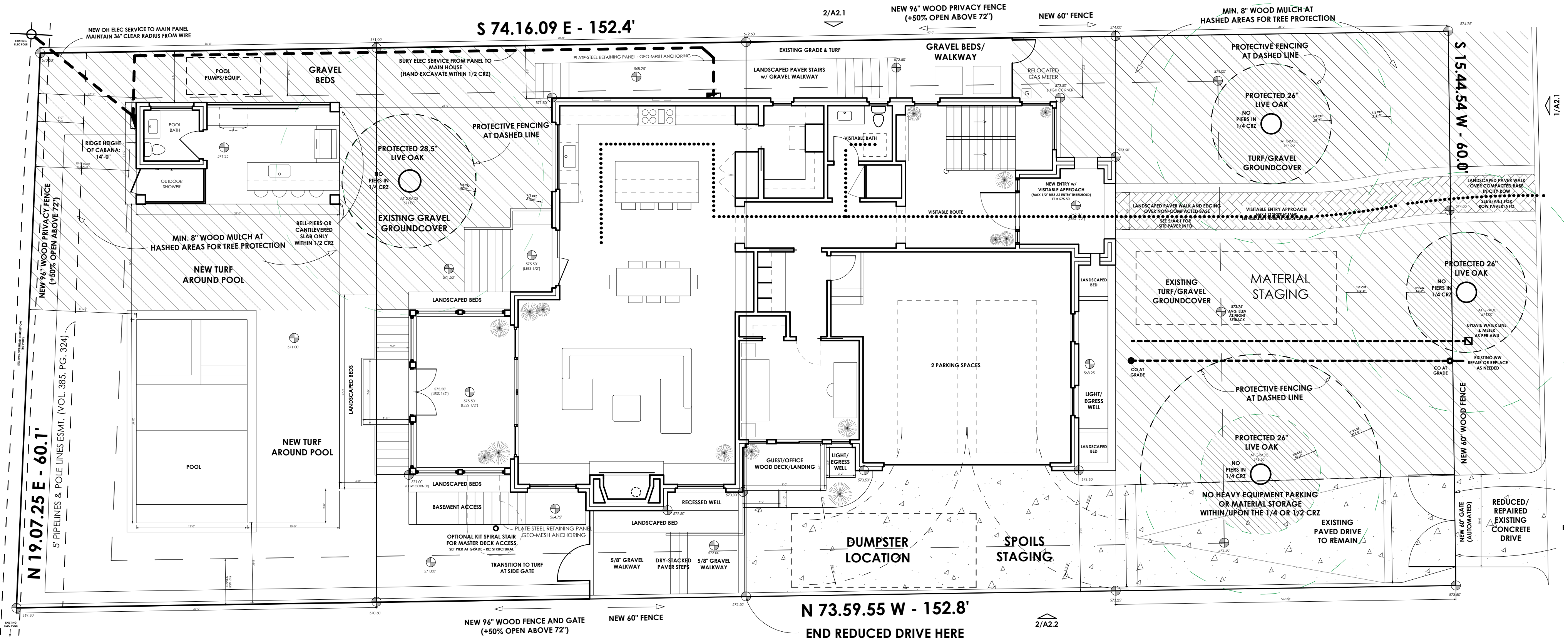


A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S



1 SITEPLAN :: UPDATED LAYOUT
SCALE: 1/8" = 1'-0"

A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S

1510 PEASE RD

AUSTIN, TX 78703

LEGAL DESCRIPTION:

LOT 44, OF ENFIELD "C", A SUBDIVISION
IN TRAVIS CO. TEXAS, ACCORDING TO
THE MAP OR PLAT THEREOF, RECORDED IN
BOOK 3, PAGE 106 OF THE PLAT RECORDS
OF TRAVIS COUNTY, TEXAS.

