURAL
FLOOR PLAN
ZARAGOSA PARK SHELTER**

DESIGNED BY	BRYANT-CURINGTON, INC.	SCALE	1/8" = 1'-0"
DRAWN BY		SHEET NO.	A-1
CHECKED BY			
DATE	APRIL 1970		



NOTE -
STRUCTURE IS EXISTING - NEW WORK AS SHOWN BY SCHEDULE SYMBOL OR NOTED.

REV.	DATE	BY	DESCRIPTION

CITY OF AUSTIN, TEXAS MODEL CITIES AREA AND PARK SITES IMPROVEMENTS C.I.P. PROJECT 8648 9			
ARCHITECTURAL ELEVATIONS ZARAGOSA PARK SHELTER			
DESIGNED <i>Bryan D. Kiley</i> #1498	CHECKED APPROVED	BRYANT CURINGTON, INC. Consulting Engineers AUSTIN, TEXAS	SCALE 1/8" = 1'-0" DWG. NO. A-2 SHEET NO. 2





Scope Summary

- *Rehabilitation of building*
- *Programmatic priority for swimming bathhouse use*
- *Provide code compliant restroom and shower facilities*
- *Provide limited air conditioning, at lifeguard/first aid office*

Retain existing accessible parking

Provide accessible route from parking to entrance

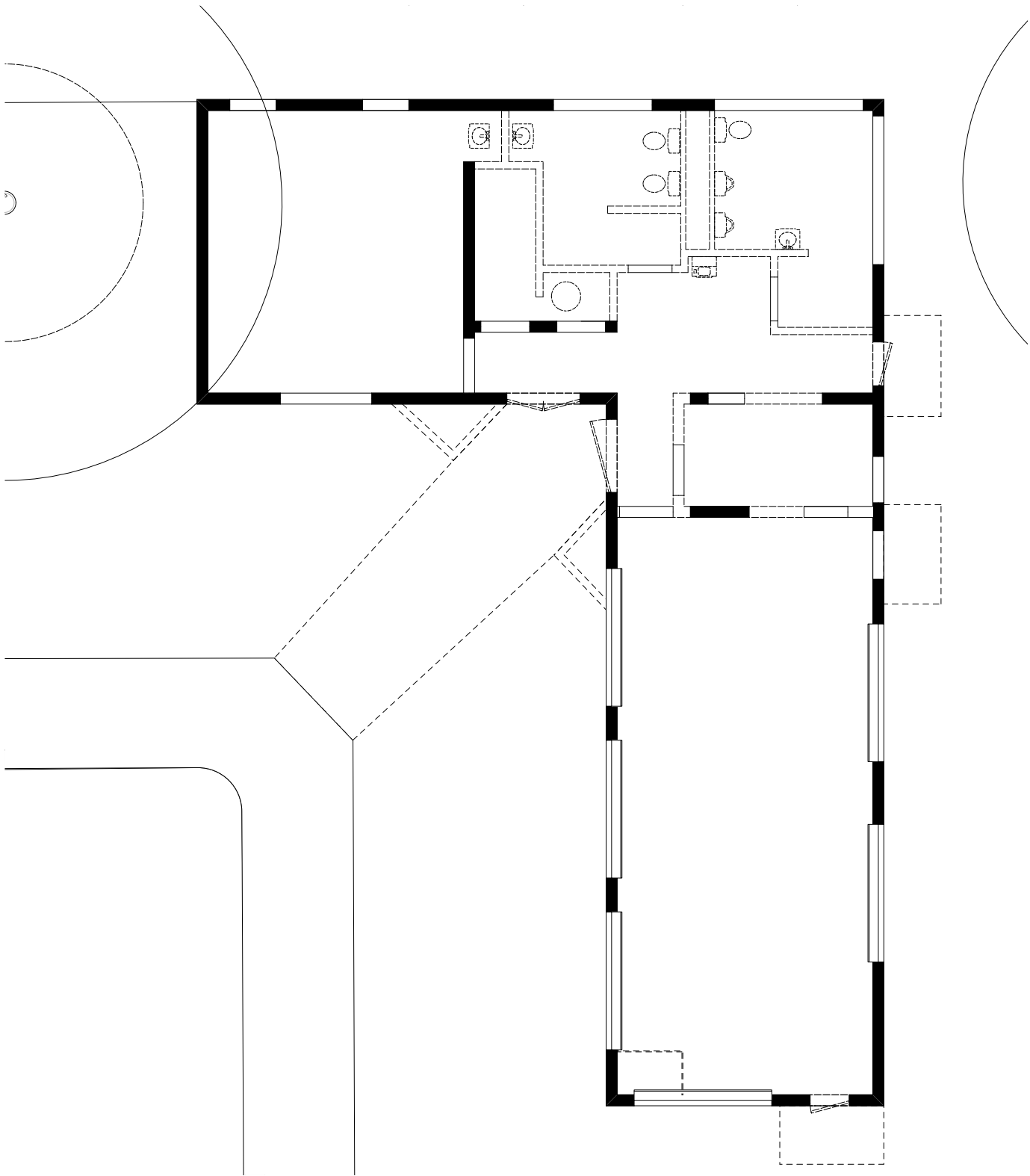
Enhance connection to the park

Limited civil and landscape work

Replace electrical systems, improve lighting

Window and door repairs, roof replacement, masonry cleaning

LEED Silver sustainable building certification



1 BUILDING DEMOLITION PLAN
Scale: 1/4" = 1'-0"

- LEGEND
- DEMO EXISTING WALL
 - EXISTING WALL TO REMAIN

- DEMOLITION GENERAL NOTES**
1. Building has asbestos-containing materials. Contractor to refer to included asbestos abatement specifications prior to conducting any work. Coordinate all demolition with specifications and report. Follow all local, state and federal regulations when removing any asbestos-containing materials.
 2. Architect has no knowledge of other asbestos or other hazardous materials on jobsite. Contractor shall immediately isolate the affected area if other asbestos or other hazardous materials are discovered during construction. Notify Owner for further instruction before proceeding with other work.
 3. Demolition plans are provided to give a general indication of the scope of the work. Confirm exact extent of the demolition on site.
 4. Items to be removed, relocated or salvaged are shown with dashed line and are as listed in the keyed demolition notes. All other items are intended to remain in place. Do not damage items, surfaces, finishes and building elements to remain.
