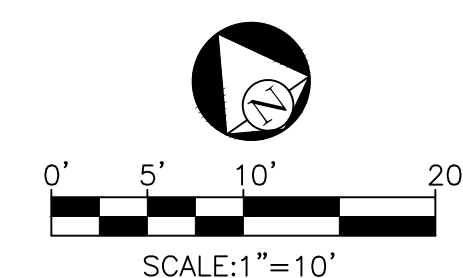


Existing						
Use	Area	Parking Ratio	Park Req	Tot Req	Provided	Deficiency
Office	3876	1/275	14.09	8.46	1	7
Proposed						
Use	Area	Parking Ratio	Park Req	Tot Req	Provided	Deficiency
Office	3366	1/275	12.24	7.34		
Restaurant	1190	1/75	4.33	2.60		
			16.57	9.94	5	5



P:\A648 510 Baylor St\Civil\Construction Drawings\Sheets\A648_Site Plan Exemption.dwg

RAYMOND - MORLEY HOUSE REHABILITATION



PROJECT ADDRESS:
510 BAYLOR
AUSTIN, TEXAS 78703

PROJECT NUMBER:
202122

PROJECT ISSUE DATE:
10 JUNE 2022



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DONNA CARTER
TEXAS REGISTRATION NUMBER #8207

REVISIONS:		
NO	REFERENCE	ISSUED

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ARCHITECTURE PLANNING PRESERVATION

MECHANICAL, ELECTRICAL AND PLUMBING ENGINEER

ENCOTECH ENGINEERING CONSULTANTS
8500 BLUFFSTONE COVE
SUITE B-103
AUSTIN, TEXAS 78759
TEL: (512)-338-1101

STRUCTURAL ENGINEER

STEINMAN LUEVANO STRUCTURES
5901 OLD FREDERICKBURG ROAD
AUSTIN, TEXAS 78749
TEL: (512)-891-6766



10 June 2022 – Raymond Morley House Rehabilitation
SCOPE OF WORK

REPAIRS – TYPICAL ALL ELEVATIONS

- 1. New low slope metal roof over ice and water synthetic underlayment.
- 2. Re-install original wood windows, except as noted. Retain any shutter hardware still present. Shutters **will not** be reinstalled.
- 3. Replace deteriorated wood – Gallery decking exposed ends are deteriorated. Replace in kind. Back prime all new wood.
- 4. Repair – by consolidation, dutchmen and other acceptable repairs to retain as much historic wood as possible – deteriorated fascia, frieze, scrollwork and other areas where structural integrity will not be compromised.
- 5. Remove paint from limestone. Check for cracks and missing pieces that allow water infiltration. Repair large cracks with Cathedral stone repair for limestone. Missing pieces will not be repaired unless required for structural integrity or stability.
- 6. Re-instate gutter system. Use round downspout and half round where exposed.
- 7. Repaint brick and wood
- 8. Sitework: Salvage stones and tile for reinstallation of patio on north elevation. Salvage materials include brick, stone slabs, flagstones; cut and rubble depending on location.
- 9. Cistern is to be stabilized, filled and left in place.

GENERAL – IMPROVEMENTS

- 1. New HVAC System
- 2. Attic and Crawl space insulation
- 3. Ne electrical wiring
- 4. Repair wood flooring, plaster walls
- 5. New accessible toilets and break area
- 6. Rebuild deteriorated rear wood additions
- 7. Design Guidelines for Tenant improvements
- 8. Reinstall existing baseboard and other trim removed

EAST ELEVATION – Baylor St Main Entrance

- 1. Replace upper gallery balustrade with balustrade based on 1974 photo. Install at original height, provide metal rod to achieve required code height and spacing.
- 2. Remove lower gallery balustrade. Do not replace. Re grade to achieve Code required height to eliminate the need for a guard.
- 3. Replace stair handrail
- 4. Repair and repaint historic screen door.

NORTH ELEVATION – W. 6TH ST. – ACCESSIBLE ENTRANCE

- 1. Remove stops from door to provide accessible entrance
- 2. Rebuild 1-story wood infill addition. Salvage non deteriorated wood for re-use.
- 3. Repair wood windows and screens, reinstall.
- 4. Reinstall original windows
- 5. Remove sealant used in brick joints, inappropriate mortar at joint created when the Victorian gable was added in the early 1900s.
- 6. Repair diagonal cracking at windows.
- 7. Replace brick infill west of door and install new wood window to match the existing window on the 2nd floor.

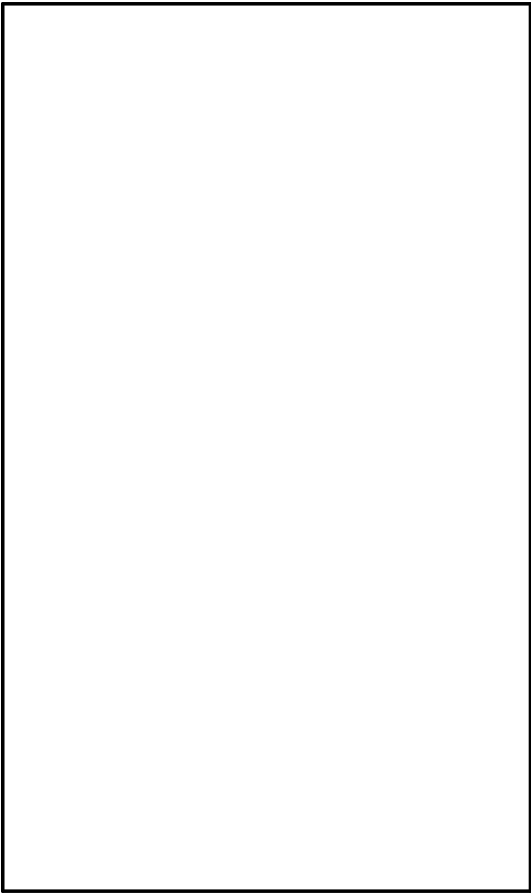
WEST ELEVATION – Best seen obliquely with South Elevation

- 1. Remove rotten and deteriorated wood to solid material. Sister new structural members as directed by Structural Engineer.
- 2. Salvaged rubble stone skirt will be reinstalled to hide new concrete piers.
- 3. Cistern exterior will be repaired. Parge will be removed to allow the cistern to be filled. The stone will be infilled and reset as required. A new cover will be installed.
- 4. New concrete stairs and metal guards and handrails.
- 5. New shed roofs to cover doorways supported with metal columns
- 6. Replace rotten siding. Provide profile to match the original on northerly side of the elevation.
- 7. Wood exterior 3 panel Door.
- 8. Reinstall existing windows. The three window set will be properly spaced to provide for installation and wall placement on the interior.
- 9. Totally replace two wood walls that are too deteriorated to remain. This also provides space for accessible toilets and break area.

SOUTH ELEVATION

- 1. New crawl space hatch doors
- 2. The new stairs, roofs and handrails are the same ones seen from the West Elevation
- 3. Replace missing soffit material. Provide additional structural support where internal gutter has failed.
- 4. Provide new external gutter system – half round gutter to round downspout.
- 5. Remove guard from lower front porch – regrade and plant to negate need for guard. Continue historic guard on upper gallery.

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ARCHITECTURE • PRESERVATION • PLANNING

RAYMOND - MORLEY
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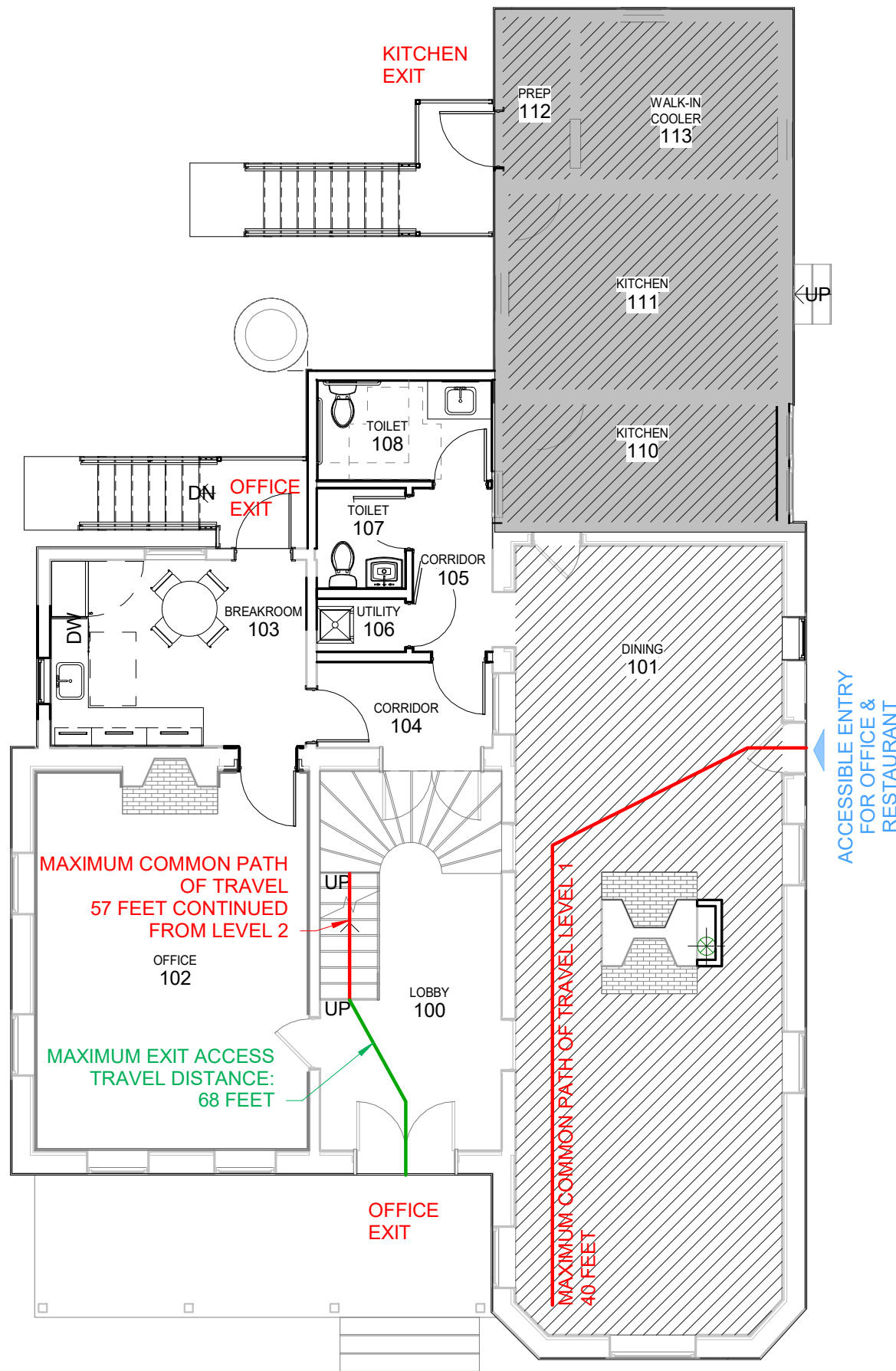
510 BAYLOR
AUSTIN, TEXAS 78703