ZONING: SF-3-NP

PROJECT SUMMARY:

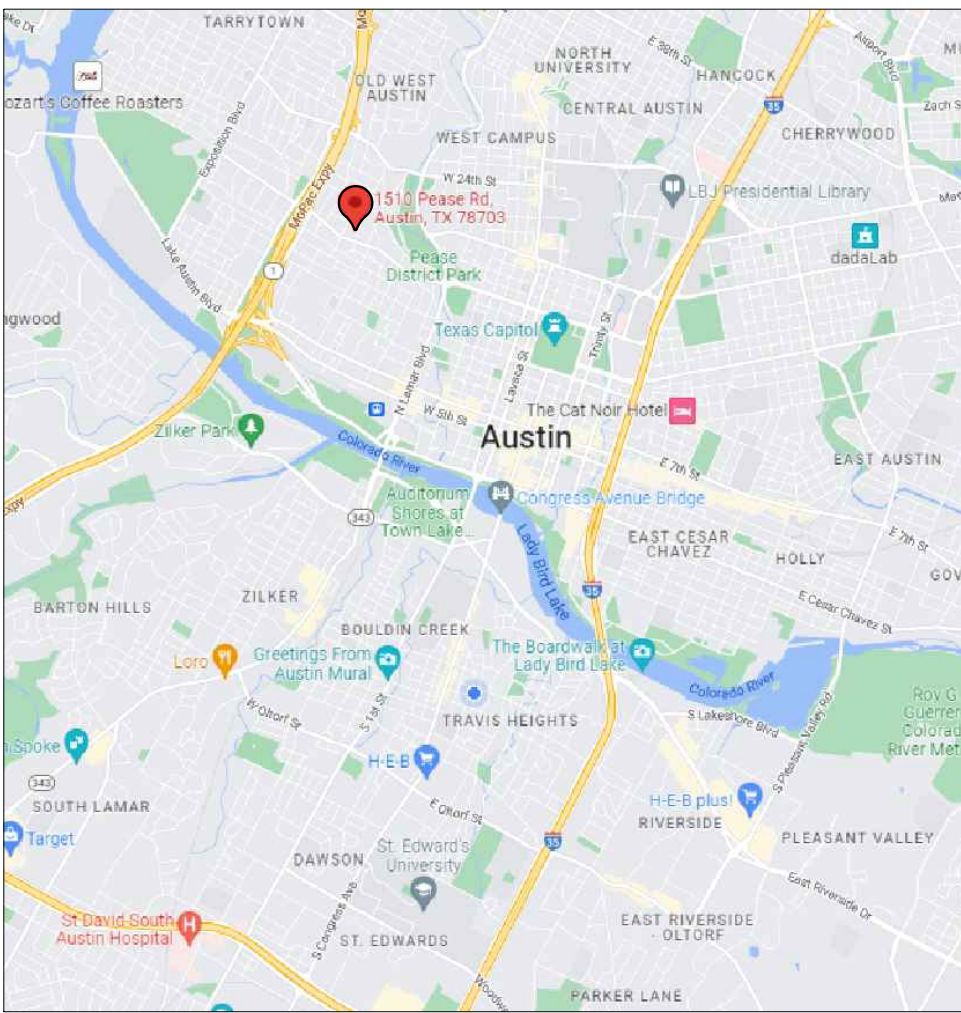
| | |
|------------------|-----------|
| TOTAL SITE: | 9,246 SF |
| ALLOWABLE FAR: | 3,698 SF |
| EXISTING FAR: | 2,470 SF |
| EXISTING % FAR: | 26.71 % |
| PROPOSED FAR: | |
| BASEMENT: | 2,105 SF |
| BASEMENT EXEMPT: | -2,105 SF |
| 1ST FLOOR FAR: | 2,369 SF |
| GARAGE EXEMPT: | -200 SF |
| COVERED PATIO: | 198 SF |
| FAR PORCH RED: | -198 SF |
| COVERED ENTRY: | 97 SF |
| FAR PORCH RED: | -97 SF |
| 2ND FLOOR FAR: | 1,450 SF |
| POOL BATH FAR: | 50 SF |

| | |
|--------------|----------|
| TOTAL FAR: | 3,669 SF |
| TOTAL % FAR: | 39.68 % |

IMPERVIOUS COVER

| | |
|---------------------|----------|
| ALLOWABLE I.C.: | 4,161 SF |
| EXISTING I.C.: | 6,562 SF |
| | 70.10% |
| PROPOSED I.C.: | 4,101 SF |
| | 44.35% |
| HOUSE FOOTPRINT: | 2,369 SF |
| DRIVEWAY: | 865 SF |
| CABANA: | 242 SF |
| STAIRS/LANDINGS: | 136 SF |
| LIGHT/EGRESS WELLS: | 104 SF |
| COVERED PATIO: | 198 SF |
| FRONT ENTRY: | 97 SF |
| POOL COPING: | 72 SF |
| 2 AC PADS: | 18 SF |

