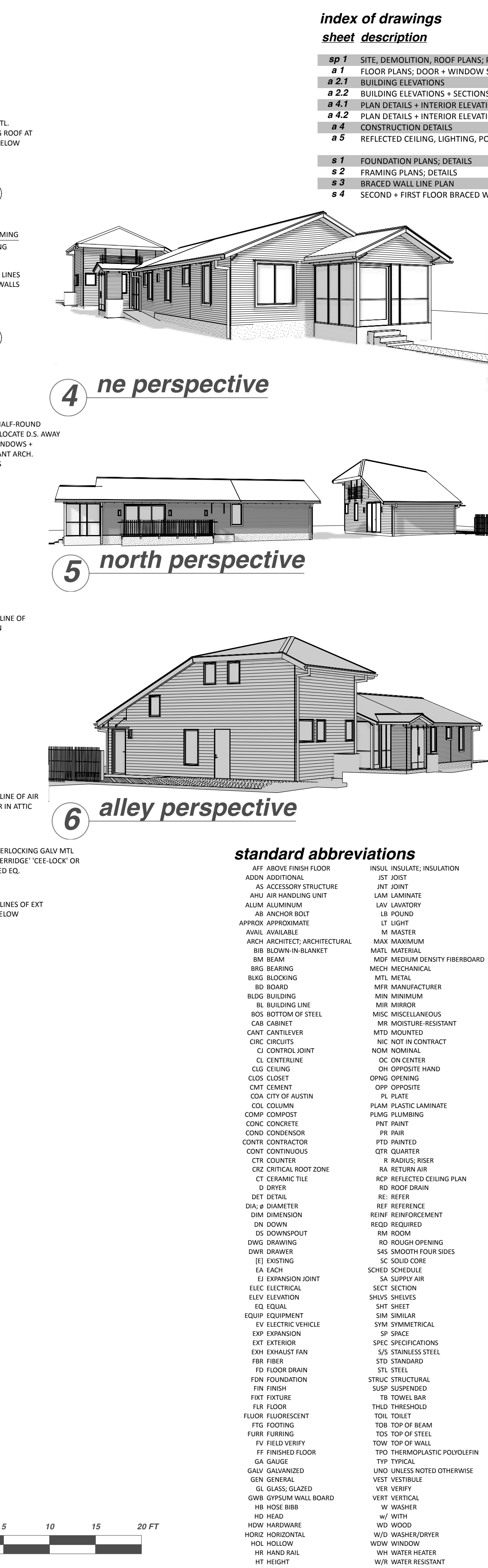
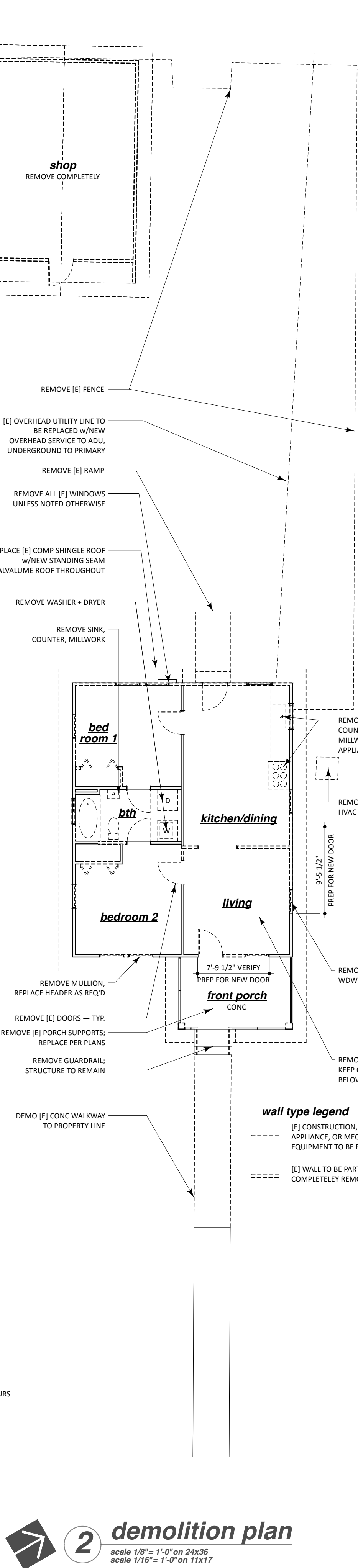




