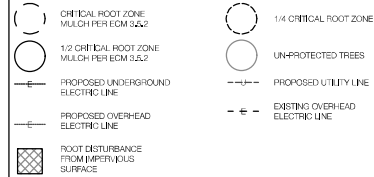


APPROVED
By Jeff Diaz at 7:46 am, May 02, 2022

1400 GARDEN STREET

LOT 20 AND A PORTION OF LOT 19, BLOCK 3, WELCH SUBDIVISION OF
OUTLETS 34 & 40, SECTION 10, A SUBDIVISION RECORDED IN VOL. 1,
P. 26, PLAT RECORDS, TRAVIS COUNTY TEXAS

SITE LEGEND



GENERAL SITE NOTES:

- CONTRACTOR TO VERIFY EXACT LOCATION OF HOUSE AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS
- ALL FINISH GRADES, PAVED SURFACES, AND LANDSCAPE AREAS TO BE SLOPED AWAY FROM HOUSE OR TO AN APPROPRIATE DRAIN
- INSTALL PERIMETER TRENCH DRAINS ALONG BUILDING GRADE BEAM ON ALL UPSLOPE WALLS.

TREE NOTES:

ALL PRUNING OF PROTECTED TREES BY CERTIFIED ARBORIST

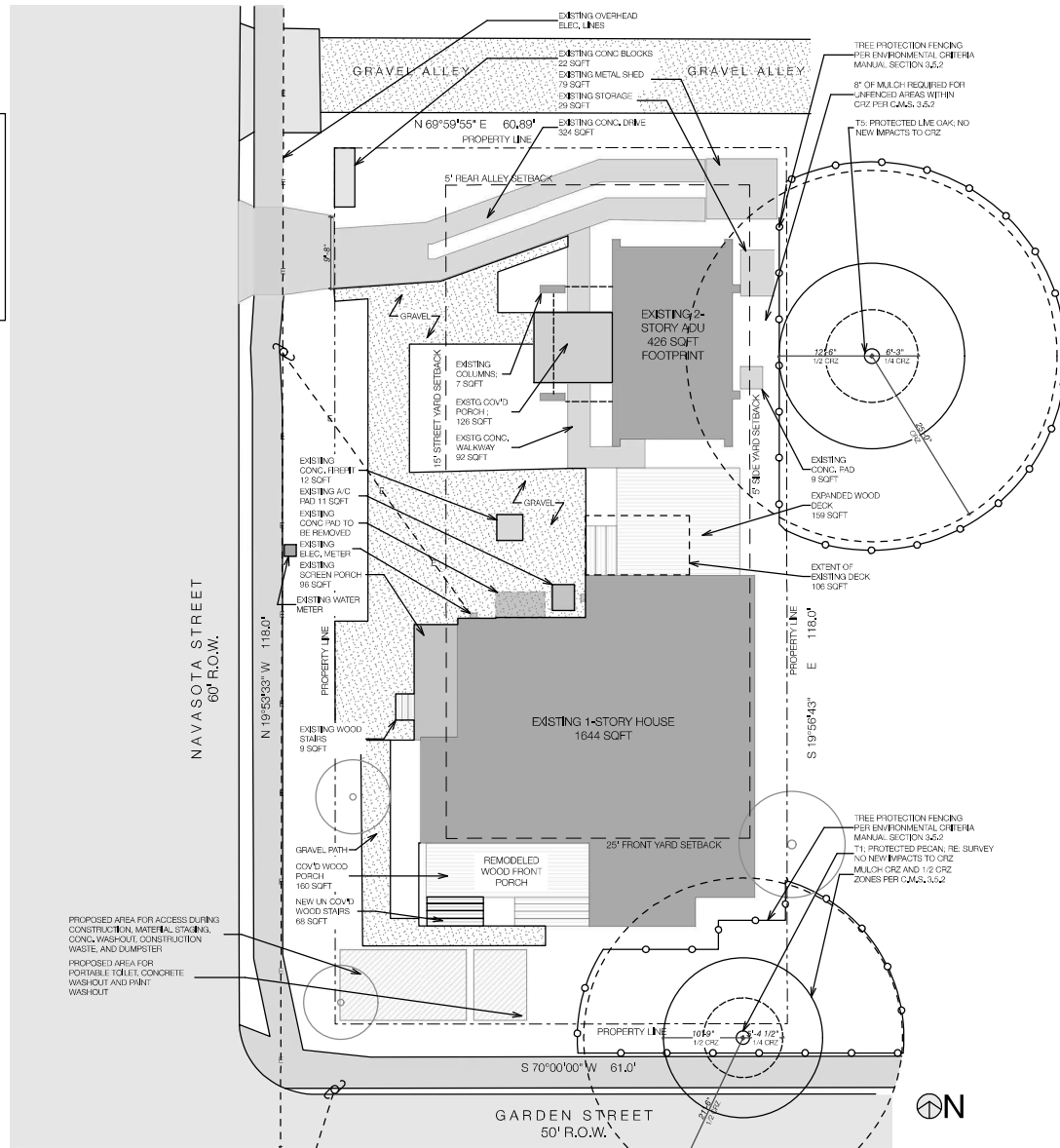
ALL DEMOLITION & CONSTRUCTION IN THE 1/4 AND 1/2 CRITICAL ROOT ZONES
OF PROTECTED TREES SHALL BE DONE WITH HANDS TOOLS