 5. Remove only non-load bearing construction and partitions. Contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, headers, etc. supporting floor, roof or ceiling joists are designated for removal. Contact the Architect prior to removal of any construction in question or deviating from the design intent.
 6. All service locations to be confirmed prior to the commencement of work. Maintain existing utilities to remain in service and protect against damage during demolition operations.
 7. Protect all existing finishes shown to remain during demolition to prevent damage. Any damage sustained during demolition shall be repaired or replaced by Contractor to match existing conditions.
 8. Protect all finishes uncovered beneath demolished wall coverings, or other removed elements. Do not damage finishes uncovered in the demolition work.
 9. All demolition activities shall be performed so as to produce minimal disturbance to existing facility and occupants. Maintain separation between areas undergoing demolition work and surrounding occupied areas by providing temporary barriers to prevent dust migration. Minimize excessive and prolonged noise levels and dust.
 10. Comply with local jurisdiction requirements for demolition work.
 11. Where Contractor is designated to make removals, disposition of materials is the sole responsibility of the Contractor.
 12. Upon completion of demolition activities, clean the entire area of demolition to a tidy, uniform condition, removing all debris, dust partitions and associated materials used during the demolition. Clear all areas impacted by the demolition, including but not limited to, adjacent occupied areas and areas not within the scope of work.

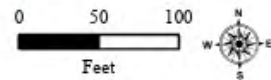
- DEMOLITION KEYED NOTES**
1. Remove existing concrete flatwork as shown.
 2. Remove existing concrete planter borders.
 - 5.
 - 6.
 - 7.



Legend

- Assembly Areas
- Door/Gate
- Drinking Fountain
- Other Features
- Parking Lot ADA Marker
- Parking Lots
- Picnic Tables
- Playgrounds
- Protruding Objects
- Restrooms
- Baseball
- Basketball
- Volleyball
- Swimming Pools
- Trail ADA Routes
- City of Austin Parks

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. This product has been produced by the Parks and Recreation Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



Parque Zaragoza Neighborhood Park:ADA Transition Plan Items 11 January 2021 hardya

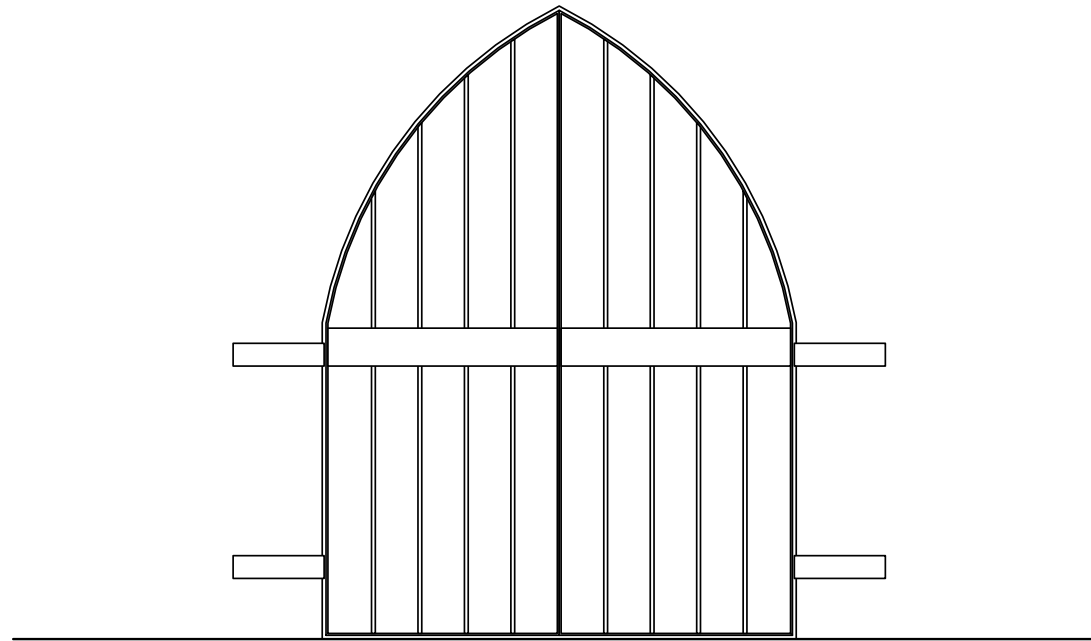
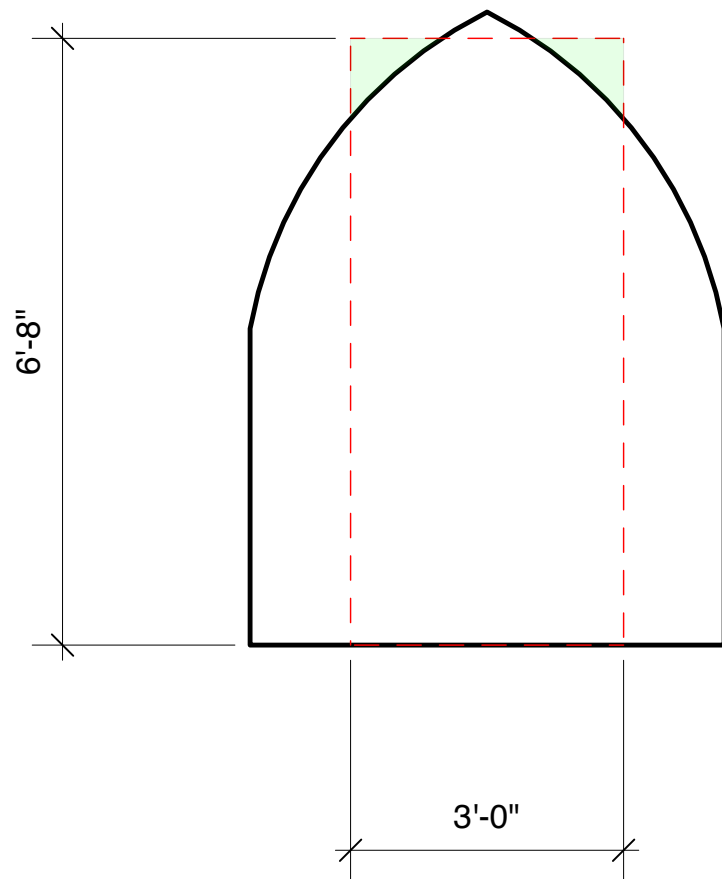


