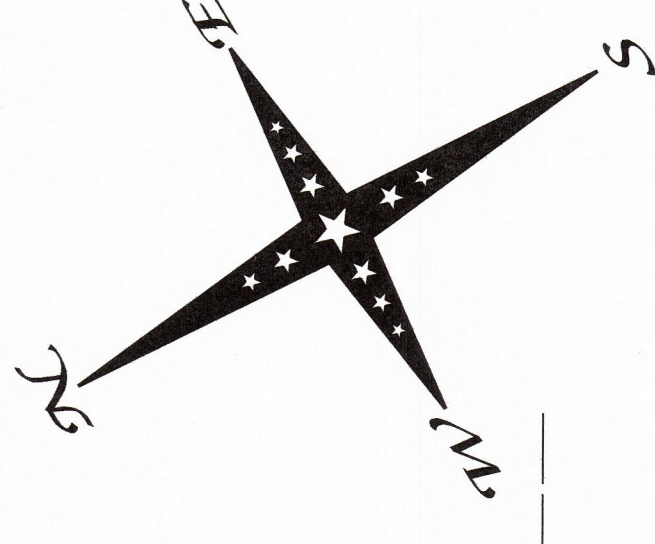


SCALE: 1" = 20'

Legend

- 1/2" Iron Rod Found
- IPF @ 1/2" Iron Rod Set with plastic cap
- Imprinted with "Holt Carson, Inc."
- 600 Nail Found
- Wood Rod Fence
- Overhead Utility Line (Record Dimension)
- guy wire

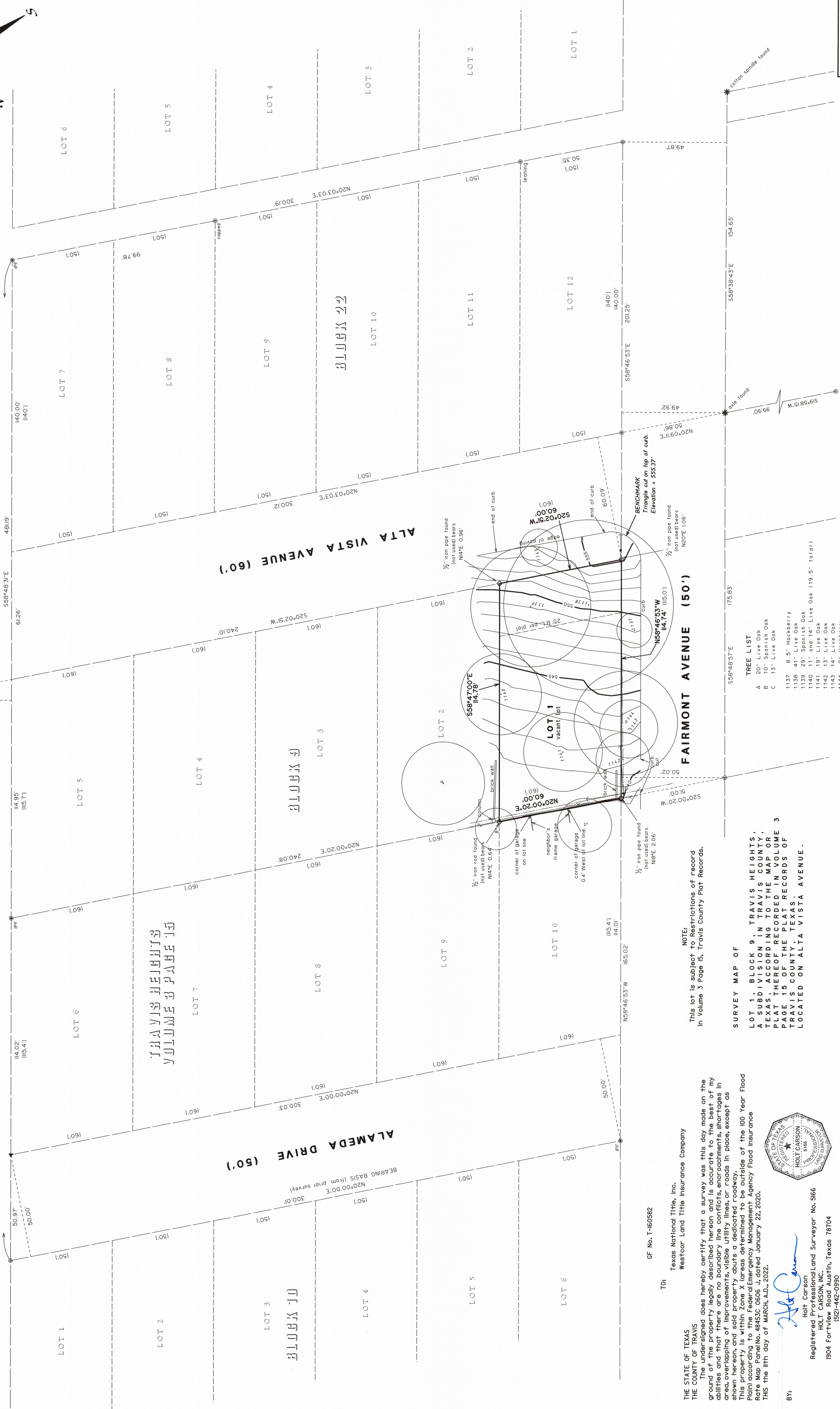


WOODLAND AVENUE (50')

ALAMEDA DRIVE (50')

ALTA VISTA AVENUE (60')

FAIRMONT AVENUE (50')



NOTE:
This lot is subject to Restrictions of record
in Volume 3 Page 15, Travis County Plat Records.