GRAVEL NOT TO BE COMPACTED WITHIN 1/2 CRZ; MUST BE 3/4 ANGULAR
GRAVEL WITHIN 1/2 CRZ

IF TRENCHING WITHIN THE 1/2 CRZ OF PROTECTED TREES CANNOT BE AVOIDED,
THE TRENCHES WILL HAVE TO BE AIR SHAVED BY A CERTIFIED ARBORIST FOR
THE TOP SOY TO AVOID CUTTING ROOTS 1/2" OR GREATER IN DIAMETER, AND THE
PAID RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE
INSPECTOR.

TREE PRESERVATION CRITERIA PER ENVIRONMENTAL CRITERIA MANUAL 3.6.2

- A MINIMUM OF 50% OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT
NATURAL GRADE WITH NATURAL GROUND COVER
- NO CUT OR FILL GREATER THAN FOUR INCHES WILL BE LOCATED CLOSER TO
THE TREE TRUNK THAN 1/2 THE CRZ RADIUS DISTANCE
- NO CUT OR FILL WITHIN THE DISTANCE FROM THE TREE WHICH IS THREE TIMES
THE TRUNK DIAMETER (ALSO CAN BE DETERMINED BY CALCULATING THE 1/4
CRZ; FOR EXAMPLE, NO CUT IS ALLOWED WITHIN 60-INCHES OF A TREE WHICH
HAS A 20-INCH DIAMETER TRUNK)
- FENCING INDICATED TO PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ)
AREA OR AS MUCH OF THE CRZ AS IS PRACTICAL. FENCING IS REQUIRED TO BE
CHAINING MESH AT A MINIMUM HEIGHT OF 10 FEET, WHEN THE TREE
PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/4 CRITICAL ROOT
ZONE, AN 80% INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT
ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE
INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE, IN ORDER TO
ASSURE THAT THE REMAINING ROOT ZONES ARE ADEQUATELY PRESERVED.
- TREE PROTECTION FENCING IS REQUIRED FOR ALL TREES WITHIN THE LIMITS OF
CONSTRUCTION.
- STRIP 2X4 LUMBER (6" MIN) SECURELY AROUND TRUNK AND ROOT FLARES OF
TREE IF FENCE IS PLACED INSIDE THE 1/2 CRZ.



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and assumes no liability for construction
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responsible for all waterproofing, roofing, framing,
window/door installation, and all other building
details.

Issues

Construction Document 01/21/2022

Seal



Job 148

GARDEN REMODEL

1400 GARDEN ST, AUSTIN TX, 78703

Drawing Name

PLOT PLAN

Date Issued:
Friday, January 21, 2022

Drawing Scale:
1/8" = 1'-0"

Drawing

A 101

1
A 101
PLOT PLAN
SCALE: 1/8" = 1'-0"

GARDEN ST REMODEL

1400 GARDEN ST, AUSTIN TX 78702

CONTACTS

OWNER:
JOE SIMON & KATIE STEVENS
joe@joesimonfilms.com / katiestevens88@gmail.com