Abbreviations

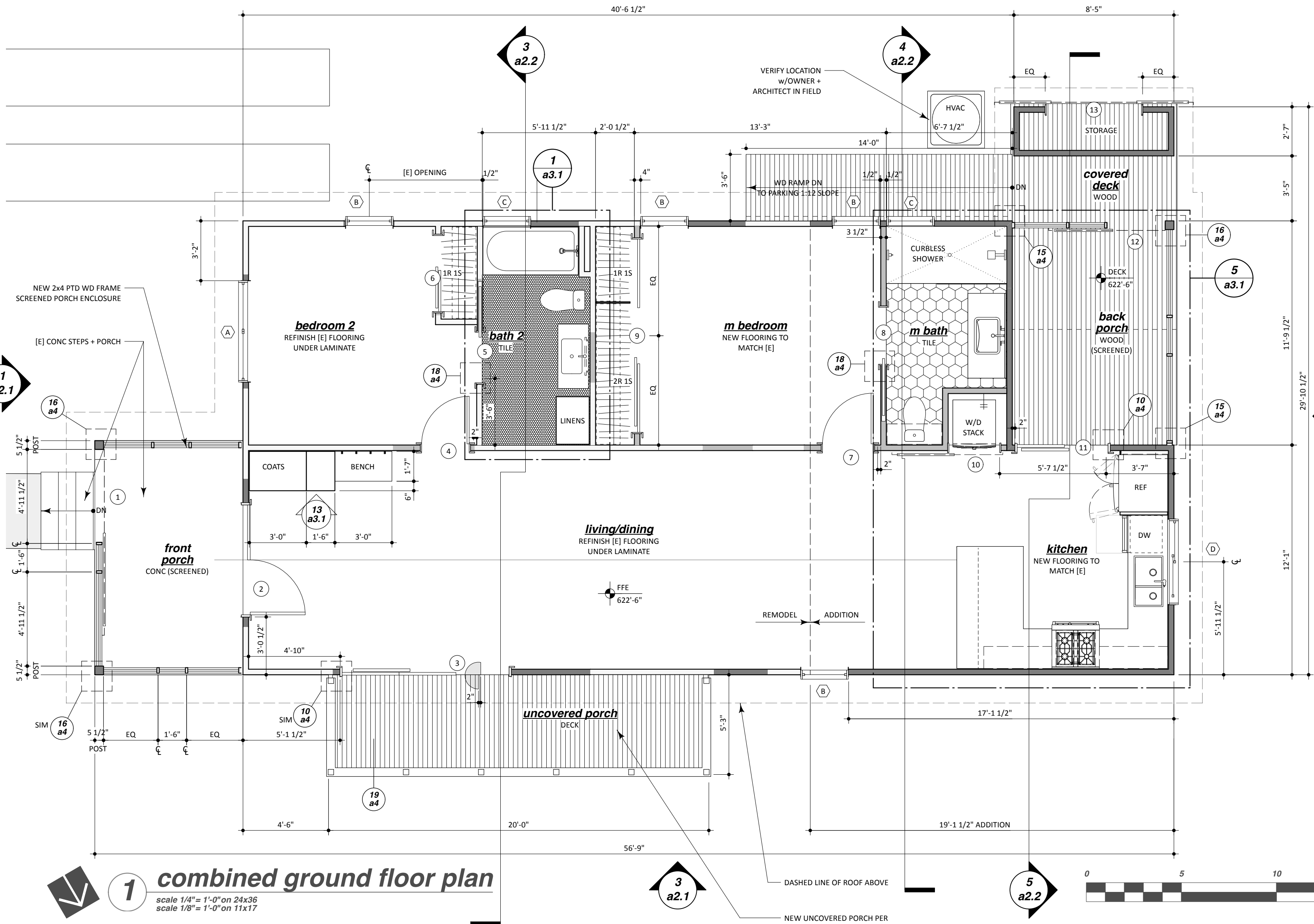
ACR	INSUL INSULATE; INSULATION	5.	CARE SHOULD BE TAKEN AT ALL TIMES TO PROTECT OWNER'S SITE AND PROPERTY. PROPERTY LINE AND FENCE MAY NOT BE ALIGNED.
JOOR	IST JOIST	6.	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND PERMITS NECESSARY TO COMPLETE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS.
JOINT	JNT JOINT	7.	PROVIDE FIRESTOPPING IN THE FOLLOWING LOCATIONS, WHETHER SHOWN IN DRAWINGS OR NOT:
LAM	LAM LAMINATE	A)	IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND AT THE CEILING AND FLOOR LEVELS.
LAV	LAV LAATORY	B)	AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
LB	LB POUND	C)	AT OPENINGS AROUND VENTS, PIPES, CHIMNEYS AND FIRE PLACES, AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATLS.
LI	LI LIGHT	8.	PROTECT ALL TREES WHICH ARE TO REMAIN. CONFORM w/ OWNER PRIOR TO CONSTRUCTION.
MA	MAK MAXIMUM	9.	DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
MAK	MATL MATERIAL	10.	ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE HAND SECTIONS AND DETAILS.
MD	MDF MEDIUM DENSITY FIBERBOARD	11.	PRIOR TO CONSTRUCTION, SUBMIT ALL ARCHITECTURAL SHOP DRAWINGS, SAMPLES AND PRODUCT INFORMATION TO ARCHITECT FOR REVIEW.
MECH	MECH MECHANICAL	12.	REFER TO OWNER'S LEGAL PLAT SURVEY FOR FURTHER INFORMATION REGARDING "IRON RODS FOUND" AND "BASE CORNERS".
METL	MTL METAL	13.	REFER TO OWNER'S SURVEY REGARDING SPECIAL FLOOD HAZARD AREAS (BY FEMA) AND OTHER FLOOD PLAIN INFORMATION NOT DESCRIBED IN THE SITE PLAN DRAWING.
MFR	MFR MANUFACTURER		
MIN	MIN MINIMUM		
MIR	MIR MIRROR		
MISC	MISC MISCELLANEOUS		
MR	MR MOISTURE-RESISTANT		
MTD	MTD MOUNTED		
NT	NT NOT IN CONTRACT		
NOM	NOM NOMINAL		
OC	OC ON CENTER		
OP	OP OPPOSITE HAND		
OPNG	OPNG OPENING		
OPP	OPP OPPOSITE		
PL	PL PLATE		
PLAM	PLAM PLASTIC LAMINATE		
PLUMB	PLUMB PLUMBING		
PNT	PNT PINT		
PR	PR PAIR		
PTD	PTD PANTED		
QUART	QUART QUARTER		
R	R RADIUS; RISER		
RA	RA RETURN AIR		
RCF	RCF REFLECTED CEILING PLAN		
RD	RD ROOF DRAIN		
REF	REF REFER		
REF	REF REFERENCE		

visability

1. COMPLY WITH CITY CODE 25-32-33.830 AZD AT ADU.
2. NO FLOOR TRANSITIONS OF GREATER THAN 1/2" WITHOUT RAMPING ALONG NOTED VISIBLITY ROUTE (ADA ONLY).
3. PROVIDE AT LEAST 30" CLEAR DOORWAY ACCESS (MIN. 32" DOOR) AT ONE GROUND-FLOOR W.C. ALONG THE ROUTE AT ADU.
4. PROVIDE 2X6 BLOCKING AT 34" AFF AT GROUND FLOOR W.C. WALLS FOR FUTURE GRAB BARS IN ALL BATHROOMS.
5. TOP OF ALL LIGHT SWITCHES AND THERMOSTATS SHALL BE AT 48" AFF MAXIMUM THROUGHOUT.
6. BOTTOM OF ALL POWER OUTLETS SHALL BE AT 15" AFF MINIMUM THROUGHOUT.

demonstration notes

1. RECYCLE BUILDING COMPONENTS WHERE POSSIBLE.
2. WINDOWS, OLD WOOD, FIXTURES TO BE DONATED AS RECLAIMED MATLS.
3. PROTECT EXISTING FLOOR TO REMAIN DURING DEMO + CONSTRUCTION.
4. PROTECT ALL EXISTING WINDOWS + DOORS NOT DESIGNATED TO BE DEMOLISHED DURING DEMO + CONSTRUCTION.
5. ALL TILE EXPOSED TO DEMO/CONSTRUCTION TRAFFIC + DEBRIS IS TO BE THOROUGHLY CLEANED TO OBTAIN 100% SATISFACTION, PRIOR TO FINAL PUNCH LIST. MEETING W/ARCHITECT.
6. ALL OTHER LOAD BEARING STRUCTURE DESIGNATED TO BE DEMOLISHED MUST BE REVIEWED + SUPPORTED PER STRUC ENGINEERS SPEC'S + BEST PRACTICES, PRIOR TO STARTING DEMO.
7. DO NOT BEGIN DEMOLITION PRIOR TO CONSULTING W/HVAC CONTRACTOR. ENSURE HVAC MECHANICAL SYSTEM IS SIZED



1 combined ground floor plan
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17