ABBREVIATIONS &
GENERAL NOTES

A001

ABBREVIATIONS

@	AT	JAN.	JANITOR
@.F.F., @FF	AT FINISHED FLOOR	JST	JOIST
ABV.	ABOVE	JNT.	JOINT
ACOUST.	ACOUSTICAL	LAM.	LAMINATE
A/C	AIR CONDITIONING	LAV.	LAVATORY
ADA	AMERICANS WITH DISABILITIES ACT	LBS.	POUNDS
ADMIN.	ADMINISTRATION	LF, L.F.	LINEAR FEET
A/P/F/S.	AMPS/POLES/FUSE SIZE/STARTER SIZE	LT.	LIGHT
A.F.F., AFF	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MANUF.	MANUFACTURER
ARCH(L).	ARCHITECT, ARCHITECTURAL	MECH.	MECHANICAL
ASST.	ASSISTANT	M.E.P.	MECHANICAL, ELECTRICAL, PLUMBING
A-V	AUDIO-VISUAL	MFR.	MANUFACTURER
BD.	BOARD	MGR.	MANAGER
BET.	BETWEEN	MH.	MANHOLE
BHL	BOREHOLE	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	M.O.	MASONRY OPENING
BLKG	BLOCKING	MTD.	MOUNTED
BM(S).	BEAM(S)	MTL.	METAL
B.O.C.	BACK OF CURB	N.	NORTH
BOT.	BOTTOM	NIC	NOT IN CONTRACT
BSMT.	BASEMENT	N.T.S.	NOT TO SCALE
BTWN.	BETWEEN	NF.	NON-FUSED
CL	CENTER LINE	NO.	NUMBER
C.	CONDUIT	O.C.	ON CENTER
C.J., C/J	CONTROL JOINT	O.H.	OVERHEAD
C.O.A.	CITY OF AUSTIN	OPNG.	OPENING
CAB.	CABINET	OPP.	OPPOSITE
CAL.	CALIPER	P.P., PP	POWER POLE
CCTS.	CIRCUITS	P.S.F.	POUNDS PER SQ. FT.
CHAN.	CHANNEL	P.U.E.	PUBLIC UTILITY EASEMENT
CLG.	CEILING	PC.	PHOTO CELL
CMU, C.M.U.	CONCRETE MASONRY UNIT	PG.	PAGE
COL.	COLUMN	PL.	PLATE
COM.	COMMUNICATION	PLAS.	PLASTIC
CONC.	CONCRETE	PLUM.	PLUMBING
CONN.	CONNECTION	PLYWD.	PLYWOOD
CONST.	CONSTRUCTION	PNT	PAINT
CONT.	CONTINUOUS	PREFAB.	PREFABRICATED
COORD.	COORDINATION	PRO.	PROTECTION
CORR.	CORRIDOR	PVC.	POLYVINYL CHLORIDE
CTR(D).	CENTER(ED)	R.	REFRIGERATOR
CU.	COPPER	R.O.W.	RIGHT OF WAY
CVR.	COVER	RCP., R.C.P.	REINFORCED CONCRETE PIPE
DET.	DETAIL	R.D.	ROOF DRAIN
DIAG.	DIAGONAL(LY)	RECOM.	RECOMMENDATION
DIA.	DIAMETER	REF.	REFER TO
DISP.	DISPENSER	REINF.	REINFORCED; REINFORCEMENT
DIV.	DIVISION	REQD.	REQUIRED
DN.	DOWN	RM.	ROOM
DORM.	DORMITORY	R.R.	RESTROOM
DP.	DEEP	S.	SOUTH
D.S.	DOWNSPOUT	S.B.L.	SETBACK LINE
DW.	DISHWASHER	SAN.	SANITARY
DWG.	DRAWING	SC.	SCALE
DWLS.	DOWELS	SCHED.	SCHEDULED
E.	EAST	SF.	SQUARE FEET
E.A.	EACH	SHT.	SHEET
E.L., E.J.	EXPANSION JOINT	SHWR.	SHOWER
ELEV.	ELEVATION	SIM.	SIMILAR
ENGR.	ENGINEER	SN.	SOLID NEUTRAL
EQ.	EQUAL	S.O.S.	SIMILAR OPPOSITE SIDE
ESMT.	EASEMENT	SQ.	SQUARE
EW.	ELECTRIC WATER COOLER	STD.	STANDARD
EXH.	EXHAUST	STGT.	SEALTIGHT
EXP.	EXPANSION	STIFF.	STIFFENER
EXT.	EXTERIOR	STL.	STEEL
EXTING.	EXTINGUISHER	STOR.	STORAGE
FEC	FIRE EXTINGUISHER CABINET	STRUCT.	STRUCTURAL
F.F. (E.)	FINISHED FLOOR (ELEVATION)	SUSP.	SUSPENDED
F.H., F.H.	FIRE HYDRANT	SW.	SWITCH
FHC	FIRE HOSE CABINET	SWR.	SEWER
FIN.	FINISH	TEL.	TELEPHONE
FIX.	FIXTURE	TL.	TURN LOCK
FLR.	FLOOR	T.O.B.(M.)	TOP OF BEAM
FLUOR.	FLUORESCENT	T.O.S.	TOP OF STEEL
F.O.C.	FACE OF CURB	TOT.	TOTAL
FT.	FOOT, FEET	TS.	TUBE STEEL
FURR.	FURRING	TW.	TOP OF WALL
FXD.	FIXED	TYP.	TYPICAL
G.C.	GENERAL CONTRACTOR	UL.	UNDERWRITER'S LABORATORY
GA.	GAUGE	U.N.O., UNO	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	VCT.	VINYL COMPOSITE TILE
GFI.	GROUND FAULT INTERRUPT	VERT.	VERTICAL
GLZ.	GLAZING	W/	WITH
G.P.M.	GALLONS PER MINUTE	W	WEST
GR.	GRADE	W.R.	WATER RESISTANT
GRND.	GROUND	W.W.F.	WOVEN WIRE FABRIC
GYP.	GYPSPUM	WD.	WOOD
H.C.: H/C	HANDICAPPED	WP.	WEATHER PROOF
HORIZ.	HORIZONTAL	WT.	WEIGHT
HR.	HOUR		
HRDWD.	HARDWOOD		
HT.	HEIGHT		
IN.	INCHES		
INFO	INFORMATION		
INSULA.; INSUL.	INSULATION		
INT.	INTERIOR		



RAYMOND - MORLEY HOUSE

OCCUPANCY TYPE: B
CONSTRUCTION TYPE: VB
SPRINKLERED: NO
BUILDING AREAS AND HEIGHTS:

	AREA	HEIGHT	STORIES
ALLOWABLE	9,000 SF	40	2
ACTUAL (LEVELS 1 & 2)	3,859 SF	27 FEET	2

AREA AND OCCUPANT LOAD:

ROOM:	AREAS:	OCCUPANT LOAD REQUIREMENTS:	OCCUPANT LOAD TOTALS:
GROUND LEVEL:			49
BUSINESS:	1,000 GSF	1 PER 150 GROSS	7
DINING:	580 NSF	TABLES & CHAIRS 1 PER 15 NET	39
KITCHEN:	460 GSF	1 PER 200 GROSS	3
LEVEL 2 (ROOF):			11
BUSINESS:	1,639 GSF	1 PER 150 GROSS	11
TOTAL OCCUPANT LOAD:			60

IBC 303.1.1: ALLOWS AN ASSEMBLY TYPE OCCUPANCY TO BE CONSIDERED A "B" OCCUPANCY IF THE OCCUPANT LOAD IS <50.

EGRESS WIDTH REQUIREMENTS:

- 49 OCCUPANTS x 0.2 = 10 36" MINIMUM EXIT WIDTH APPLIES
- 49 OCCUPANTS x 0.3 = 15 36" MINIMUM STAIRWAY WIDTH APPLIES
- 11 OCCUPANTS x 0.2 = 2.2 36" MINIMUM EXIT WIDTH APPLIES
- 11 OCCUPANTS x 0.3 = 3.3 36" MINIMUM STAIRWAY WIDTH APPLIES

IBC 1006.3.4(2): MAX OCCUPANT LOAD PER STORY ALLOWED =49
CALCULATED OCCUPANT LOAD OF LEVEL 2 = 11
SINGLE EXIT ALLOWED FROM LEVEL 2.

RATED CONSTRUCTION REQUIREMENTS: NONE.

SEPARATION REQUIREMENTS: NONE.

705.5 FIRE-RESISTANCE RATING REQUIREMENT FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:

FIRE SEPARATION DIST 10sX+30 FEET FOR TYPE VB CONSTRUCTION & B OCCUPANCY =0
DISTANCE TO PROPERTY LINE = 11'-4" = NONE REQUIRED.

OPENING PROTECTION REQUIREMENTS:

FIRE SEPARATION DISTANCE10' TO LESS THAN 15'	15% UNPROTECTED ALLOWED
--	-------------------------

WEST WALL = 150 SF 150 x 15% = 22.5 SF ALLOWED
WINDOW OPENING = 12.5 SF

ALL OTHER WALLS 30' OR GREATER AND ARE NOT LIMITED

EXIT ACCESS TRAVEL DISTANCES:

	ALLOWED	ACTUAL
MAXIMUM COMMON PATH OF TRAVEL: MAX 49 OCCUPANTS NON SPRINKLERED:	75 FEET	40 FEET
2ND LEVEL < 30 OCCUPANTS ACCESS TRAVEL DISTANCE:	100 FEET	57 FEET
MAX EXIT ACCESS TRAVEL DISTANCE NON SPRINKLERED:	200 FEET	
SECOND LEVEL MOST REMOTE TRAVEL DISTANCE:		68 FEET

1006 NUMBER OF EXITS:

- DINING ROOM HAS OCCUPANT LOAD OF 39 REQUIRING ONE EXIT - PROVIDED.
- KITCHEN HAS OCCUPANT LOAD OF 3 REQUIRES ONE EXIT - PROVIDED
- OFFICE HAS LEVEL 2 OCCUPANT LOAD OF 11 REQUIRES ONE EXIT - PROVIDED
- OFFICE HAS LEVEL 1 OCCUPANT LOAD OF 7 REQUIRES ONE EXIT - PROVIDED 2

PLUMBING FIXTURE CALCULATION:

BUSINESS OCCUPANCY =18 WC 1 PER 25 FOR FIRST 50 OCCUPANTS LAVS 1 PER 40 FOR FIRST 80 OCCUPANTS	1 REQUIRED 1 REQUIRED
RESTAURANT OCCUPANCY = MAX 49 BY TENANT CONTRACT OUTDOOR DINING = 26 WC 1 PER 75 LAVS 1 PER 200	1 REQUIRED 1 REQUIRED

PROVIDED:
2 UNISEX TOILETS (ONE ACCESSIBLE) PROVIDED ON LEVEL ONE SHARED BETWEEN DINING AND OFFICE.
1 UNISEX TOILET PROVIDED FOR OFFICE ONLY ON LEVEL 2.

APPLICABLE CODES

INTERNATIONAL BUILDING CODE:	IBC 2021
UNIFORM PLUMBING CODE:	UPC 2021
UNIFORM MECHANICAL CODE:	UMC 2021
NATIONAL ELECTRICAL CODE:	NEC 2020
INTERNATIONAL FIRE CODE:	IFC 2021
INTERNATIONAL EXISTING BUILDING CODE:	IEBC 2021
INTERNATIONAL ENERGY CONSERVATION CODE:	IECC 2021
ACCESSIBILITY CODE:	TAS 2012

GENERAL NOTES

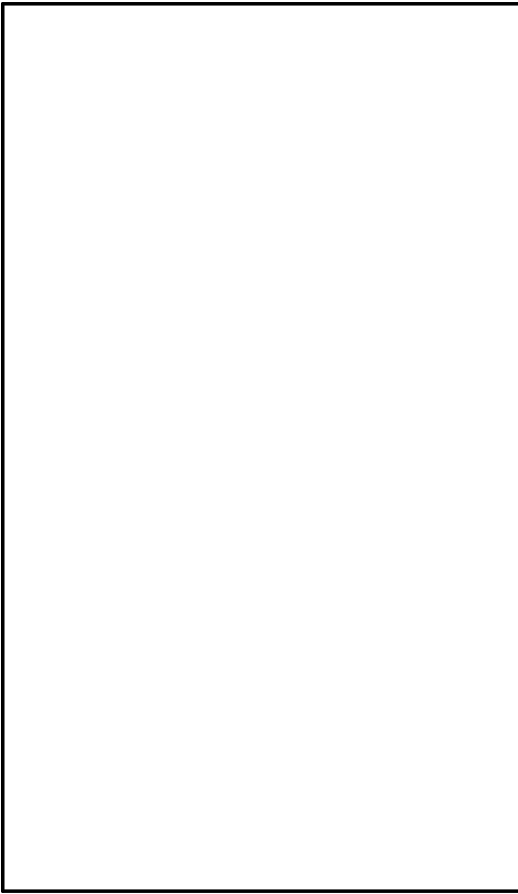
- WRITTEN DIMENSIONS GOVERN, DO NOT SCALE DRAWINGS.
- THE DETAILS DESIGNATED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE DRAWINGS IN ALL AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS.
- ALL DRAWING ELEMENTS AND TEXT SHOWN IN GRAY/SCALE ARE ALL KNOWN / AVAILABLE EXISTING ELEMENTS, EITHER PROVIDED BY OWNER, OR OBTAINED THROUGH FIELD OBSERVATIONS WHERE POSSIBLE, AND ARE USED FOR BACKGROUND AND REFERENCE PURPOSES. FOR CLARITY, NOT ALL EQUIPMENT, DUCTWORK, PIPING, PANELS, CONDUIT, ETC. MAY BE SHOWN IN EACH VIEW.
- ACTUAL FIELD CONDITIONS MAY VARY. PRIOR TO DEMOLITION OR START OF NEW WORK, THE CONTRACTOR SHALL VISIT THE SITE AND PERFORM AN INSPECTION TO BECOME FAMILIAR WITH EXISTING FACILITIES AND AREAS SCHEDULED FOR WORK AND DETERMINE THE CONDITION OF EXISTING ELEMENTS TO BE AFFECTED AND/OR TO REMAIN. ADDITIONAL FIELD INVESTIGATIONS, AND/OR MINOR ADJUSTMENTS MAY BE REQUIRED TO COMPLETE WORK.
- SHOULD THE CONTRACTOR ENCOUNTER ANY QUESTIONS OR CONFLICTS BETWEEN GRAYSCALE OBJECTS, EXISTING ELEMENTS TO REMAIN, RENOVATIONS, AND ADDITIONS EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, THE CONTRACTOR SHALL BRING THESE CONFLICTS TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL SEEK CLARIFICATION IN WRITING PRIOR TO START OF WORK, AND SHALL NOT PROCEED WITH THE WORK IF THERE ARE DISCREPANCIES OR CONFLICTS UNTIL ALL SUCH HAVE BEEN RESOLVED.
- ANY QUESTIONS RELATED TO THE PROJECT SCOPE OF DEMOLITION AND NEW WORK SHOULD BE ADDRESSED TO THE ARCHITECT PRIOR TO STARTING WORK.
- WORKING CONDITIONS SUCH AS STARTING TIME, NOISE AND VIBRATION LIMITATIONS SHALL BE GOVERNED BY CITY ORDINANCES.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING PROPERTY BY HIS STAFF OR SUBCONTRACTORS.
- CONTRACTOR SHALL PROTECT AREAS AND SURFACES ADJACENT TO THE CONSTRUCTION AREA FROM DAMAGE AND DEBRIS. ALL AREAS TO BE CLEAN AND SERVICEABLE AT THE COMPLETION OF DEMOLITION, PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY SERVICE AND COORDINATE HIS WORK ACCORDINGLY. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE.
- WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES HAVING THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY. COMPLY WITH ALL RECOMMENDED PRACTICES AS SET FORTH BY THE FOLLOWING, BUT NOT LIMITED TO: ASME, SMACNA, ASHRAE, NEPA, ALL LOCAL BUILDING, FIRE, ENERGY, MECHANICAL, PLUMBING, AND ELECTRICAL CODES, OSHA, AND REGULATIONS OF ALL GOVERNING BODIES AS THEY APPLY TO THIS PROJECT.
- THE ARCHITECT, ENGINEER OR OWNER'S REPRESENTATIVE SHALL NOT BE RESPONSIBLE FOR, OR HAVE CONTROL OF, OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, NOR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT, ENGINEER OR OWNER'S REPRESENTATIVE SHALL NOT BE RESPONSIBLE, NOR HAVE CONTROL OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- THE DESIGN AND PROVISION OF ALL TEMPORARY SUPPORTS SUCH AS BUYING BRACES, FALSEWORK, SUPPORTS AND ANCHORS FOR SAFETY LINES, CURBBING, SHORING, OR ANY OTHER TEMPORARY ELEMENTS REQUIRED FOR THE EXECUTION OF THE CONTRACT ARE NOT INCLUDED IN THESE DRAWINGS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. TEMPORARY SUPPORTS SHALL NOT RESULT IN THE OVERSTRESS OR DAMAGE OF THE ELEMENTS TO BE BRACED NOR ANY ELEMENTS USED AS BRACE SUPPORTS.