ARCHITECT:
PAVONETTI ARCHITECTURE
512.792.0158
hello@pavonettiarchitecture.com

STRUCTURAL ENGINEER:
TBD

GENERAL CONTRACTOR:
TBD

DRAWING INDEX

Layout ID	Layout Name
A 000	TITLE
A 001	GENERAL CONDITIONS
A 100	SURVEY
A 101	PLOT PLAN
A 200	DEMO PLAN
A 201	1ST FLOOR PLAN
A 202	ROOF PLAN
A 300	ELEVATIONS
A 301	ELEVATIONS
A 600	DOOR / WINDOW SCHEDULE
A 700	INTERIOR ELEVATIONS
A 800	EXTERIOR SKETCHES

CONSTRUCTION NOTES

REFER TO PERMIT APPLICATION FOR DETAILED AREA AND IMPERVIOUS COVER CALCULATIONS. ARCHITECT NOT RESPONSIBLE FOR IMPERVIOUS COVER CALCULATIONS OUTSIDE OF SCOPE OF WORK. ARCHITECT NOT RESPONSIBLE FOR ANY SITE OR REGULATED AREA OVERRAGES THAT RESULT FROM DEVIATIONS FROM THE PERMIT DRAWINGS DURING CONSTRUCTION.

ALL WORK PROVIDED BY THE BUILDER SHALL COMPLY WITH CURRENT VERSIONS OF: 2021 INTERNATIONAL RESIDENTIAL CODE, 2021 NATIONAL ELECTRICAL CODE AND ANY OTHER APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND LAWS OF BUILDING OFFICIALS OR AUTHORITIES HAVING JURISDICTION.

ARCHITECTURAL SYMBOLS

PLAN
SCALE: 1/4" = 1'-0"



DRAWING TITLE

NORTH ARROW



BUILDING ELEVATION MARKER



INTERIOR ELEVATION MARKER



BUILDING SECTION MARKER



ELEVATION TAG



DETAIL MARKER



VISITABLE BATHROOM ROUTE



WINDOW DESIGNATION (PLAN)



DOOR DESIGNATION (PLAN)



CENTERLINE



LEVEL CHANGE

GRAPHIC LEGEND



STUD 2X6 EXTERIOR BRICK



STUD 2X6 W. EXPOSED INTERIOR & EXTERIOR BRICK



STUD EXTERIOR 2X6



STUD EXTERIOR 2X4



GLASS WALL



MILL WORK



STUD INTERIOR 2X4



STUD INTERIOR 2X6



TREE TRUNKS



HOSE BIB

ALL WORK PROVIDED BY THE BUILDER SHALL COMPLY WITH CURRENT VERSIONS OF: 2015 INTERNATIONAL RESIDENTIAL CODE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE, 2017 NATIONAL ELECTRICAL CODE AND ANY OTHER APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND LAWS OF BUILDING OFFICIALS OR AUTHORITIES HAVING JURISDICTION.

SPECIFICATIONS

Interior

Window Trim: Sheetrock Return with Wood Sill

Door Trim: 1x4 Painted

Base Trim: 1x4 Painted

Closets: Unless noted otherwise, all closets to have single rod with shelving above

GWB: Level 4 smooth finish - No texture; Flat white interior paint; eggshell finish in kitchen / bath

Paint: Refer to Schedules; Flat White Unless Indicated Otherwise

Flooring:
1st Floor: T&G Hardwood Throughout; To Match Existing

All recessed cans to be 3" dimmable LED unless noted otherwise

Exterior

Window Trim: New to match existing

Inside Corner Siding Trim: Tamlyn Xtremetrim Low Profile Inside Corner, painted to match window frames

Outside Corner Siding Trim: Tamlyn Xtremetrim Reveal Open Outside Corner, painted to match window frames

All other siding trims and caps to be low profile and painted to match window frames. No Hardie Trim.

Exposed Slab Edges to be board form; not plywood

Roofing: New metal roof

House Wrap: Huber Zip System Wall Sheathing Per Manufacture Reqs; Tape Seams & Patch All Penetration with Zip System Liquid Flash

SD1: Painted vertical Hardie Siding; Color: TBD

Contractor to provide painted samples of 2 shades on either side of specified colors (5 samples in total) for all color selections.

All Exposed Flashing, Hardware, and accessories to be painted to match windows or adjacent materials unless noted otherwise.