Parque Zaragoza Neighborhood Park
2608 Gonzales St.
Austin, Texas 78702

This property is listed in or eligible for listing in the National Register of Historic Places.

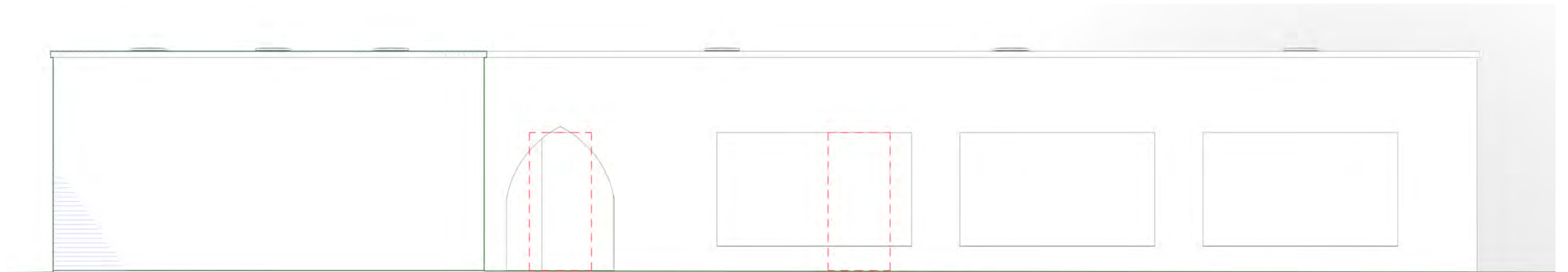
Inspection Date: 12/17/2015 *Item Number includes photo

ITEM NO.	GIS ID	BARRIER	CODE HEADING 2012 Texas Accessibility Standards	VIOLATION	RECOMMENDED ACTION	QUANTITY	BUDGETED COST	PRIORITY LEVEL
16*	Other Features: 175	Door	307.2 Protruding Objects	There are 4 cased openings that are protruding objects.	Reconstruct the doorway.	4	\$ 10,000	1
19	Door Gate: 1066	Door	404.2.7 Door & Gate Hardware	The door does not have compliant hardware.	Replace with compliant hardware.	1	\$ 300	1
27*	Protruding Object: 236	Mounted Object	307.2 Protruding Objects	The frame within the doorway is a protruding object.	Relocate out of circulation path, install where the lowest edge is at 27" maximum, or add cane detection.	1	\$ 300	1