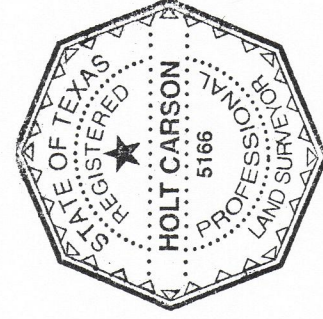
SURVEY MAP OF

LOT 1, BLOCK 9, TRAVIS HEIGHTS,
A SUBDIVISION IN TRAVIS COUNTY,
TEXAS, ACCORDING TO THE MAP OR
PLAT THEREOF RECORDED IN VOLUME 3
PAGE 15 OF THE PLAT RECORDS OF
TRAVIS COUNTY, TEXAS.
LOCATED ON ALTA VISTA AVENUE.

TREE LIST

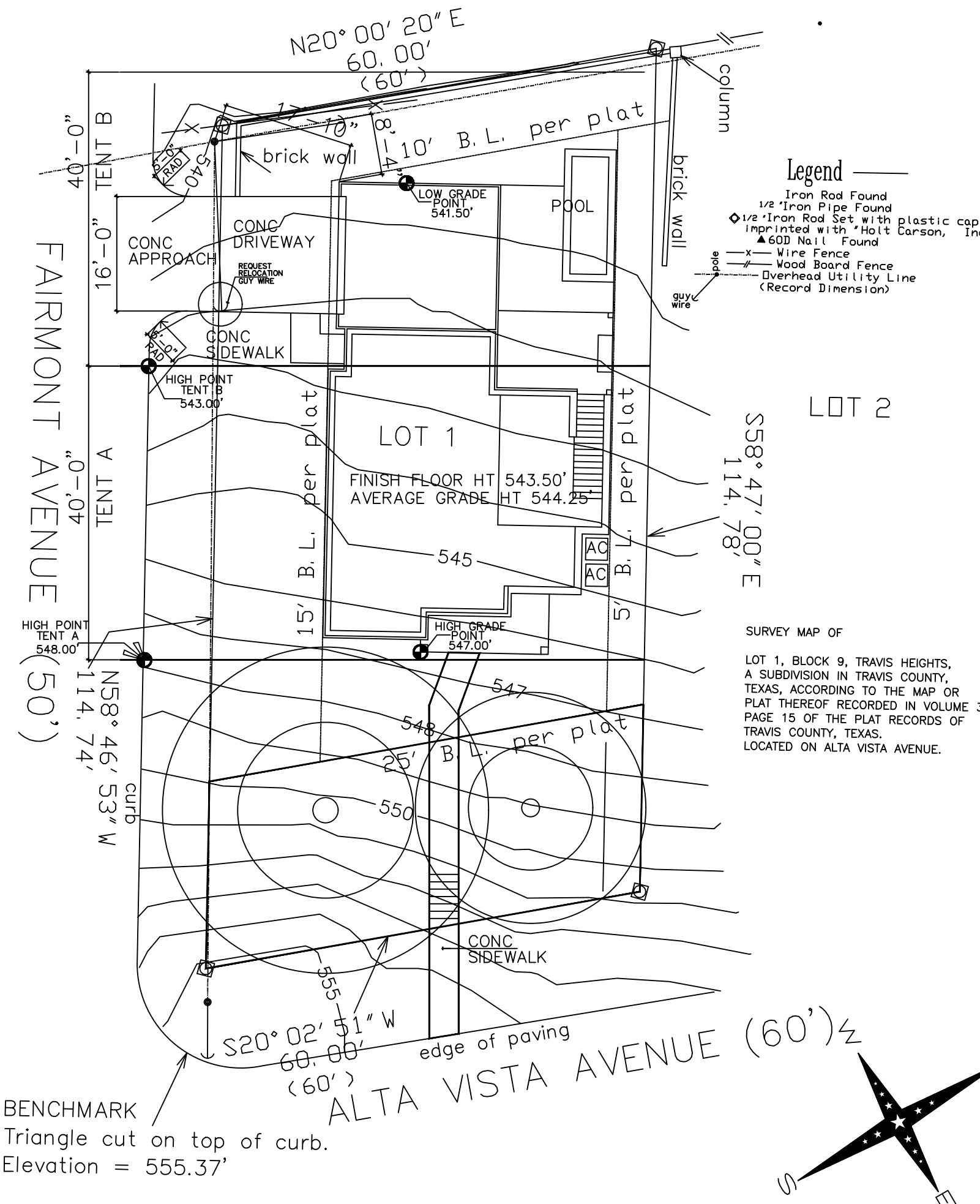
- | | |
|------|------------------------------------|
| A | 20" Live Oak |
| B | 10" Spanish Oak |
| C | 13" Live Oak |
| 1137 | 8.5" Hackberry |
| 1138 | 41" Live Oak |
| 1139 | 29" Spanish Oak |
| 1140 | 11" and 14" Live Oak (19.5" total) |
| 1141 | 19" Live Oak |
| 1142 | 13" Live Oak |
| 1143 | 14" Live Oak |
| 1144 | 9" Hackberry |

THE STATE OF TEXAS
THE COUNTY OF TRAVIS
The undersigned does hereby certify that a survey was this day made on the
ground of the property legally described hereon and is accurate to the best of my
abilities and that there are no boundary line conflicts, encroachments, shortages in
area, overlapping of improvements, visible utility lines, or roads in place, except as
shown hereon, and said property abuts a dedicated roadway.
This property is within Zone X (areas determined to be outside of the 100 Year Flood
Plain) according to the Federal Emergency Management Agency Flood Insurance
Rate Map Panel No. 48463C 0606 J, dated January 22, 2020.
THIS the 11th day of MARCH, A.D., 2022.