House Numbers and Mailbox: duesmodern.com; Numbers in contrasting color to siding.

Landscaping

All New Plants to be Native / Adapted / Drought Tolerant Plants

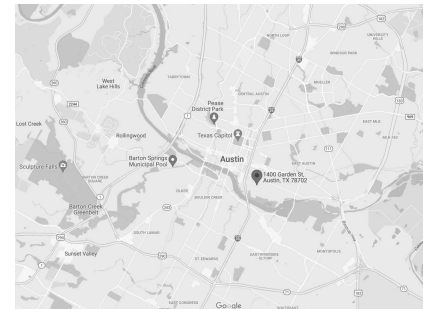
Planters: 3/8" Raw Steel Edge w/ welded corners and gravel base

CONCEPTUAL SKETCHES

REFER TO DRAWINGS FOR CONSTRUCTION



VICINITY MAP



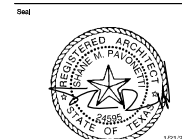
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ARCH.

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Issue
Construction Document 01.21.2022



Job Title
**GARDEN
REMODEL**

1400 GARDEN ST, AUSTIN TX, 78702

Drawing Name

TITLE

Date Issued:
Friday, January 21, 2022
Drawing Scale:
1" = 1'-0", 1:112.96

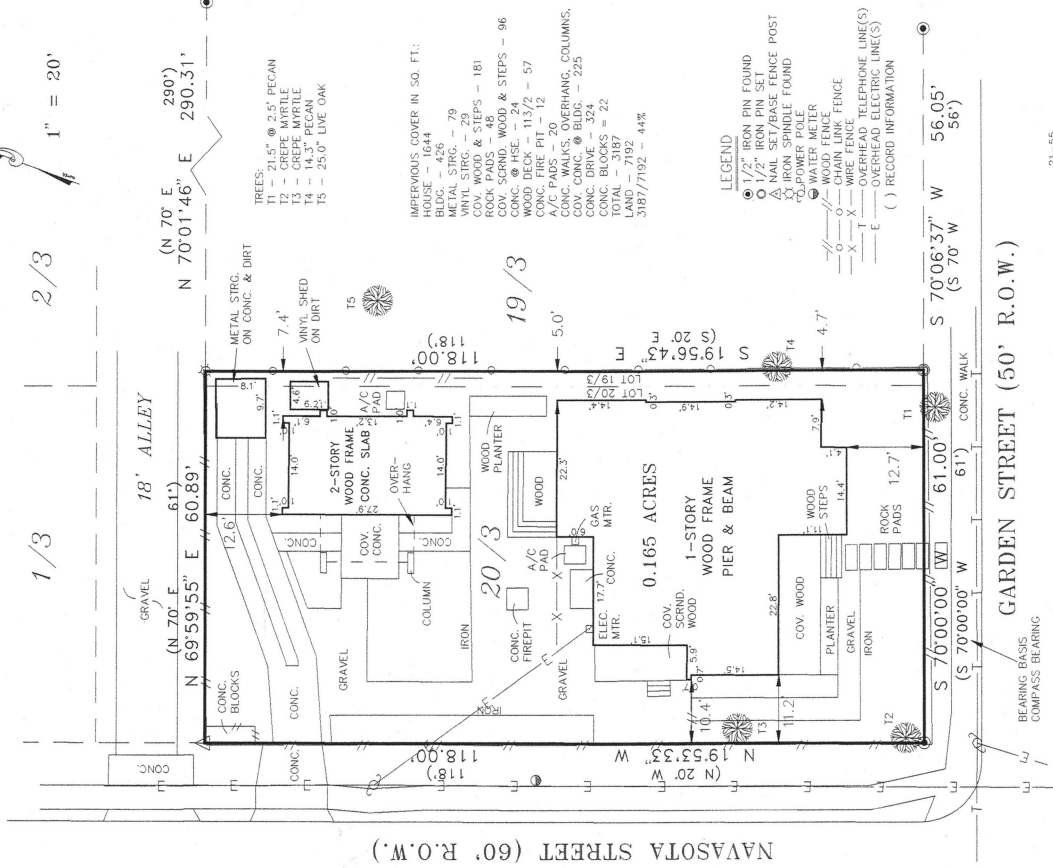
Drawing

A 000

1400 GARDEN STREET

SURVEY OF 0.165 ACRES IN AUSTIN, TRAVIS COUNTY, TEXAS, BEING ALL OF LOT 20 AND A PORTION OF LOT 19, BLOCK 3, WELCH SUBDIVISION OF OUTLOTS 34 & 46, DIVISION "O", A SUBDIVISION RECORDED IN VOL. 1, PG. 28, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