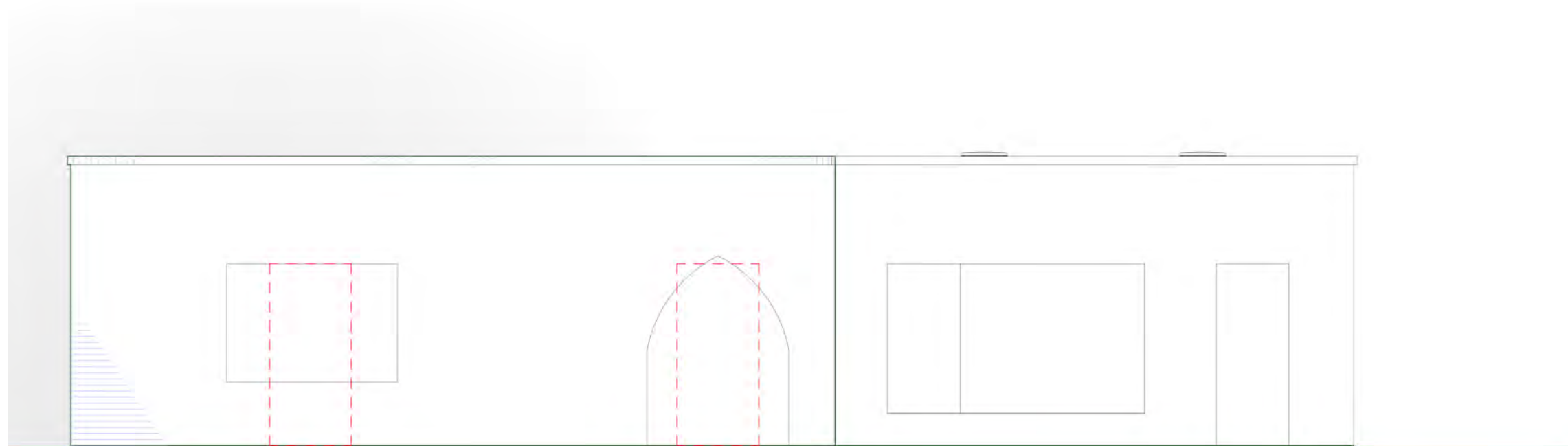


Door Studies 1

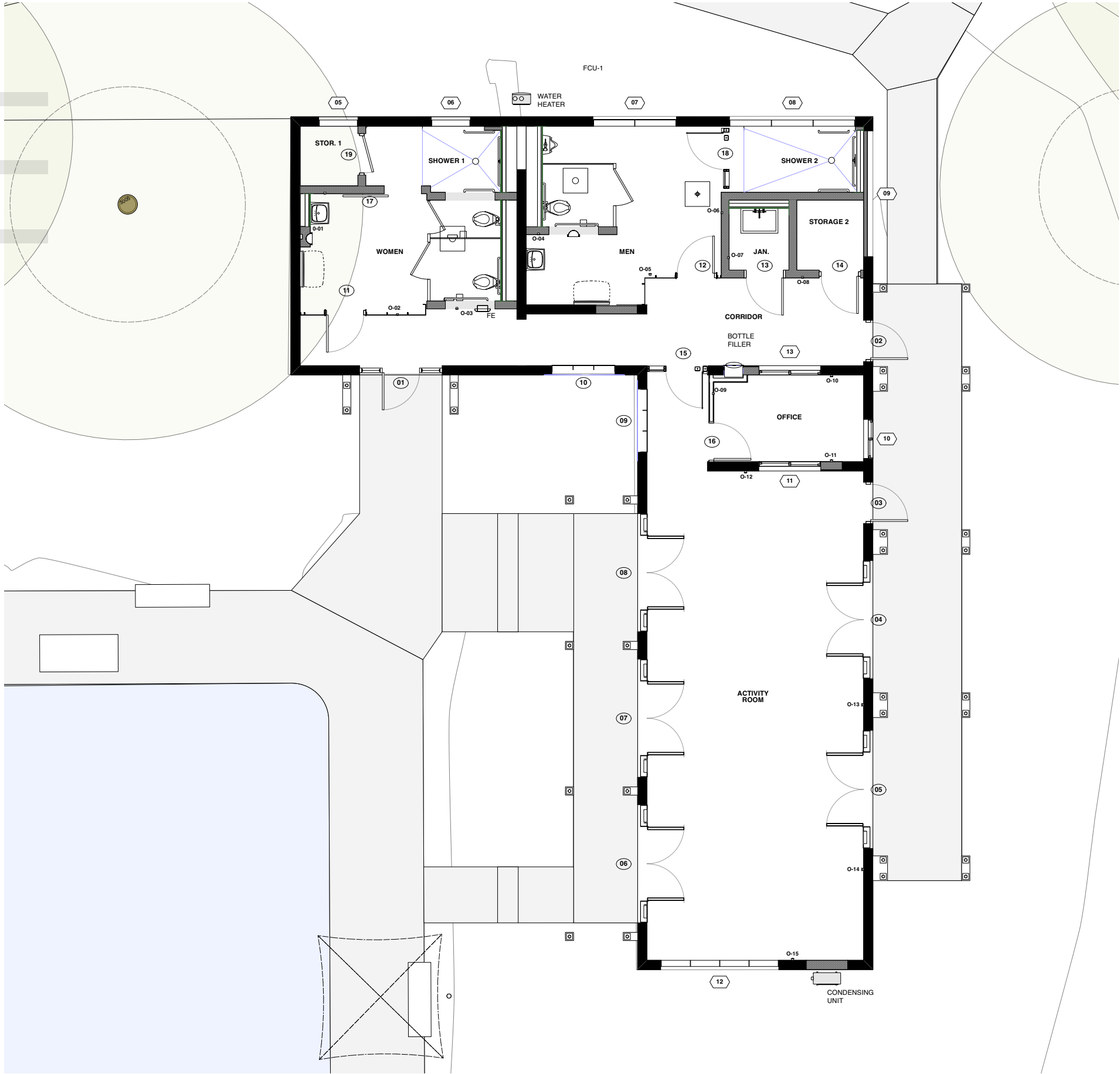
NOVEMBER 4, 2021
PARQUE ZARAGOZA