BY:
Holt Carson
Registered Professional Land Surveyor No. 5166
HOLT CARSON, INC.
1904 Fortview Road Austin, Texas 78704
(512)-442-0990
Firm Registration Number 10050700

B 1103118



SUBCHAPTER F					
Gross Floor Area					
This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.					
	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1st Floor		1230			1230
2nd Floor		1155			1155
3rd Floor					
Area w/ceilings > 15'		75	Must follow article 3.3.5		75
Ground Floor Porch* (check article utilized)		294	☒ Full Porch sq ft (3.3.3 A) ☐ 200 sq ft (3.3.3 A 2)		
Basement		1062	Must follow article 3.3.3B, see note below		
Attic		622	Must follow article 3.3.3C, see note below		
Garage** (check article utilized)	Attached	440	☒ 200 sq ft (3.3.2 B 2b) ☐ 450 sq ft (3.3.2 A 1/2a) ☐ 200 sq ft (3.3.2 A 2)		220
Carport** (check article utilized)	Attached		☐ 450 sq ft (3.3.2 A 3) ☐ 200 sq ft (3.3.2 B 1)***		
	Detached		☐ 450 sq ft (3.3.2 A 1)		
Accessory Building(s) (detached)					
Totals		4878			
TOTAL GROSS FLOOR AREA (add Total Sq Ft column)					2680
LOT AREA = 6754					
(Total Gross Floor Area + lot area) x 100 = 39.68% Floor-To-Area Ratio (FAR)					
Is a sidewall articulation required for this project? (Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)					
Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? (If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings)					
*Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet has habitable space or a balcony above it.					
**Garage and carport exemptions (in relation to primary structure): Exemptions must follow the code as outlined in Title 25-2 Subchapter 25-2 F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C. An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives 450-square foot may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements.					
***Ordinance article 3.3.2 B 1 is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.					
Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.					
Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.					

AREAS	
FIRST FLOOR	1230
SECOND FLOOR	1155
BASEMENT	1062
ATTIC EXEMPTION	622
GREATER 15' CLG HT	75
TOTAL LIVING	4144
GARAGE	440
1ST FLR PORCHES	294
BASEMENT PORCH	200
2ND FLR BALCONY	178
3RD FLR BALCONY	60
TOTAL COVERED	5316
TOTAL SLAB	2047
POOL COPING/PATIO	222

FRONT YARD PERCENTAGE	
FRONT YARD AREA	1499
SIDEWALK	175
TOTAL	175
TOTAL PERCENTAGE	11.67%

IMPERVIOUS AREA LOT 6754	
FOUNDATION	2075
AC	9
DRIVEWAY	254
POOL COPING/PATIO	222
SIDEWALK	265
TOTAL	2825
TOTAL IMPERV.	41.82%

PAY FEE IN LIEU
SIDEWALK
ALL UTILITIES
ARE EXISTING

SITE PLAN
SCALE: 1/8"=1'-0" 22 X 34
SCALE: 1/16"=1'-0" 11 X 17

Design Originals is a Professional Building Design Firm. We are Not Licensed To Design Structural Framing Or Foundations. A Licensed Professional Engineer Should Be Consulted Regarding The Framing And Foundation. Should An Engineer's Seal Be Present On These Drawings, The "Engineer Of Record" Shall Bear The Responsibility For The Structural Design. Design Originals, Inc. Will Not Be Held Responsible For The Structural Design In Any Way/Or Any Problems Which May Arise.