SYMBOLS

PLAN	TRUE		
NORTH	NORTH		NORTH ARROWS
FINISH FLOOR	100' - 0"		ELEVATION IDENTIFIER
FINISH FLOOR	100' - 0"		CEILING HEIGHT IDENTIFIER
1	A-101		ELEVATION MARKERS
1	A101		SECTION CUT MARKER
1	A-101		DETAIL CALL-OUT MARKER
ROOM NAME	100		FLOOR PLAN ROOM IDENTIFIER
	100	8'-0"	RCP ROOM IDENTIFIER
	101		DOOR IDENTIFIER
	11		WINDOW IDENTIFIER
	11		WALL CONSTRUCTION IDENTIFIER
			SLOPE ARROW

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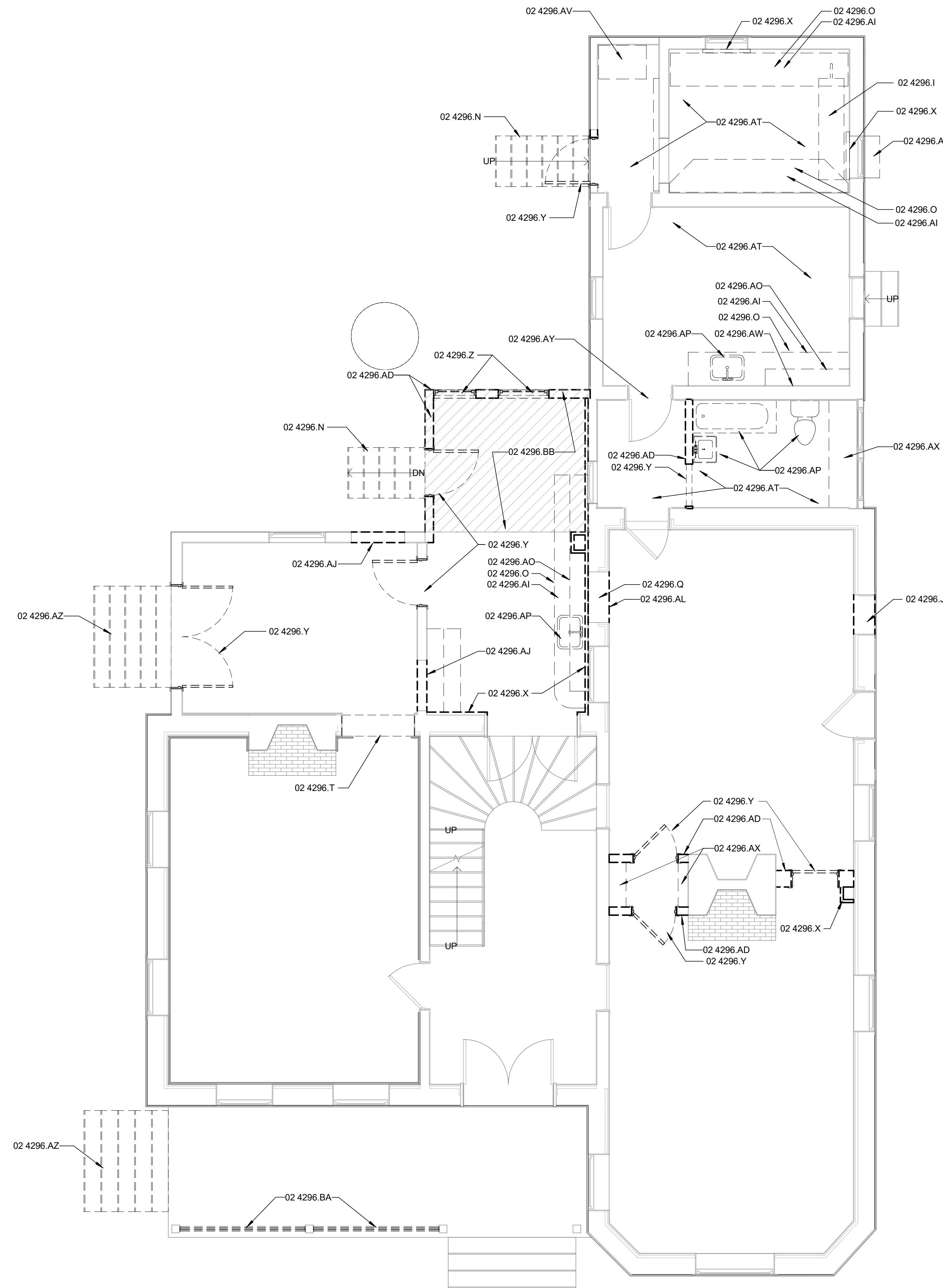
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ABBREVIATIONS &
GENERAL NOTES

A001



1 DEMO - GROUND LEVEL FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES - DEMO

1. THIS BUILDING IS HISTORIC. IT IS THE INTENT OF THE PROJECT THAT AS MUCH EXISTING MATERIAL AS POSSIBLE REMAIN. REPAIR OR PARTIAL REPLACEMENT TAKES PRECEDENCE OVER FULL REPLACEMENT.
2. CONFIRM ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD. EXISTING CONSTRUCTION CONSISTS OF LOAD BEARING BRICK EXTERIOR WOOD FURRING WITH LATH AND PLASTER, OR WOOD STUD WITH SHEATHING AND WOOD SIDING. INTERIOR PARTITIONS ARE WOOD STUD WITH PLASTER OR GYPSUM BOARDFINISH.
3. CONTACT ARCHITECT IF EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED.
4. REMOVE ALL EXISTING MATERIAL NOTED OR THAT IS ROTTED OR OTHERWISE COMPROMISED. SHORE PER STRUCTURAL AND OSHA AND AS NECESSARY TO SUPPORT REMAINING CONSTRUCTION AND THEN BEING DEMOLISHED DURING AND AFTER MATERIAL REMOVAL AND PROTECT ALL SURROUNDING CONSTRUCTION.
5. ALL MATERIAL NOTED TO BE REMOVED SALVAGED AND REINSTALLED SHALL BE REMOVED WITH CARE, LABELED, CLEANED, PROTECTED AND REINSTALLED AT THE APPROPRIATE TIME.
6. PERFORM DEMO BY SAWCUTTING OR OTHER METHODS THAT LEAVE MINIMAL DAMAGE.
7. REFER ALSO TO ENGINEERING DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
8. COORDINATE DEMO WORK WITH NEW SYSTEMS TO BE INSTALLED.
9. CONTRACTOR SHALL SALVAGE FOR REUSE ALL BRICKS FOUND IN THE GROUND AROUND THE BUILDING.
10. ARCHITECT TO REVIEW NEWSPAPER AND OTHER NON WALL CONSTRUCTION MATERIALS FOUND PRIOR TO DISPOSAL.
11. IT IS THE INTENT OF THE PROJECT TO HAVE FULL FUNCTIONING MEP SYSTEMS AT THE END OF THE WORK. REVIEW EXISTING MATERIALS AND CONDITIONS IN THE FIELD AND COORDINATE MEP DRAWINGS FOR EXTEND OF DEMO AND NEW WORK.
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13. REMOVE EXISTING REFRIGERATOR. VERIFY WITH OWNER PRIOR TO REMOVAL OR ON SITE USE.

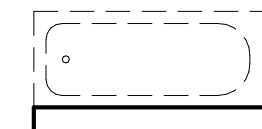
KEYNOTES

02 4296.AD	WALL TO BE REMOVED
02 4296.AH	HVAC UNIT IN WINDOW TO BE REMOVED
02 4296.AI	BASE CABINetry TO BE REMOVED
02 4296.AJ	GYPSUM BOARD AND STUDS TO BE REMOVED
02 4296.AL	PLASTER AND FURRING TO BE REMOVED
02 4296.AO	UPPER CABINetry TO BE REMOVED
02 4296.AP	FIXTURES TO BE REMOVED
02 4296.AT	FLOORING TO BE REMOVED
02 4296.AV	DRYING RACK SUPPORTS TO BE REMOVED
02 4296.AW	TILE TO BE REMOVED
02 4296.AX	BUILT IN CABINetry TO BE REMOVED
02 4296.AY	GYPSUM AT ARCH ABOVE DOOR TO BE REMOVED
02 4296.AZ	DECONSTRUCT STAIRS AND SALVAGE STONE, PROVIDE TO OWNER FOR STORAGE
02 4296.BA	REMOVE RAILINGS AT PORCH
02 4296.BB	FLOORING AND SUB-FLOOR TO BE REMOVED
02 4296.I	FLOOR SINK TO BE REMOVED
02 4296.J	REMOVE EXISTING BRICK TO RECREATE WINDOW OPENING
02 4296.N	CONCRETE TO BE REMOVED
02 4296.O	COUNTER TO BE REMOVED
02 4296.Q	BRICK MASONRY TO BE REMOVED
02 4296.T	TRIM TO BE REMOVED
02 4296.X	GYPSUM BOARD AND FURRING TO BE REMOVED
02 4296.Y	DOOR AND FRAME TO BE REMOVED
02 4296.Z	WINDOW AND FRAME TO BE REMOVED

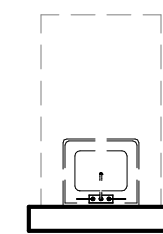
FINISH FLOOR PLAN LEGEND



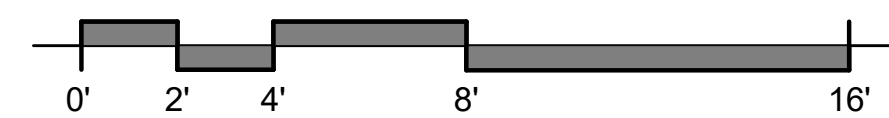
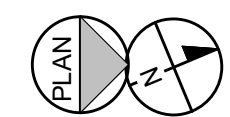
DEMO TOILET



FLOOR SINK



WALL MOUNTED LAVATORY



ISSUE DATE:	10 JUNE 2022
PROJECT NUMBER:	202122
DRAWN BY:	ZWR
CHECKED BY:	DDC

REVISIONS:

[illegible]

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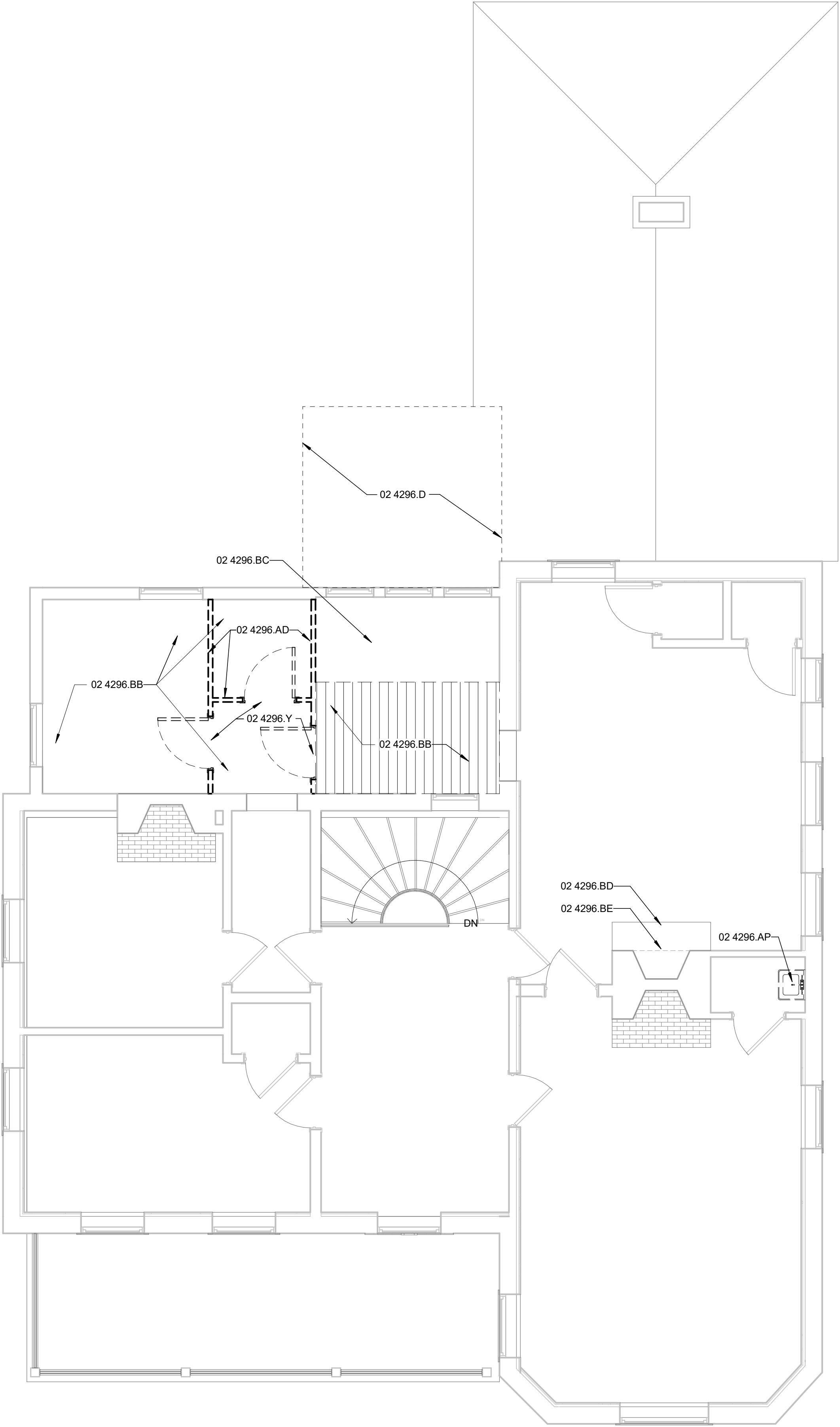
RAYMOND - MORLEY HOUSE REHABILITATION

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DEMO - GROUND LEVEL - FLOORPLAN

AD101

1 DEMO - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"

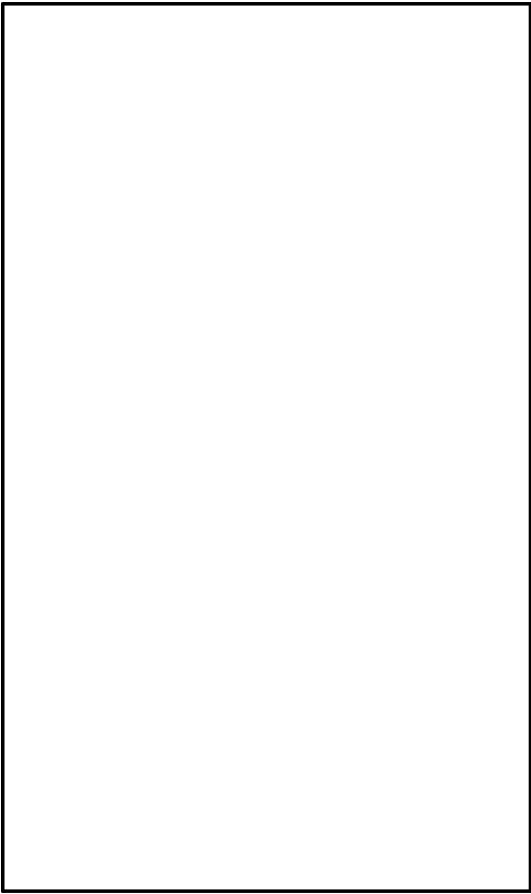


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12. REMOVE EXISTING REFRIGERATOR. VERIFY WITH OWNER PRIOR TO REMOVAL OR ON SITE USE.