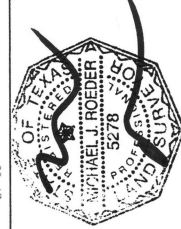
NOTE:
NO TITLE COMMITMENT
FURNISHED. EASEMENTS
SHOWN PER PLAT.



ROEDER
SURVEYING

ROEDER SURVEYING, L.L.C.
2000 W. BRIDGES BLVD.
AUSTIN, TEXAS 78722
(512) 478-7673
FIRM #10094400

The property shown hereon is located in Zone "X": areas outside the 500 year Floodplain as shown on Community Panel Number 480624 0465 K of the FLOOD INSURANCE RATE MAP prepared for the City of Austin by the Federal Insurance Administration Department, H.U.D.
Effective Date: 1-22-2020

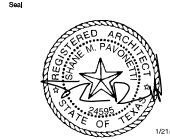


DATE: 6-25-21

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Issue
Construction Document 01.21.2022



Job title
**GARDEN
REMODEL**

1400 GARDEN ST, AUSTIN TX, 78703
Drawing Name

SURVEY

Date Issued:
Friday, January 21, 2022
Drawing Scale:
1" = 10'

A 100

1400 GARDEN STREET

LOT 20 AND A PORTION OF LOT 19, BLOCK 3, WELCH SUBDIVISION OF OUTLETS 34 & 40, DIVISION 17, A SUBDIVISION RECORDED IN VOL. 1, PG. 26, PLAT RECORDS, TRAVIS COUNTY TEXAS

SITE LEGEND

	CRITICAL ROOT ZONE MULCH PER EOM 3.5.2		1/4 CRITICAL ROOT ZONE
	1/2 CRITICAL ROOT ZONE MULCH PER EOM 3.5.2		UNPROTECTED TREES
	PROPOSED UNDERGROUND ELECTRIC LINE		PROPOSED UTILITY LINE
	PROPOSED OVERHEAD ELECTRIC LINE		EXISTING OVERHEAD ELECTRIC LINE
	ROOT DISTURBANCE FROM IMPERVIOUS SURFACE		

GENERAL SITE NOTES:

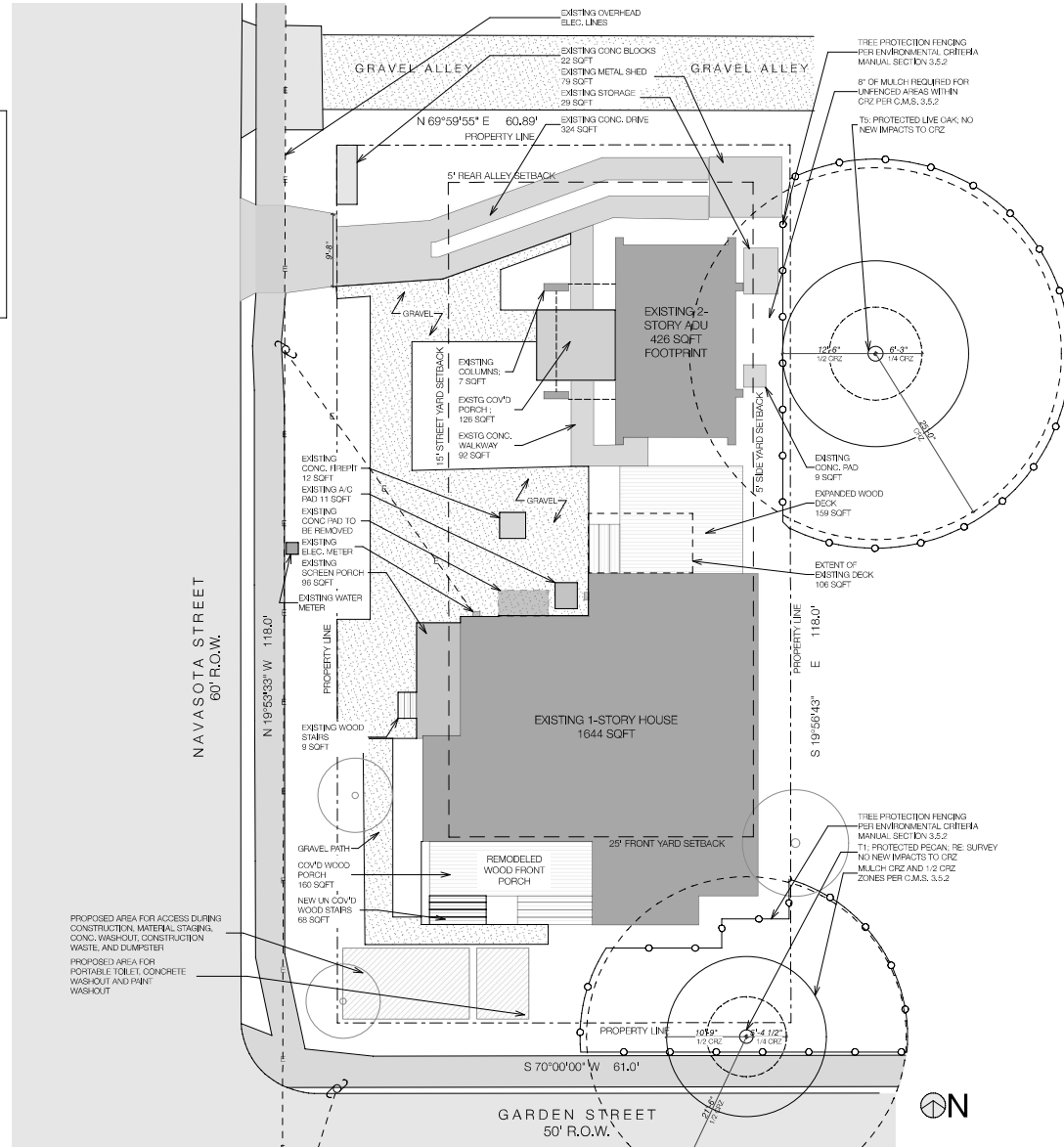
- CONTRACTOR TO VERIFY EXACT LOCATION OF HOUSE AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS
- ALL FINISH GRADES DECKS, PAVED SURFACES, AND LANDSCAPE AREAS TO BE SLOPED AWAY FROM HOUSE OR TO AN APPROPRIATE DRAIN.
- INSTALL PERIMETER TRENCH DRAINS AONG BUILDING GRADE BEAM ON ALL UPSLOPE WALLS.

TREE NOTES:

ALL PRUNING OF PROTECTED TREES BY CERTIFIED ARBORIST
ALL DEMOLITION & CONSTRUCTION IN THE 1/4 AND 1/2 CRITICAL ROOT ZONES OF PROTECTED TREES SHALL BE DONE WITH HANDS TOOLS
GRAVEL NOT TO BE COMPACTED WITHIN 1/2 CRZ, MUST BE 3/4 ANGULAR GRAVEL WITHIN 1/2 CRZ
IF TRENCHING WITHIN THE 1/2 CRZ OF PROTECTED TREES CANNOT BE AVOIDED, THE TRENCHES WILL HAVE TO BE AIR GRADED BY A CERTIFIED ARBORIST FOR THE TOP SOIL TO AVOID CUTTING ROOTS 1/2" OR GREATER IN DIAMETER AND THE PAD RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.