door schedule

KEY	WIDTH	HEIGHT	TYPE	LEAF THICKNESS	MFR.	MODEL	MAT'L	FINISH	HARDWARE	NOTES
1	4'10 5/8"	6'10 1/2"	Barn	Panel 1 1/2"	CUSTOM	SCREEN DOOR	WD.	CLEAR SEAL	11	NEW PORCH SLIDER. VERIFY WIDTH w/POST SPACING
2	6'0"	6'8"	Swing Complex	Glass 1 3/4"	SIERRA PACIFIC	ALUM CLAD WD.	WD/REEDED GLASS	LINEN EXT; PTD INT	4	BRUSHED NICKEL HARDWARE
3	9'0"	6'10"	Slider	Glass 1 3/4"	SIERRA PACIFIC	ALUM CLAD WD.	ALUM CLAD/WD	LINEN EXT; PTD INT	4	BRUSHED NICKEL HARDWARE
4	2'6"	6'8"	Swing Simple	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	6	BRUSHED NICKEL, ROUND ESCUTCHEON, SQUARE PROFILE LEVER
5	2'8"	6'8"	Pocket Simple	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	7,8,9,10	BRUSHED NICKEL
6	4'0"	6'8"	Slider	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	8	PULL AT EACH DOOR, BRUSHED NICKEL
7	2'8"	6'8"	Swing Simple	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	6	BRUSHED NICKEL, ROUND ESCUTCHEON, SQUARE PROFILE LEVER
8	3'0"	6'8"	Pocket Simple	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	7,8,9,10	BRUSHED NICKEL
9	10'2"	6'8"	Slider	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	8	PULL AT EACH DOOR, BRUSHED NICKEL
10	2'8"	6'8"	Barn	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	11	
11	5'0"	6'8"	Slider	Glass 1 3/4"	SIERRA PACIFIC	ALUM CLAD WD.	ALUM CLAD/WD	LINEN EXT; PTD INT	4	BRUSHED NICKEL HARDWARE
12	3'0 3/4"	7'9 1/2"	Barn	Panel 1 1/2"	CUSTOM	SCREEN DOOR	WD.	CLEAR SEAL	11	NEW PORCH SLIDER. VERIFY WIDTH w/POST SPACING
13	5'0"	6'8"	Barn	Solid 1 3/4"	TRUSTILE	SOLID SLAB	COMP.	PTD.	11	OUTDOOR GRADE
14	9'0"	8'0"	Slider	Glass 1 3/4"	SIERRA PACIFIC	ALUM CLAD WD.	ALUM CLAD/WD	LINEN EXT; PTD INT	4	BRUSHED NICKEL HARDWARE
15	4'8"	3'6"	Barn	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	11	
16	2'8"	6'8"	Swing Simple	Glass 1 3/4"	SIERRA PACIFIC	ALUM CLAD WD.	ALUM CLAD/WD	LINEN EXT; PTD INT	4	BRUSHED NICKEL HARDWARE
17	2'8"	6'8"	Swing Simple	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	6	BRUSHED NICKEL, ROUND ESCUTCHEON, SQUARE PROFILE LEVER
18	6'0"	6'8"	Slider	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	8	PULL AT EACH DOOR, BRUSHED NICKEL
19	4'0"	6'8"	Pocket Bi-part	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	7,8,9,10	PULL AT EACH DOOR, BRUSHED NICKEL
20	2'6"	6'8"	Swing Simple	Solid 1 3/4"	BMC	FLUSH	FIBERGLASS	PTD	1,2,3	SMOOTH FINISH
21	2'6"	6'8"	Swing Simple	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	6	BRUSHED NICKEL, ROUND ESCUTCHEON, SQUARE PROFILE LEVER
22	2'8"	6'8"	Pocket Simple	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	7,8,9,10	BRUSHED NICKEL
23	4'8"	6'8"	Slider	Panel 1 3/8"	TRUSTILE	TS5000-SS-C	COMP.	PTD.	8	PULL AT EACH DOOR, BRUSHED NICKEL
24	8'0"	6'8"	Slider	Glass 1 3/4"	SIERRA PACIFIC	ALUM CLAD WD.	ALUM CLAD/WD	LINEN EXT; PTD INT	4	BRUSHED NICKEL HARDWARE

door hardware

- 1 LEVER-STYLE ENTRY SET (FIXED HANDLE FOR SLIDERS)