NEW IMPERVIOUS: 4,101 SF



LOCATION MAP
SCALE: N/A

NOTES:

SHEET INDEX:

- 00 COVER/INFO
- SP1 SITEPLANS
- SP2 ROOF PLAN/IC
- A1.0 BASEMENT PLAN
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A1.8 WINDOW SCHED
- A1.9 DOOR SCHEDULE
- A2.0 E & N EXTR ELEVS
- A2.1 S & W EXTR ELEVS
- A3.1 SECTIONS
- A4.1 DETAILS

GENERAL CONTRACTOR NOTES:

THE GENERAL CONTRACTOR (GC) SHALL FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

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DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS.

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SAFETY GUARDING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R808.4. NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 5'4" OR LESS FROM DOOR JAMB, GLAZING LESS THAN 5'0" ABOVE TUB FLOOR AND SHOWER OR TUB ENCLOSURES.

SMOKE DETECTOR SYSTEM: GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT TO BE EQUIPPED WITH AN APPROVED SMOKE DETECTOR SYSTEM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R314.1.

GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW, PER NFPA 72 CHAPTER 11.

CARBON MONOXIDE ALARM: THE GENERAL CONTRACTOR IS RESPONSIBLE THAT THE DWELLING UNIT BE EQUIPPED WITH AN APPROVED CARBON MONOXIDE ALARM AT CORRESPONDING LOCATIONS, IN ACCORDANCE WITH 2015 IRC SECTION R315.1.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION - OR EQUIVALENT - AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

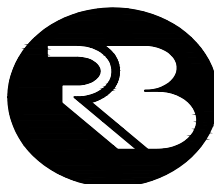
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LUCKY CHARM HOMES

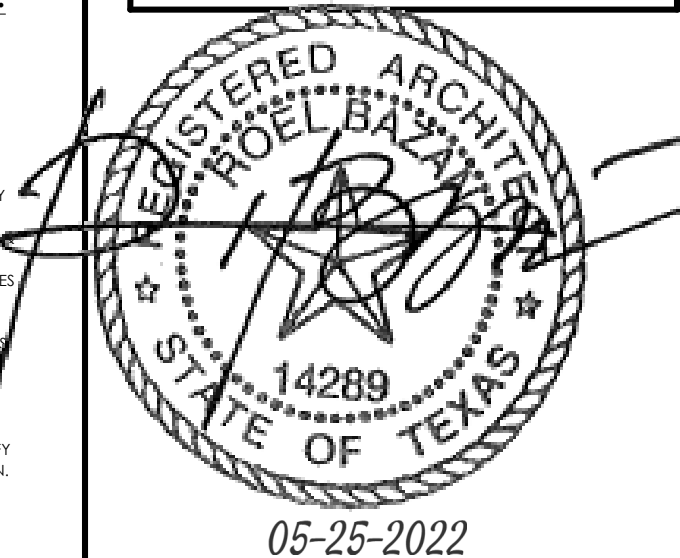
RB ARCHITECT, PLLC



11502 KNIPP COVE
AUSTIN, TEXAS 78739
roelbazan48@gmail.com
(512) 791-2986



hollingsworth pack austin



PROJECT TEAM:

OWNERS:

GINA & PEYTON HILL
CONTACT: 503.515.1940
ginaandkids@mac.com

GENERAL CONTRACTOR:

JD HUNT CONSTRUCTION
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roelbazan48@gmail.com

STRUCTURAL ENGINEER:

HOLLINGSWORTH-PACK
CONTACT: CHRIS HEWITT
chris@hollpack.com
512.275.6060

NEW RESIDENCE

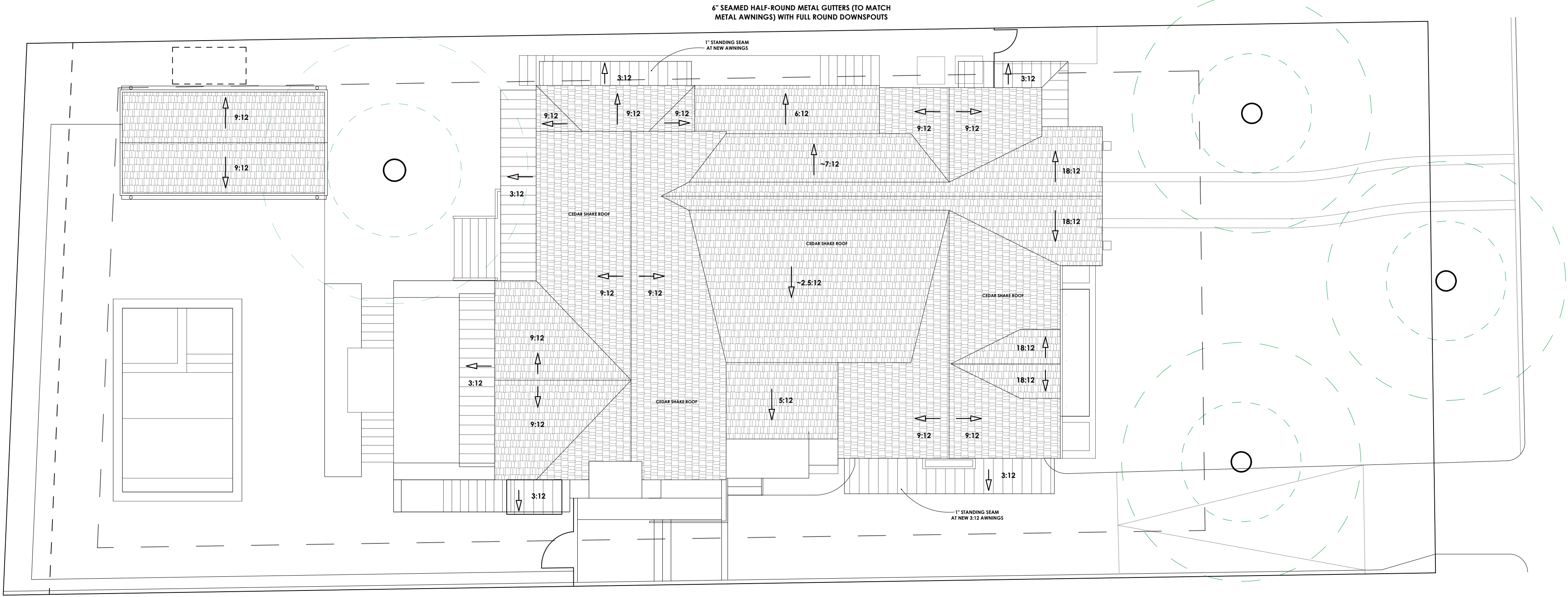
