



1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY.
2. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, CONTRACTOR IS RESPONSIBLE FOR MAKING A REQUEST FOR INFORMATION (RFI) IN WRITING FOR THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK IN QUESTION OR OTHER RELATED WORK.
3. ALL WORK NOTED "BY OTHERS" OR "NIC" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR OR HIS/HER SUBCONTRACTORS, AND IS NOT TO BE PART OF THE CONTRACT SUM.
4. ALL CONSTRUCTION IS TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS (CITY, STATE AND NATIONAL).
5. CARE SHOULD BE TAKEN AT ALL TIMES TO PROTECT OWNER'S SITE AND PROPERTY. PROPERTY LINE AND FENCE MAY NOT BE ALIGNED.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND PERMITS NECESSARY TO COMPLETE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS.
7. PRIOR TO CONSTRUCTION, THE FOLLOWING LOCATIONS, WHETHER SHOWN IN DRAWINGS OR NOT:
 - A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND AT THE CEILING AND FLOOR LEVELS.
 - B) AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT JOINTS, DROP CEILING, CORNER CEILING, ETC.
 - C) AT OPENINGS AROUND VENTS, PIPES, CHIMNEYS AND FIRE PLACES, AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATLS.
8. PROTECT ALL TREES WHICH ARE TO REMAIN. CONFIRM w/ OWNER PRIOR TO CONSTRUCTION.
9. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
10. ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPES, ELEVATIONS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE HAND SECTIONS AND DETAILS.
11. PRIOR TO CONSTRUCTION, SUBMIT ALL ARCHITECTURAL SHOP DRAWINGS, SAMPLES AND PRODUCT INFORMATION TO ARCHITECT FOR REVIEW.
12. REFER TO OWNER'S LEGAL PLAT SURVEY FOR FURTHER INFORMATION REGARDING "IRON RODS FOUND" AND "BASE CORNER".
13. REFER TO OWNER'S SURVEY REGARDING SPECIAL FLOOD HAZARD AREAS (BY FEMA) AND OTHER FLOOD PLAIN INFORMATION NOT DESCRIBED IN THE SITE PLAN DRAWING.