2 DEADBOLT

3 THRESHOLD/WEATHERSTRIP

4 MFR HARDWARE

5 LEVER-STYLE PASSAGE SET

6 LEVER-STYLE PRIVACY SET
- 7 HEAVY-DUTY TRACK AND NYLON ROLLERS

8 POCKET DOOR ROUND FLUSH PULL

9 POCKET DOOR EDGE PULL

10 POCKET DOOR JAMB BOLT

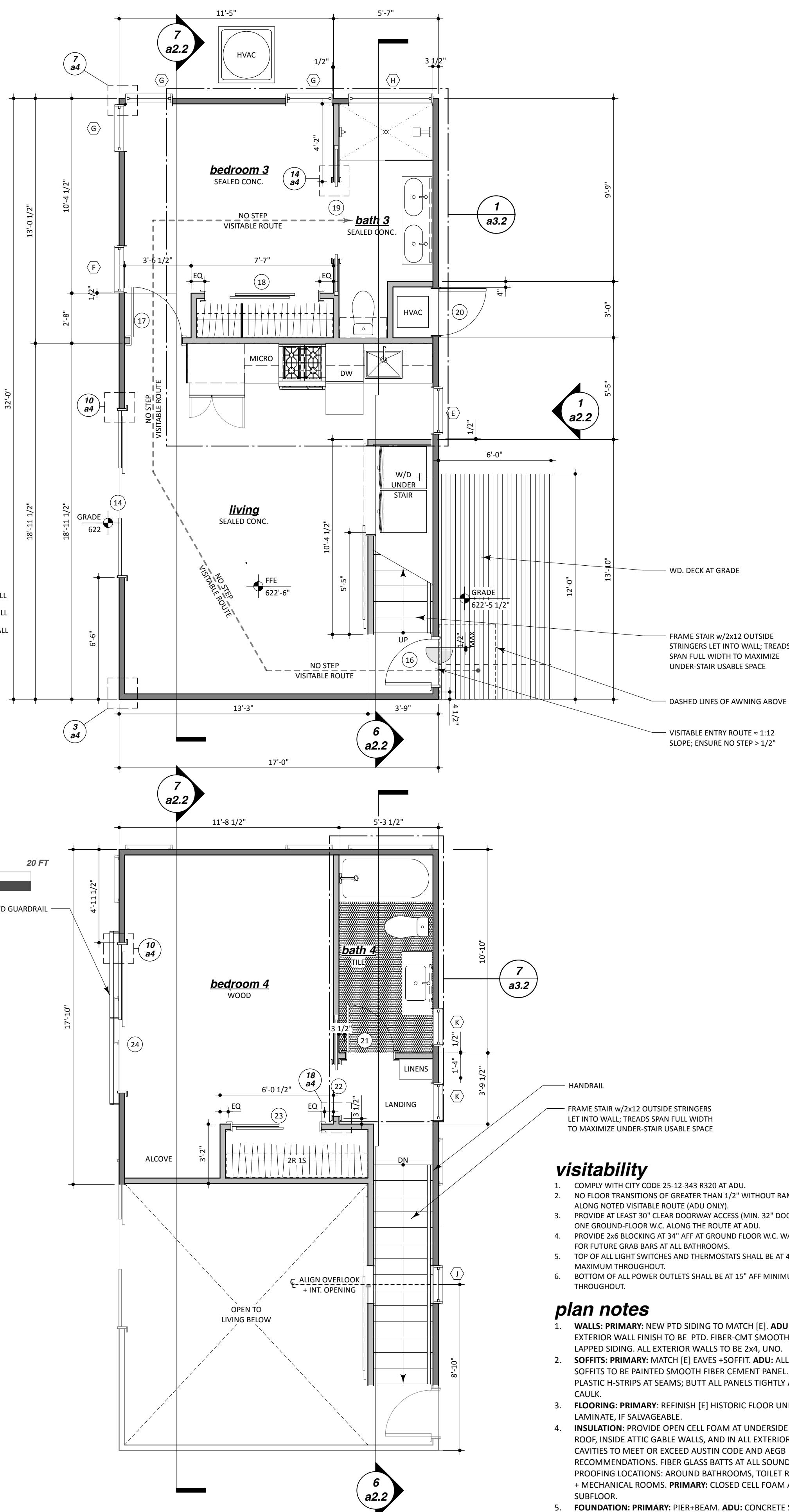
11 BARN DOOR RAIL + HANGERS + DOOR PULL + NYLON INSECT BRUSH GUARD

window schedule

KEY	UNIT WIDTH	UNIT HEIGHT	HEAD HT. AFF	TYPE	MFR.	MODEL	FINISH	QTY.	NOTES
A	5'4"	5'0"	7'2"	Bi-parting Casement	SIERRA PACIFIC	H3	TBD	1	MATCH [E] OPENING
B	2'6"	5'0"	7'2"	Casement	SIERRA PACIFIC	H3	TBD	4	MATCH [E] OPENING, EGRESS
C	2'6"	2'6"	7'2"	Awning	SIERRA PACIFIC	H3	TBD	2	
D	4'6"	5'0"	8'0"	Horizontal Slider	SIERRA PACIFIC	H3	TBD	1	
E	2'6"	5'0"	6'8"	Fixed Glass	SIERRA PACIFIC	H3	TBD	1	
F	2'6"	5'0"	8'0"	Casement	SIERRA PACIFIC	H3	TBD	1	
G	2'6"	3'0"	8'0"	Casement	SIERRA PACIFIC	H3	TBD	3	EGRESS
H	4'6"	3'0"	8'0"	Fixed Glass	SIERRA PACIFIC	H3	TBD	1	
J	2'0"	3'0"	2'4"	Awning	SIERRA PACIFIC	H3	TBD	1	
K	2'0"	3'0"	6'8"	Awning	SIERRA PACIFIC	H3	TBD	2	

window notes

- 1 HEAD HEIGHTS ARE NOMINAL ABOVE FINISH FLOOR; ACCOUNT FOR SUBFLOOR AND FLOORING THICKNESS WHEN FRAMING HEADERS TO ENSURE CORRECT SILL HEIGHTS.
- 2 ADJUST HEAD HEIGHTS AS REQ'D TO ALIGN TOP TRIM WITH ADJACENT OR GANGED DOOR/WINDOW UNITS.
- 3 VERIFY FINAL UNIT AND ROUGH OPENING SIZES WITH MFR PRIOR TO FRAMING.
- 4 WHERE UNIT IS DRAWN FLUSH W/ADJ WALL OR CLG, INSTALL COMPLETELY FLUSH PER DETAILS.
- 5 FULL DIVIDED LIGHT GRILLES WHERE SHOWN ON ELEVATIONS. PERMANENT GRILLES AT INTERIOR + EXTERIOR w/ALUM SPACER BETWEEN GLASS.
- 6 VERIFY EGRESS AT ALL BEDROOMS PRIOR TO ORDERING



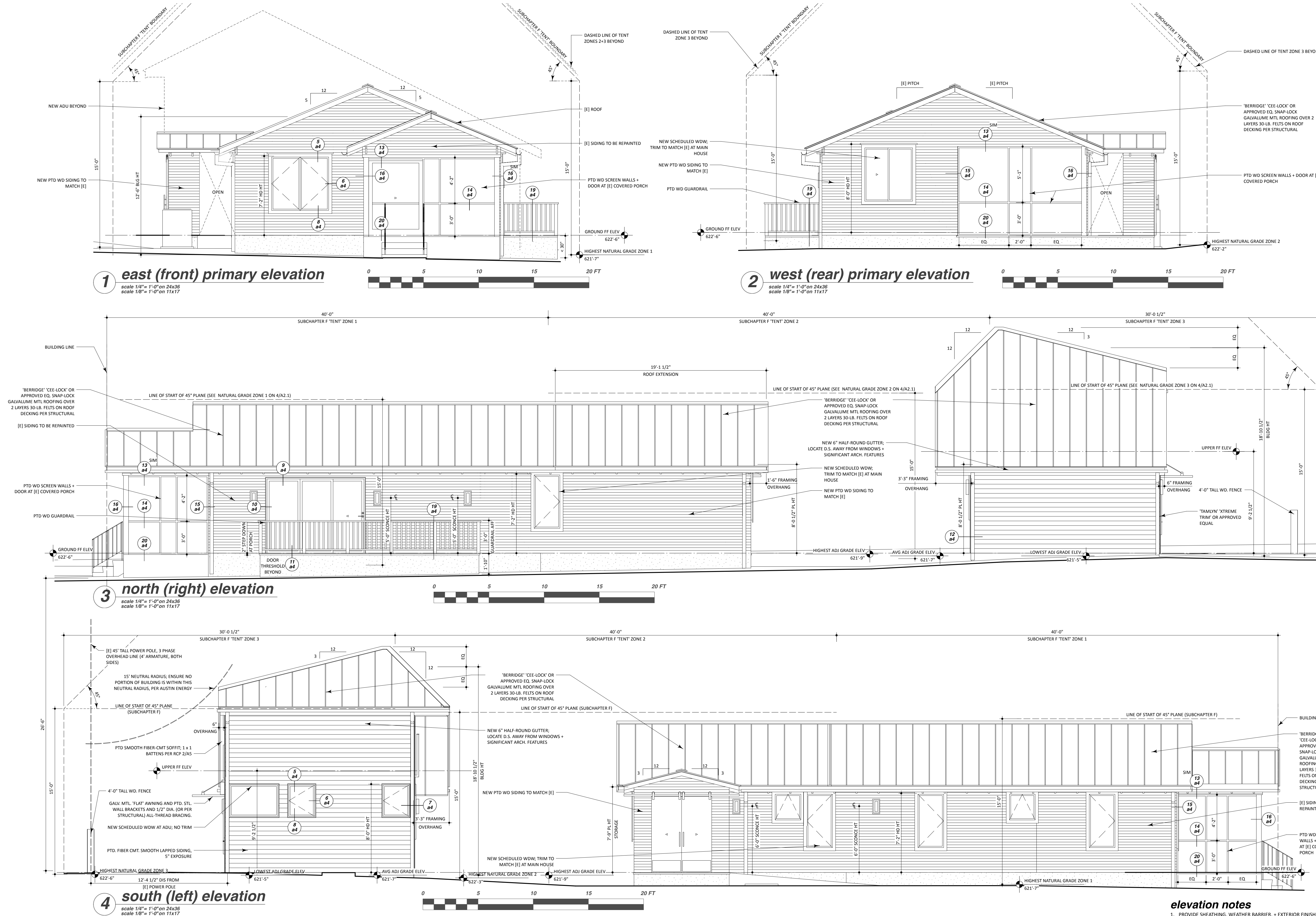
2 adu upper floor plan
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17