ISSUE DATE:	10 JUNE 2022
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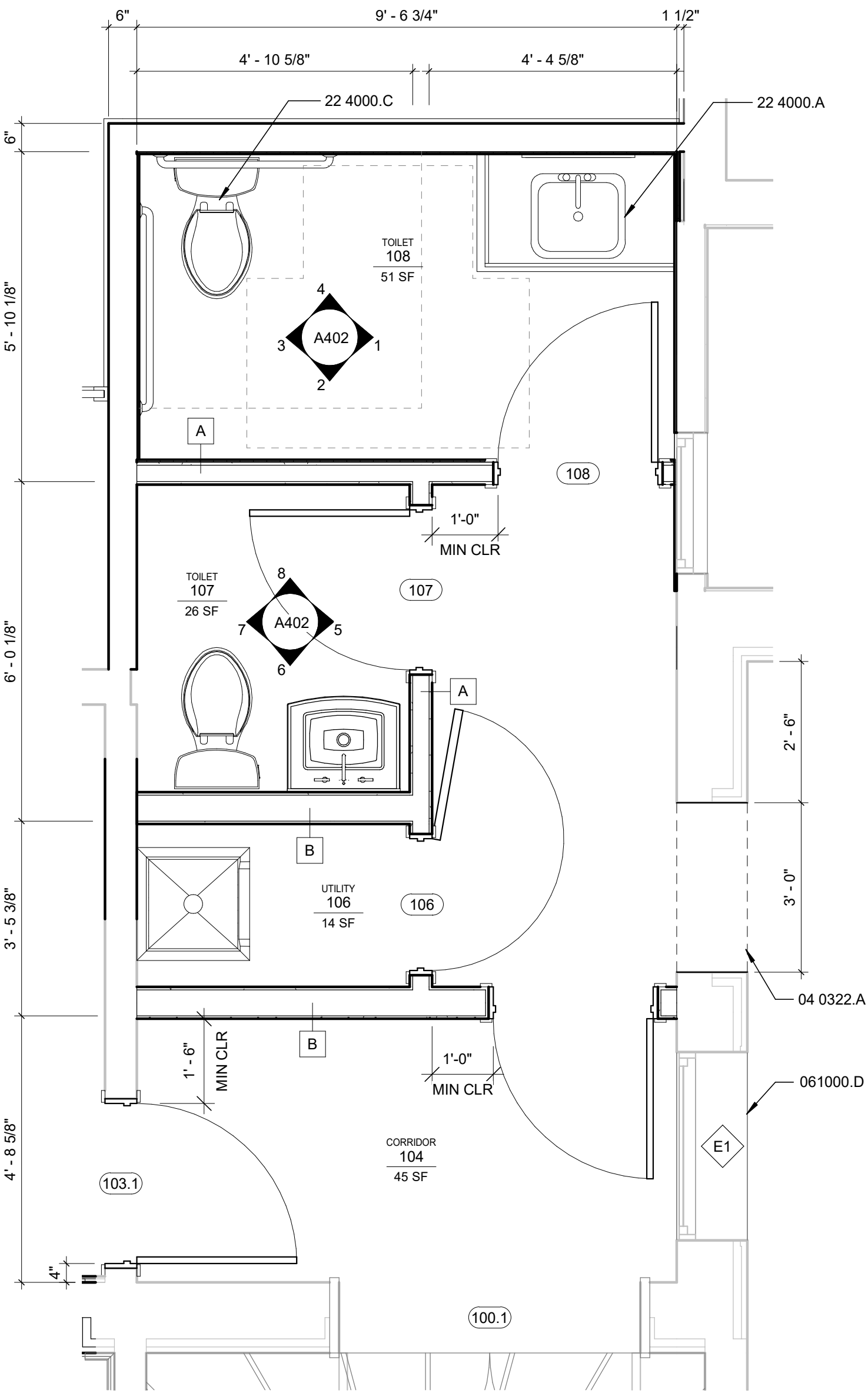
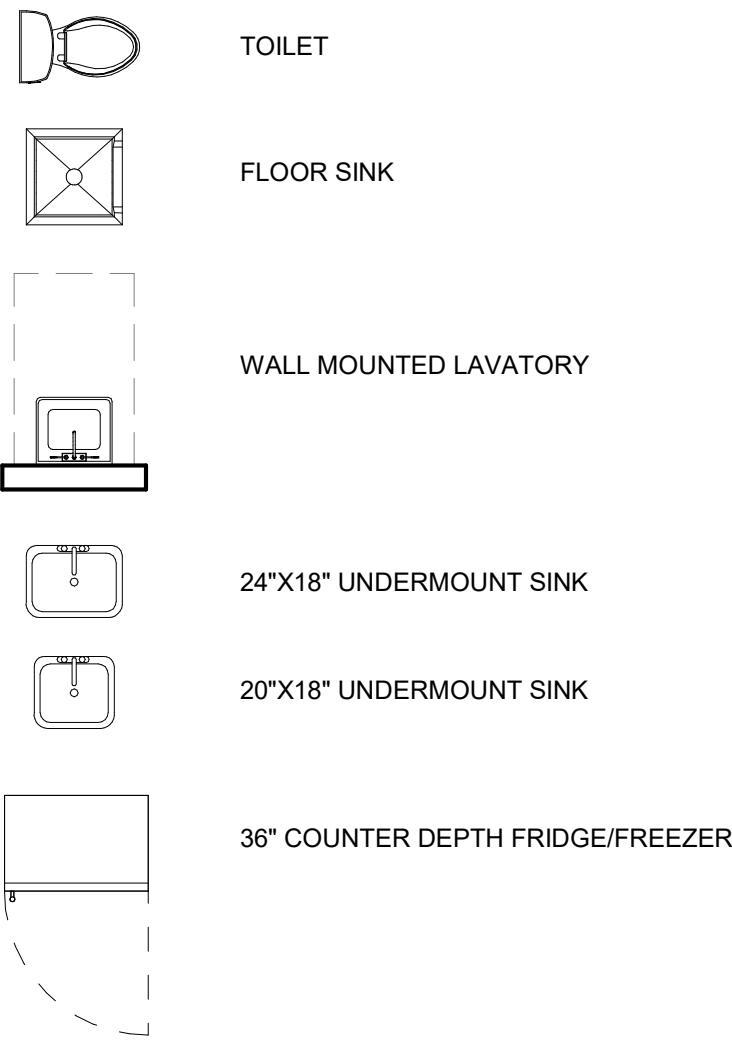
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AUSTIN, TEXAS 78703

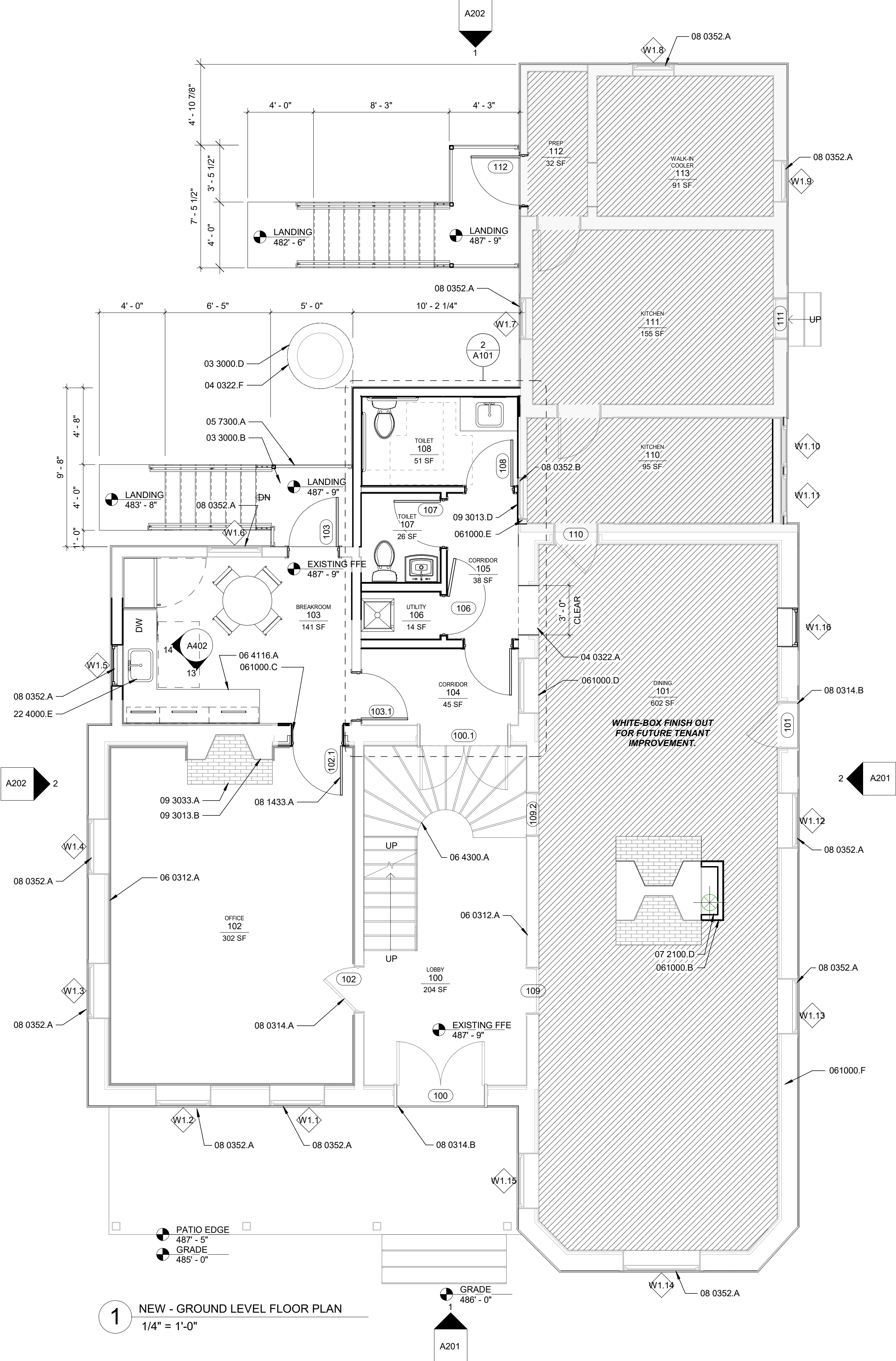
DEMO - LEVEL 2 -
FLOORPLAN

AD102

FINISH FLOOR PLAN LEGEND



2 ENLARGED PLAN GROUND LEVEL
1/2" = 1'-0"



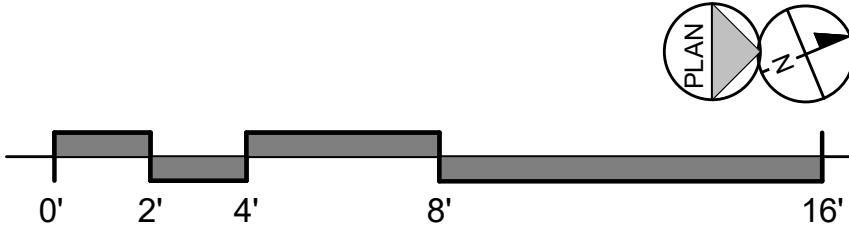
1 NEW - GROUND LEVEL FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

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- CONFIRM ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD. EXISTING CONSTRUCTION CONSISTS OF LOAD BEARING BRICK WITH WOOD FURRING AND LATH WITH PLASTER, OR WOOD STUD WITH SHEATHING AND WOOD SIDING. INTERIOR IS WOOD STUD WITH PLASTER FINISH AND WOOD STUD WITH GYPSUM BOARD.
- CONTACT ARCHITECT IF EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED.
- DO NOT SCALE DRAWINGS. CONFIRM ALL EXISTING DIMENSIONS IN THE FIELD.
- ALL DIMENSIONS ARE TO FACE OF STUD IN NEW CONSTRUCTION. DIMENSION TO EXISTING CONSTRUCTION ARE TO FINISH FACE OR FACE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL NEW INTERIOR WALL PARTITIONS ARE WOOD STUDS WITH 5/8" GYPSUM BOARD EACH FACE AND SOUND ATTENUATION INSULATION, UNLESS OTHERWISE NOTED.
- REFER TO SHEET G102 FOR ACCESSIBLE DOOR AND FIXTURE CLEARANCES.
- REFER TO SHEET G102 FOR MOUNTING REQUIREMENTS OF ALL ACCESSORIES AND CONTROLS AT LABELED FIXTURES.
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- ALL ELECTRIC CONDUIT TO BE INSTALLED IN NON VISIBLE LOCATIONS UNLESS NOTED OTHERWISE.
- EXISTING WOOD WINDOW SASHES, DOORS, BASE AND TRIM HAVE BEEN REMOVED. STRIPPED OF FINISH, AND STORED INSIDE HOUSE TO VARYING DEGREES DURING PREVIOUS WORK. IT IS NOT KNOWN IF THEY WERE LABELED AS TO THEIR ORIGINAL LOCATION. CONTRACTOR SHALL INVENTORY AND DETERMINE TO HIS BEST ABILITY ORIGINAL LOCATIONS FOR ALL STORED WOOD. CONSULT ARCHITECT AS NEEDED. SUBMIT INVENTORY TO ARCHITECT.
- REFER TO ELEVATIONS SHEETS FOR ADDITIONAL DEMO NOTES.