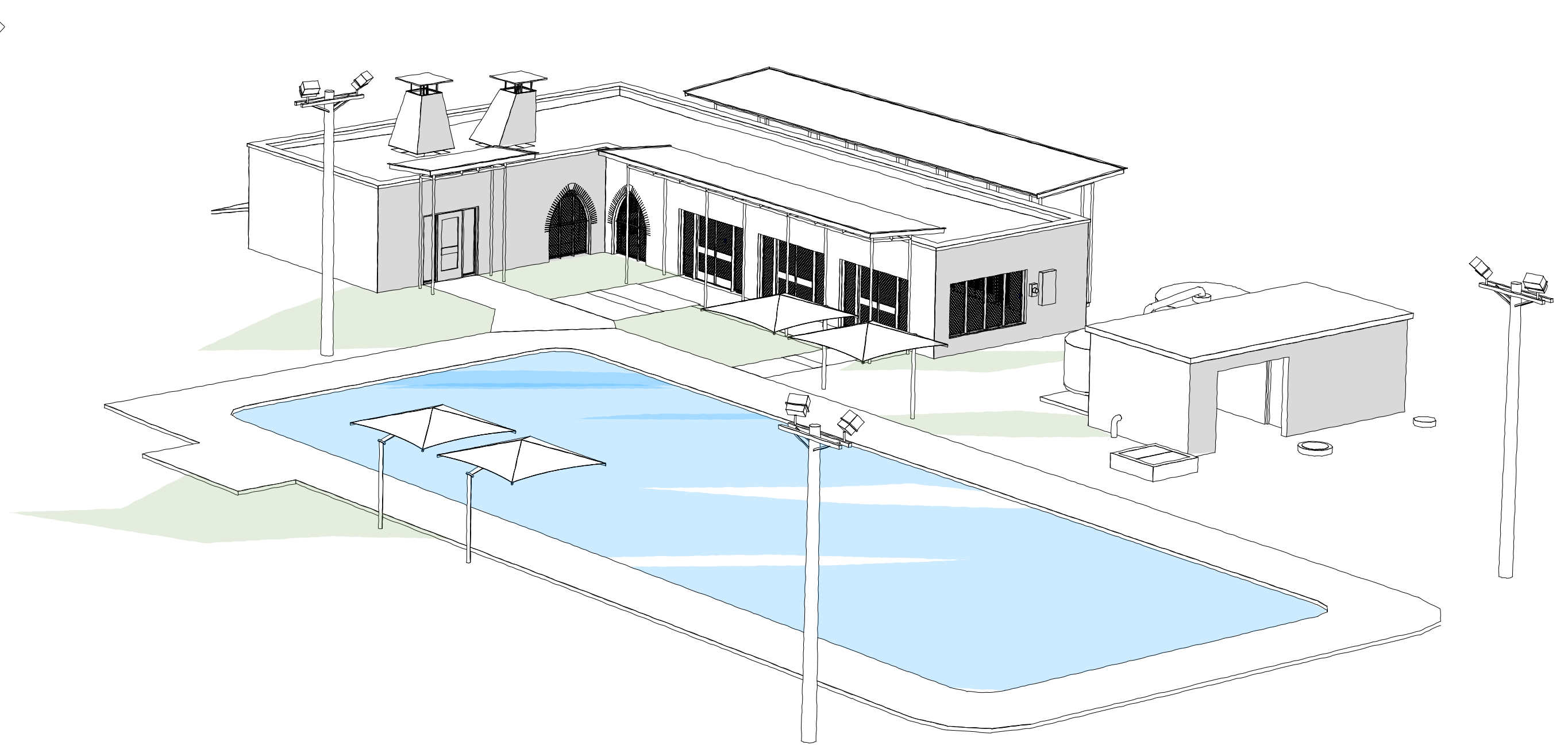


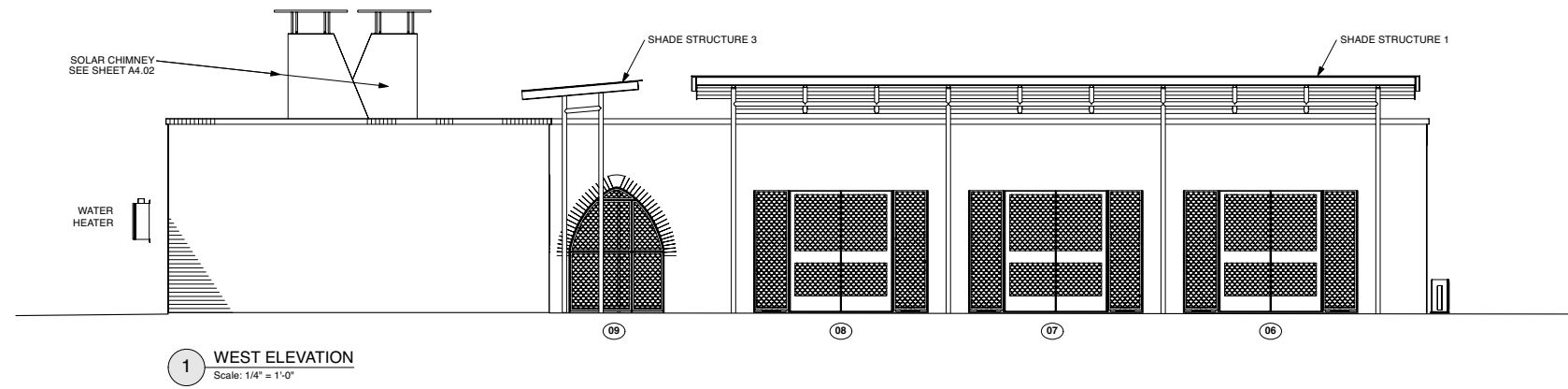
1 WEST ELEVATION
Scale: 1/4" = 1'-0"



