

(+50% OPEN ABOVE 72") NEW 60" FENCE HASHED AREAS FOR TREE PROTECTION \$ 74.16.09 E - 152.4' NEW OH ELEC SERVICE TO MAIN PANEL MAINTAIN 36" CLEAR RADIUS FROM WIRE PROTECTIVE FENCING AT DASHED LINE BURY ELEC SERVICE FROM PANEL TO MAIN HOUSE (HAND EXCAVATE WITHIN 1/2 CRZ) w/ GRAVEL WALKWAY PROTECTED 26" LIVE OAK PROTECTIVE FENCING AT DASHED LINE RIDGE HEIGHT OF CABANA: 14'-0" GROUNDCOVER EXISTING GRAVEL GROUNDCOVER MIN. 8" WOOD MULCH AT ROTECTED 26" LIVE OAK MATERIAL AROUND POOL TURF/GRAVEL ***** 2 PARKING SPACES PROTECTIVE FENCING PROTECTED 26" LIVE OAK AROUND POOL ш LANDSCAPED BEDS NO HEAVY EQUIPMENT PARKING RECESSED WELL OR MATERIAL STORAGE REPAIRED WITHIN UPON THE 1/4 OR 1/2 CRZ **∧ EXISTING** CONCRETE PAVED DRIVE OPTIONAL KIT SPIRAL STAIR GEO-MESH ANCHOR FOR MASTER DECK ACCESS SET PIER AT GRADE - RE: STRUCTURAL **DUMPSTER** STAGING LOCATION 5/8" GRAVEL DRY-STACKED 5/8" GRAVEL WALKWAY PAVER STEPS WALKWAY N 73.59.55 W - 152.8' NEW 96" WOOD FENCE AND GATE (+50% OPEN ABOVE 72") **END REDUCED DRIVE HERE**

SITEPLAN :: UPDATED LAYOUT

1510 PEASE RD

AUSTIN, TX 78703

LEGAL DESCRIPTION:

LOT 44, OF ENFIELD "C", A SUBDIVISION IN TRAVIS CO. TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN BOOK 3, PAGE 106 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

ZONING: SF-3-NP

PROJECT SUMMARY:

TOTAL SITE:	9,246 S
ALLOWABLE FAR:	3,698 SI
EXISTING FAR: EXISTING % FAR:	2,470 SI 26.71 9

PROPOSED FAR:

BASEMENT:	2,105 S
BASEMENT EXEMPT:	-2,105 S
1ST FLOOR FAR:	2,369 S
GARAGE EXEMPT:	- 200 S
COVERED PATIO:	198 S
FAR PORCH RED:	- 198 S
COVERED ENTRY:	97 S
FAR PORCH RED:	- 97 S
2ND FLOOR FAR:	1,450 S
POOL BATH FAR:	50 S

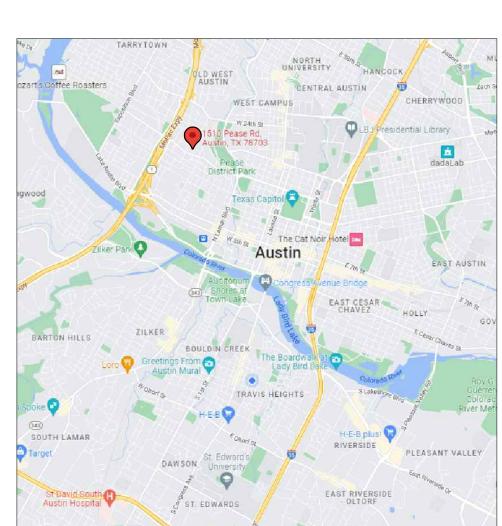
TOTAL FAR: TOTAL % FAR: 3,669 SF 39.68 %

IMPERVIOUS COVER

ALLOWABLE I.C:	4,161 SF
EXISTING I.C.	6,562 SF 70.10%
PROPOSED I.C.	4,101 SF

OUSE FOOTRPINT:	2,369 SF
RIVEWAY:	865 SF
CABANA:	242 SF
TAIRS/LANDINGS	136 SF
GHT/EGRESS WELLS	104 SF
COVERED PATIO:	198 SF
RONT ENTRY	97 SF
OOL COPING	72 SF
AC PADS:	18 SF

NEW IMPERVOUS: 4,101 SF



LOCATION MAP

Q

SCALE: N/A

NOTES:

SHEET INDEX:

00 COVER/INFO SP1 SITEPLANS SP2 ROOF PLAN/IC A1.0 BASEMENT PLAN

A1.1 1ST FLOOR PLAN A1.2 2ND FLOOR PLAN A1.8 WINDOW SCHED A1.9 DOOR SCHEDULE **A2.0** E & N EXTR ELEVS

A2.1 S & W EXTR ELEVS A3.1 SECTIONS A4.1 DETAILS



RB ARCHITECT, PLLC

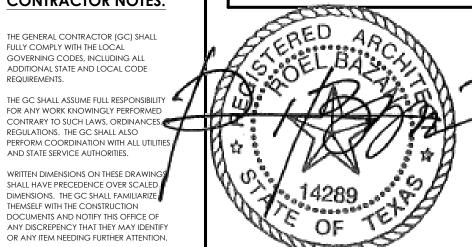


11502 KNIPP COVE AUSTIN, TEXAS 78739 roelbazan48@gmail.com (512)791-2986





hollingsworth pack austin GENERAL CONTRACTOR NOTES:



05-25-2022

PROJECT TEAM:

DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS. THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB

AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS. THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN

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SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R308.4. (NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 24" OR LESS FROM ABOVE TUB FLOOR, AND SHOWER OR TUB ENCLOSURES.

SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.

SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER NFPA 72 CHAPTER 11.

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AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND

EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

RB ARCHITECT, PLLC. / BEN MAY DESIGN

AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE SILT FENCING AND/OR MULCH SOCKS AT PERIMETER OF SITE.

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CHANGES REQUIRED FOR DESIGN AND GINA & PEYTON HILL FUNCTION OF PLUMBING, HVAC AND CONTACT: 503.515.1940 ELECTRICAL SYSTEMS. ginaandkids@mac.com THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR GENERAL CONTRACTOR: OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN

JD HUNT CONSTRUCTION CONTACT: JASON HUNT jasonhunt@jdhuntconstruct.com

512.925.0137 BEN MAY DESIGN

ben@benmaydeisgn.com ARCHITECT:

NEW RESIDENCE

1510 PEASE ROAD

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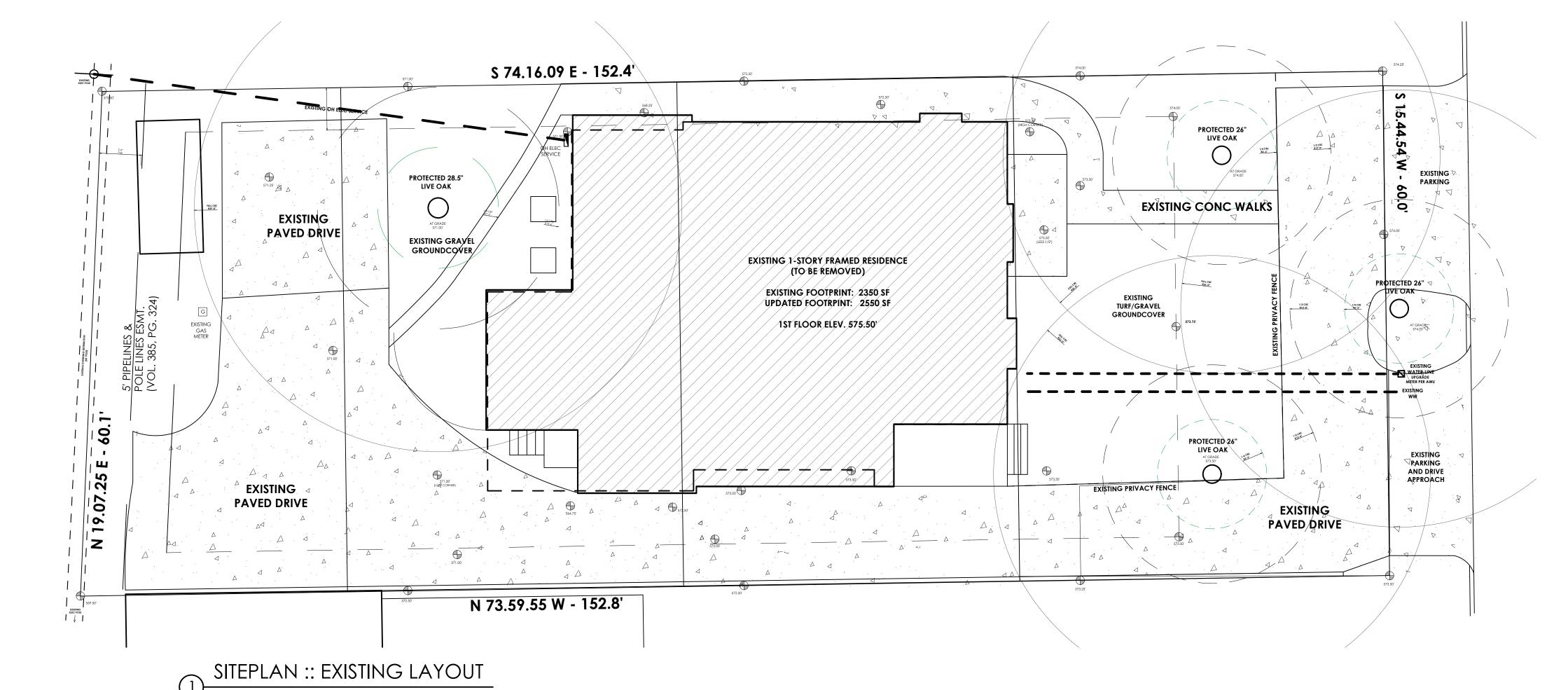
RB ARCHITECT PLLC ROEL BAZAN 512.791.2986 roelbazan48@gmail.com

STRUCTURAL ENGINEER: HOLLINGSWORTH-PACK

CONTACT: CHRIS HEWITT chris@holl-pack.com 512.275.6060

INSUATION - OR EQUIVALENT - AT FLOOR DOOR AND WINDOW ROUGH OPENING

A MINIMUM OF 60" ABOVE FINISHED FLOOR. INSULATE MEP LINES FOR SOUND CONTROL.