KEYNOTES

- | | |
|-----------|---|
| 03 3000.B | CONCRETE STAIR AND LANDING |
| 03 3000.D | REMOVE EXISTING CISTERN CAP, FILL WITH SAND, INSTALL NEW CONCRETE CAP |
| 04 0322.A | SAW CUT EXISTING HISTORIC EXTERIOR BRICK AND PLASTER WALL TO CREATE NEW OPENING LEVEL TO COURSING, MIN 6"8" HIGH - CUT IN HEADER STEEL PER STRUCTURAL - SAWTOOTH PATCH BRICK TO EXISTING BOND PATTERN AS NEEDED FOR SOLID BRICK AT SIDES OF OPENING, PATCH PLASTER, INSTALL NEW WOOD FRAME ALIGNED TO BRICK SEAL JOINTS |
| 04 0322.F | REMOVE EXISTING PARGE AT CISTERN, REPAIR BRICK AND MORTAR WALL LEAVE EXPOSED |
| 05 7300.A | METAL GUARDRAIL AND HAND RAILINGS |
| 06 0312.A | REINSTALL EXISTING BASE AND TRIM. USE FULL LENGTHS, DO NOT CUT. |
| 06 4116.A | PROVIDE NEW PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS |
| 06 4300.A | EXISTING TREAD AND RAIL ARE STRIPPED PROTECTED. RETAIN PROTECTION THROUGHOUT WORK. FINISH TO MATCH FLOORS. PAINTED STRINGERS, BALUSTERS, NEWEL POST AND RISERS TO BE PREPARED AND PAINTED. |
| 07 2100.D | STUFF BASE OF CHASE WITH R30 MINERAL WOOL BATT INSULATION |
| 08 0314.A | STRIP AND REFINISH EXISTING REMOVED DOORS. REHANG IN ORIGINAL POSITION. PROVIDE NEW HARDWARE AS SCHEDULED. TYPICAL AT ALL EXISTING DOORS. |
| 08 0314.B | CONFIRM 32" MIN CLEAR OPENING. REPAIR ANY DAMAGED WOOD. INSTALL NEW HARDWARE. PAINT. |
| 08 0352.A | RESTORE ALL EXISTING WOOD WINDOWS UNLESS NOTED OTHERWISE. REMOVE ALL SOFT OR DAMAGED WOOD. REUSE AS MUCH ORIGINAL WOOD AS POSSIBLE. SPLICE IN MINIMAL NEW WOOD NECESSARY FOR REPAIR. PROTECT EXISTING GLASS. INSTALL NEW GLASS AS NEEDED. REFINISH. PROVIDE NEW HARDWARE WHERE MISSING - MATCH TO EXISTING. REINSTALL REMOVED SASHES IN ORIGINAL LOCATION. ENSURE FULL WORKING CONDITION. REFER TO WINDOW SCHEDULE. |
| 08 0352.B | REMOVE EXISTING REMAINING WINDOW FRAME FROM THIS OPENING. LEAVE STUDS FOR RECORD OF WINDOW LOCATION. |
| 08 1433.A | PROVIDE 4 PANEL WOOD DOOR REFER TO SCHEDULE |
| 09 3013.B | THINSET CERAMIC FIREPLACE SURROUND |
| 09 3013.D | WALL TILE TO EXTEND TO EXISTING MASONRY WITH SCHLUTER SCHIENE EDGE TRIM |
| 09 3033.A | MORTARED SLATE STONE HEARTH IN EXISTING DEFINED AREA. |
| 22 4000.A | ACCESSIBLE LAVATORY |
| 22 4000.C | ACCESSIBLE TOILET |
| 22 4000.E | SIDE ACCESSIBLE KITCHEN SINK |
| 061000.B | RECONFIGURE WALLS AS SHOWN. ALIGN NEW MATERIAL WITH EXISTING. CONFIRM OPENINGS AND SIZES WITH SYSTEMS INSTALLATION. |
| 061000.C | RECONFIGURE WALLS TO ACCOMMODATE NEW DOOR AS SCHEDULED. |
| 061000.D | FILL WINDOW OPENING WITH WALL ON NORTH FACE FILL WITH SOUND ATTENUATION INSULATION AND SOUND SEAL PERIMETER. PROVIDE SMOOTH GYP FACE ON SOUTH SIDE OF STUDS AND INSTALL FROSTED GLASS FILM ON NORTH SIDE OF REMAINING WINDOW IF EXISTING. |
| 061000.E | REFRAME WALL AT REMOVED WINDOW BACK TO MASONRY WALL. INSTALL SOUND ATTENUATION INSULATION AND TILE BACKER BOARD. |
| 061000.F | REFER TO STRUCTURAL FOR JOIST REPAIR |



ISSUE DATE: 10 JUNE 2022
PROJECT NUMBER: 202122
DRAWN BY: ZWR
CHECKED BY: DDC

REVISIONS:

NO	REFERENCE	ISSUED

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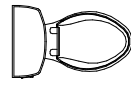
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GROUND LEVEL
FLOOR PLAN

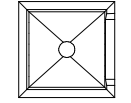
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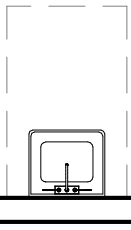
FINISH FLOOR PLAN LEGEND



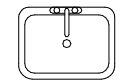
TOILET



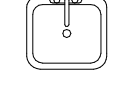
FLOOR SINK



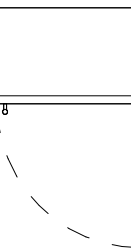
WALL MOUNTED LAVATORY



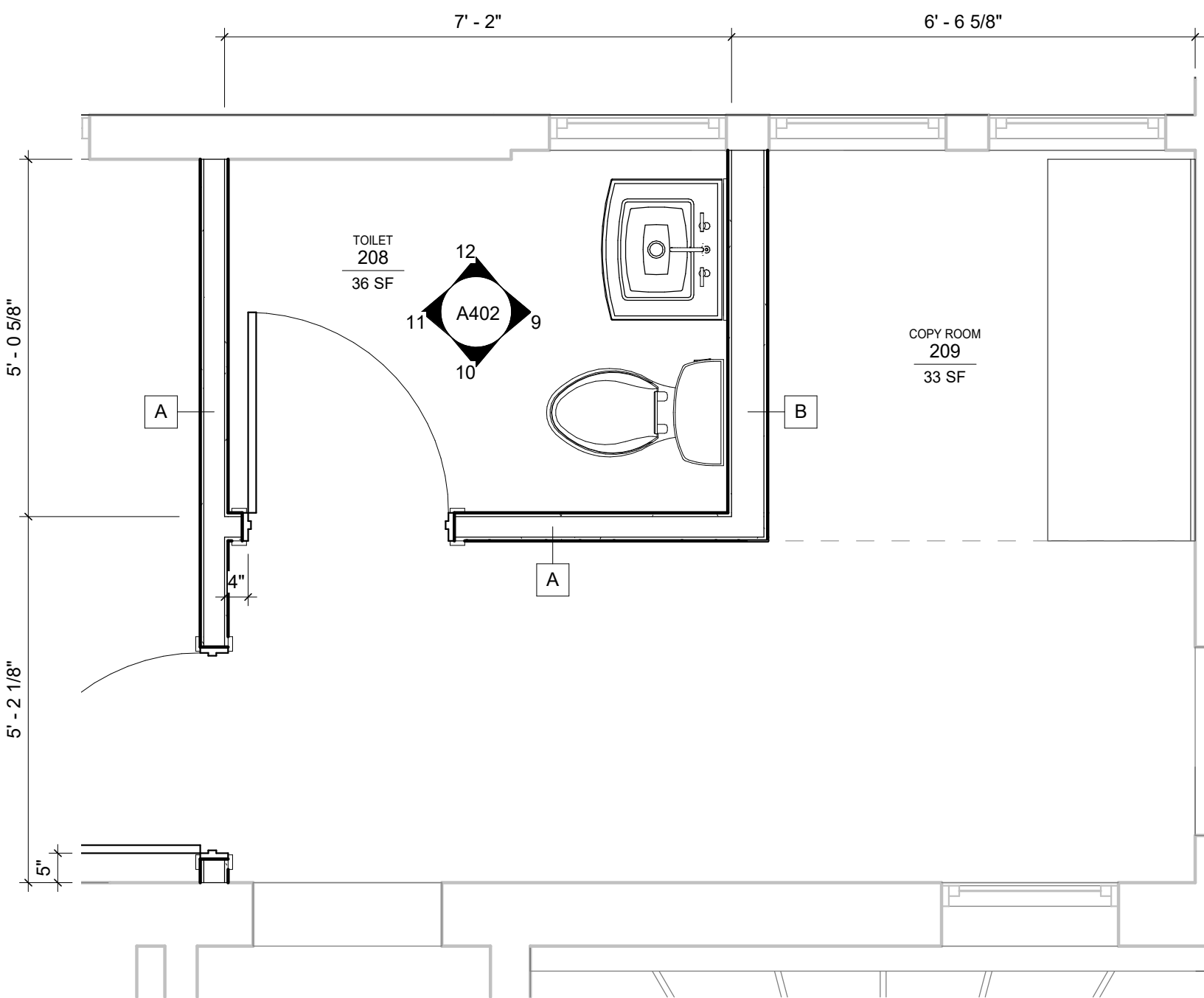
24"x18" UNDERMOUNT SINK



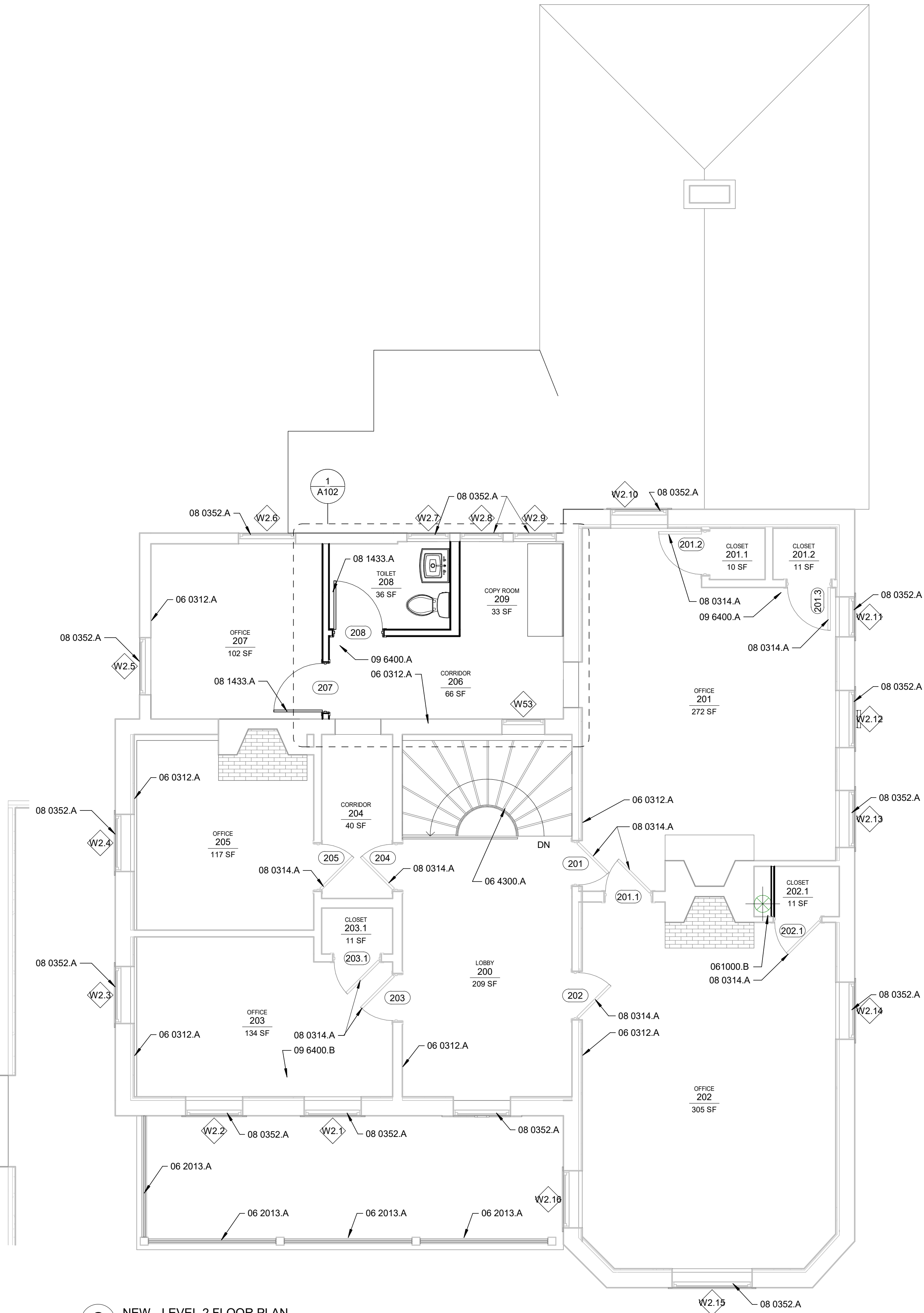
20"x18" UNDERMOUNT SINK



36" COUNTER DEPTH FRIDGE/FREEZER



1 ENLARGED PLAN LEVEL 2
1/2" = 1'-0"



2 NEW - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"

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KEYNOTES

- 06 0312.A REINSTALL EXISTING BASE AND TRIM. USE FULL LENGTHS, DO NOT CUT.
- 06 2013.A REPLACE EXISTING GUARD WITH NEW TREATED WOOD GUARD TO MATCH 1974 PHOTO
- 06 4300.A EXISTING TREAD AND RAIL ARE STRIPPED PROTECTED. RETAIN PROTECTION THROUGHOUT WORK. FINISH TO MATCH FLOORS. PAINTED STRINGERS, BALUSTERS, NEWEL POST AND RISERS TO BE PREPARED AND PAINTED.
- 08 0314.A STRIP AND REFINISH EXISTING REMOVED DOORS. REHANG IN ORIGINAL POSITION. PROVIDE NEW HARDWARE AS SCHEDULED. TYPICAL AT ALL EXISTING DOORS
- 08 0352.A RESTORE ALL EXISTING WOOD WINDOWS UNLESS NOTED OTHERWISE. REMOVE ALL SOFT OR DAMAGED WOOD. REUSE AS MUCH ORIGINAL WOOD AS POSSIBLE. SPLICE IN MINIMAL NEW WOOD NECESSARY FOR REPAIR. PROTECT EXISTING GLASS. INSTALL NEW GLASS AS NEEDED. REFINISH. PROVIDE NEW HARDWARE WHERE MISSING - MATCH TO EXISTING. REINSTALL REMOVED SASHES IN ORIGINAL LOCATION. ENSURE FULL WORKING CONDITION. REFER TO WINDOW SCHEDULE.
- 08 1433.A PROVIDE 4 PANEL WOOD DOOR REFER TO SCHEDULE
- 09 6400.A PATCH EXISTING WOOD FLOORING TO MATCH AS REQUIRED FOR BASED ON RENOVATION WORK
- 09 6400.B EXISTING WOOD FLOORING IS IN GOOD SHAPE - PROTECT. CLEAN AND COAT WITH CLEAR WATER-BASED POLYURETHANE. TYPICAL.
- 061000.B RECONFIGURE WALLS AS SHOWN. ALIGN NEW MATERIAL WITH EXISTING. CONFIRM OPENINGS AND SIZES WITH SYSTEMS INSTALLATION.