TREE PRESERVATION CRITERIA PER ENVIRONMENTAL CRITERIA MANUAL 3.5.2

- A MINIMUM OF 50% OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
- NO CUT OR FILL GREATER THAN FOUR INCHES WILL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE CRZ RADIUS DISTANCE.
- NO CUT OR FILL WITHIN THE DISTANCE FROM THE TREE WHICH IS THREE TIMES THE TRUNK DIAMETER (ALSO CAN REDETERMINED BY CALCULATED THE 1/4 CRZ, FOR EXAMPLE, NO CUT IS ALLOWED WITHIN 60-INCHES OF A TREE WHICH HAS A 20-INCH DIAMETER TRUNK.
- FENCING INDICATED TO PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA OR AS MUCH OF THE CRZ AS IS PRACTICAL. FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF 10 FEET. WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRITICAL ROOT ZONE, AN 80% FILL LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE. IN ORDER TO ASSURE THAT THE REMAINING ROOT ZONES ARE ADEQUATELY PRESERVED, TREE PROTECTION FENCING IS REQUIRED FOR ALL TREES WITHIN THE LIMITS OF CONSTRUCTION.
- STRAP 2X4 LUMBER (8" MIN.) SECURELY AROUND TRUNK AND ROOT FLARES OF TREE IF FENCE IS PLACED INSIDE THE 1/2 CRZ.



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Issue
Construction Document 01.21.2022



Job Title
**GARDEN
REMODEL**

1400 GARDEN STREET, AUSTIN TX 78703
Drawing Name

PLOT PLAN

Date Issued:
Friday, January 21, 2022
Drawing Scale
1/8" = 1'-0"
Drawing

A 101

1
A 101
PLOT PLAN
SCALE: 1/8" = 1'-0"



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Issue
Construction Document 01.21.2022