B C D E F G H I J K L M N O P

NEW 96" WOOD PRIVACY FENCE MIN. 8" WOOD MULCH AT (+50% OPEN ABOVE 72") HASHED AREAS FOR TREE PROTECTION \$ 74.16.09 E - 152.4' NEW OH ELEC SERVICE TO MAIN PANEL **GRAVEL BEDS/** EXISTING GRADE & TURE AT DASHED LINE WALKWAY BURY ELEC SERVICE FROM PANEL TO MAIN HOUSE (HAND EXCAVATE WITHIN 1/2 CRZ) PROTECTED 26" TURF/GRAVEL GROUNDCOVER EXISTING GRAVEL GROUNDCOVER PROTECTED 26" NEW TURF LIVE OAK MATERIAL AROUND POOL TURF/GRAVEL STAGING LANDSCAPED BEDS GROUNDCOVER ***** PROTECTIVE FENCING AT DASHED LINE PROTECTED 26" NEW TURF 60. LIVE OAK AROUND POOL **EXPANSION JOINT** LANDSCAPED BEDS NO HEAVY EQUIPMENT PARKING AT PROPERTY LINE REDUCED/ OR MATERIAL STORAGE BASEMENT ACCESS REPAIRED WITHIN UPON THE 1/4 OR 1/2 CRZ REPAIRED CONCRETE 0 PAVED DRIVE OPTIONAL KIT SPIRAL STAIR FOR MASTER DECK ACCESS DRIVE APPROACH DRIVE **DUMPSTER**/ EXTENDED UP TO EDGE OF EXISTING STAGING LOCATION N 73.59.55 W - 152.8' NEW 60" FENCE 2/A2.2 NEW 96" WOOD FENCE AND GATE

END REDUCED DRIVE HERE

(+50% OPEN ABOVE 72")

** TO ENSURE THE PROTECTION & PRESERVATION **
OF EXISTING TREES AT EAST FACADE:

- NO PIERS SET WITHIN THE 1/4-CRZ RADIUS

- WRAP TRUNKS WITH 2x4 WOOD VERTICALLY DURING CONSTRUCTION

- FENCING TO BE PLACED AT LINE OF FULL CRZ IN ALL ACCESSIBLE/REASONABLE AREAS.

- AREAS THAT CANNOT BE PROTECTED WITH SITE FENCING WITHIN THE FULL CRZ SHALL BE
COVERED WITH 8" OF HARDWOOD MULCH - SEE HASHED AREA BELOW FOR MULCHING.

- NO HEAVY EQUIPMENT OR MATERIAL STAGING WITHIN 1/2-CRZ

- HAND EXCAVATION ONLY WITHIN THE CRITICAL ROOT ZONES (HASHED AREA)

 \bigcirc

HIGH PERFORMANCE WINDOWS:

GENERAL NOTES:

New Glazing to achieve Austin Energy Code requirements U-Value of 0.35 / SHGC Factor of 0.25.

INSULATION: New Walls: Minimum of R19
New Roof: Minimum of R38.
Floor Insulation: Minimum or R13.

<u>SAFETY GLAZING:</u> Safety Glazing to be installed as per IRC section R308.4. (Noted locations: glass in doors, windows 24" or less from a door jamb, glazing less than 5'-0" above tub floor if applicable, and at tub/shower enclosures.)

SMOKE DETECTOR SYSTEM:

General Contractor is responsible that the dwelling unit to be equipped with an APPROVED SMOKE DETECTOR system at corresponding locations, in accordance with 2015 IRC Section R314.

General Contractor to verify Smoke Detectors are located at least 36" away from horizontal path of mechanical air flow. **Per 2007 NFPA 72 Chapter 11**.

CARBON MONOXIDE ALARM:

General Contractor is responsible that the dwelling unit to be equipped with an Approved CARBON MONOXIDE ALARM at corresponding locations, in accordance with 2015 IRC Section R315.

VISITABILITY NOTES:

POINT OF ORIGIN:

POINT OF ORIGIN: FRONT SIDEWALK ELEVATION 590'-0"

VISITABLE ENTRANCE: FRONT ENTRY DOOR

LANDING ELEV: 589'-0"

TABLE ROUTE: WALK FROM FRONT SIDEWALK
TO FRONT DOOR: 70'-0" LENGTH
MAX. SLOPE 1:12 / 8.3%

VISITABLE DOORWAY: 1) 36" WIDE x 6'-8" TALL DOOR (MIN. 32" CLEAR WIDTH)
2) BEVELED THRESHOLD
W/ 1/2" MAX RISE
(SEE DETAIL BELOW)

INTERIOR COMPLIANCE:

BATHROOM ROUTE: FRONT ENTRY DOOR TO BATH 1, KITCHEN, FRONT LIVING/DINING, AND BEDROOMS.

MINIMUM CLEAR WIDTH OF 32".

2) THRESHOLDS AND TRANSITIONS TO BE RAMPED OR BEVELED.

VISITABLE BATHROOM:

1) MINIMUM CLEAR OPENING OF 30" AT DOOR.

2) LATERAL 2"X6" WOOD BLOCKING SHALL BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS. CENTERLINE OF BLOCK AT 34" A/F/F/ EXCEPT FOR PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.

1) LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE FINISHED FLOOR LEVEL. (TO TOP OF DEVICE/SWITCH)

2)OUTLETS AND RECEPTICALS MINIMUM OF 15" ABOVE INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS.

Door Seal
Threshold

13/6" Marinum

Interior Estarior

TYPICAL VISITABLE THRESHOLD
COA DETAIL: CI2013-0002

NOTE

PROJECT SUMMARY:

TOTAL SITE: 9,246 SF

ALLOWABLE FAR: 3,698 SF

EXISTING FAR: 2,470 SF 26.71 %

PROPOSED FAR:

BASEMENT: 2,105 SF
BASEMENT EXEMPT: -2,105 SF

1ST FLOOR FAR: 2,369 SF
GARAGE EXEMPT: -200 SF
COVERED PATIO: 198 SF
FAR PORCH RED: -198 SF
COVERED ENTRY: 97 SF
FAR PORCH RED: -97 SF
2ND FLOOR FAR: 1,450 SF

TOTAL FAR: 3,669 SF TOTAL % FAR: 39.68 %

IMPERVIOUS COVER

POOL BATH FAR:

ALLOWABLE I.C: 4,161 SF EXISTING I.C. 6,562 SF

PROPOSED I.C. 4,101 SF 44.35%

HOUSE FOOTRPINT: 2,369 SF
DRIVEWAY: 865 SF
CABANA: 242 SF
STAIRS/LANDINGS 136 SF
LIGHT/EGRESS WELLS 104 SF
COVERED PATIO: 198 SF
FRONT ENTRY 97 SF
POOL COPING 72 SF

NEW IMPERVOUS: 4,101 SF

2 AC PADS:

GENERAL

70.10%

THE GENERAL CONTRACTOR (GC) SHALL FULLY COMPLY WITH THE LOCAL

GOVERNING CODES, INCLUDING ALL

ADDITIONAL STATE AND LOCAL CODE

DOCUMENTS AND NOTIFY THIS OFFICE OF

THE GC SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, REGULATIONS. THE GC SHALL ALSO

PERFORM COORDINATION WITH ALL UTILITIE
AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS
SHALL HAVE PRECEDENCE OVER SCALED
DIMENSIONS. THE GC SHALL FAMILIARIZE
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REQUIREMENTS.

ANY DISCREPENCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION.

DIMENSIONS SHOWN ARE TO FACE OF

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FOR ALL DIMENSIONS (INCLUDING ROUGH

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FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND

PROCEEDING WITH WORK. REASONABLE

IN DOORS, WINDOWS 24" OR LESS FROM

TIME NOT ALLOWED THIS OFFICE TO

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ACCORDANCE WITH THE CD'S. ANY DEFECT
OR DISCREPENCY FOUND WITH THE CD'S
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512

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GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW.

CARBON MONOXIDE ALARM: THE GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROYED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

PER NFPA 72 CHAPTER 11.

INSTALL POLYISOCYANURATE FOAM TYPE
INSUATION - OR EQUIVALENT - AT FLOOR
AND PLATE LINES, OPENINGS IN PLATES,
CORNER STUD CAVITIES AND AROUND
DOOR AND WINDOW ROUGH OPENING

WATERPROOF ALL WATER/SPLASH AREAS TO A MINIMUM OF 60" ABOVE FINISHED FLOOR. INSULATE MEP LINES FOR SOUND CONTROL. EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

ALL LANDSCAPING TO PROMOTE DRAINAGE AWAY FROM THE STRUCTURE & FOUNDATION. PROVIDE SILT FENCING AND/OR MULCH SOCKS AT PERIMETER OF SITE.

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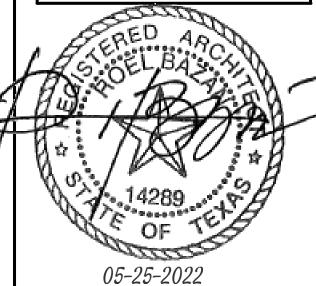
(512)791-2986

RB ARCHITECT, PLLC





hollingsworth pack austin



PROJECT TEAM:

OWNERS:

GINA & PEYTON HILL CONTACT: 503.515.1940 ginaandkids@mac.com

GENERAL CONTRACTOR:

JD HUNT CONSTRUCTION CONTACT: JASON HUNT jasonhunt@jdhuntconstruct.com 512.925.0137

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STRUCTURAL ENGINEER:

HOLLINGSWORTH-PACK CONTACT: CHRIS HEWITT chris@holl-pack.com 512.275.6060

NEW RESIDENCE

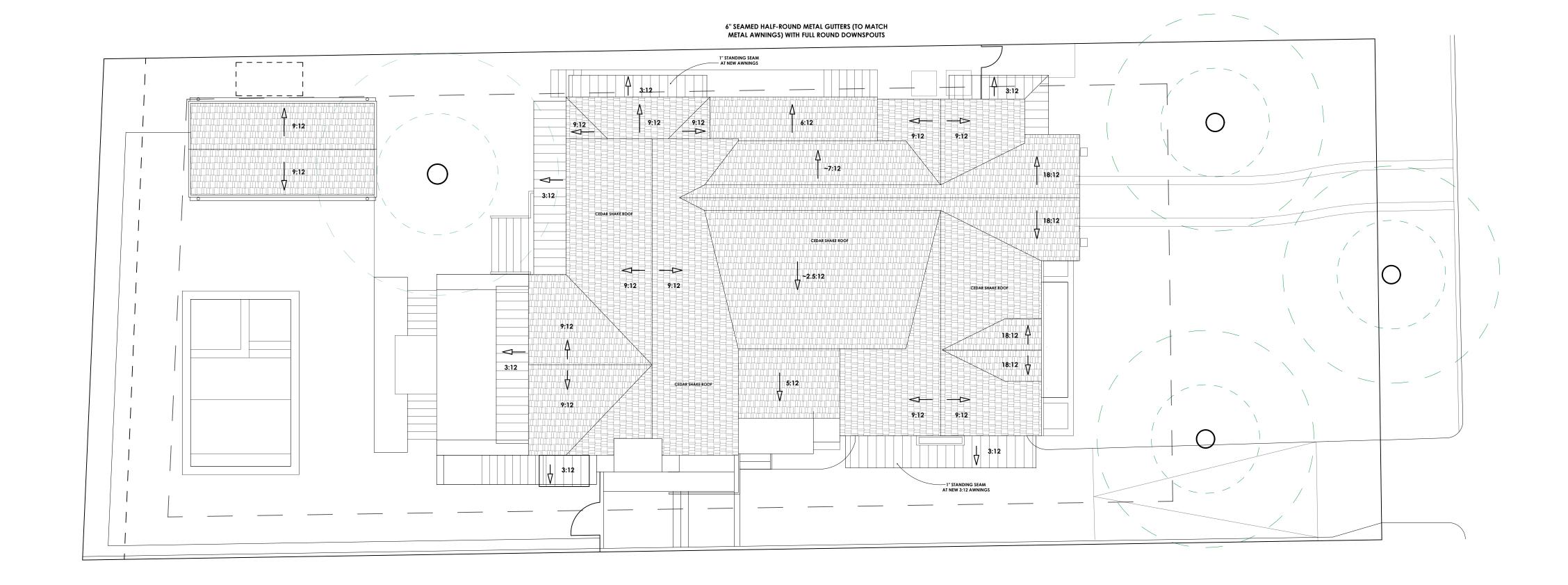
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DATE 5 / 24 / 22

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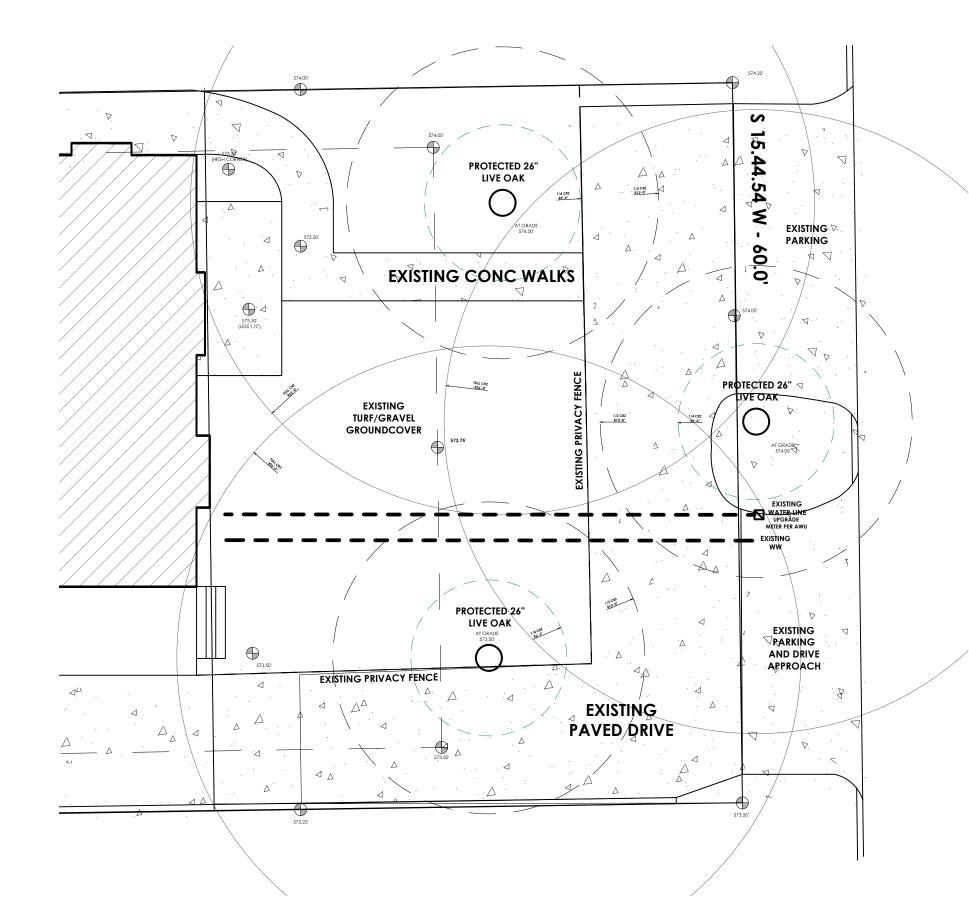
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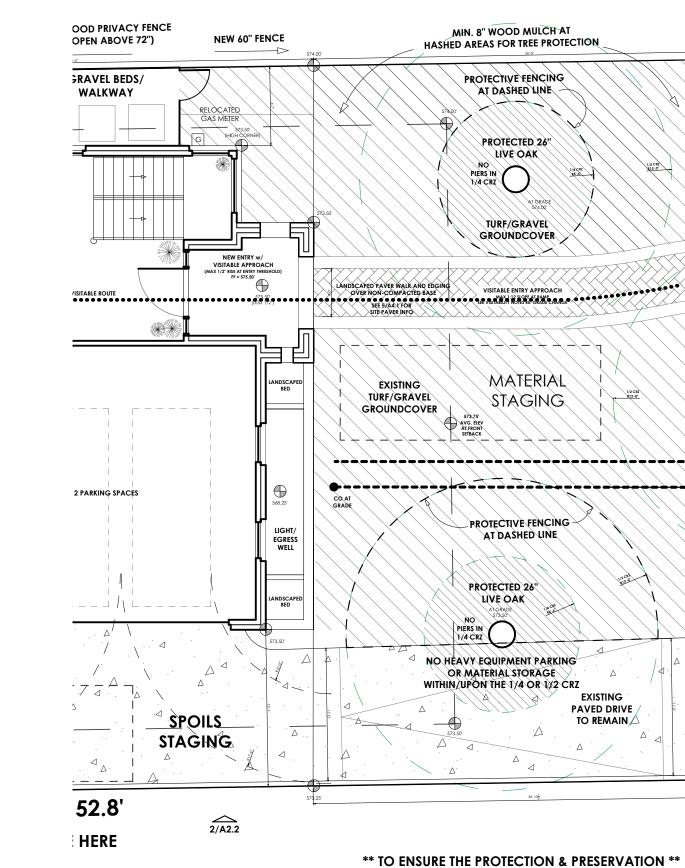
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FRONT YARD - EXISTING IMPERVIOUS COVER

13



PROTECTED 26" TURF/GRAVEL GROUNDCOVER PROTECTED 26" LIVE OAK MATERIAL STAGING GROUNDCOVER UPDATE WATER LINE
& METER

AS FER AWU

STERNALL

STERNAL EXISTING WW REPAIR OR REPLACE PROTECTIVE FENCING AT DASHED LINE PROTECTED 26" LIVE OAK EXPANSION JOIN IN CONCRETE NO HEAVY EQUIPMENT PARKING AT PROPERTY LINE REDUCED/ OR MATERIAL STORAGE REPAIRED WITHIN/UPON THE 1/4 OR 1/2 CRZ EXISTING REPAIRED CONCRETE CONCRETE PAVED DRIVE DRIVE APPROACH DRIVE EXTENDED UP TO EDGE OF EXISTING COORDINATE/ VERIFY w/ CoA PUBLIC WORKS

MIN. 8" WOOD MULCH AT

PROTECTIVE FENCING

AT DASHED LINE

FRONT YARD - UPDATED IMPERVIOUS COVER

0

FRONT YARD

ALLOWABLE I.C:

EXISTING F.Y.I.C:

DRIVE/PARKING:

WALKS/LANDINGS

UPDATED F.Y.I.C.

LIGHT/EGRESS WELLS

DRIVEWAY:

Q

IMPERVIOUS COVER:

TOTAL FRONT YARD: 2,625 SF

4,161 SF

985 SF

255 SF

405 SF

60 SF

465 SF

17.75%

1,240 SF

47.25%

NOTES:

PROJECT SUMMARY:

TOTAL SITE:

ALLOWABLE FAR: 3,698 SF EXISTING FAR: 2,470 SF

PROPOSED FAR:

2,105 SF BASEMENT: BASEMENT EXEMPT: -2,105 SF

EXISTING % FAR: 26.71 %

1ST FLOOR FAR: 2,369 SF GARAGE EXEMPT: - 200 SF COVERED PATIO: 198 SF FAR PORCH RED: - 198 SF COVERED ENTRY: 97 SF - 97 SF FAR PORCH RED: 1,450 SF 2ND FLOOR FAR: POOL BATH FAR:

TOTAL FAR: TOTAL % FAR: 39.68 %

IMPERVIOUS COVER

ALLOWABLE I.C: 4,161 SF EXISTING I.C. 6,562 SF 70.10%

PROPOSED I.C. 4,101 SF 44.35%

HOUSE FOOTRPINT: 2,369 SF DRIVEWAY: 865 SF CABANA: 242 SF 136 SF STAIRS/LANDINGS LIGHT/EGRESS WELLS 104 SF COVERED PATIO: 198 SF 97 SF FRONT ENTRY POOL COPING 72 SF 2 AC PADS:

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CONTRACTOR NOTES:

FULLY COMPLY WITH THE LOCAL GOVERNING CODES INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

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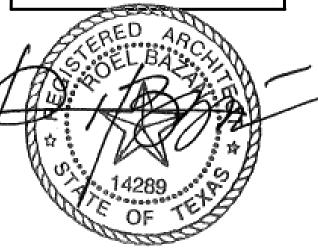