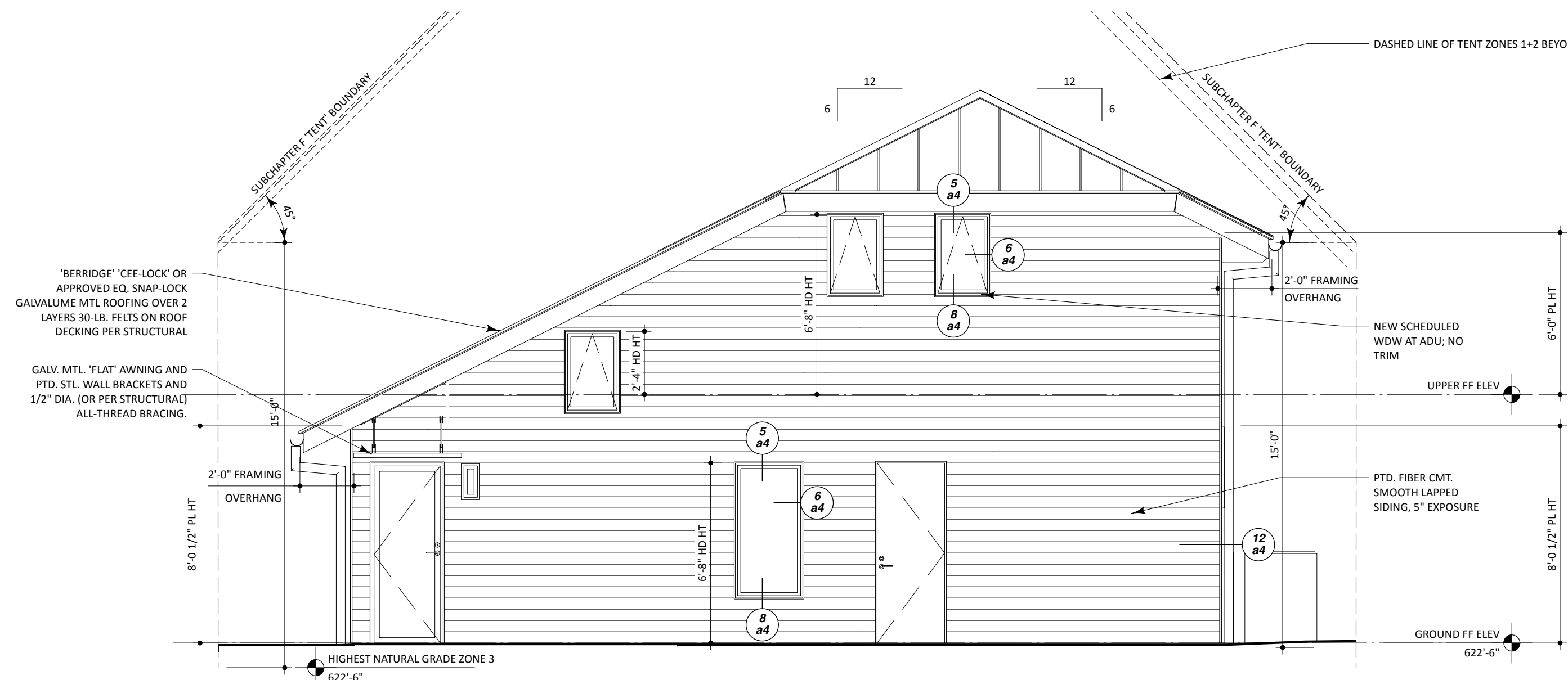
visitability

1. COMPLY WITH CITY CODE 25-12-343 R320 AT ADU.
2. NO FLOOR TRANSITIONS OF GREATER THAN 1/2" WITHOUT RAMPING ALONG NOTED VISITABLE ROUTE (ADU ONLY).
3. PROVIDE AT LEAST 30" CLEAR DOORWAY ACCESS (MIN. 32" DOOR) AT ONE GROUND-FLOOR W.C. ALONG THE ROUTE AT ADU.
4. PROVIDE 2x6 BLOCKING AT 34" AFF AT GROUND FLOOR W.C. WALLS FOR FUTURE GRAB BARS AT ALL BATHROOMS.
5. TOP OF ALL LIGHT SWITCHES AND THERMOSTATS SHALL BE AT 48" AFF MAXIMUM THROUGHOUT.
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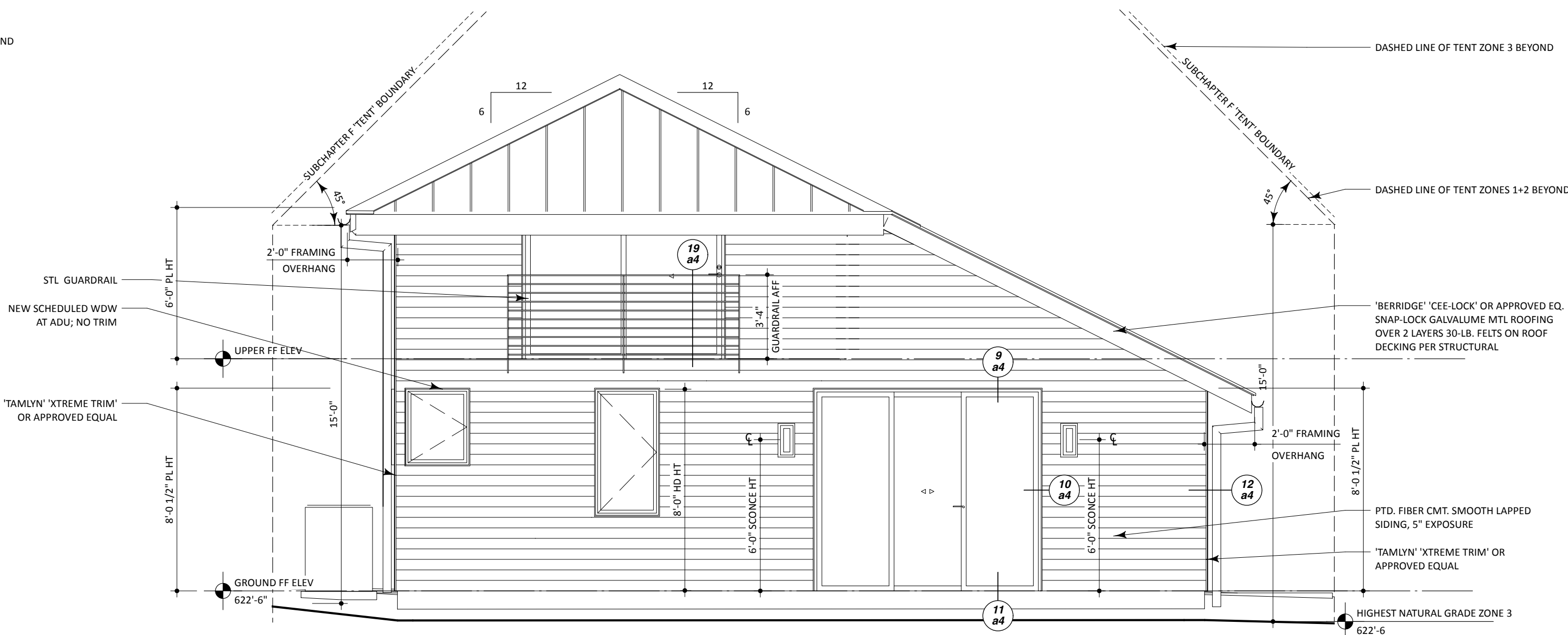
plan notes