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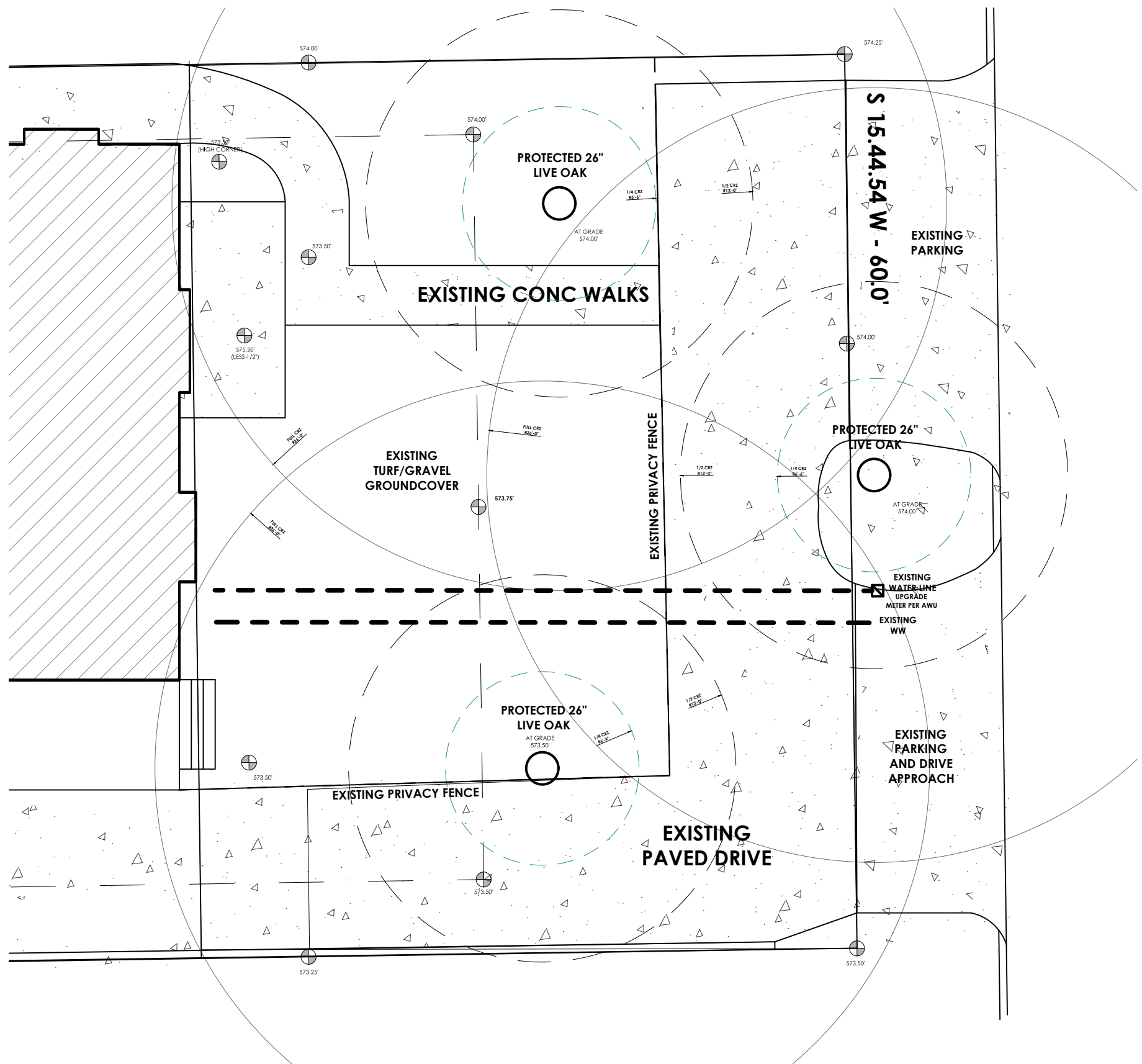
SCALE