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hollingsworth pack austin



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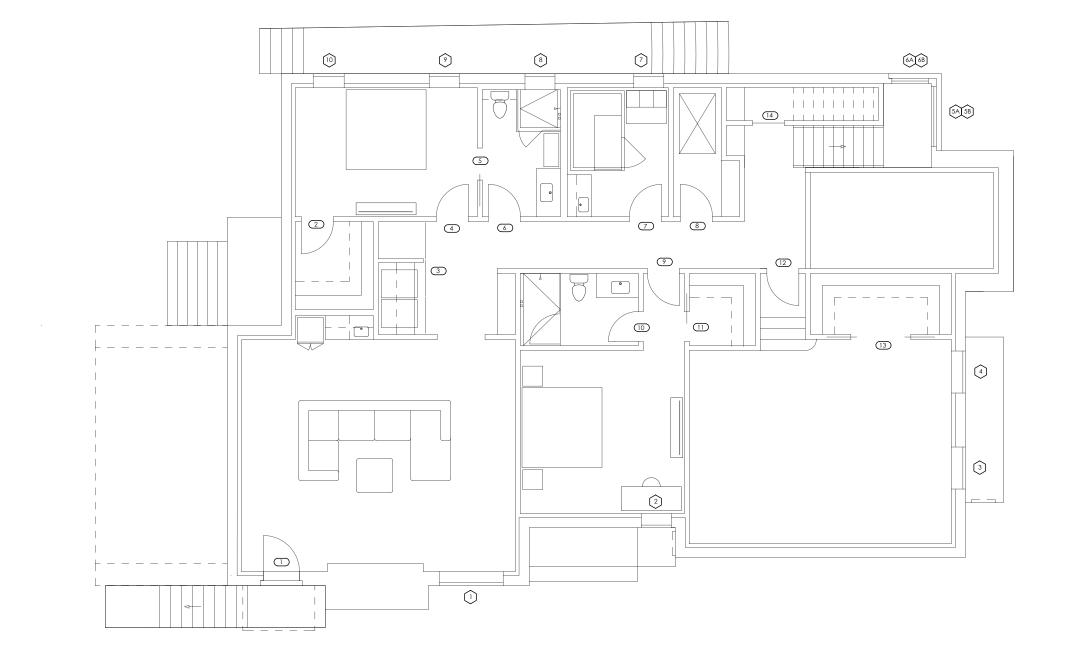
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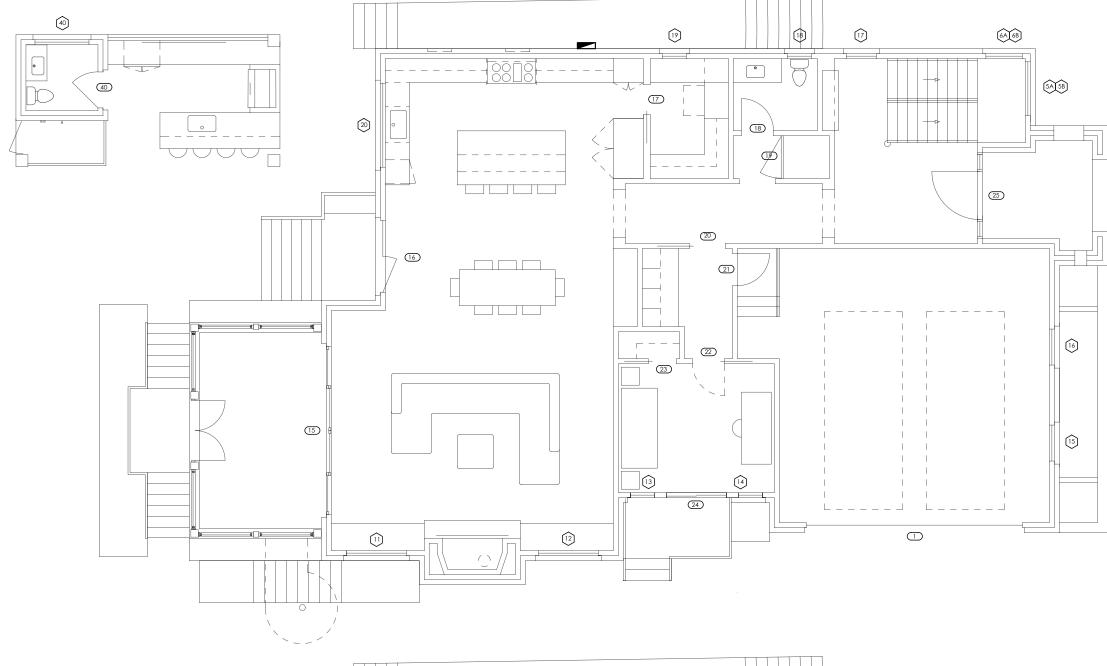
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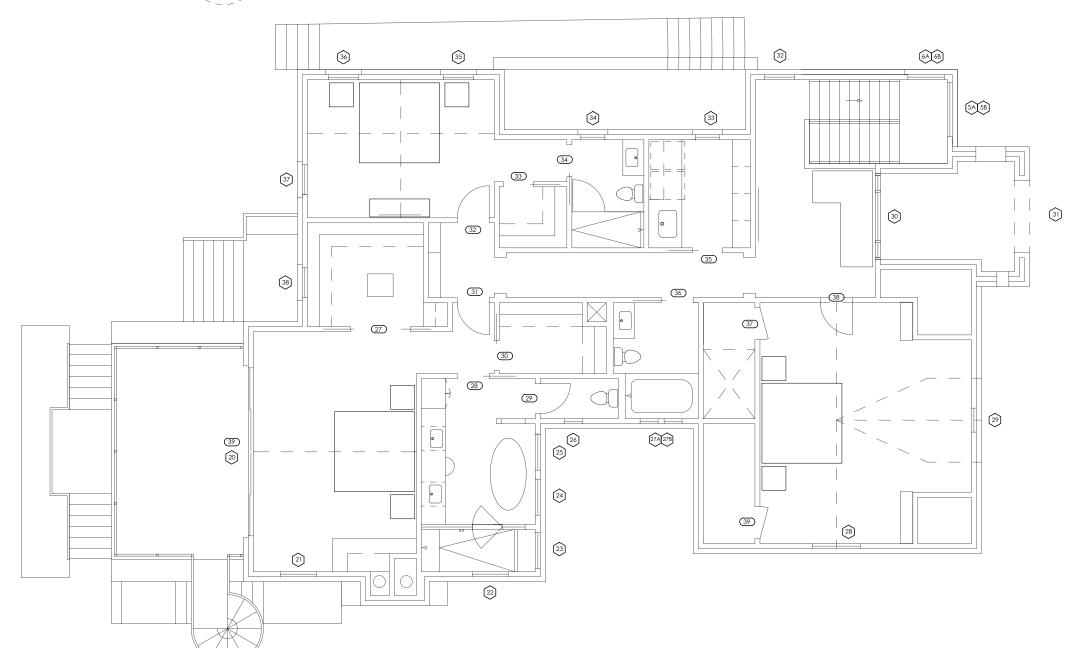
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SHEET NAME









12

13

Mark	Туре	Location	Width	Height	Sill Height	Tempered	SHGC	U-Value	Comments
1	AWNING	BASEMENT DEN	5' - 0''	1' - 6"	6' - 6" A.F.F.	Х	0.25	0.35	MULL (2) 2616 UNITS
2	CASEMENT - PUSHOUT	BEDROOM 5	2' - 6''	6' - 0''	3' - 0" A.F.F.	Х	0.25	0.35	
3	CASEMENT - PUSHOUT	BASEMENT - GYM	3' - 0''	5' - 6''	3' - 0" A.F.F.	Х	0.25	0.35	
4	CASEMENT - PUSHOUT	BASEMENT - GYM	3' - 0''	5' - 6"	3' - 0" A.F.F.	Х	0.25	0.35	
5A	FIXED	STAIRWELL	3' - 6"	5' - 0''	0' - 0" A.F.F.	Х	0.25	0.35	
5B	FIXED	STAIRWELL	3' - 6"	7' - 6"	TOP OF BEAM	Х	0.25	0.35	
6A	FIXED	STAIRWELL	7' - 0''	7' - 6''	0' - 0" A.F.F.	Х	0.25	0.35	MULL (2) 3650 UNITS
6B	FIXED	STAIRWELL	7' - 0''	7' - 6"	TOP OF BEAM	Х	0.25	0.35	MULL (2) 3676 UNITS
7	AWNING	SAUNA	2' - 6''	1' - 6''	6' - 6" A.F.F.	X	0.25	0.35	
8	AWNING	BED 4 - SHARED BATH	2' - 6''	1' - 6"	6' - 6" A.F.F.	X	0.25	0.35	
9	CASEMENT - PUSHOUT	BEDROOM 4	2' - 6''	4' - 6''	3' - 6" A.F.F.	Х	0.25	0.35	
10	CASEMENT - PUSHOUT	BEDROOM 4	2' - 6''	4' - 6''	3' - 6" A.F.F.	X	0.25	0.35	
11	DBL CASEMENT - PUSH	LIVING ROOM	5' - 0''	7' - 0''	2' - 0" A.F.F.	X	0.25	0.35	
12	DBL CASEMENT - PUSH	LIVING ROOM	5' - 0''	7' - 0''	2' - 0" A.F.F.	X	0.25	0.35	
13	FIXED	GUEST BED/OFFICE	2' - 0''	7' - 0''	1' - 0" A.F.F.	X	0.25	0.35	
14	FIXED	GUEST BED/OFFICE	2' - 0''	7' - 0''	1' - 0" A.F.F.	X	0.25	0.35	
15	FIXED	GARAGE	4' - 0''	8' - 0''	4' - 6" A.F.F.	X	0.25	0.35	
16	FIXED	GARAGE	4' - 0''	8' - 0''	4' - 6" A.F.F.	Х	0.25	0.35	
17	FIXED	STAIRWELL	2' - 6"	7' - 0''	2' - 0" A.F.F.	X	0.25	0.35	
18	FIXED	POWDER BATH	2' - 0''	4' - 6''	4' - 6" A.F.F.	X	0.25	0.35	
19	FIXED	PANTRY	2' - 0''	4' - 6''	4' - 6" A.F.F.	X	0.25	0.35	
20	CASE-FIXED-CASE	KITCHEN	7' - 0''	5' - 6"	3' - 6" A.F.F.	X	0.25	0.35	CASE2056-FIX3056-CASE2
21	FIXED	PRIMARY BEDROOM	3' - 0''	5' - 6"	2' - 0" A.F.F.	X	0.25	0.35	C/ 1022000 11/10000 C/ 1022
22	FIXED	PRIMARY BATH-SHOWER	3' - 0''	5' - 6"	2' - 0" A.F.F.	X	0.25	0.35	ETCHED / PRIVACY GLASS
23	FIXED	PRIMARY BATH-SHOWER	3' - 0''	5' - 6"	2' - 0" A.F.F.	X	0.25	0.35	ETCHED / PRIVACY GLASS
24	AWNING	PRIMARY BATH - TUB	2' - 6"	1' - 6"	6' - 0" A.F.F.	X	0.25	0.35	LICIED/TRIVACTOLASS
25	AWNING	PRIMARY BATH - TUB	2' - 6"	1' - 6"	6' - 0" A.F.F.	X	0.25	0.35	
26	CASEMENT - PUSHOUT		1' - 6"	3' - 0"	4' - 0" A.F.F.	X	0.25	0.35	
27A	AWNING	UPSTAIRS SHARED BATH	1' - 6"	1' - 6"	5' - 6" A.F.F.	X	0.25	0.35	
27B			1' - 6"	1'-6"		X	0.25	0.35	
	AWNING	UPSTAIRS SHARED BATH	4' - 0''	5' - 0''	5' - 6" A.F.F.	X		0.35	
28	DBL CASEMENT - PULL	BEDROOM 3			3' - 6" A.F.F.		0.25		
29	CASEMENT - PUSHOUT		2' - 0''	4' - 0''	3' - 6" A.F.F.	X	0.25	0.35	
30	FIXED	UPSTAIRS DEN	5' - 0''	5' - 6"	4' - 0" A.F.F.	X	0.25	0.35	
31	FIXED	UPSTAIRS ENTRY GABLE	2' - 0''	5' - 0''	4' - 3" A.F.F.	X	0.25	0.35	
32	FIXED	TOP OF STAIRS LANDING	2' - 6"	5' - 0"	3' - 9" A.F.F.	X	0.25	0.35	
33	CASEMENT - PUSHOUT		2' - 0''	3' - 6"	4' - 0" A.F.F.	X	0.25	0.35	
34	CASEMENT - PUSHOUT		2' - 0''	3' - 6"	4' - 0" A.F.F.	X	0.25	0.35	
35	CASEMENT - PUSHOUT		2' - 0''	4' - 0''	1' - 0" A.F.F.	X	0.25	0.35	
36	CASEMENT - PUSHOUT		2' - 0''	4' - 0''	1' - 0" A.F.F.	X	0.25	0.35	
37	FIXED	BEDROOM 2	2' - 6"	6' - 0''	1' - 6" A.F.F.	X	0.25	0.35	
38	FIXED	PRIMARY WIC	2' - 6''	6' - 0''	1' - 6" A.F.F.	X	0.25	0.35	MAX. UV PROTECTION
39	FIXED	PRIMARY BEDROOM	4' - 0''	4' - 0''	10' - 0" A.F.F.	X	0.25	0.35	MULL (2) 2040 UNITS
40	AWNING	CABANA BATH	4' - 6''	2' - 0''	7' - 0'' A.F.F.	X	0.25	0.35	