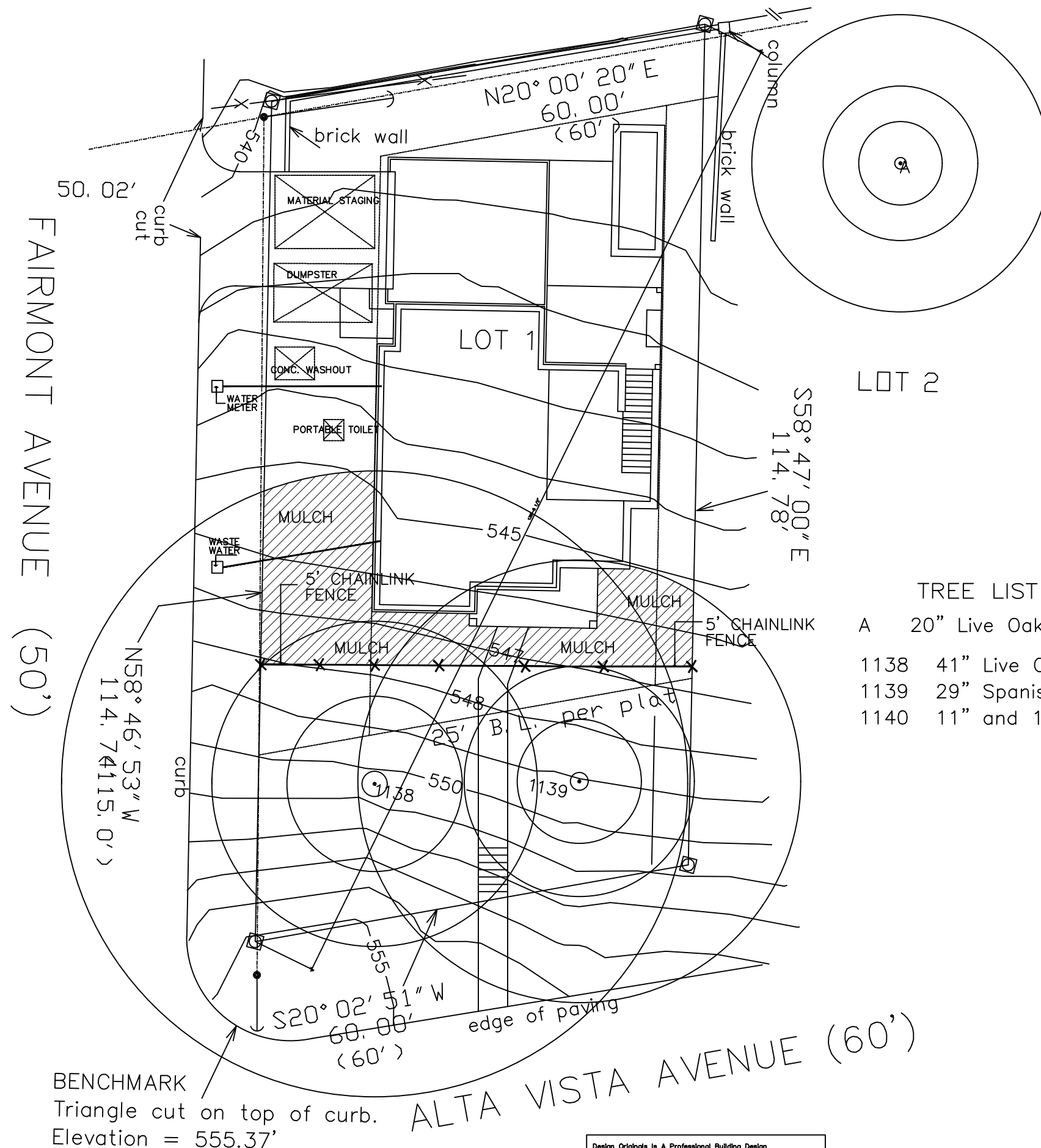
LUCKY CHARM HOMES

DESIGN ORIGINALS of Texas home design center

1706 ALTA VISTA

JOB# A10525
DATE: 06/08/22
REVISIONS:
DRAWN BY: JCD/TMD

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Robert J. Carson
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National Council of Building Designers
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1 OF 15



TREE LIST	
A	20" Live Oak
1138	41" Live Oak
1139	29" Spanish Oak
1140	11" and 14" Live Oak (19.5" total)

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TREE SITE PLAN
SCALE: 1/8"=1'-0" 22 X 34
SCALE: 1/16"=1'-0" 11 X 17