1. **WALLS: PRIMARY:** NEW PTD SIDING TO MATCH [E]. **ADU:** EXTERIOR WALL FINISH TO BE PTD. FIBER-CMT SMOOTH LAPPED SIDING. ALL EXTERIOR WALLS TO BE 2x4, UNO.
2. **SOFFITS: PRIMARY:** MATCH [E] EAVES +SOFFIT. **ADU:** ALL SOFFITS TO BE PAINTED SMOOTH FIBER CEMENT PANEL. NO PLASTIC H-STRIPS AT SEAMS; BUTT ALL PANELS TIGHTLY AND CAULK.
3. **FLOORING: PRIMARY:** REFINISH [E] HISTORIC FLOOR UNDER LAMINATE, IF SALVAGEABLE.
4. **INSULATION:** PROVIDE OPEN CELL FOAM AT UNDERSIDE OF ROOF, INSIDE ATTIC GABLE WALLS, AND IN ALL EXTERIOR WALL CAVITIES TO MEET OR EXCEED AUSTIN CODE AND AEGB RECOMMENDATIONS. FIBER GLASS BATTS AT ALL SOUND PROOFING LOCATIONS: AROUND BATHROOMS, TOILET ROOMS + MECHANICAL ROOMS. **PRIMARY:** CLOSED CELL FOAM AT SUBFLOOR.
5. **FOUNDATION: PRIMARY:** PIER+BEAM. **ADU:** CONCRETE SLAB ON GRADE PER STRUCTURAL.
6. **CLOSETS:** TRIM CARPENTRY. SHELVING PRIMED AND PAINTED. METAL CLOSET RODS SOCKETS AND INTERMEDIATE BRACES.
7. ALL **DIMENSIONS** TO FACE OF FRAME U.N.O. ALL WINDOW + DOOR ROUGH OPENINGS ARE GIVEN ON SCHEDULES ON A2
8. **PLAN FLOOR HEIGHTS** ARE GIVEN TO TOP OF FINISH FLOOR.
9. **PLUMBING AND FLOOR DRAINS** NOT NECESSARILY INDICATED ON STRUCTURAL DRAWINGS; GC TO COORDINATE.