Seal



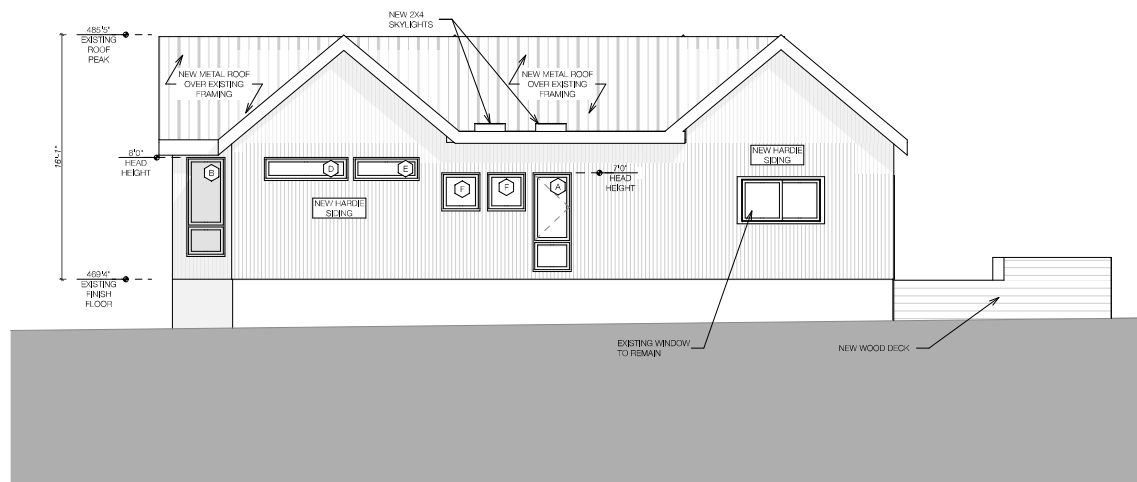
**GARDEN
REMODEL**

1400 GARDEN ST. AUSTIN TX, 78703
Drawing Name

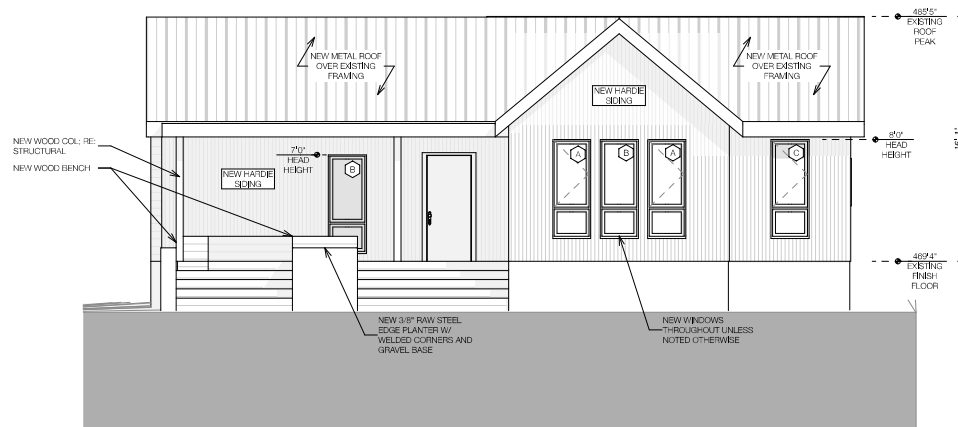
ELEVATIONS

Date Issued:
Friday, January 21, 2022
Drawing Scale:
1/4" = 1'-0"
Drawing

A 300



2
A 300
EAST ELEVATION
SCALE: 1/4" = 1'-0"



1
A 300
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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Issue

Construction Document 01.21.2022

Seal



Job Title

**GARDEN
REMODEL**

1400 GARDEN ST, AUSTIN TX, 78703

Drawing Name

ELEVATIONS

Date Issued:

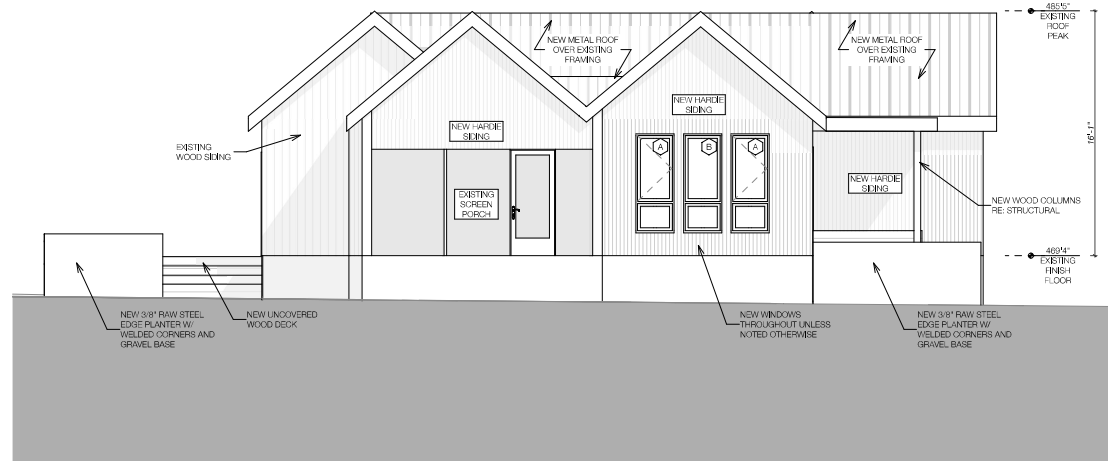
Friday, January 21, 2022

Drawing Scale

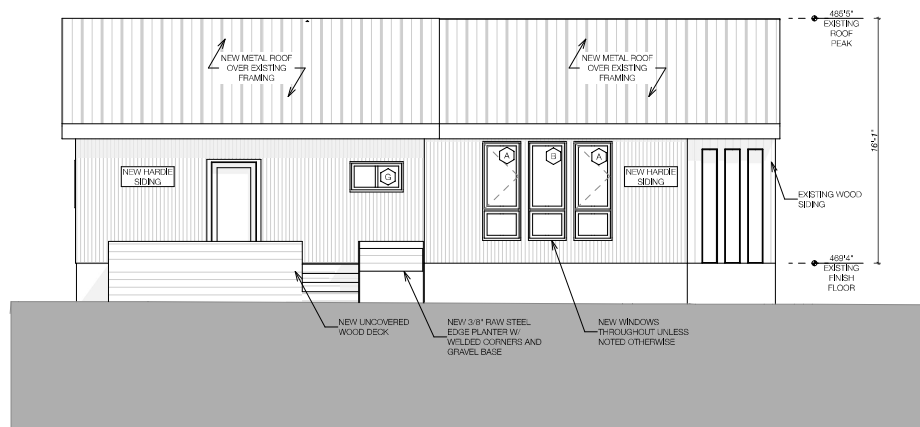
1/4" = 1'-0"

Drawing

A 301



2
A 301
WEST ELEVATION
SCALE: 1/4" = 1'-0"



1
A 301
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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GARDEN REMODEL

1400 GARDEN ST, AUSTIN TX, 78703

Drawing Name

EXTERIOR SKETCHES

Date Issued:
Friday, January 21, 2022

Drawing Scale:
1:70.89

Drawing

A 800