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LUCKY CHARM
HOMES

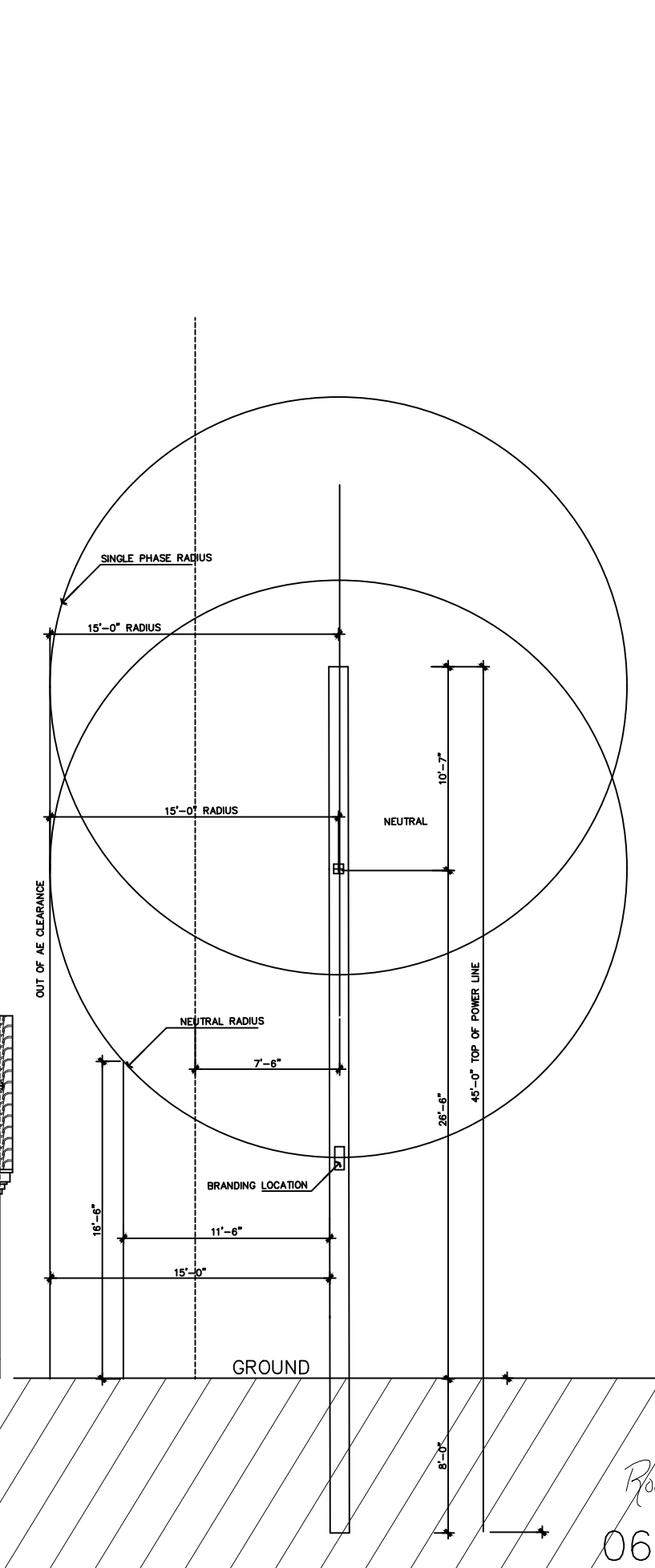
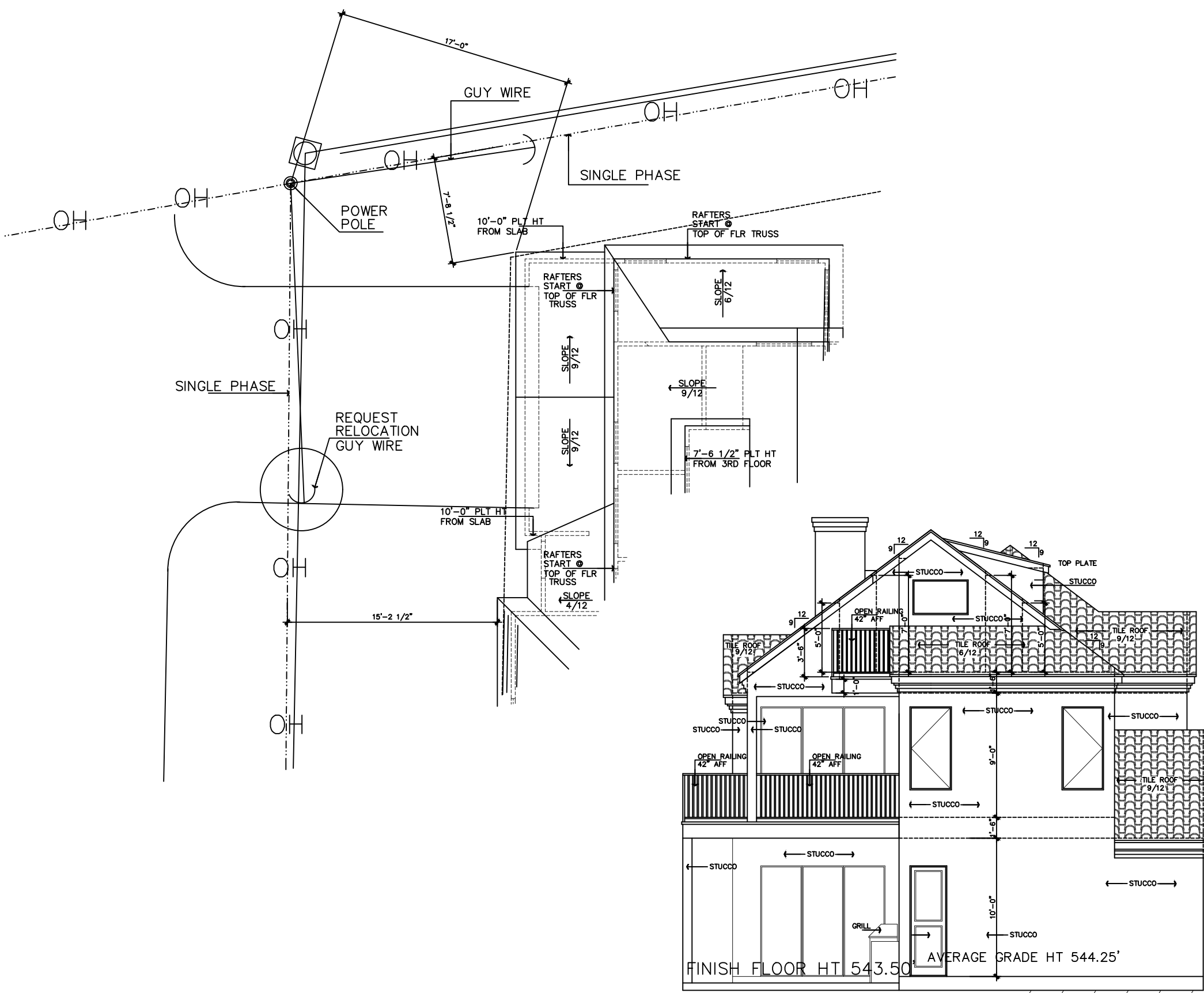
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home design center

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AUSTIN, TX 78726
OFFICE (512) 331-1175