SHEET NAME

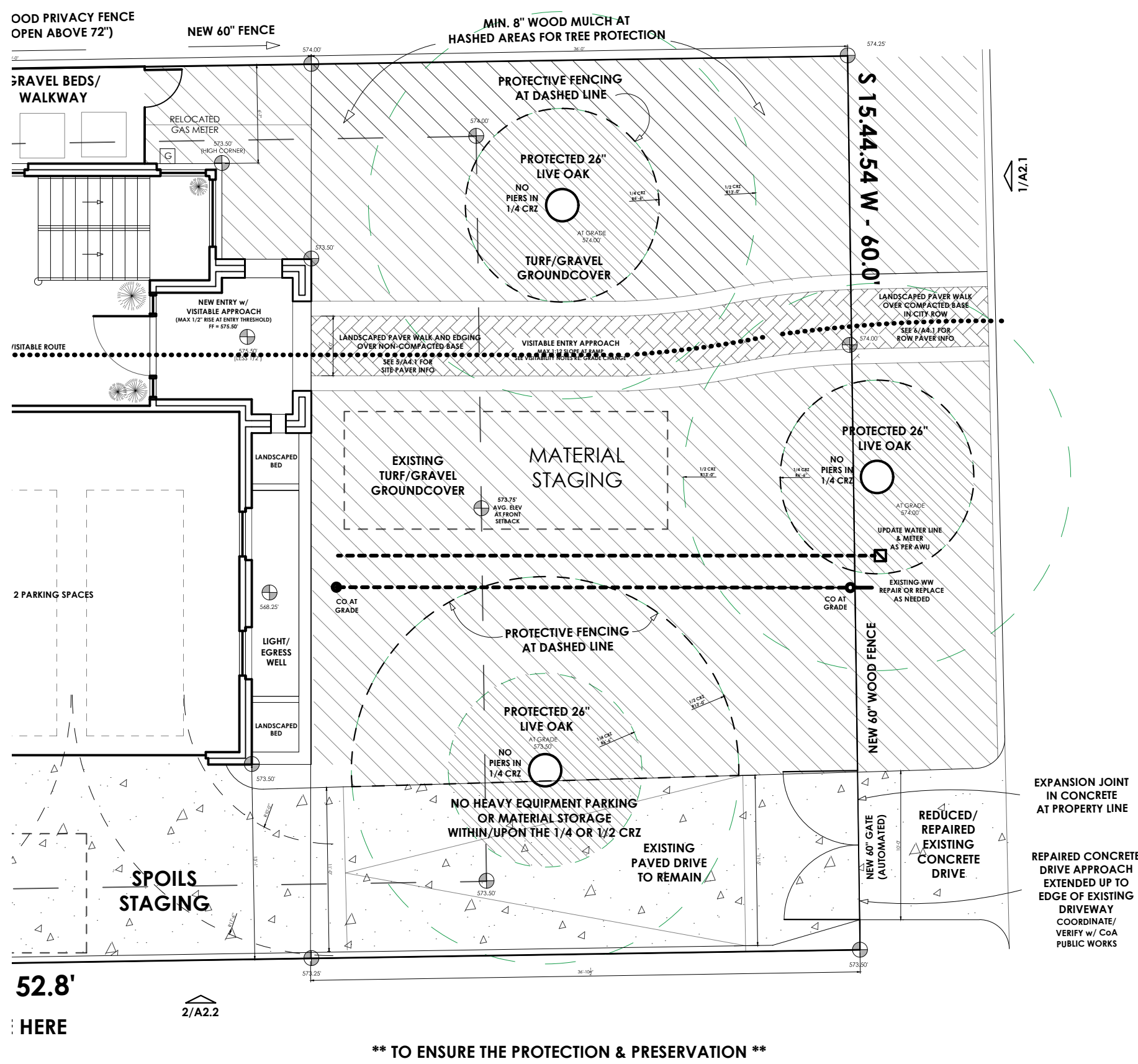
00



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



2 FRONT YARD - EXISTING IMPERVIOUS COVER
SCALE: 1/8" = 1'-0"



3 FRONT YARD - UPDATED IMPERVIOUS COVER
SCALE: 1/8" = 1'-0"

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LUCKY CHARM HOMES

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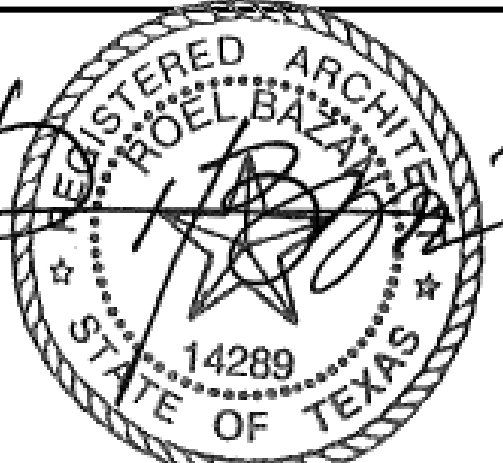


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AUSTIN, TEXAS 78739
roelbazan48@gmail.com
(512)791-2986



JD HUNT
CUSTOM HOMES

hollingsworth
pack
austin



05-25-2022

PROJECT TEAM:

OWNERS:

GINA & PEYTON HILL
CONTACT: 503.515.1940
ginaandkids@mac.com

GENERAL CONTRACTOR:

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BEN MAY DESIGN
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roelbazan48@gmail.com