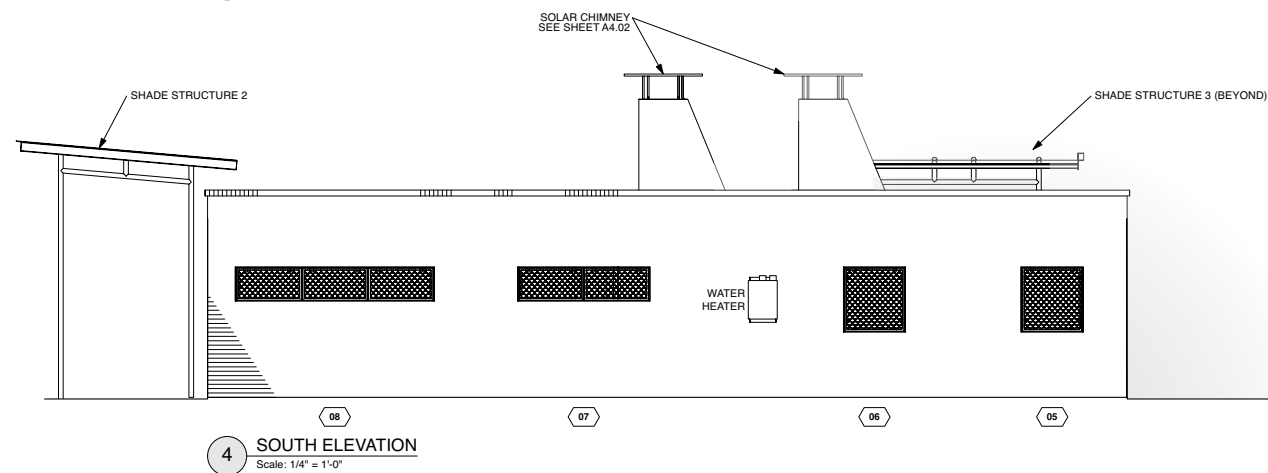
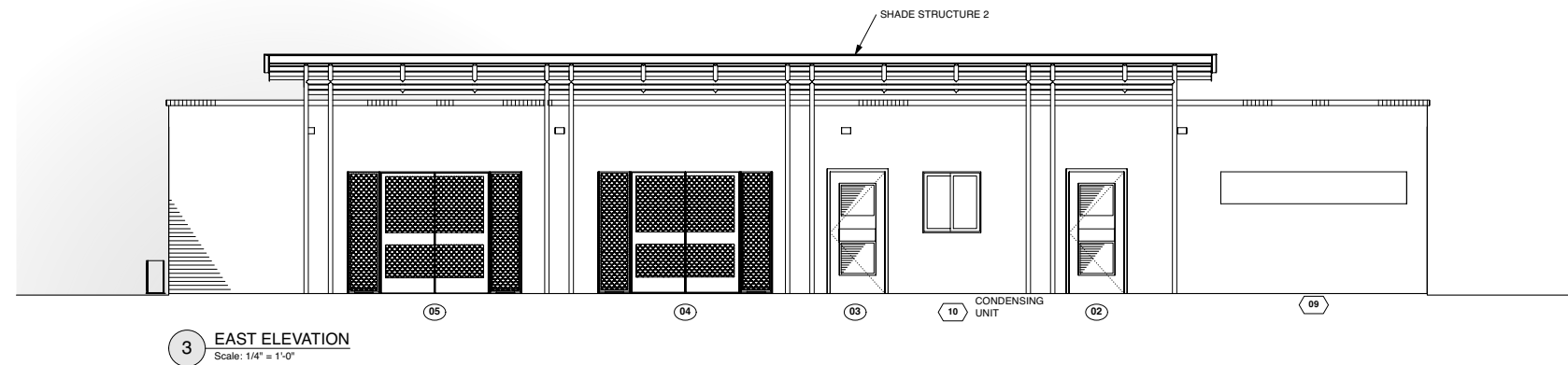
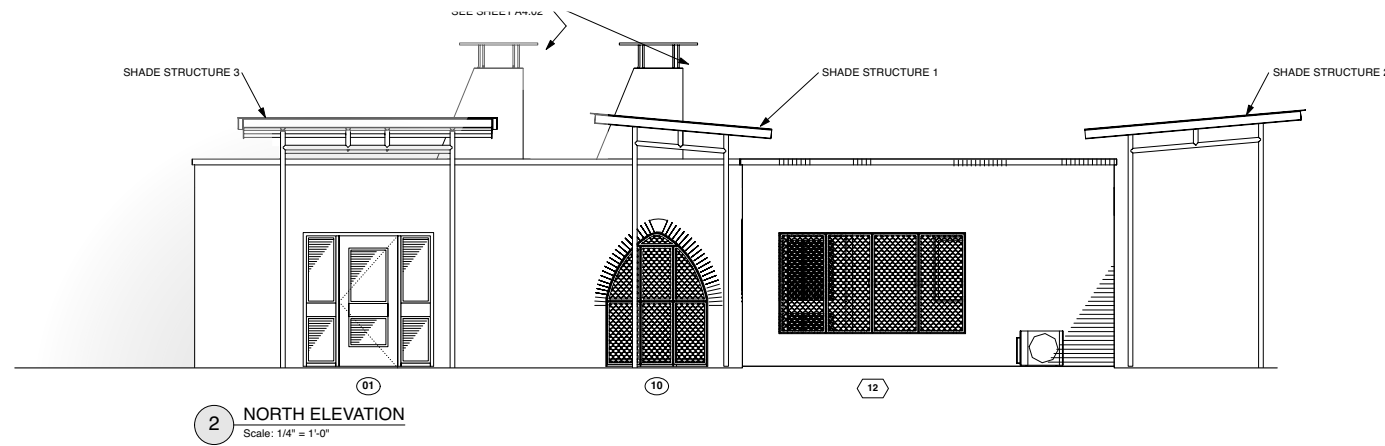
2 NORTH ELEVATION
Scale: 1/4" = 1'-0"







EXAMPLES OF DECORATIVE SCREEN INFILL



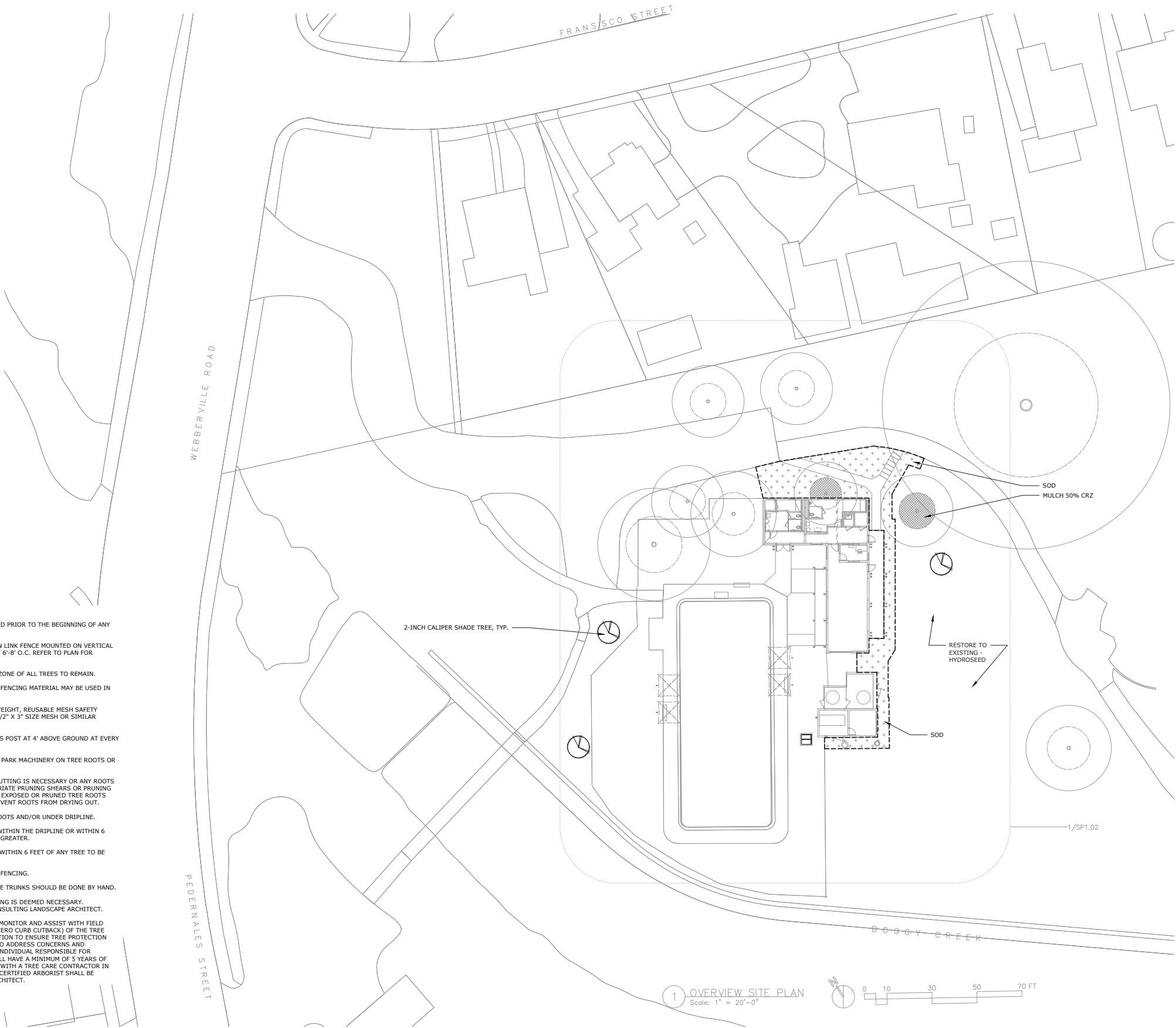
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Time: 11:33:57
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LEGEND