** TEMPER ALL UNITS AS PER IRC 2015 **

** VERIFY SAFETY HARDWARE ON ALL UPPER WINDOW UNITS PER LOCAL CODES **

** VERIFY FIRE / EGRESS CLEARANCES AND OPENINGS PRIOR TO ORDERING **

** ENSURE ADEQUATE WATERPROOFING FOR UNITS PLACED AT FINISHED FLOOR LEVEL **

KOLBE & KOLBE WINDOWS

__ A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S |

ULTRA SERIES - TRADITIONAL (WOOD + ALUM CLAD.)

EXTERIOR: COAL BLACK or LUNAR - VERIFY w OWNER

FLUOROPOLYMER COLOR

INTERIOR FINISH: PAINTED INTERIOR - BRIGHT WHITE (or WHITE w EXPOSED GRAIN)

ALTERNATE INTERIOR FINISH: PINE WITH (BRIGHT WHITE PAINTED)

DIVIDED LITES: 5/8" BEVELED **GLAZING BEADS:** BEVELED

HARDWARE: OIL RUBBED (RUSTIC UMBER ALTERNATE)

ALTERNATE: SIERRA PACIFIC

ALUMINUM CLAD WOOD

(WET RATED AT SHOWERS/WET AREAS)

EXTERIOR: BATTLESHIP GRAY or BRONZE - VERIFY w OWNER COLOR STAY COLLECTION

SCREENS: BETTERVUE FLEXSCREEN

DIVIDED LITES: 5/8" PUTTY

EXTERIOR TRIM: SEE MATERIAL NOTES - VERIFY w OWNER

INTERIOR FINISH: PAINTED INTERIOR - ULTRA-COAT WHITE

INTERIOR TRIM: SEE MATERIAL NOTES - VERIFY W OWNER

HARDWARE: MATTE BLACK

NOTES:

GENERAL

REQUIREMENTS.

FINISHED MATERIALS.

ELECTRICAL SYSTEMS.

CONTRACTOR NOTES:

FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE

THE GC SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, & REGULATIONS. THE GC SHALL ALSO

PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GC SHALL FAMILIARIZE THEMSELF WITH THE CONSTRUCTION DOCUMENTS AND NOTIFY THIS OFFICE OF ANY DISCREPENCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION. DIMENSIONS SHOWN ARE TO FACE OF

THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY

VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND

PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND

FUNCTION OF PLUMBING, HVAC AND

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR

OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN

OR DISCREPENCY FOUND WITH THE CD'S SHALL BE BROUGT TO THE ATTENTION OF THIS

OFFICE BY WRITTEN NOTICE PRIOR TO

PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO

BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS

MUST BE IN ACCORDANCE WITH 2015 IRC

IN DOORS, WINDOWS 24" OR LESS FROM

ABOVE TUB FLOOR, AND SHOWER OR TUB

SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE

CORRESPONDING LOCATIONS, IN

MECHANICAL AIR FLOW.

PER NFPA 72 CHAPTER 11.

DWELLING UNIT TO BE EQUIPPED WITH AN

APPROVED SMOKE DETECTOR SYSTEM AT

ACCORDANCE WITH 2015 IRC SECTION R314.

SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF

CARBON MONOXIDE ALARM: THE GENERAL

CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN

APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

INSTALL POLYISOCYANURATE FOAM TYPE

INSUATION - OR EQUIVALENT - AT FLOOR

AND PLATE LINES, OPENINGS IN PLATES,

CORNER STUD CAVITIES AND AROUND

DOOR AND WINDOW ROUGH OPENING

A MINIMUM OF 60" ABOVE FINISHED FLOOR.

INSULATE MEP LINES FOR SOUND CONTROL.

AWAY FROM THE STRUCTURE & FOUNDATION.
PROVIDE SILT FENCING AND/OR

MULCH SOCKS AT PERIMETER OF SITE. ** ANY REPRODUCTION OF THESE PRINTS IS PROHIBITED BY FEDERAL COPYRIGHT LAWS.

ANY ILLEGAL REPRODUCTION WILL BE AGGRESSIVELY PURSUED TO THE FULLEST EXTENT OF THE COPYRIGHT LAW. RB ARCHITECT, PLLC. / BEN MAY DESIGN

EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

ENCLOSURES.