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ALTA VISTA

JOB# A10525
DATE: 04/14/22
REVISIONS:
DRAWN BY: JCD/TMD

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Robert J. Faust
Professional Engineer
American Institute of Building Design
(A.I.B.D.)
National Council of Building Designers
(N.C.B.D.C.) - (944-725)
06-08-22
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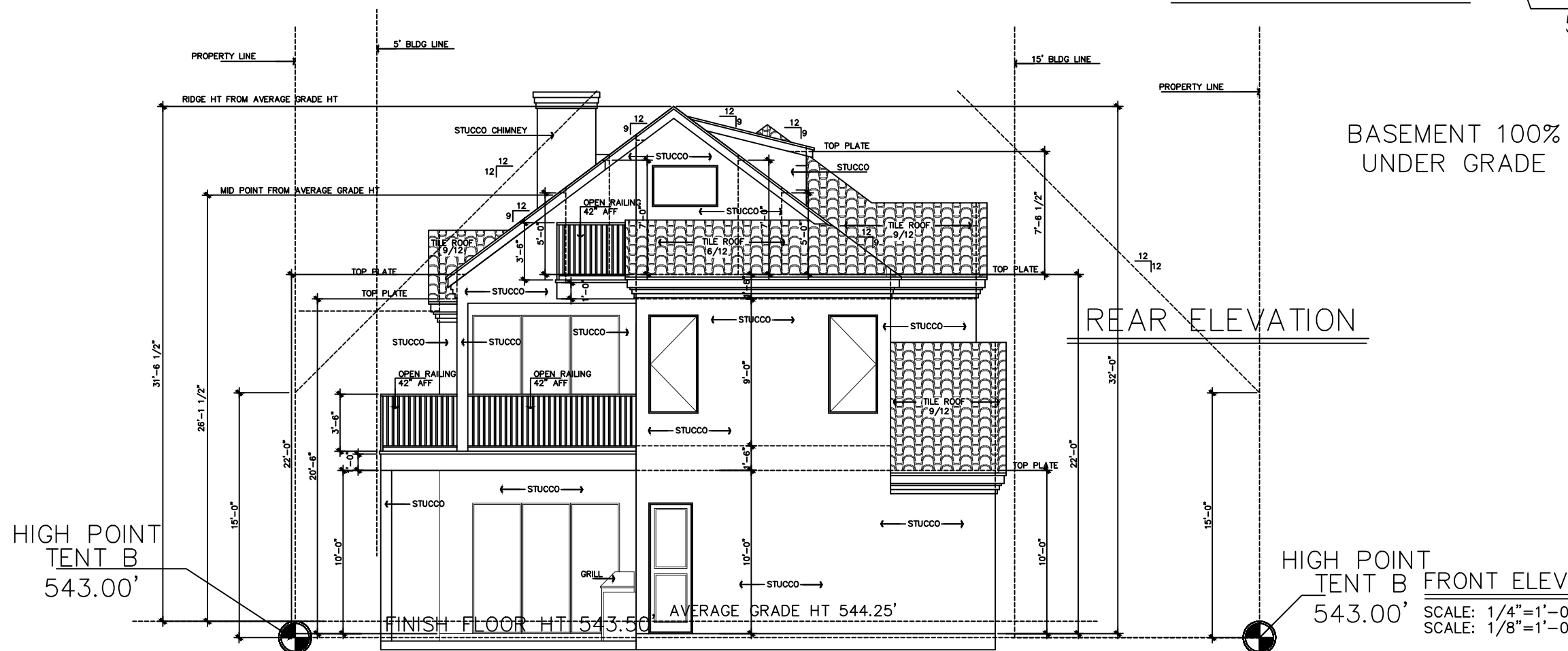
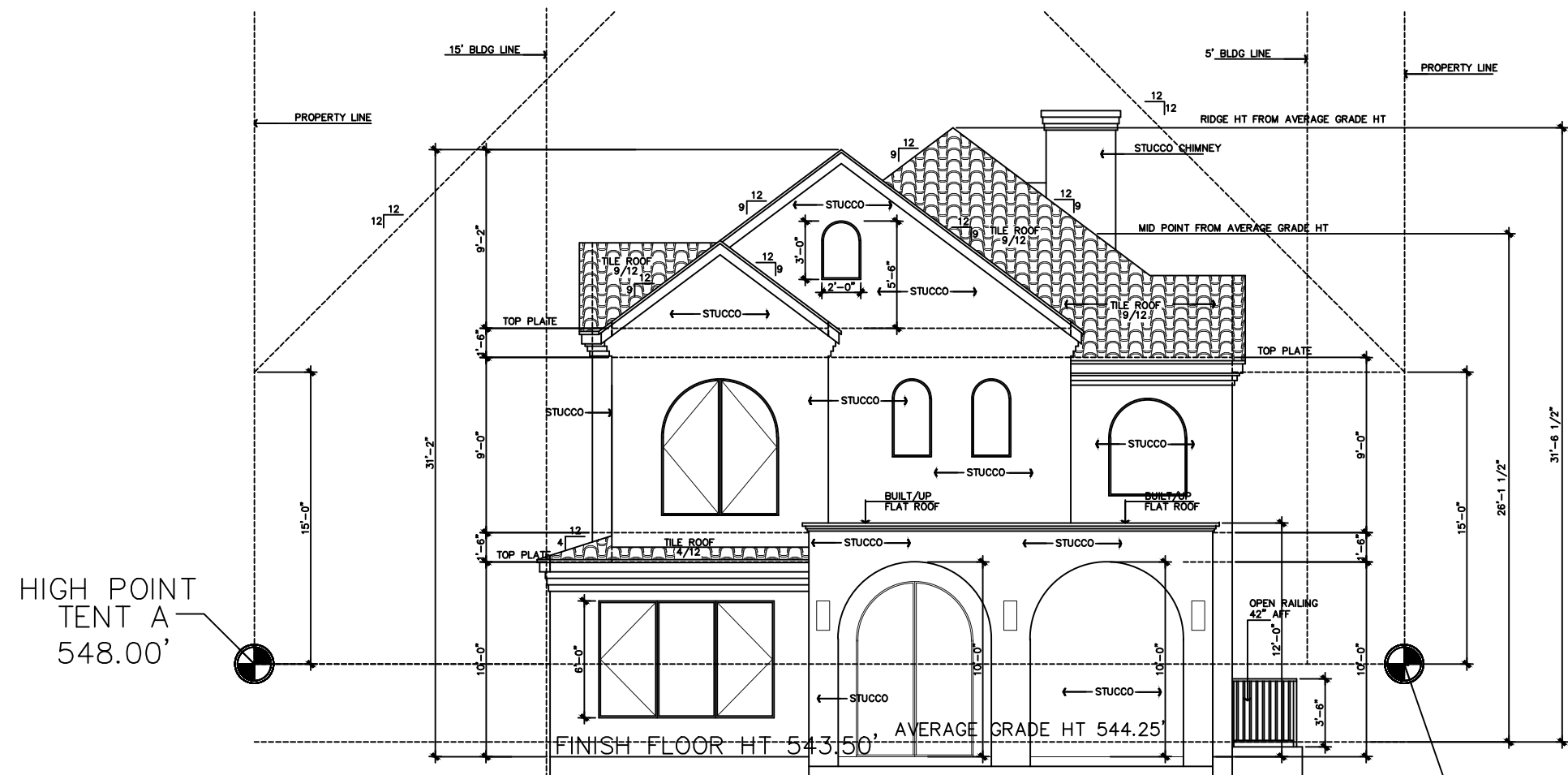
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CHARM HOMES