- LIMIT OF WORK
- - - PROPERTY LINE
- EXISTING TREE TO REMAIN
- SINGLE GRIND HARDWOOD MULCH AT 50% CRZ
- SOD
- ⊗ PROPOSED 2" CALIPER SHADE TREE

TREE PROTECTION NOTES:

- IT IS CRUCIAL THAT TREE PROTECTION FENCES MUST BE ERECTED PRIOR TO THE BEGINNING OF ANY SITE DEMOLITION.
- THE TREE PROTECTION FENCE SHALL BE A MIN. 5'-0" HIGH CHAIN LINK FENCE MOUNTED ON VERTICAL PIPES DRIVEN 2'-0" MIN. INTO THE GROUND, AT APPROXIMATELY 6'-8" O.C. REFER TO PLAN FOR LOCATIONS
- PROTECTION FENCE SHALL BE PLACED AROUND CRITICAL ROOT ZONE OF ALL TREES TO REMAIN.
- UPON APPROVAL BY OWNER OR LANDSCAPE ARCHITECT, OTHER FENCING MATERIAL MAY BE USED IN LIEU OF CHAIN LINK FENCE. SUCH AS:
 - T-POSTS AT 8'-0" O.C. W/ 4' HT. BRIGHT ORANGE, LIGHT WEIGHT, REUSABLE MESH SAFETY FENCING MADE OF HIGH DENSITY POLYETHYLENE WITH 1 1/2" X 3" SIZE MESH OR SIMILAR MATERIAL.
 - WOOD BARRICADES WHICH INCLUDED INSTALLING 2 X 4 AS POST AT 4' ABOVE GROUND AT EVERY 6' O.C. WITH (3) -2 X 4 RAILS MINIMUM.
- UNDER NO CIRCUMSTANCES, SHOULD A CONTRACTOR DRIVE OR PARK MACHINERY ON TREE ROOTS OR UNDER THE DRIPLINE.
- AVOID DISTURBING ROOTS IN CRITICAL ROOT ZONE. IF ROOT CUTTING IS NECESSARY OR ANY ROOTS ARE DAMAGED, THEY SHALL BE CUT CLEANLY WITH THE APPROPRIATE PRUNING SHEARS OR PRUNING SAWS A FEW INCHES ON THE SIDE CLOSER TO THE TRUNK. ANY EXPOSED OR PRUNED TREE ROOTS MUST BE COVERED IMMEDIATELY WITH DIRT AND MULCH TO PREVENT ROOTS FROM DRYING OUT.
- NO STORAGE OR CONCRETE DUMPING IS PERMITTED ON TREE ROOTS AND/OR UNDER DRIPLINE.
- NO BUILDING MATERIALS ARE TO BE STACKED OR STOCKPILED WITHIN THE DRIPLINE OR WITHIN 6 FEET OF ANY TREE TO BE PRESERVED, WHICHEVER DISTANCE IS GREATER.
- TOPSOIL SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OR WITHIN 6 FEET OF ANY TREE TO BE PRESERVED, WHICHEVER DISTANCE IS GREATER.
- TREE BOARDING SHALL BE USED IF WORK IS REQUIRED WITHIN FENCING.
- ANY UNDERSTORY CLEARING WITHIN SIX FEET OF EXISTING TREE TRUNKS SHOULD BE DONE BY HAND.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF ROOT PRUNING IS DEEMED NECESSARY. CONTRACTOR SHALL NOT CUT ROOT LARGER THAN 2" PRIOR CONSULTING LANDSCAPE ARCHITECT.
- CONTRACTOR IS REQUIRED TO HIRE A CERTIFIED ARBORIST TO MONITOR AND ASSIST WITH FIELD LAYOUT (EXACT LOCATIONS OF FENCING, ROOT PRUNING, AND ZERO CURB CUTBACK) OF THE TREE PRESERVATION PROGRAM DURING DEMOLITION AND CONSTRUCTION TO ENSURE TREE PROTECTION PROCEDURES AND TECHNIQUES ARE PRACTICED AS SPECIFIED TO ADDRESS CONCERNS AND CONDITIONS WHICH OCCUR IN THE FIELD. AT A MINIMUM, THE INDIVIDUAL RESPONSIBLE FOR MONITORING AND FIELD LAYOUT OF THE TREE PROTECTION SHALL HAVE A MINIMUM OF 5 YEARS OF EXPERIENCE AS A CONSULTANT, AND SHALL NOT BE AFFILIATED WITH A TREE CARE CONTRACTOR IN THE HARRIS COUNTY AREA. QUALIFICATIONS OF THE SELECTED CERTIFIED ARBORIST SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.