SECTION R308.4. (NOTED LOCATIONS: GLASS

ACCORDANCE WITH THE CD'S. ANY DEFECT



RB ARCHITECT, PLLC

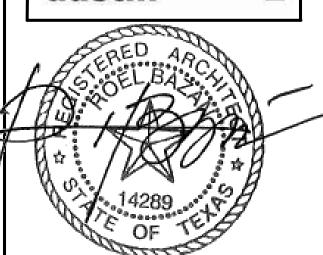


(512)791-2986





hollingsworth pack austin



05-25-2022

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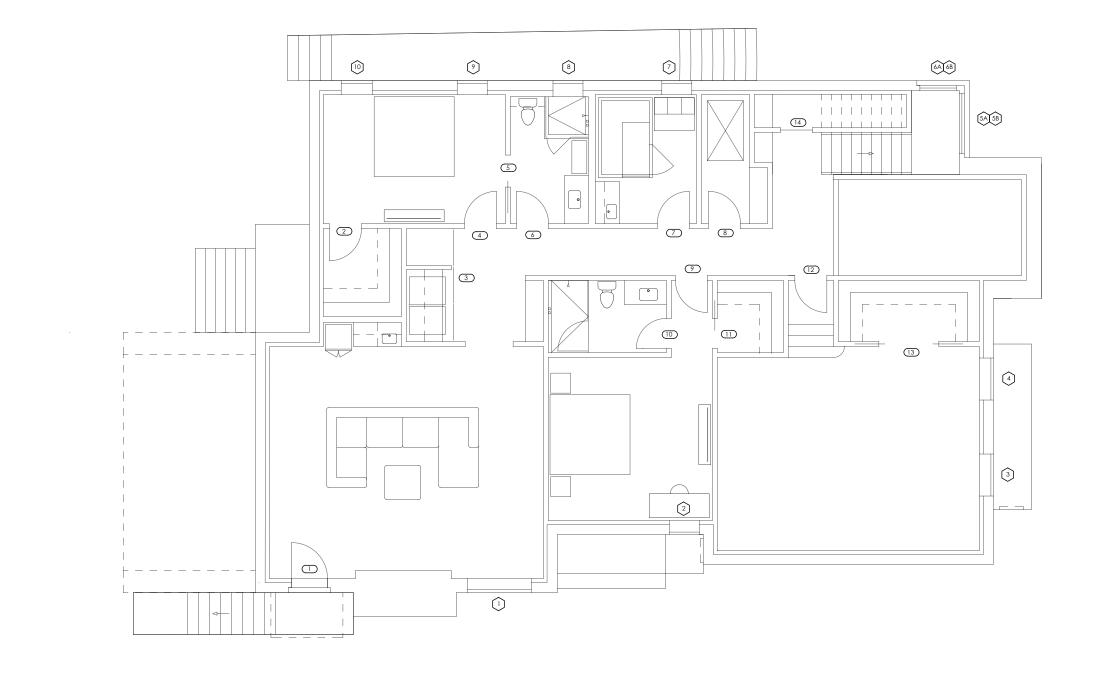
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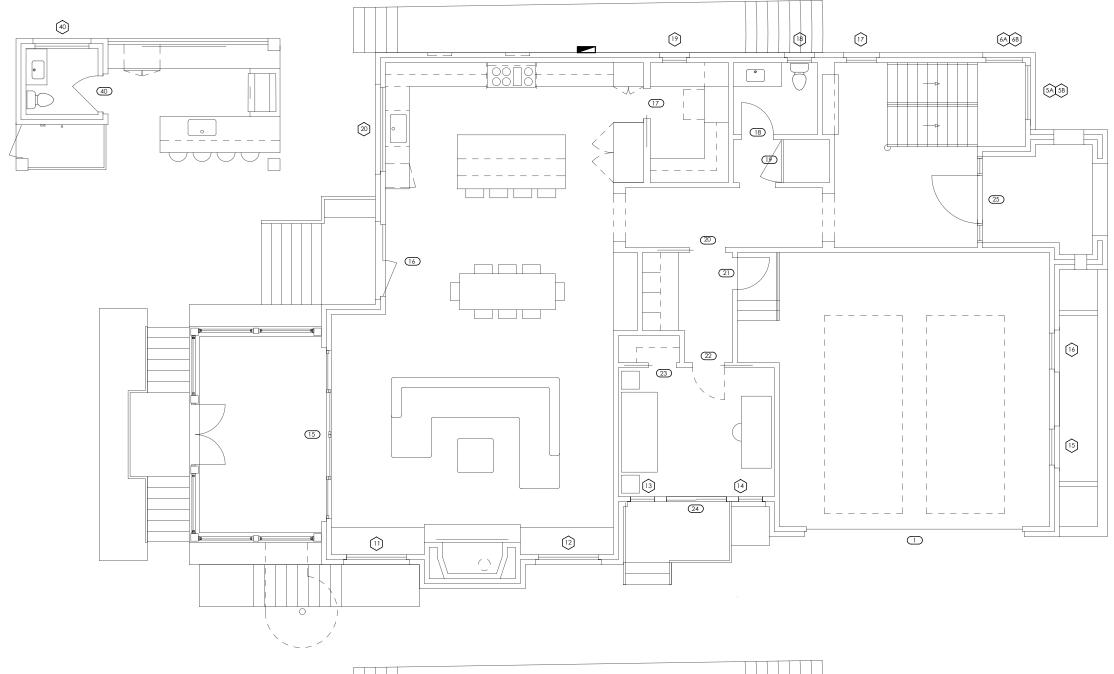
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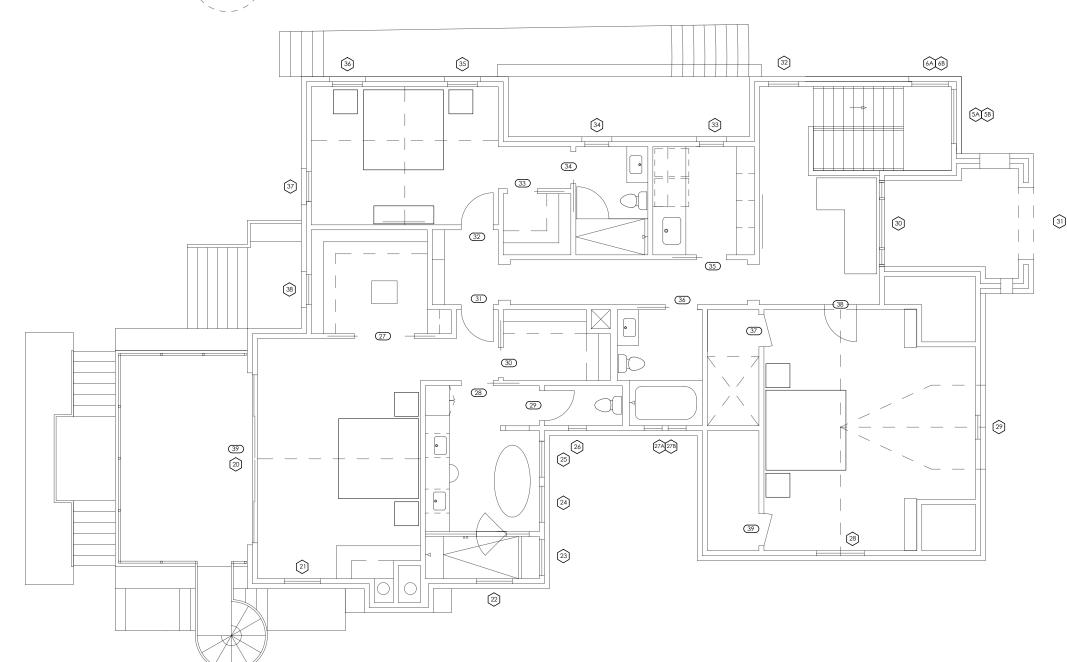
1510 PEASE ROAD AUSTIN, TX 78703

5 / 24 / 22

SHEET NAME







Mark	Туре	Location	Width	Height	Description	SC / HC Comment
EXTER	IOR					
1	ENTRY w/ GLASS LITE	BASEMENT DEN ENTRY	3' - 0''	9' - 0''	SEE ELEVATIONS	TEMPERED
2	HINGED	BED 4 CLOSET	15' - 0''	8' - 0''		SC
3	CUSTOM PANEL SLIDER	BASEMENT LAUNDRY	9' - 6''	8' - 0''	SEE ELEVATIONS	TEMPERED
4	HINGED	BEDROOM 4	2' - 8''	8' - 0''		\$C
5	POCKET	BED 4 SHARED BATH	2' - 8"	8' - 0''		SC
6	HINGED	BED 4 SHARED BATH	2' - 8"	8' - 0''		SC
7	HINGED	SAUNA	2' - 8"	8' - 0''		SC
8	HINGED	BASEMENT UTILITY RM	2' - 8''	8' - 0''		SC
9	HINGED	BEDROOM 5	2' - 8''	8' - 0''		SC
10	HINGED	BED 5 BATH	2' - 6''	8' - 0''		SC
11	POCKET	BED 5 CLOSET	2' - 6''	8' - 0''		SC
12	HINGED	HOME GYM	2' - 6"	8' - 0''		SC
13	DOUBLE POCKET	HOME GYM CLOSET	5' - 0''	8' - 0''		SC
14	HINGED	UNDER STAIR STORAGE	2' - 8''	8' - 0''		SC
15	FRENCH SLIDER	LIVING / PORCH	14' - 0''	9' - 0''	SEE ELEVATIONS	TEMPERED
16	FRENCH DOORS	REAR KITCHEN ENTRY	5' - 0''	9' - 0''	SEE ELEVATIONS	TEMPERED
17	POCKET	PANTRY	2' - 0''	8' - 0''		\$C
18	HINGED	VISITABLE BATH	3' - 8"	8' - 0''		SC
19	CUSTOM PANEL	HIDDEN COAT STOR	2' - 6"	8' - 0''		SC
20	POCKET	MUD ROOM	3' - 0''	8' - 0''		SC
21	HINGED	MUD RM / GARAGE	2' - 8''	8' - 0''		SC
22	POCKET	GUEST BED/OFFICE	2' - 8''	8' - 0''		SC
23	POCKET	GUEST BED/OFFICE	2' - 4''	8' - 0''		\$C
24	GLASS SLIDER	GUEST BED/OFFICE	5' - 0''	8' - 0''		TEMPERED
<u></u> 25	CUSTOM ARCH w LITE	FRONT ENTRY	4' - 0''	9' - 0''	SEE ELEVATIONS	TEMPERED
26	FRENCH SLIDER	PRIMARY BED/DECK	14' - 0''	8' - 0''	SEE ELEVATIONS	TEMPERED
27	DOUBLE POCKET	PRIMARY BED CLOSET	5' - 0''	8' - 0''		\$C
28	POCKET	PRIMARY BATHROOM	2' - 8''	8' - 0''		SC
29	HINGED	PRIMARY TOILET CLOS.	2' - 6"	8' - 0''		SC
30	POCKET	PRIMARY BED CLOSET	2' - 6"	8' - 0''		SC
31	HINGED	PRIMARY BED	2' - 8''	8' - 0''		SC
32	HINGED	BEDROOM 2	2' - 8''	8' - 0''		SC
33	POCKET	BEDROOM 2 CLOSET	2' - 8''	8' - 0''		SC
34	HINGED	BEDROOM 2 BATH	2' - 8''	8' - 0''		SC
35	POCKET	UPSTAIRS LAUNDRY	2' - 6"	8' - 0''		SC
36	POCKET	UPSTAIRS SHARED BATH	2' - 8''	8' - 0''		SC
37	HINGED	BED 3 - HVAC ACCESS	2' - 6"	4' - 0''		SC SC
38	HINGED	BEDROOM 3	2' - 8''	8' - 0''		SC
39	HINGED	BED 3 - ATTIC STOR	2' - 6"	4' - 0''		SC
40	HINGED	CABANA BATHROOM	3' - 0"	8' - 0''		SC SC

- ** ALL DOOR GLASS TO BE TEMPERED **
- ** VERIFY CLEARANCES AND OPENINGS PRIOR TO ORDERING **
- ** ENSURE ADEQUATE WATERPROOFING FOR UNITS PLACED AT FINISHED FLOOR LEVEL **

KOLBE & KOLBE DOORS

__ A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S |

ULTRA SERIES - TRADITIONAL (WOOD + ALUM CLAD.)

EXTERIOR: COAL BLACK or LUNAR - VERIFY W OWNER

FLUOROPOLYMER COLOR

INTERIOR FINISH: PAINTED INTERIOR - BRIGHT WHITE (or WHITE w EXPOSED GRAIN)

ALTERNATE INTERIOR FINISH: PINE WITH (BRIGHT WHITE PAINTED)

SOLID CORE WOOD - 3-PANEL (SEE SECTS/ELEVS)

DIVIDED LITES: 5/8" BEVELED **GLAZING BEADS:** BEVELED

INTERIOR DOORS:

HARDWARE: OIL RUBBED (RUSTIC UMBER ALTERNATE)

EXTERIOR TRIM: SEE MATERIAL NOTES - VERIFY w OWNER

ALTERNATE: SIERRA PACIFIC DOORS

ALUMINUM CLAD WOOD - ASPEN INSWING

SCREENS: BETTERVUE FLEXSCREEN

DIVIDED LITES: 5/8" PUTTY

COLOR STAY COLLECTION

INTERIOR FINISH: PAINTED INTERIOR - ULTRA-COAT WHITE

EXTERIOR: BATTLESHIP GRAY or BRONZE - VERIFY w OWNER

INTERIOR TRIM: SEE MATERIAL NOTES - VERIFY W OWNER

HARDWARE: MATTE BLACK

NOTES:



RB ARCHITECT, PLLC







hollingsworth

GENERAL CONTRACTOR NOTES: pack austin

THE GENERAL CONTRACTOR (GC) SHAL FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

THE GC SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, & REGULATIONS. THE GC SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

DIMENSIONS. THE GC SHALL FAMILIARIZE THEMSELF WITH THE CONSTRUCTION DOCUMENTS AND NOTIFY THIS OFFICE OF ANY DISCREPENCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION.

DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS.

THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CD'S. ANY DEFECT OR DISCREPENCY FOUND WITH THE CD'S SHALL BE BROUGT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE PRIOR TO PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R308.4. (NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 24" OR LESS FROM DOOR JAMB, GLAZING LESS THAN 5'-0" ABOVE TUB FLOOR, AND SHOWER OR TUB ENCLOSURES.

SMOKE DETECTOR SYSTEM: GENERAL
CONTRACTOR IS RESPONSIBLE THAT THE
DWELLING UNIT TO BE EQUIPPED WITH AN
APPROVED SMOKE DETECTOR SYSTEM AT
CORRESPONDING LOCATIONS, IN
ACCORDANCE WITH 2015 IRC SECTION R314.

GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER NFPA 72 CHAPTER 11.

CARBON MONOXIDE ALARM: THE GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

INSTALL POLYISOCYANURATE FOAM TYPE
INSUATION - OR EQUIVALENT - AT FLOOR
AND PLATE LINES, OPENINGS IN PLATES,
CORNER STUD CAVITIES AND AROUND
DOOR AND WINDOW ROUGH OPENING
CAVITIES

WATERPROOF ALL WATER/SPLASH AREAS TO A MINIMUM OF 60" ABOVE FINISHED FLOOR. INSULATE MEP LINES FOR SOUND CONTROL. EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

AWAY FROM THE STRUCTURE & FOUNDATION.
PROVIDE SILT FENCING AND/OR
MULCH SOCKS AT PERIMETER OF SITE.

** ANY REPRODUCTION OF THESE PRINTS IS
PROHIBITED BY FEDERAL COPYRIGHT LAWS.
ANY ILLEGAL REPRODUCTION WILL BE
AGGRESSIVELY PURSUED TO THE FULLEST

EXTENT OF THE COPYRIGHT LAW. RB ARCHITECT, PLLC. / BEN MAY DESIGN NEW RESIDENCE 1510 PEASE ROAD

AUSTIN, TX 78703

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BEN MAY DESIGN

RB ARCHITECT PLLC

ARCHITECT:

ROEL BAZAN

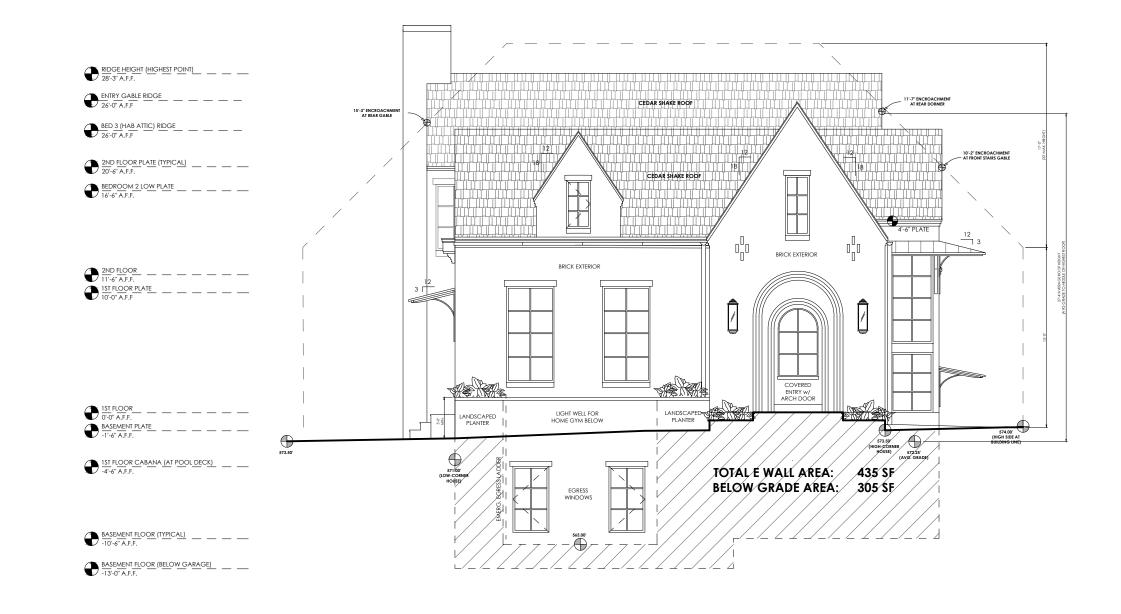
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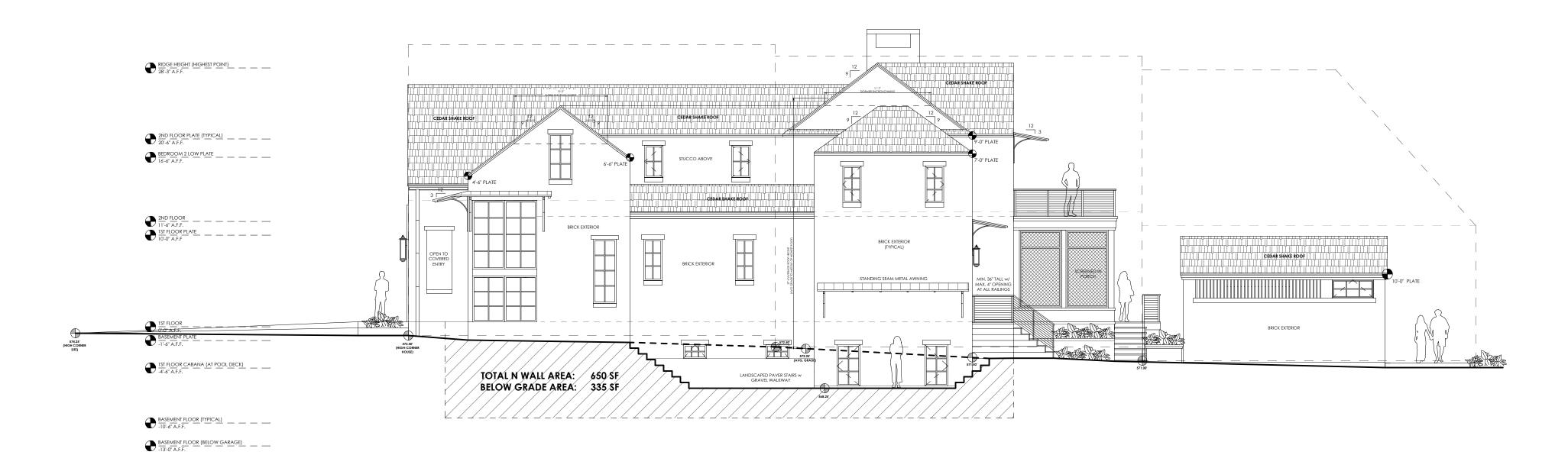
SHEET NAME





__ A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S |

FRONT (EAST) ELEVATION



SIDE (NORTH) ELEVATION

SCALE: 1/8" = 1'-0"

12

13

NOTES:

PROJECT SUMMARY:

TOTAL SITE:

EXISTING FAR: 2,470 SF

ALLOWABLE FAR: 3,698 SF

EXISTING % FAR: 26.71 %

PROPOSED FAR:

BASEMENT: 2,105 SF BASEMENT EXEMPT: -2,105 SF 1ST FLOOR FAR: 2,369 SF GARAGE EXEMPT: - 200 SF COVERED PATIO: 198 SF FAR PORCH RED: - 198 SF COVERED ENTRY: 97 SF - 97 SF FAR PORCH RED: 1,450 SF 2ND FLOOR FAR:

POOL BATH FAR: **TOTAL FAR:** TOTAL % FAR: 39.68 %

IMPERVIOUS COVER

ALLOWABLE I.C: 4,161 SF EXISTING I.C. 6,562 SF 70.10%

PROPOSED I.C. 4,101 SF 44.35%

HOUSE FOOTRPINT: 2,369 SF DRIVEWAY: 865 SF CABANA: 242 SF STAIRS/LANDINGS 136 SF LIGHT/EGRESS WELLS 104 SF COVERED PATIO: 198 SF FRONT ENTRY 97 SF POOL COPING 72 SF 2 AC PADS:

NEW IMPERVOUS: 4,101 SF

GENERAL **CONTRACTOR NOTES:**

FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, & PERFORM COORDINATION WITH ALL UTILITIE AND STATE SERVICE AUTHORITIES.

DIMENSIONS. THE GC SHALL FAMILIARIZE THEMSELF WITH THE CONSTRUCTION DOCUMENTS AND NOTIFY THIS OFFICE OF ANY DISCREPENCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION.

DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS. THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH

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SHALL BE BROUGT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE PRIOR TO PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R308.4. (NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 24" OR LESS FROM ABOVE TUB FLOOR, AND SHOWER OR TUB ENCLOSURES.

SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.

SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER NFPA 72 CHAPTER 11.

CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.

INSTALL POLYISOCYANURATE FOAM TYPE INSUATION - OR EQUIVALENT - AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING

A MINIMUM OF 60" ABOVE FINISHED FLOOR. INSULATE MEP LINES FOR SOUND CONTROL. EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS.

AWAY FROM THE STRUCTURE & FOUNDATION.
PROVIDE SILT FENCING AND/OR MULCH SOCKS AT PERIMETER OF SITE.