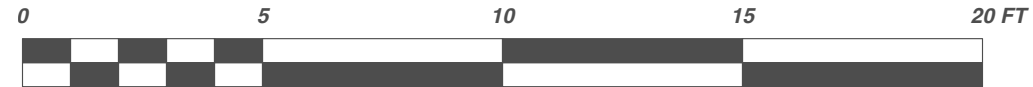
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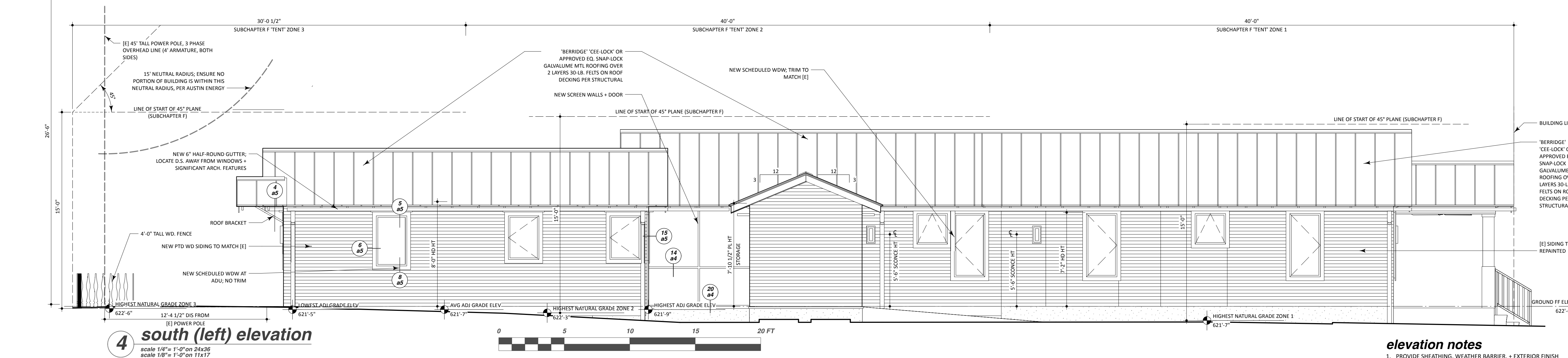
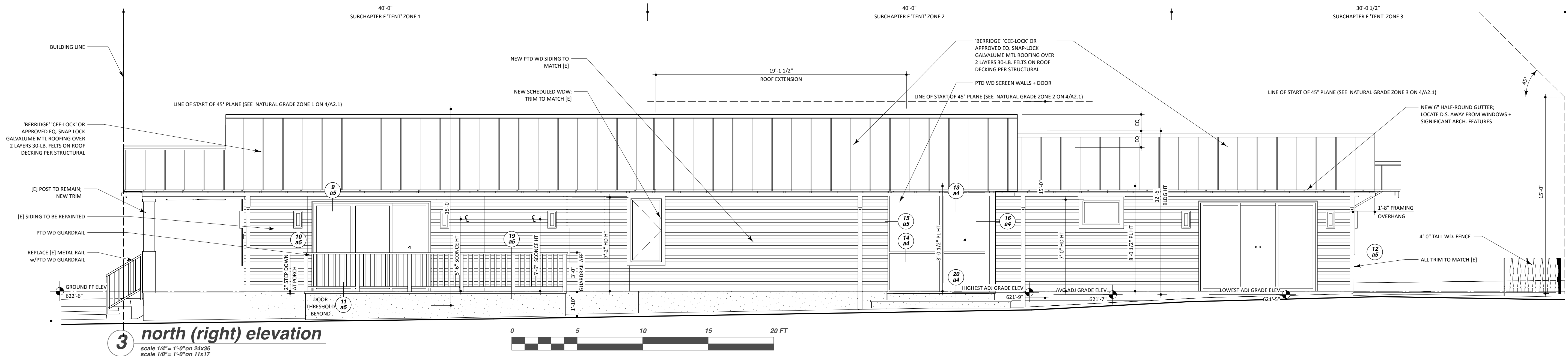
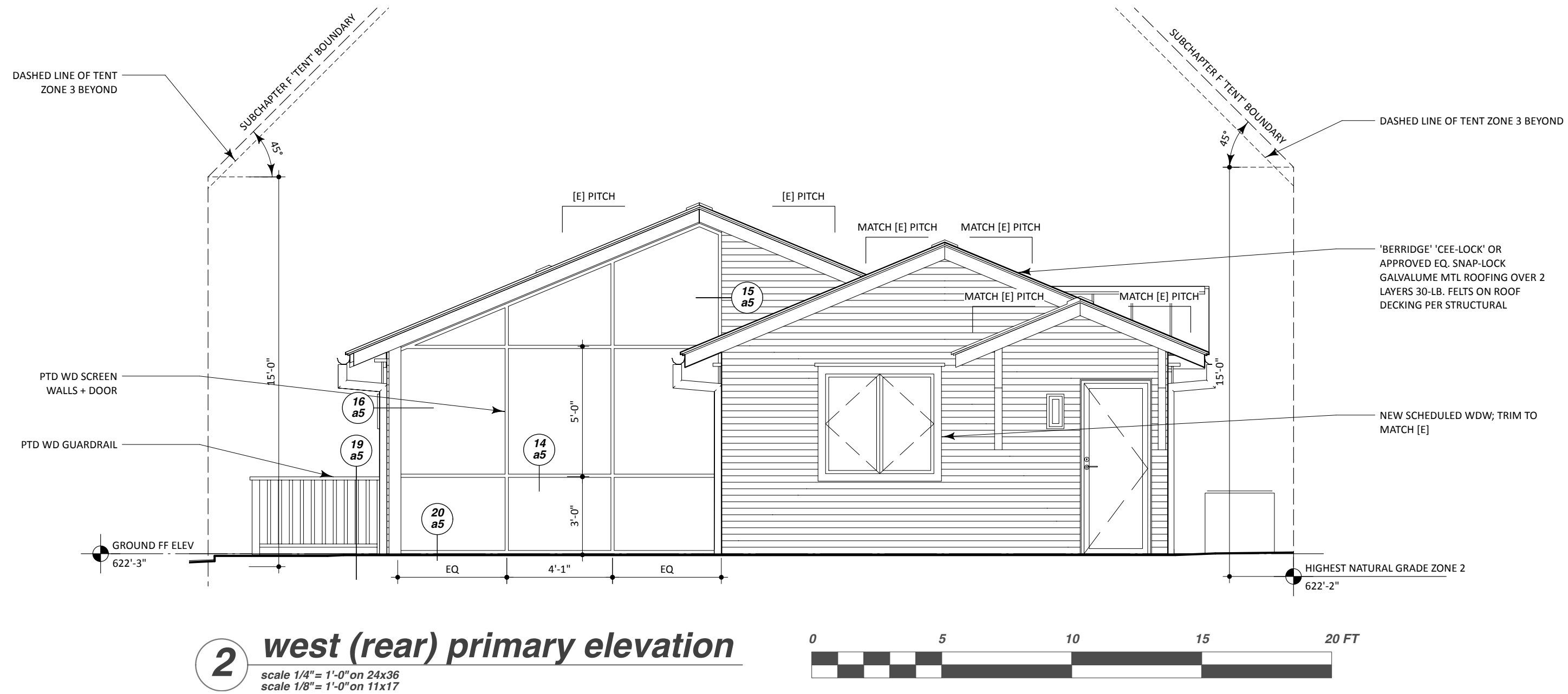
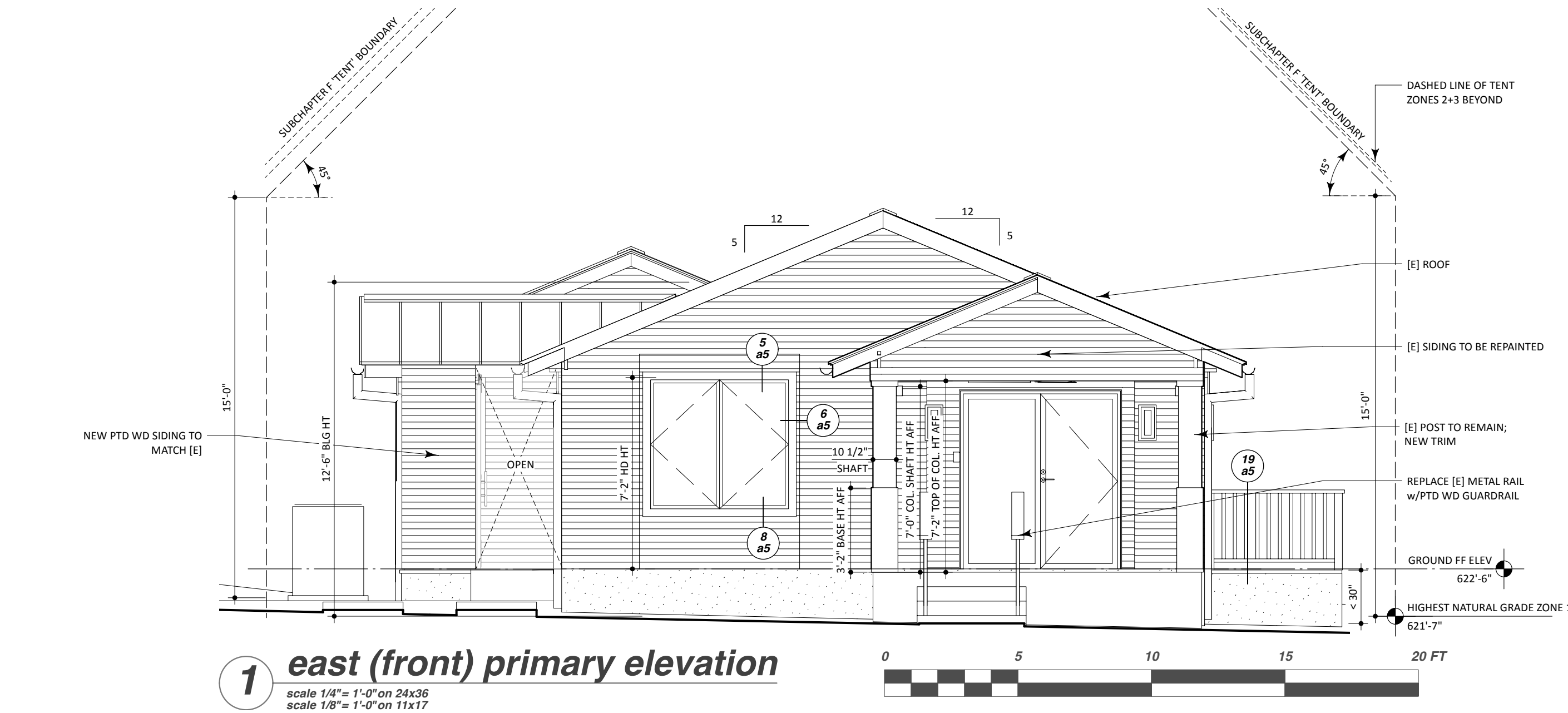
1. COMPLY WITH CITY CODE 25-12-343 R320 AT ADU.
2. NO FLOOR TRANSITIONS OF GREATER THAN 1/2" WITHOUT RAMPING ALONG NOTED VISITABLE ROUTE (ADU ONLY).
3. PROVIDE AT LEAST 30" CLEAR DOORWAY ACCESS (MIN. 32" DOOR) AT ONE GROUND-FLOOR W.C. ALONG THE ROUTE AT ADU.
4. PROVIDE 2x6 BLOCKING AT 34" AFF AT GROUND FLOOR W.C. WALLS FOR FUTURE GRAB BARS AT ALL BATHROOMS.
5. TOP OF ALL LIGHT SWITCHES AND THERMOSTATS SHALL BE AT 48" AFF MAXIMUM THROUGHOUT.
6. BOTTOM OF ALL POWER OUTLETS SHALL BE AT 15" AFF MINIMUM THROUGHOUT.