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OFFICE 512.351.1775

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ALTA VISTA

JOB# A10525
DATE: 06-08-22
REVISIONS:
DRAWN BY: JCD/TMD

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Robert J. Faust
Certification No. 44-124
Member:
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(A.I.B.D.)
National Council of Building Designers
Certification
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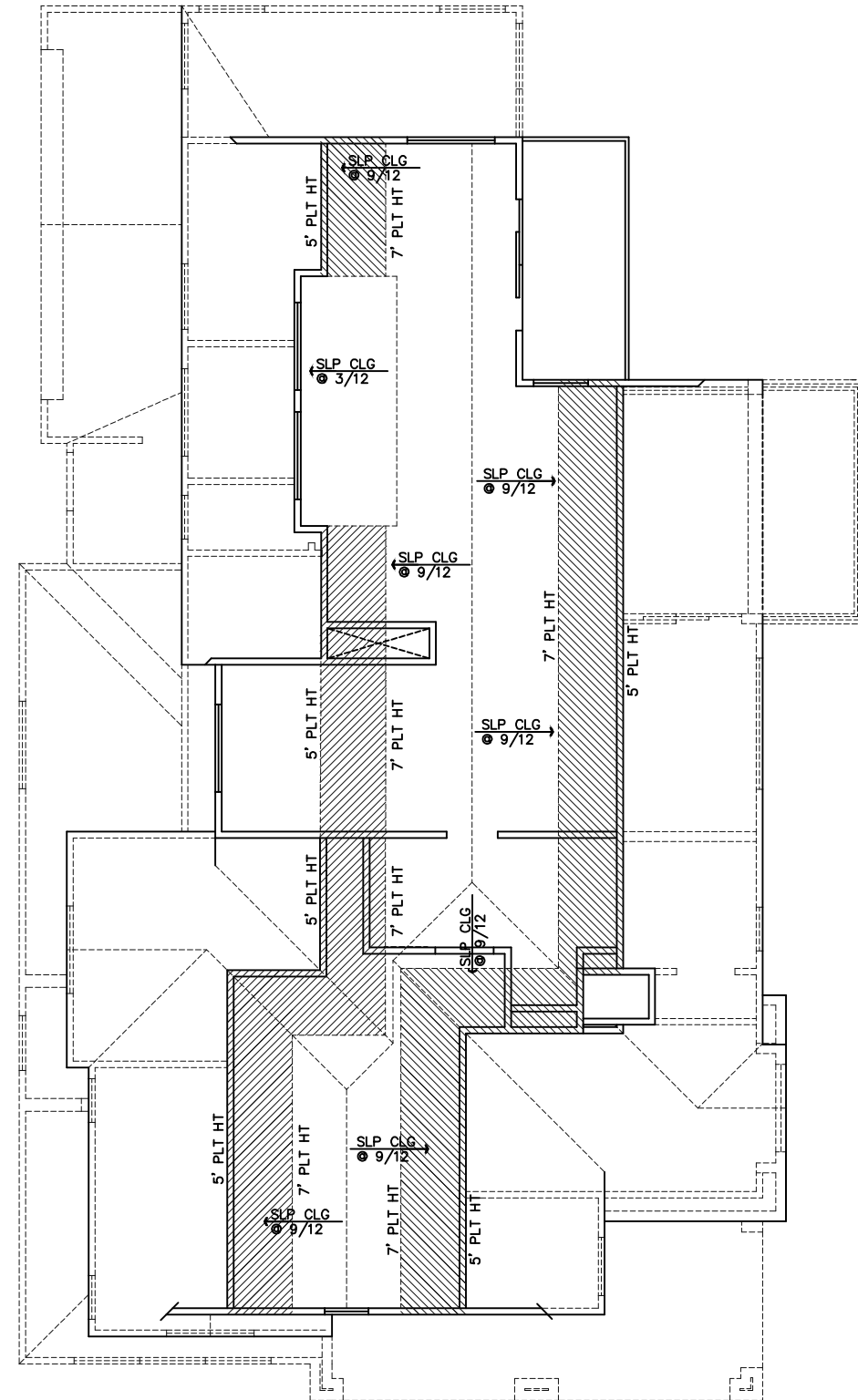