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RB ARCHITECT, PLLC

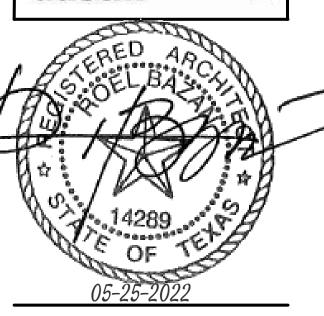


(512)791-2986





hollingsworth pack austin



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GENERAL CONTRACTOR:

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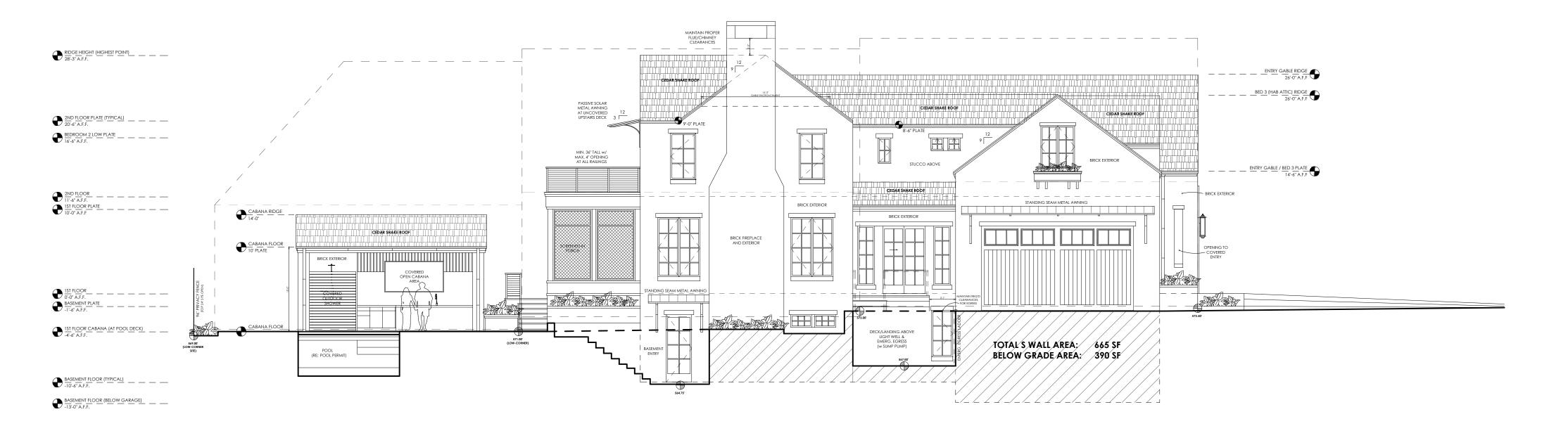
NEW RESIDENCE 1510 PEASE ROAD AUSTIN, TX 78703

5 / 24 / 22



__ A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S |

FRONT (EAST) ELEVATION



SIDE (NORTH) ELEVATION

SCALE: 1/8" = 1'-0"

12

13

NOTES:

PROJECT SUMMARY:

TOTAL SITE:

ALLOWABLE FAR: 3,698 SF EXISTING FAR: 2,470 SF

EXISTING % FAR: 26.71 % PROPOSED FAR:

BASEMENT: 2,105 SF BASEMENT EXEMPT: -2,105 SF

1ST FLOOR FAR: 2,369 SF GARAGE EXEMPT: - 200 SF COVERED PATIO: 198 SF FAR PORCH RED: - 198 SF COVERED ENTRY: 97 SF FAR PORCH RED: - 97 SF 1,450 SF 2ND FLOOR FAR:

TOTAL FAR: TOTAL % FAR: 39.68 %

IMPERVIOUS COVER

POOL BATH FAR:

ALLOWABLE I.C: 4,161 SF EXISTING I.C. 6,562 SF

70.10%

PROPOSED I.C. 4,101 SF 44.35%

HOUSE FOOTRPINT: 2,369 SF DRIVEWAY: 865 SF CABANA: 242 SF STAIRS/LANDINGS 136 SF LIGHT/EGRESS WELLS 104 SF COVERED PATIO: 198 SF FRONT ENTRY 97 SF POOL COPING 72 SF 2 AC PADS:

NEW IMPERVOUS: 4,101 SF

GENERAL **CONTRACTOR NOTES:**

FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

THE GC SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, & PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

DIMENSIONS. THE GC SHALL FAMILIARIZE THEMSELF WITH THE CONSTRUCTION DOCUMENTS AND NOTIFY THIS OFFICE OF ANY DISCREPENCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION. DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS.

> THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS. ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CD'S. ANY DEFECT OR DISCREPENCY FOUND WITH THE CD'S
SHALL BE BROUGT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE PRIOR TO PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R308.4. (NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 24" OR LESS FROM ABOVE TUB FLOOR, AND SHOWER OR TUB ENCLOSURES.

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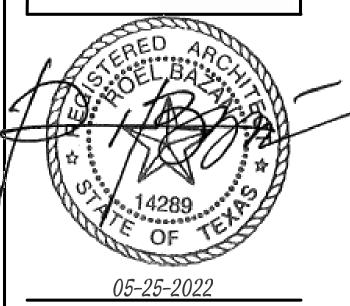
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NEW RESIDENCE 1510 PEASE ROAD

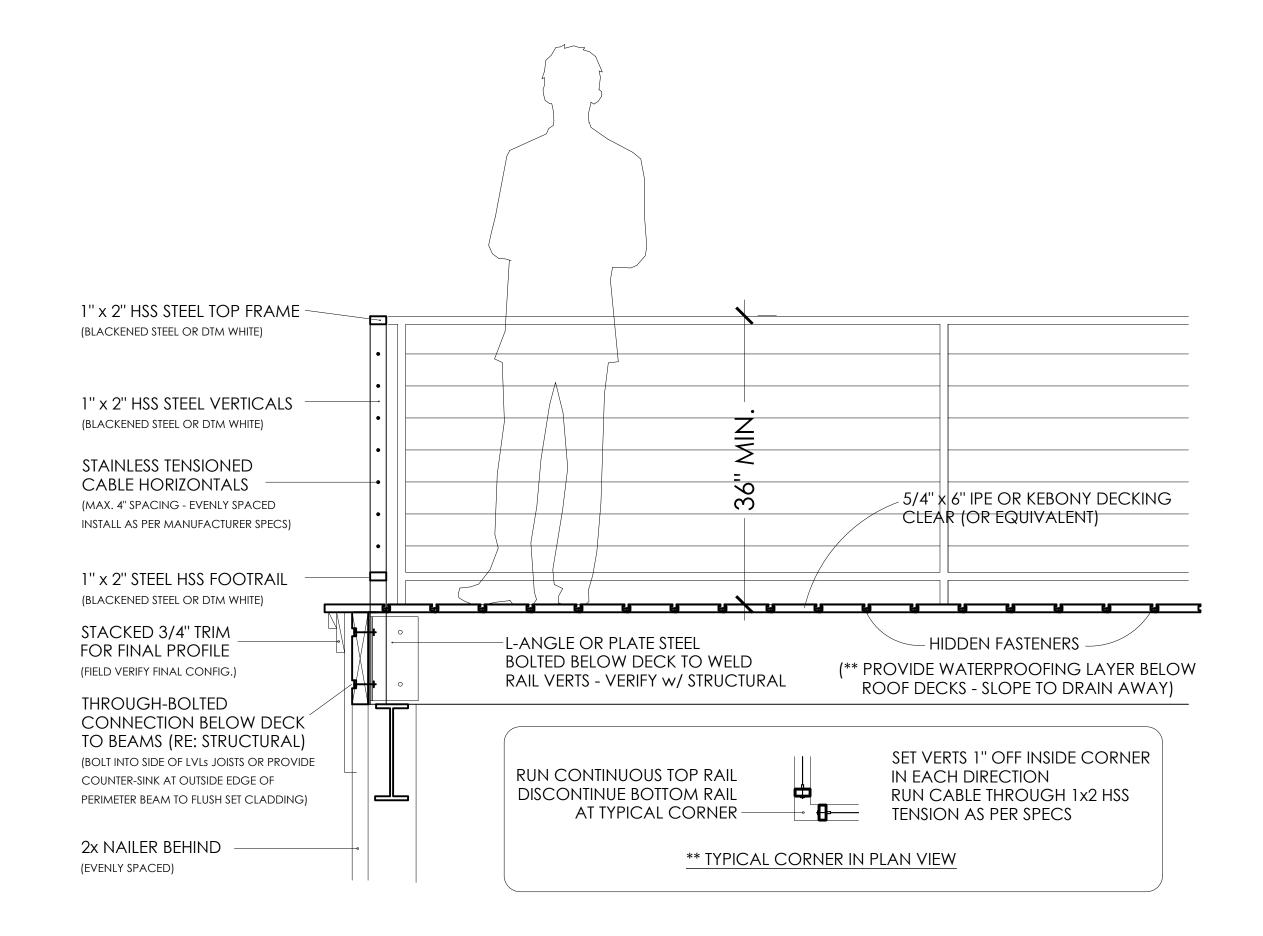
AUSTIN, TX 78703 5 / 24 / 22

RL1 2x PT NAILERS AT 24" O.C. SET PERPENDICULAR TO DECKING (RUN IN DIRECTION OF SLOPE) CONTINUOUS BELOW-DECK KEB₁ WATER-BARRIER MEMBRANE LAYER - 5/4" x 6" KEBONY DECK CLEAR OVER SLOPED SUB-DECKING WITH DRAINAGE TO LOW SIDES OF DECK -TAKE OUTSIDE WALL VIA DOWNSPOUT TO PLANTERS BELOW MOUNTING/WELDING PLATE FOR METAL RAILING VERIFY IN FIELD RE: STRUCTURAL FOR DECK JOIST FRMAING (SCREENED-PORCH BELOW)

ROOF DECK ASSEMBLY - VERIFY W/ OWNER (RE: STRUCTURAL)

12

13



TYPICAL RAILING (RE: STRUCTURAL)

TYPICAL VISITABLE THRESHOLD

Coa Detail: Cl2013-0002

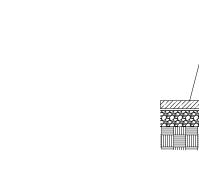
- 2" CUT LIMESTONE EDGES — 2-3/8" STONE PAVER —— 1" SAND LEVELING LAYER GEOTEXTILE FABRIC BELOW MIN. 4" AGGREGATE LAYER - DO NOT COMPACT BASE LAYERS -

> - EXISTING SOIL SUBGRADE

- THICKNESS OF AGGREGATE BASE WILL VARY WITH EXISTING GRADE - CUT STONE TO BE PLACED AT FACE OF RISERS AT STEPS - STACK CUT STONE EDGING AS NEEDED (MAX. 3 COURSES) AT STEPS - DRY SET/STACK STONE - NO MORTARED JOINTS

TYPICAL NON-COMPACTED PAVERS ONSITE

NOTES:



- DO NOT COMPACT BASE LAYERS -— EXISTING SOIL SUBGRADE

- 2" CUT LIMESTONE EDGES

— 2-3/8" STONE PAVER

—— 1" SAND LEVELING LAYER

GEOTEXTILE FABRIC BELOW

MIN. 4" AGGREGATE LAYER

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6 TYPICAL COMPACTED PAVERS IN ROW 1/2" = 1'-0"

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NEW IMPERVOUS: 4,101 SF

GENERAL

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CONTACT: CHRIS HEWITT

NEW RESIDENCE

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SCALE

SHEET NAME

chris@holl-pack.com

jasonhunt@jdhuntconstruct.com

CUSTOM HOMES

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