LIMBACHER & GODFREY
ARCHITECTS
2124 East 6th Street, #102 Austin, Texas 78702
512.450.1518

PRELIMINARY
Not for regulatory approval,
permitting or construction
MARGARET ROBINSON
LANDSCAPE ARCHITECT
MAR 03, 2022

ASAKURA
ROBINSON
1224 E 12th Street, Ste 310, Austin, Texas 78702
P: 713.275.8803 www.asakurarobinson.com

PARQUE ZARAGOZA NEIGHBORHOOD PARK
RESTROOM RENOVATION
741 Pedernales Street
AUSTIN, TEXAS 78702

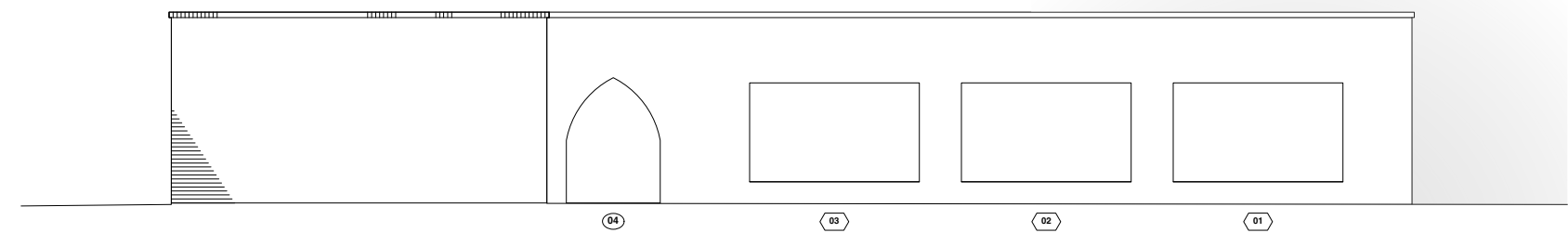
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DEVELOPMENT
DATE: 03. 03, 2022
REVISIONS:

SITE PLAN

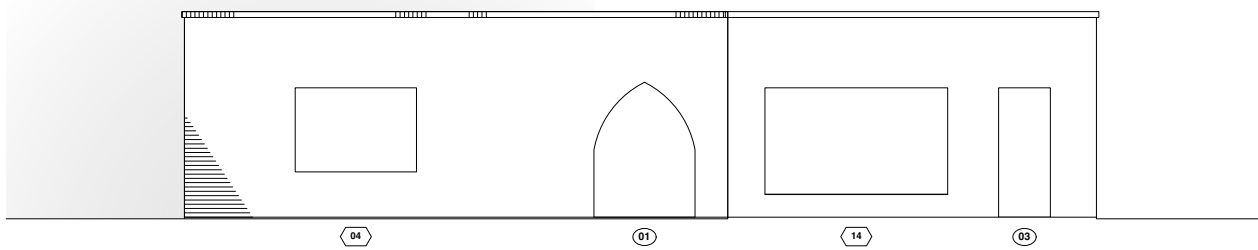
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Thank You

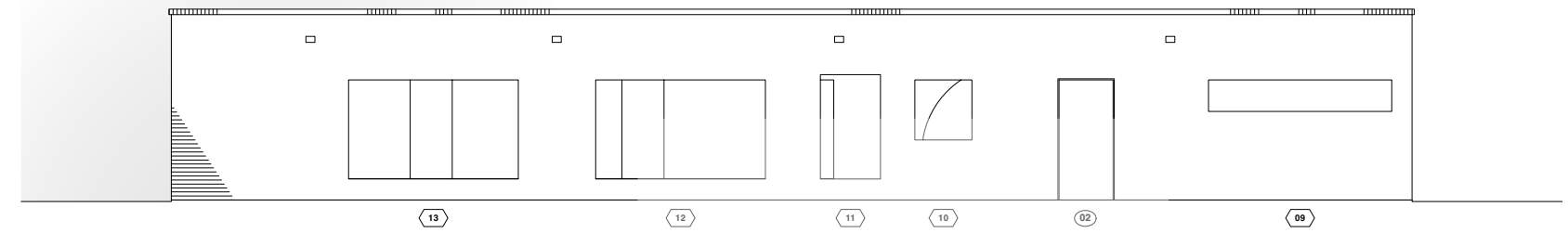




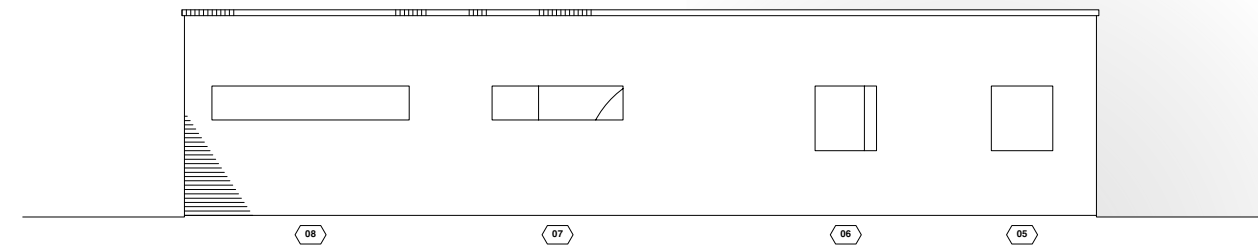
1 WEST ELEVATION
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



3 EAST ELEVATION
Scale: 1/4" = 1'-0"



4 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

LIMBACHER & GODFREY
ARCHITECTS
2104 East 6th Street, #103 Austin, Texas 78702
512.450.1918

PRELIMINARY
Not for regulatory approval,
permitting or construction
ALFRED GODFREY,
ARCHITECT
Sept 1, 2021



PARQUE ZARAGOZA NEIGHBORHOOD PARK
RESTROOM RENOVATION
741 Piedras Street
AUSTIN, TEXAS 78702

PRELIMINARY
DESIGN
DATE: SEPT 1, 2021
REVISIONS:

EXTERIOR
ELEVATIONS
A2.01