ISSUE DATE: **10 JUNE 2022**

PROJECT NUMBER: **202122**

DRAWN BY: **ZWR**

CHECKED BY: **DDC**

REVISIONS:

NO	REFERENCE	ISSUED

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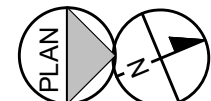
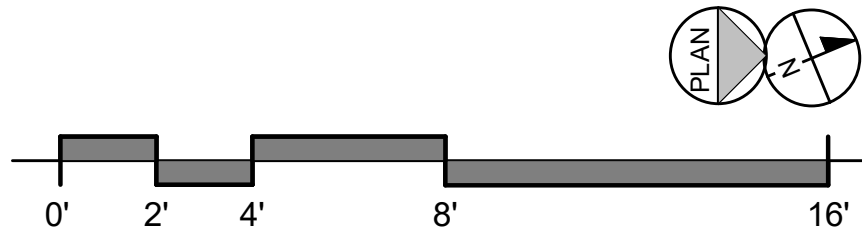
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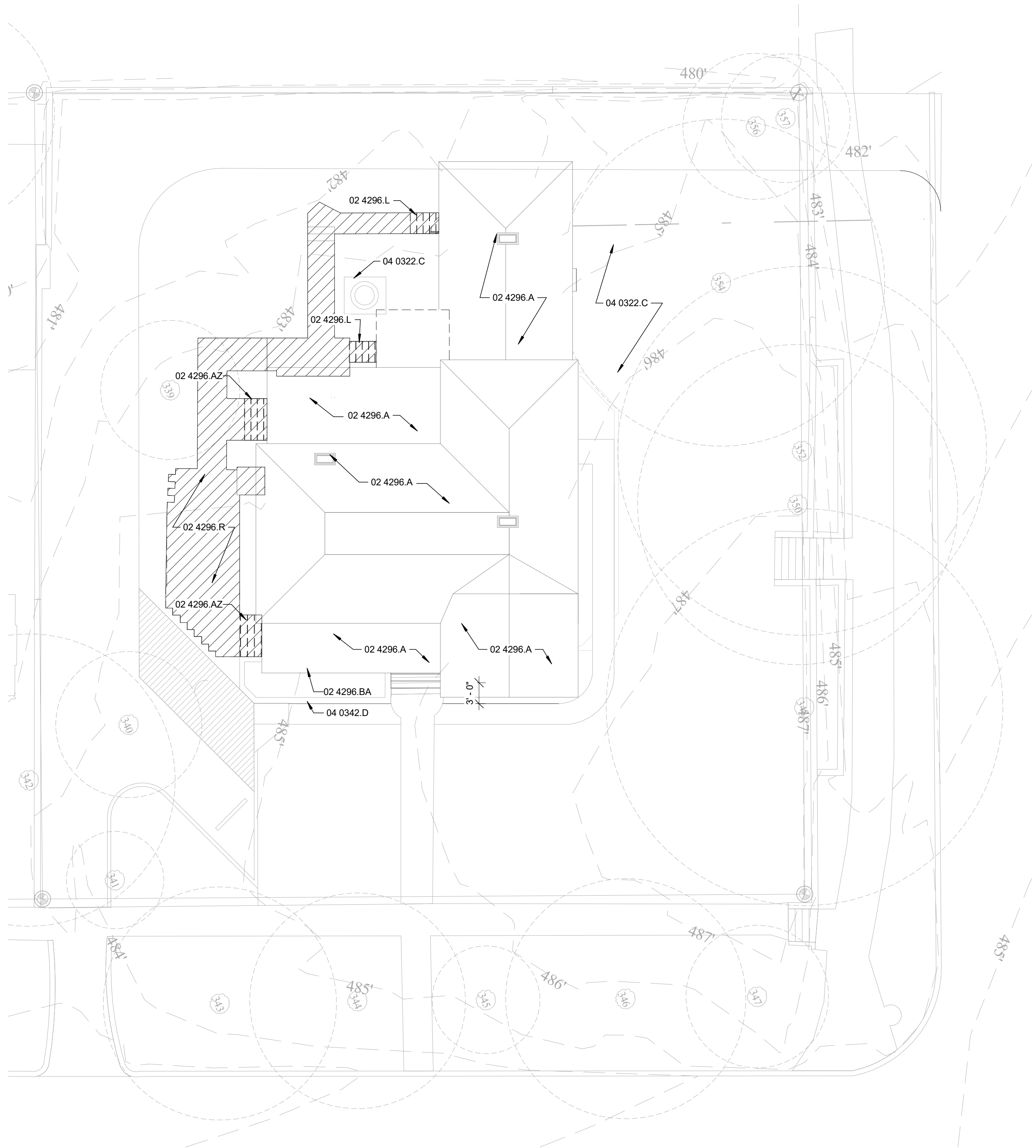
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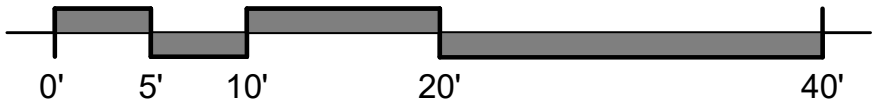
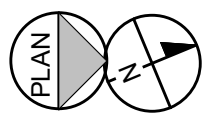
**LEVEL 2 FLOOR
PLANS**

A102





1 DEMO - ARCHITECTURAL SITE
1" = 10'-0"



ISSUE DATE:	10 JUNE 2022
PROJECT NUMBER:	202122
DRAWN BY:	ZWR
CHECKED BY:	DDC

REVISIONS:

NO	REFERENCE	ISSUED

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TEXAS REGISTRATION NUMBER #8207

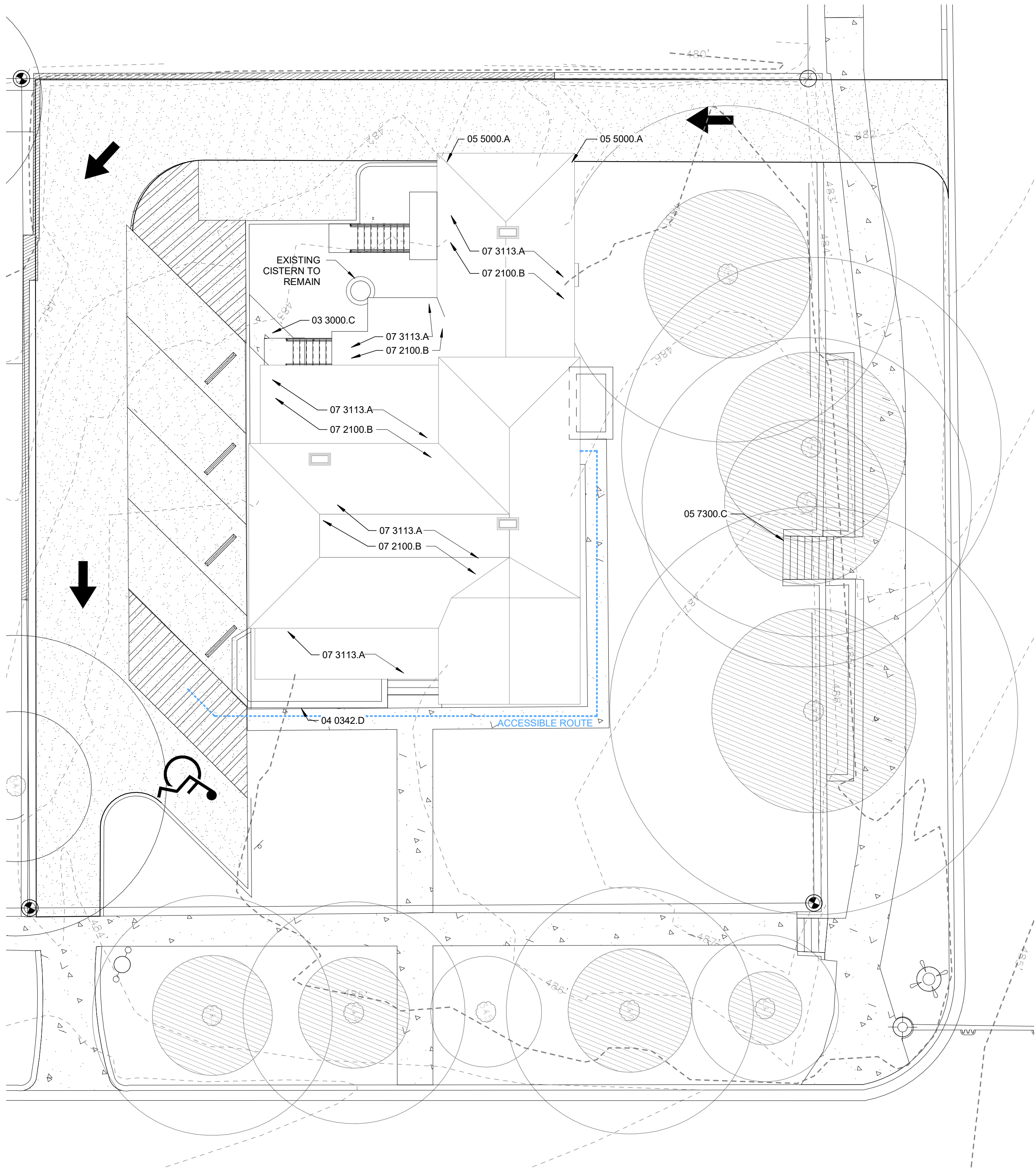
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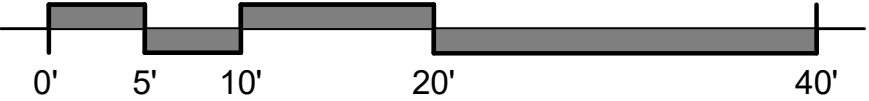
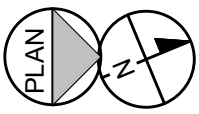
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DEMO -
ARCHITECTURAL
SITE

AD100



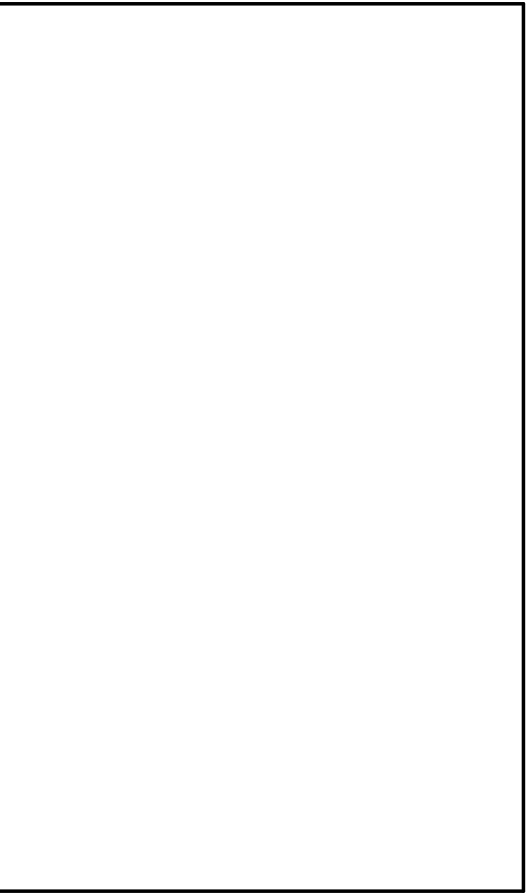
1 NEW - ARCHITECTURAL SITE
1" = 10'-0"



KEYNOTES

- 03 3000.C CONCRETE SIDEWALK
04 0342.D USE HISTORIC STONE TO RETAIN GRADE AND CREATE PLANTER ADJACENT TO PORCH TO NEGATE NEED FOR GUARDRAIL. MUST EXTEND 3' FROM PORCH.
05 5000.A STEEL BOLLARDS AT BUILDING CORNERS.
05 7300.C REMOVE EXISTING FENCE AND GATE. SALVAGE FOR REINSTALLATION. REMOVE ALL RUST USING LEAST DESTRUCTIVE METHOD. ONLY REMOVE AS MUCH RUST IN A DAY AS CAN BE PROPERLY PRIMED AND DRIED IMMEDIATELY
07 2100.B R38 MINERAL WOOL BATT INSULATION IN ATTIC
07 3113.A ASPHALT SHINGLE ROOFING W/ FULL ICE AND WATER SHIELD UNDERLAYMENT. PROVIDE ALTERNATE PRICE FOR STANDING SEAM METAL ROOFING