ATTIC SECTION

ATTIC PLAN AREAS

- ATTIC CEILING 5>7, 311 SQUARE FEET
- ATTIC CEILING >=7, 311 SQUARE FEET



ATTIC EXEMPTION

SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

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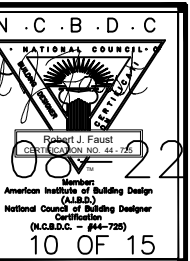
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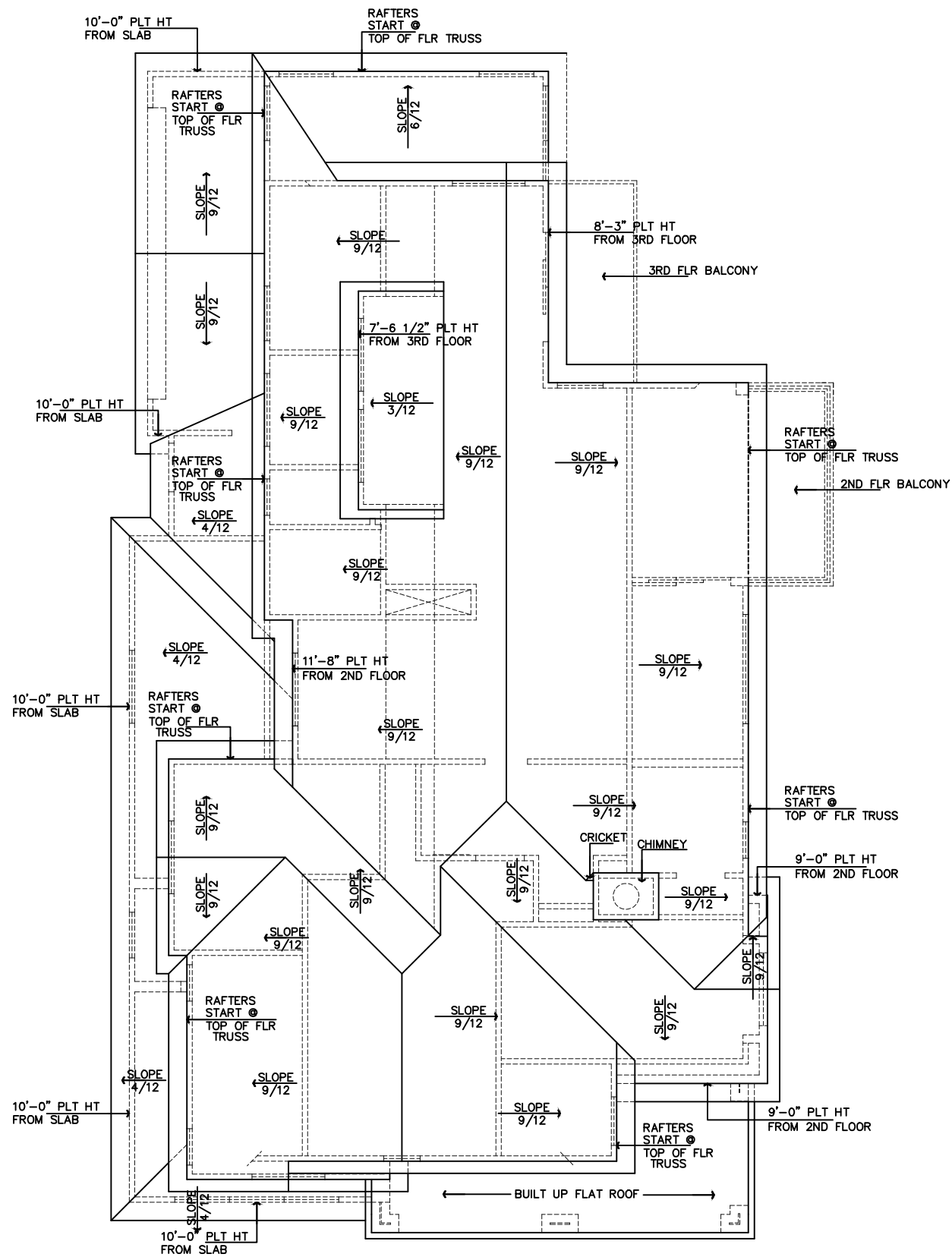
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ROOF PLAN
SCALE: 1/4"=1'-0" 22 X 34
SCALE: 1/8"=1'-0" 11 X 17

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13 OF 15