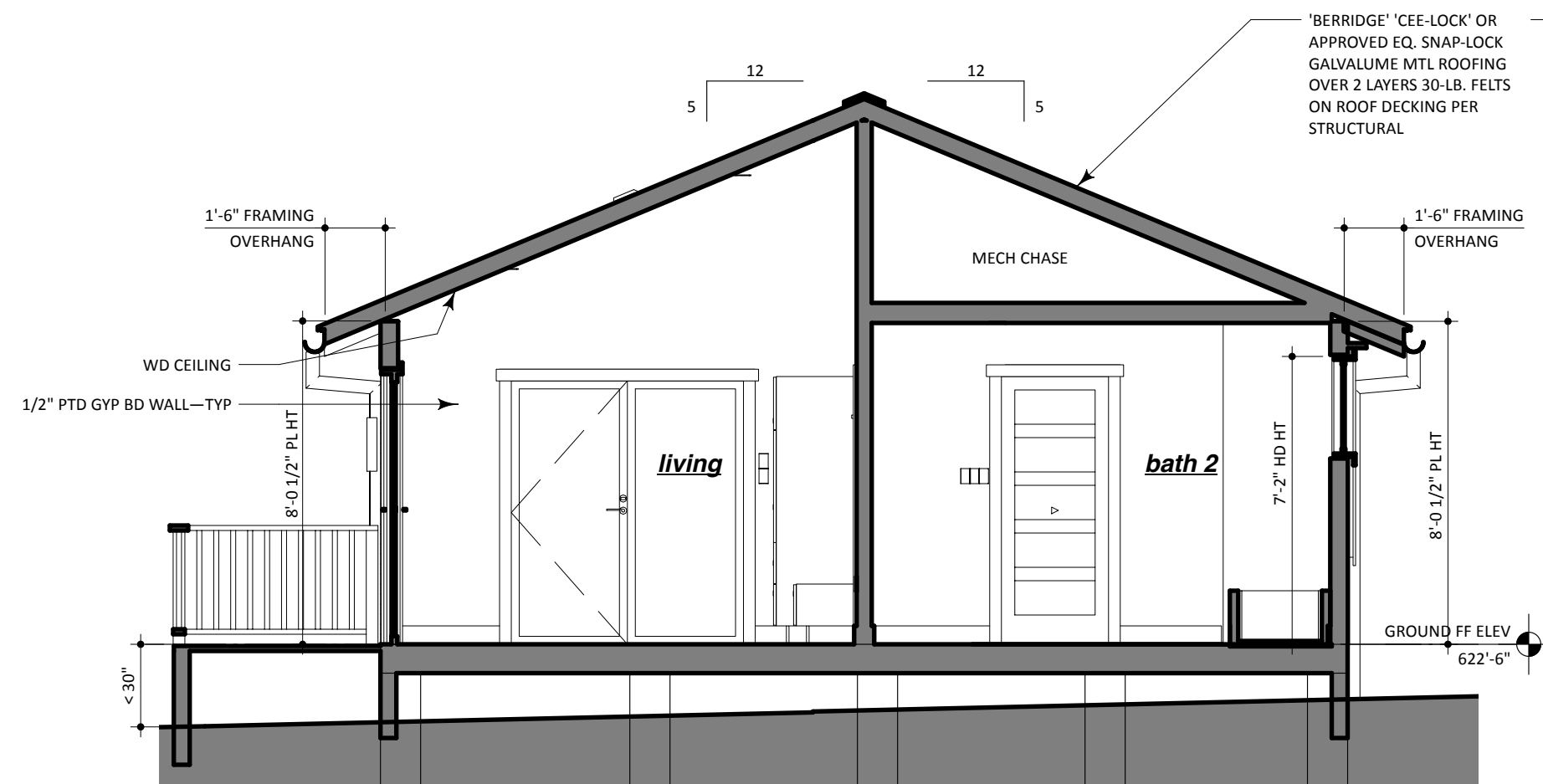




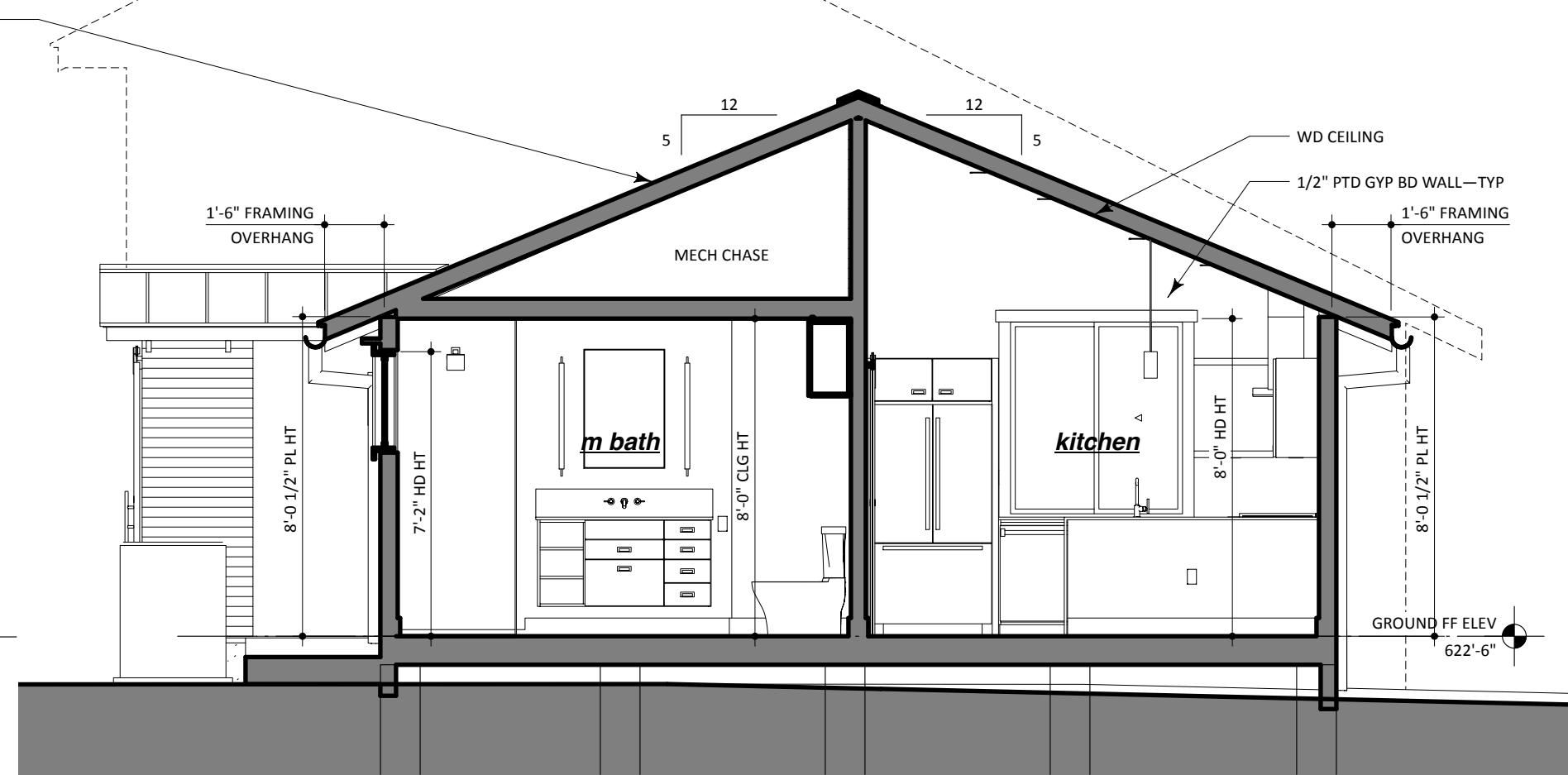
1 west (alley) adu elevation
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17



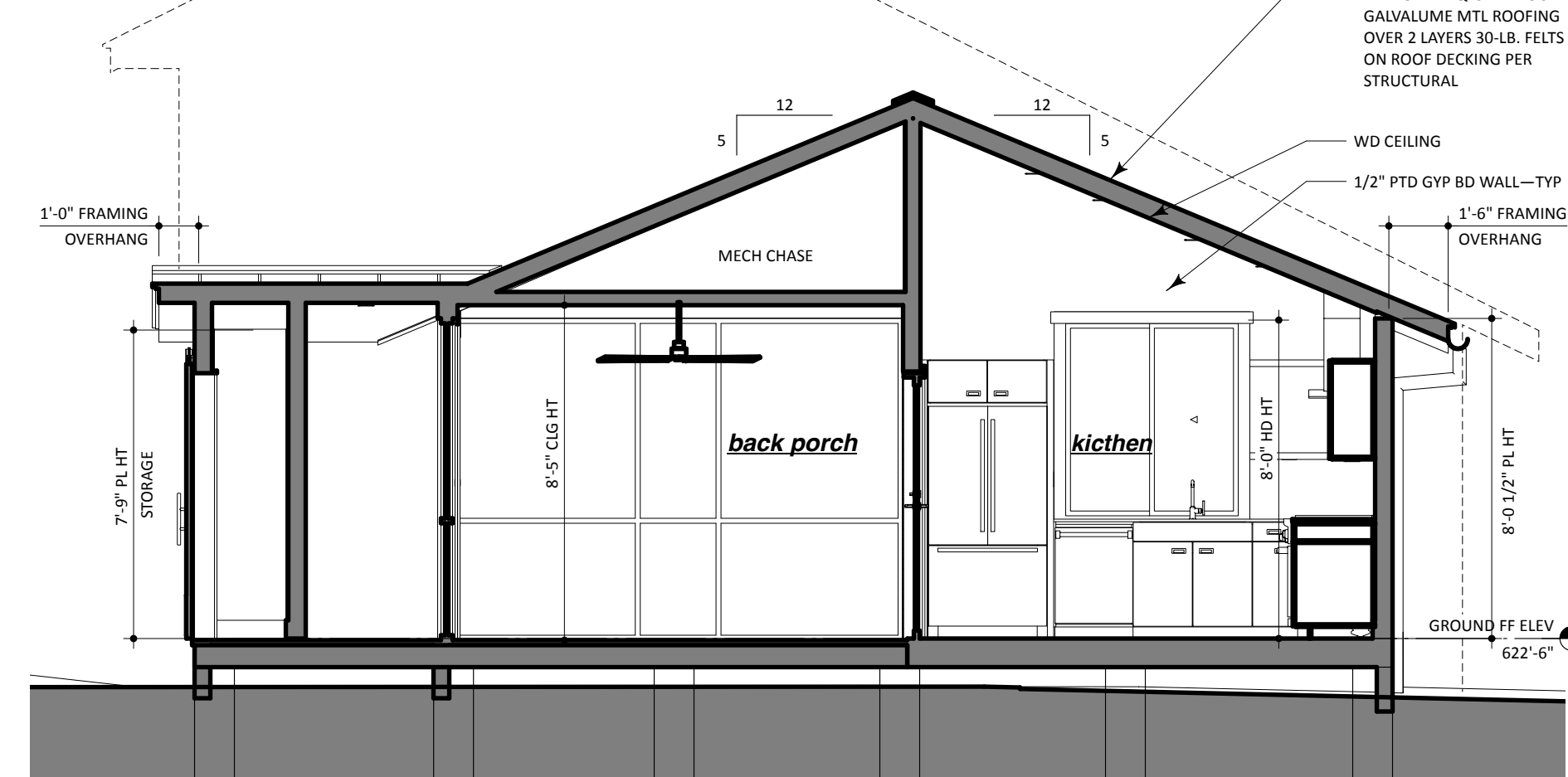
2 east adu elevation
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17