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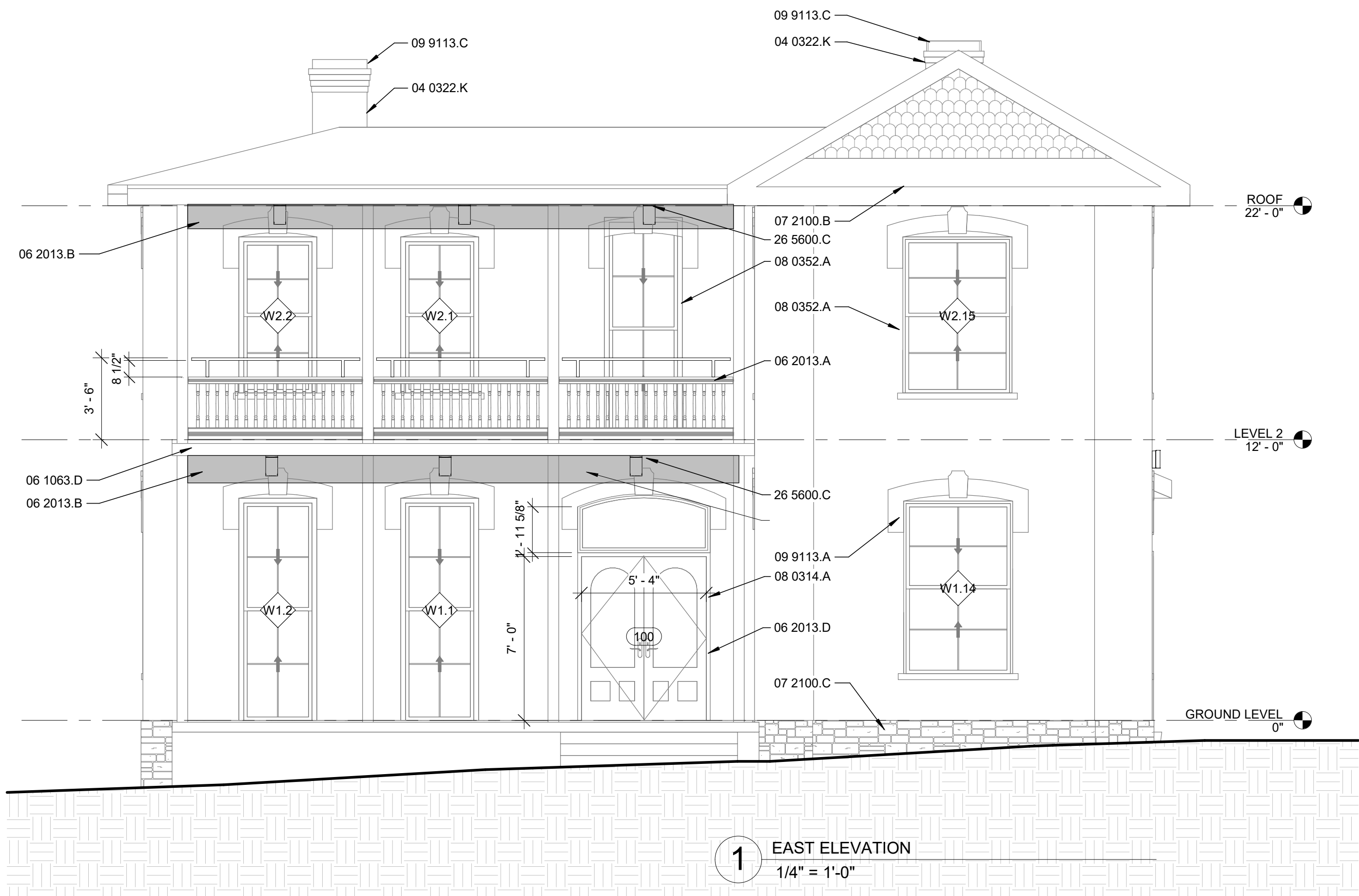
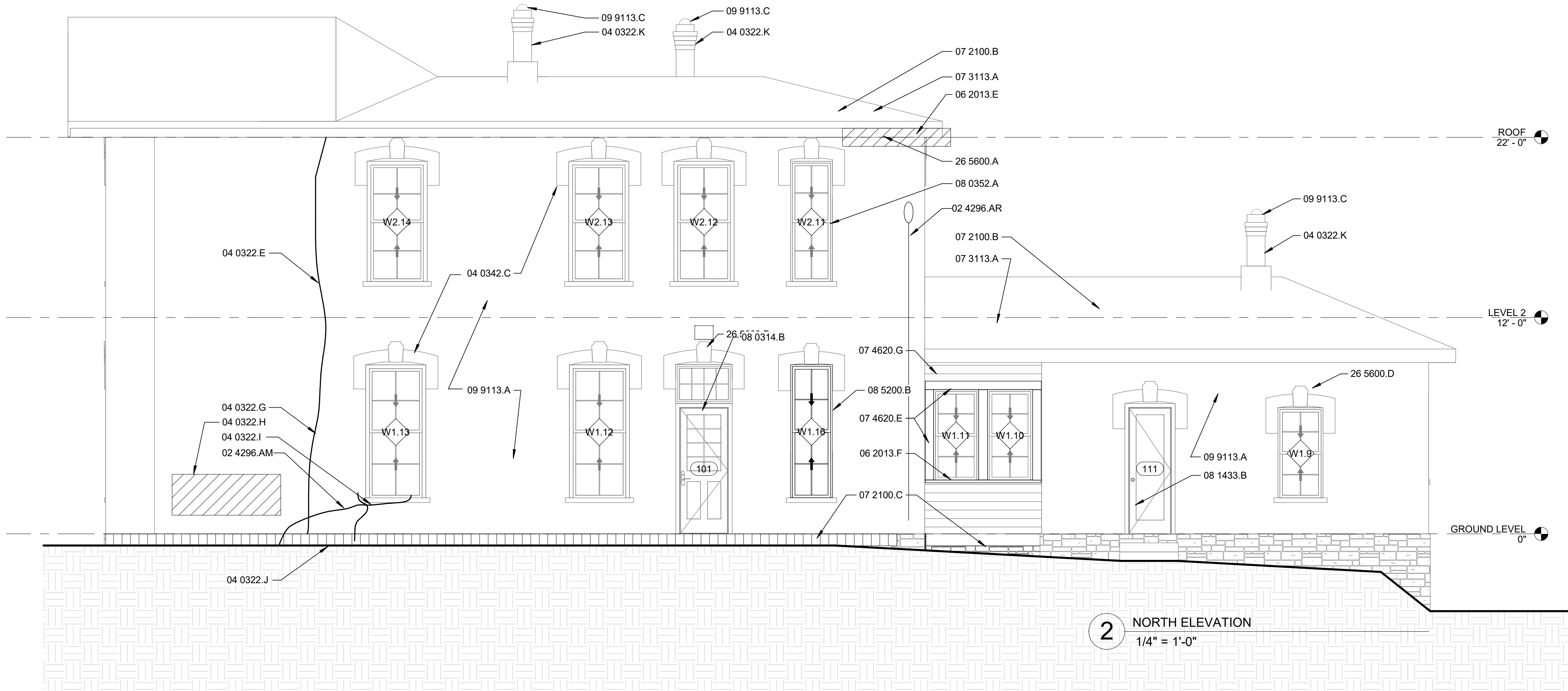
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HOUSE
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510 BAYLOR
AUSTIN, TEXAS 78703

ARCHITECTURAL
SITE PLAN

AS101



GENERAL NOTES - EXTERIOR ELEVATIONS

1. PAINT ENTIRE BUILDING FIELD COLOR AND TWO ACCENTS.
2. REMOVE PAINT FROM ORNAMENTAL BRICK HEADERS.
3. REROOF ENTIRE BUILDING. REFER TO STRUCTURAL DRAWINGS FOR UPGRADES TO ROOF STRUCTURE.
4. REFER TO SCHEDULES FOR WINDOW AND DOOR WORK.
5. ASSUME 25% OF FASCIA AND SOFFITS TO BE REPLACE. PROVIDE A LINEAR FOOT UNIT PRICE FOR ADDITIONAL REPLACEMENT.
6. REMOVE ALL WIRING. JUCTION BOXES, LIGHTING AND OTHER SERVICES UNLESS INDICATED TO REMAIN.
7. TEMPORARY HVAC, SECURITY AND OTHER SERVICES MAY REMAIN DURING CONSTRUCTION. REMOVE AS REQUIRED FOR NEW WORK.

KEYNOTES

- | | |
|------------|---|
| 02 4296.AM | WIRE TO BE REMOVED |
| 02 4296.AR | REMOVE SECURITY LIGHT, WIRING AND CONDUIT |
| 04 0322.E | REMOVE HARD AND NON-TOOLED MORTAR AND REPOINT WITH MORTAR AS SPECIFIED. |
| 04 0322.G | REMOVE CAULK FROM JOINT. REMOVE OLD MORTAR AND REPOINT WITH MORTAR AS SPECIFIED. |
| 04 0322.H | REMOVE COATING BY WASHING WALLS USING GENTLEST METHOD TO REMOVE LOOSE PAINT. NO HIGH PRESSURE WASH |
| 04 0322.I | REPOINT BRICKS UNDER WINDOW |
| 04 0322.J | RELOCATE BRICK VENT PER STRUCTURAL |
| 04 0322.K | CONFIRM TO/FOR STRUCTURAL THAT ALL CHIMNEYS ARE PROPERLY SUPPORTED TO GRACE AND |
| 04 0342.C | REMOVE PAINT FROM STONE. REPAIR CHIPS AND CRACKS IN STONE USING A CATHEDRAL STONE PRODUCT AS RECOMMENDED BY MANUFACTURERS INSTRUCTIONS FOR PRODUCT USED. TYPICAL ALL SILLS AND HEAD AND SURROUND |
| 06 1063.D | INSTALL NEW HEADER REFER TO STRUCTURAL |
| 06 2013.A | REPLACE EXISTING GUARD WITH NEW TREATED WOOD GUARD TO MATCH 1974 PHOTO |
| 06 2013.B | INSPECT SPINDLES AND WOOD REPLACE MISSING, DAMAGED AND DECAYED PIECES IN TRANSOM RAIL TO MATCH |
| 06 2013.D | CHECK ALL JOINTS IN SCREEN DOORS. REPLACE SCREENING, PAINT AND REINSTALL. ENSURE FULL SMOOTH FUNCTION |
| 06 2013.E | REMOVE ROTTEN SOFFIT BOARDS REPLACE WITH BOARDS OF SAME SIZE AND PROFILE WOOD |
| 06 2013.F | PROVIDE NEW SCREENS AND SILL |
| 07 2100.B | R38 MINERAL WOOL BATT INSULATION IN ATTIC |
| 07 2100.C | R30 MINERAL WOOL BATT INSULATION UNDER FLOOR IN CRAWL SPACE |
| 07 3113.A | ASPHALT SHINGLE ROOFING W/ FULL ICE AND WATER SHIELD UNDERLAYMENT PROVIDE ALTERNATE PRICE FOR STANDING SEAM METAL ROOFING |
| 07 4620.E | FLAT TRIM WITH DRIP EDGE AT ALL WINDOWS IN WOOD SIDING WALLS |
| 07 4620.G | EXISTING SIDING TO REMAIN PROVIDE NEW TRIM AND FLASHING AS NEEDED |
| 08 0314.A | STRIP AND REFINISH EXISTING REMOVED DOORS. REHANG IN ORIGINAL POSITION. PROVIDE NEW HARDWARE AS SCHEDULED. TYPICAL AT ALL EXISTING DOORS. |
| 08 0314.B | CONFIRM 32" MIN CLEAR OPENING. REPAIR ANY DAMAGED WOOD. INSTALL NEW HARDWARE. PAINT. |
| 08 0352.A | RESTORE ALL EXISTING WOOD WINDOWS UNLESS NOTED OTHERWISE. REMOVE ALL SOFT OR DAMAGED WOOD. REUSE AS MUCH ORIGINAL WOOD AS POSSIBLE. SPLICE IN MINIMAL NEW WOOD NECESSARY FOR REPAIR. PROTECT EXISTING GLASS. INSTALL NEW GLASS AS NEEDED. REFINISH. PROVIDE NEW HARDWARE WHERE MISSING - MATCH TO EXISTING. REINSTALL REMOVED SASHES IN ORIGINAL LOCATION. ENSURE FULL WORKING CONDITION. REFER TO WINDOW SCHEDULE. |
| 08 1433.B | SECURE EXISTING DOOR IN CLOSED POSITION |
| 08 5200.B | NEW WOOD WINDOW IN REOPENED EXISTING LOCATION |
| 09 9113.A | PAINT EXISTING PAINTED EXTERIOR BRICK - FIELD COLOR AND 2 ACCENTS |
| 09 9113.C | CLEAN, REMOVE LOOSE PAINT AND RUST FROM CHIMNEY CAP. REPAINT |
| 26 5600.A | EXTERIOR SOFFIT LIGHTING REFER TO SCHEDULE ON ELECTRICAL SHEETS |
| 26 5600.C | EXTERIOR PORCH LIGHTING REFER TO SCHEDULE ON ELECTRICAL SHEETS |
| 26 5600.D | EXTERIOR SECURITY LIGHTING REFER TO SCHEDULE ON ELECTRICAL SHEETS |