demolition notes

- ## ***demolition notes***
1. RECYCLE BUILDING COMPONENTS WHERE POSSIBLE. WINDOWS, OLD WOOD, FIXTURES TO BE DONATED AS RECLAIMED MATLS.
 2. PROTECT EXISTING FLOOR TO REMAIN DURING DEMO + CONSTRUCTION.
 3. PROTECT ALL EXISTING WINDOWS + DOORS NOT DESIGNATED TO BE DEMOLISHED DURING DEMO + CONSTRUCTION.
 4. ALL TILE EXPOSED TO DEMO/CONSTRUCTION TRAFFIC + DEBRIS TO BE THOROUGHLY CLEANED TO OWNERS' SATISFACTION PRIOR TO FINAL PUNCH LIST MEETING w/ARCHITECT.
 5. ALL OTHER LOAD BEARING STRUCTURE DESIGNATED TO BE DEMOLISHED MUST BE REVIEWED + SUPPORTED PER STRUCTURAL ENGINEERS SPECS + BEST PRACTICES, PRIOR TO STARTING DEMO.
 6. DO NOT BEGIN DEMOLITION PRIOR TO CONSULTING w/HVAC CONTRACTOR. ENSURE HVAC MECHANICAL SYSTEM IS SIZED

index or drawings		scale	
sheet	description	22x34 sheet	11x17 sheet
g 1	SITE, DEMOLITION, ROOF PLANS; PERSPECTIVES; PROJECT NOTES	1/8" = 1'-0"	1/16" = 1'-0"
g 2	SCHEDULES	N/A	N/A
a 1	FLOOR PLANS, DOOR + WINDOW SCHEDULES	1/4" = 1'-0"	1/8" = 1'-0"
a 2	BUILDING ELEVATIONS	1/4" = 1'-0"	1/8" = 1'-0"
a 3	BUILDING SECTIONS	1/4" = 1'-0"	1/8" = 1'-0"
a 4.1	PLAN DETAILS + INTERIOR ELEVATIONS	3/8" = 1'-0"	3/16" = 1'-0"
a 4.2	PLAN DETAILS + INTERIOR ELEVATIONS (APARTMENT)	3/8" = 1'-0"	3/16" = 1'-0"
a 5	CONSTRUCTION DETAILS	3" = 1'-0"	1 1/2" = 1'-0"
a 6	REFLECTED CEILING, LIGHTING, POWER PLANS	1/4" = 1'-0"	1/8" = 1'-0"
s 1	FOUNDATION PLANS; DETAILS	3/4" = 1'-0" 1/4" = 1'-0"	
s 2	FRAMING PLANS; DETAILS	VARIED	
s 3	BRACED WALL LINE PLAN	1/4" = 1'-0"	





- elevation notes**
1. PROVIDE SHEATHING, WEATHER BARRIER, + EXTERIOR FINISH MATERIAL AS DETAILED ON SHEET A4.
 2. INSTALL STANDING SEAM METAL ROOFING.
 3. VERIFY ROUGH OPENING SIZES OF ALL EXISTING OPENINGS DESIGNATED FOR NEW WDWs/DOORS PRIOR TO ORDERING.

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REGISTERED ARCHITECT

FRANÇOIS LÉVY

727093

STATE OF TEXAS

JUN 27, 2022

DATE: 27 JUN 2022

REVISIONS:

building elevations

PC

DRAWN BY:

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speedway addition

4402 speedway | austin, tx