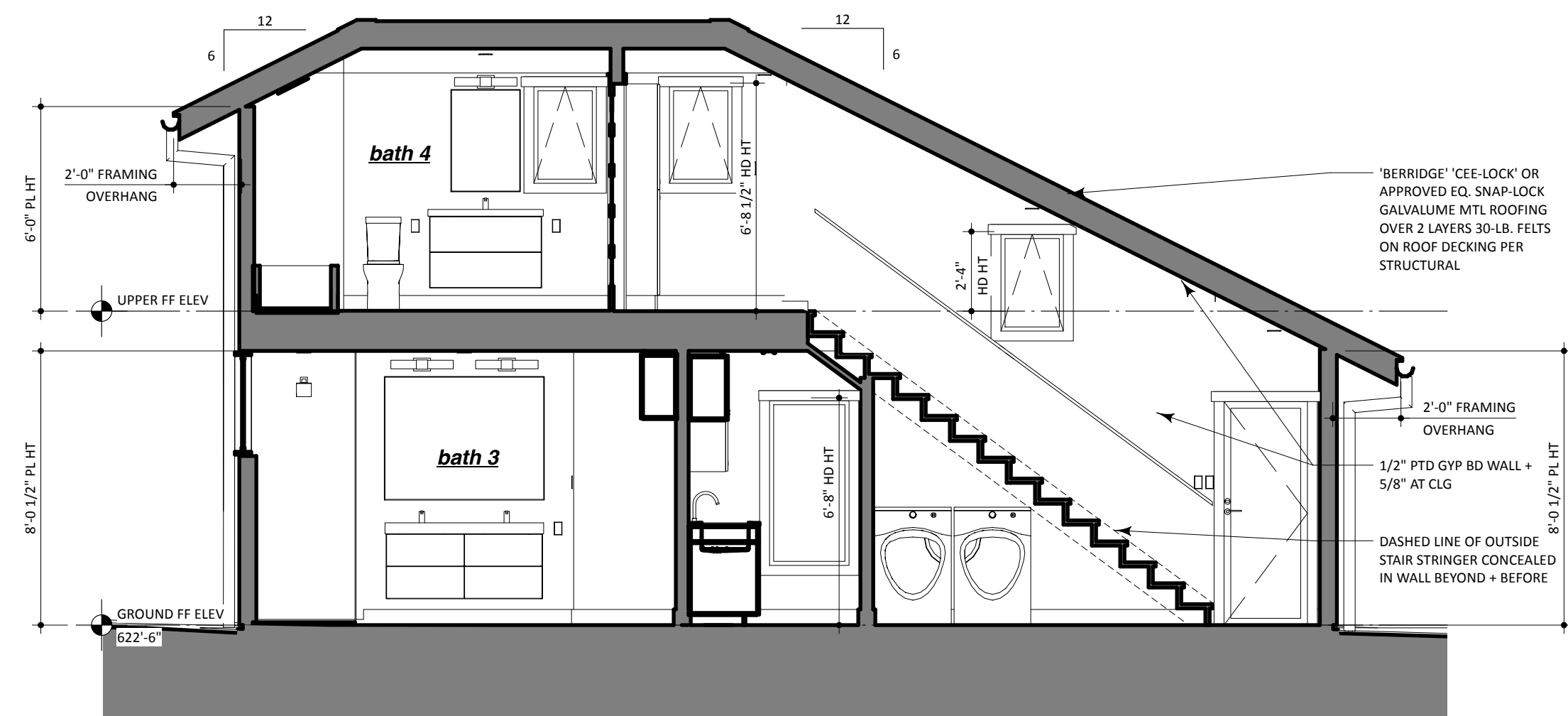
3 section through living + bath 2 looking east
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17



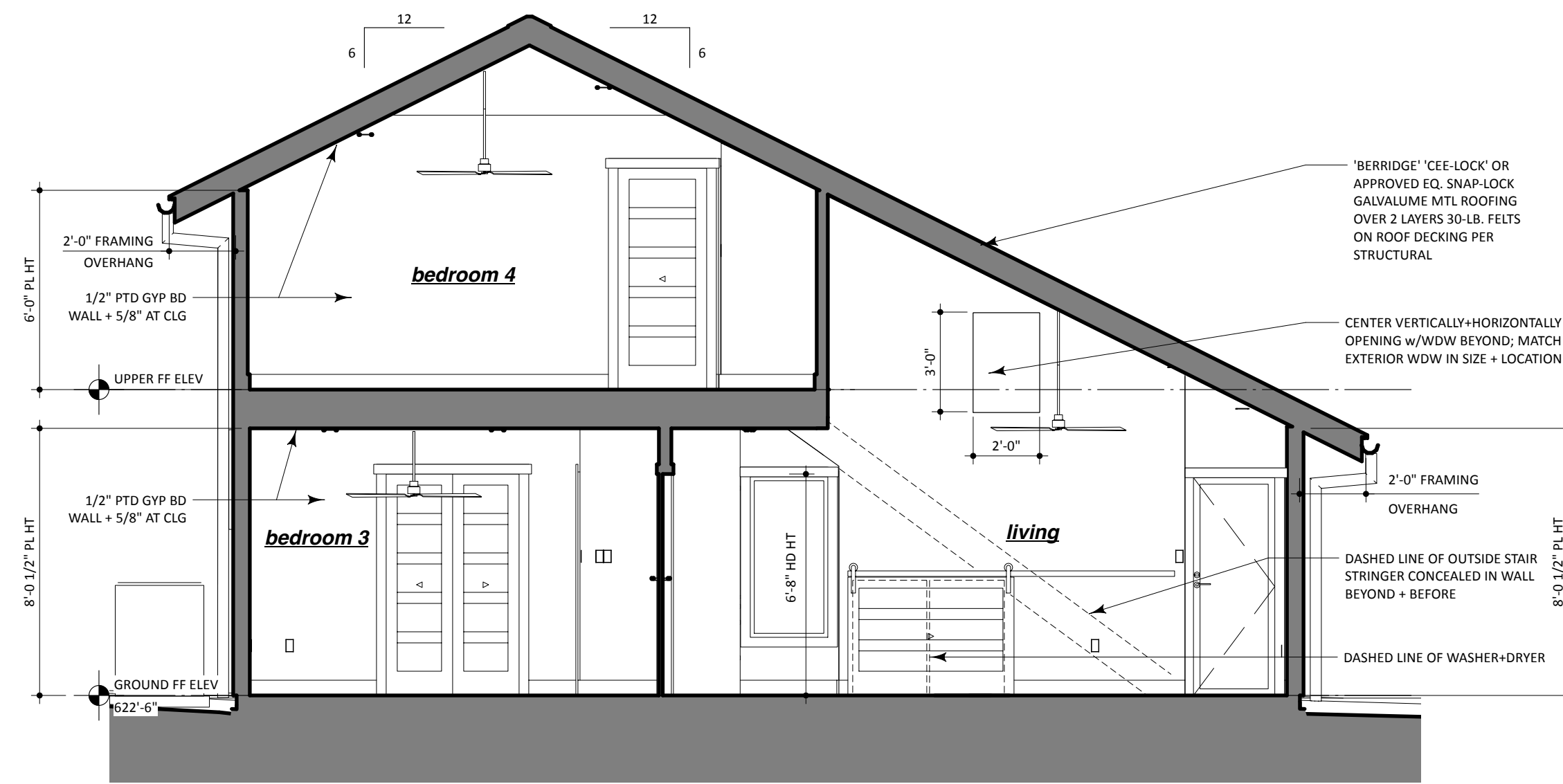
4 section through dining + m bath looking west
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17



5 section through kitchen + back porch looking west
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17



6 section through adu stairs, bath 3 + 4 looking west
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17



7 section through adu living, bedroom 3 + 4 looking west
scale 1/4"= 1'-0" on 24x36
scale 1/8"= 1'-0" on 11x17

- elevation notes**
1. PROVIDE SHEATHING, WEATHER BARRIER, + EXTERIOR FINISH MATERIAL AS DETAILED ON SHEET AS.
 2. INSTALL STANDING SEAM METAL ROOFING THROUGHOUT.
 3. VERIFY ROUGH OPENING SIZES OF ALL EXISTING OPENINGS DESIGNATED FOR NEW WDWs/DOORS PRIOR TO ORDERING.