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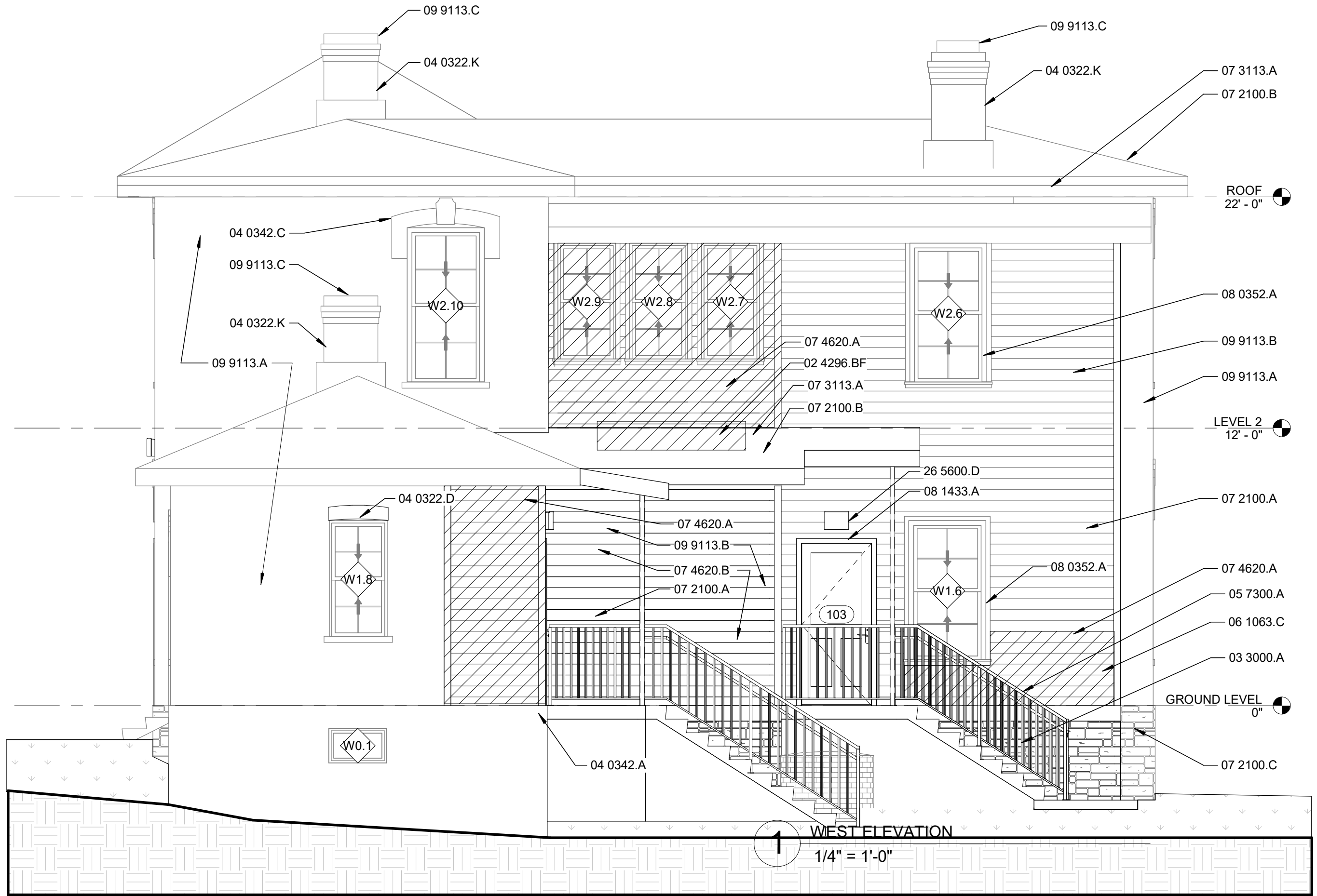
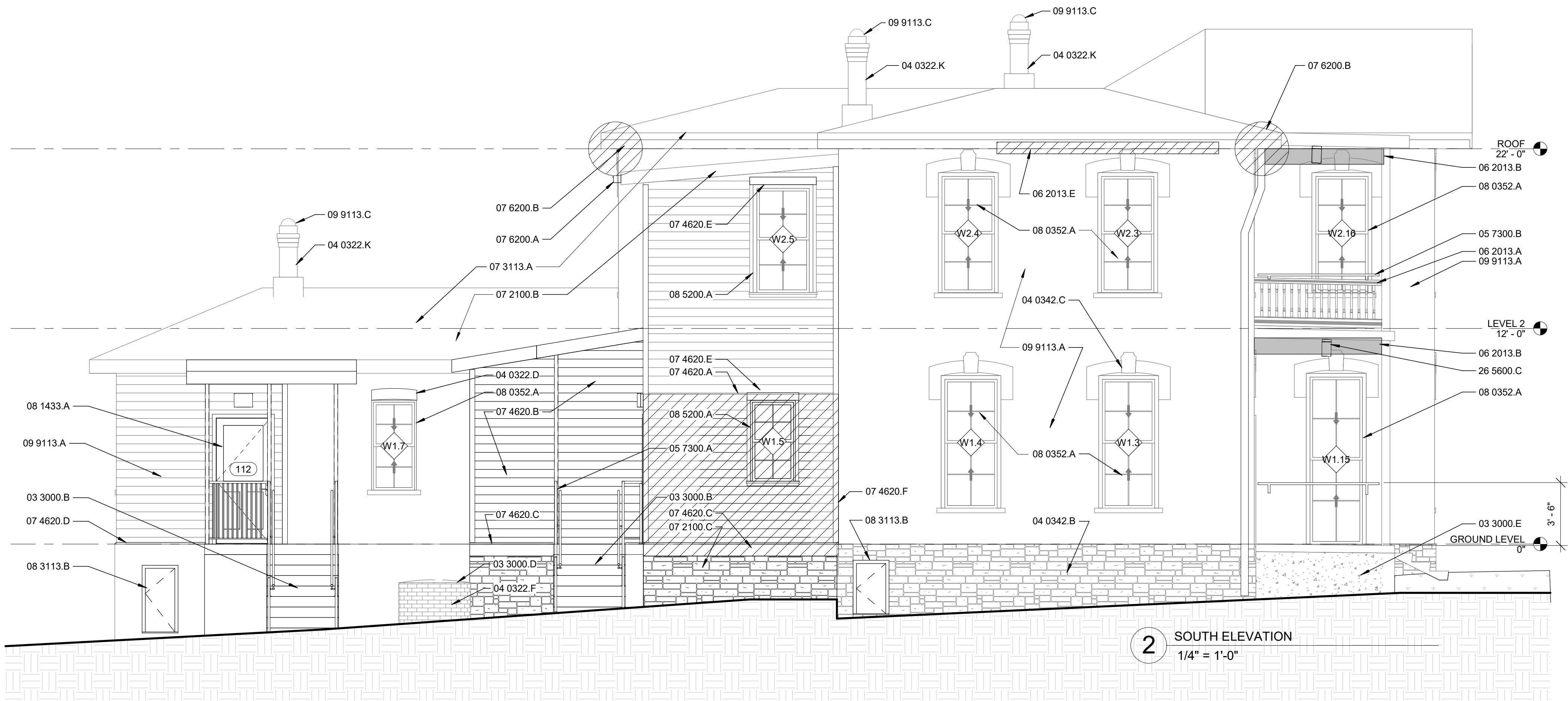
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AUSTIN, TEXAS 78703

EXTERIOR
ELEVATIONS

A201



GENERAL NOTES - EXTERIOR ELEVATIONS

1. PAINT ENTIRE BUILDING FIELD COLOR AND TWO ACCENTS.
2. REMOVE PAINT FROM ORNAMENTAL BRICK HEADERS.
3. REROOF ENTIRE BUILDING. REFER TO STRUCTURAL DRAWINGS FOR UPGRADES TO ROOF STRUCTURE.
4. REFER TO SCHEDULES FOR WINDOW AND DOOR WORK.
5. ASSUME 25% OF FASCIA AND SOFFITS TO BE REPLACE. PROVIDE A LINEAR FOOT UNIT PRICE FOR ADDITIONAL REPLACEMENT.
6. REMOVE ALL WIRING. JUCTION BOXES, LIGHTING AND OTHER SERVICES UNLESS INDICATED TO REMAIN.
7. TEMPORARY HVAC, SECURITY AND OTHER SERVICES MAY REMAIN DURING CONSTRUCTION. REMOVE AS REQUIRED FOR NEW WORK.

KEYNOTES

- 02 4296.BF REMOVE EXISTING FIRST FLOOR HIGH WINDOWS IN THIS AREA
- 03 3000.A CONCRETE FOUNDATION, REFER TO STRUCTURAL
- 03 3000.B CONCRETE STAIR AND LANDING
- 03 3000.D REMOVE EXISTING CISTERN CAP. FILL WITH SAND, INSTALL NEW CONCRETE CAP
- 03 3000.E REPAIR CONCRETE SKIRT AT REMOVED STAIR
- 04 0322.D INSPECT AND REPAIR MASONRY HEADER AS NEEDED
- 04 0322.F REMOVE EXISTING PARGE AT CISTERN, REPAIR BRICK AND MORTAR WALL LEAVE EXPOSED
- 04 0322.K CONFIRM TO/FOR STRUCTURAL THAT ALL CHIMNEYS ARE PROPERLY SUPPORTED TO GRACE AND
- 04 0342.A PATCH AND REPAIR CRACKED OR MISSING PARGE OVER FOUNDATION WALL IN THIS AREA
- 04 0342.B CLEAN STONE. CHECK FOR LOOSE OR MISSING MORTAR. FILL IN MISSING STONE TO MATCH EXISTING
- 04 0342.C REMOVE PAINT FROM STONE. REPAIR CHIPS AND CRACKS IN STONE USING A CATHEDRAL STONE PRODUCT AS RECOMMENDED BY MANUFACTURER FOR SPECIFIC DAMAGE. FOLLOW MANUFACTURERS INSTRUCTIONS FOR PRODUCT USED. TYPICAL ALL SILLS AND HEAD AND SURROUND
- 05 7300.A METAL GUARDRAIL AND HAND RAILINGS
- 05 7300.B PROVIDE STEEL TUBE AND FASTENERS TO MEET REQUIRED HEIGHT AND 4" MAX SPACING. DO NOT TOUCH EXISTING COLUMNS TO REMAIN.
- 06 1063.C REMOVE DECAYED WOOD REFER TO STRUCTURAL DRAWINGS
- 06 2013.A REPLACE EXISTING GUARD WITH NEW TREATED WOOD GUARD TO MATCH 1974 PHOTO
- 06 2013.B INSPECT SPINDLES AND WOOD REPLACE MISSING, DAMAGED AND DECAYED PIECES IN TRANSOM RAIL TO MATCH
- 06 2013.E REMOVE ROTTEN SOFFIT BOARDS REPLACE WITH BOARDS OF SAME SIZE AND PROFILE WOOD
- 07 2100.A R13 MINERAL WOOL BATT INSULATION IN RECONSTRUCTED WALLS
- 07 2100.B R38 MINERAL WOOL BATT INSULATION IN ATTIC
- 07 2100.C R30 MINERAL WOOL BATT INSULATION UNDER FLOOR IN CRAWL SPACE
- 07 3113.A ASPHALT SHINGLE ROOFING W/ FULL ICE AND WATER SHIELD UNDERLAYMENT PROVIDE ALTERNATE PRICE FOR STANDING SEAM METAL ROOFING
- 07 4620.A SUPPLEMENT EXISTING SIDING WITH NEW TO MATCH IN SIZE AND PROFILE. RUN SIDING SO THE JOINT BETWEEN OLD AND NEW IS NOT VISIBLE.
- 07 4620.B RECONSTRUCTED WALLS TO RECEIVE WOOD SIDING TO MATCH SIZE AND PROFILE OF EXISTING OVER ZIP SHEATHING WITH 1" CONTINUOUS INSULATION AND AIR BARRIER. ALIGN JOINTS WITH EXISTING SIDING. SHIFT EXISTING AS NECESSARY TO ALIGN JOINTS ON ALL SIDING WALLS
- 07 4620.C TRIM, WATERTABLE AND SILL BOARDS TO MATCH EXISTING.
- 07 4620.D NEW WATER TABLE TO MATCH EXISTING WHERE DAMAGED OR MISSING
- 07 4620.E FLAT TRIM WITH DRIP EDGE AT ALL WINDOWS IN WOOD SIDING WALLS
- 07 4620.F SEAL JOINT, INSTALL TRIM TIGHT TO BRICK WALL
- 07 6200.A GUTTER AND DOWNSPOUT
- 07 6200.B IT APPEARS THE EXISTING BUILDING HAD INTERNAL GUTTERS AND DOWNSPOUTS. IT IS UNCLEAR IF THEY ARE STILL FUNCTIONAL. CONTRACTOR TO INVESTIGATE.
- 08 0352.A RESTORE ALL EXISTING WOOD WINDOWS UNLESS NOTED OTHERWISE. REMOVE ALL SOFT OR DAMAGED WOOD. REUSE AS MUCH ORIGINAL WOOD AS POSSIBLE. SPLICE IN MINIMAL NEW WOOD NECESSARY FOR REPAIR. PROTECT EXISTING GLASS. INSTALL NEW GLASS AS NEEDED. REFINISH. PROVIDE NEW HARDWARE WHERE MISSING - MATCH TO EXISTING. REINSTALL REMOVED SASHES IN ORIGINAL LOCATION. ENSURE FULL WORKING CONDITION. REFER TO WINDOW SCHEDULE.
- 08 1433.A PROVIDE 4 PANEL WOOD DOOR REFER TO SCHEDULE
- 08 3113.B REPLACE EXISTING CRAWL SPACE DOOR, FRAME AND HARDWARE APPROX. 24" X 30" MIN
- 08 5200.A WOOD WINDOW PER SCHEDULE
- 09 9113.A PAINT EXISTING PAINTED EXTERIOR BRICK - FIELD COLOR AND 2 ACCENTS
- 09 9113.B PAINT RECONSTRUCTED SIDING WALLS - FIELD COLOR AND 2 ACCENTS
- 09 9113.C CLEAN, REMOVE LOOSE PAINT AND RUST FROM CHIMNEY CAP. REPAINT
- 26 5600.C EXTERIOR PORCH LIGHTING REFER TO SCHEDULE ON ELECTRICAL SHEETS
- 26 5600.D EXTERIOR SECURITY LIGHTING REFER TO SCHEDULE ON ELECTRICAL SHEETS

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