STRUCTURAL ENGINEER:

HOLLINGSWORTH-PACK
CONTACT: CHRIS HEWITT
chris@holl-pack.com
512.275.6060

NEW RESIDENCE

1510 PEASE ROAD
AUSTIN, TX 78703

DATE 5 / 24 / 22

SCALE

SHEET NAME

SP2



| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|---------------------|-----------------------|---------|---------|-----------------|----------|------|---------|---------------------------|
| Mark | Type | Location | Width | Height | Sill Height | Tempered | SHGC | U-Value | Comments |
| 1 | AWNING | BASEMENT DEN | 5' - 0" | 1' - 6" | 6' - 6" A.F.F. | X | 0.25 | 0.35 | MULL (2) 2616 UNITS |
| 2 | CASEMENT - PUSHOUT | BEDROOM 5 | 2' - 6" | 6' - 0" | 3' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 3 | CASEMENT - PUSHOUT | BASEMENT - GYM | 3' - 0" | 5' - 6" | 3' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 4 | CASEMENT - PUSHOUT | BASEMENT - GYM | 3' - 0" | 5' - 6" | 3' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 5A | FIXED | STAIRWELL | 3' - 6" | 5' - 0" | 0' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 5B | FIXED | STAIRWELL | 3' - 6" | 7' - 6" | TOP OF BEAM | X | 0.25 | 0.35 | |
| 6A | FIXED | STAIRWELL | 7' - 0" | 7' - 6" | 0' - 0" A.F.F. | X | 0.25 | 0.35 | MULL (2) 3650 UNITS |
| 6B | FIXED | STAIRWELL | 7' - 0" | 7' - 6" | TOP OF BEAM | X | 0.25 | 0.35 | MULL (2) 3676 UNITS |
| 7 | AWNING | SAUNA | 2' - 6" | 1' - 6" | 6' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 8 | AWNING | BED 4 - SHARED BATH | 2' - 6" | 1' - 6" | 6' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 9 | CASEMENT - PUSHOUT | BEDROOM 4 | 2' - 6" | 4' - 6" | 3' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 10 | CASEMENT - PUSHOUT | BEDROOM 4 | 2' - 6" | 4' - 6" | 3' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 11 | DBL CASEMENT - PUSH | LIVING ROOM | 5' - 0" | 7' - 0" | 2' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 12 | DBL CASEMENT - PUSH | LIVING ROOM | 5' - 0" | 7' - 0" | 2' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 13 | FIXED | GUEST BED/OFFICE | 2' - 0" | 7' - 0" | 1' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 14 | FIXED | GUEST BED/OFFICE | 2' - 0" | 7' - 0" | 1' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 15 | FIXED | GARAGE | 4' - 0" | 8' - 0" | 4' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 16 | FIXED | GARAGE | 4' - 0" | 8' - 0" | 4' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 17 | FIXED | STAIRWELL | 2' - 6" | 7' - 0" | 2' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 18 | FIXED | POWDER BATH | 2' - 0" | 4' - 6" | 4' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 19 | FIXED | PANTRY | 2' - 0" | 4' - 6" | 4' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 20 | CASE-FIXED-CASE | KITCHEN | 7' - 0" | 5' - 6" | 3' - 6" A.F.F. | X | 0.25 | 0.35 | CASE2056-FIX3056-CASE2056 |
| 21 | FIXED | PRIMARY BEDROOM | 3' - 0" | 5' - 6" | 2' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 22 | FIXED | PRIMARY BATH-SHOWER | 3' - 0" | 5' - 6" | 2' - 0" A.F.F. | X | 0.25 | 0.35 | ETCHED / PRIVACY GLASS |
| 23 | FIXED | PRIMARY BATH-SHOWER | 3' - 0" | 5' - 6" | 2' - 0" A.F.F. | X | 0.25 | 0.35 | ETCHED / PRIVACY GLASS |
| 24 | AWNING | PRIMARY BATH - TUB | 2' - 6" | 1' - 6" | 6' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 25 | AWNING | PRIMARY BATH - TUB | 2' - 6" | 1' - 6" | 6' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 26 | CASEMENT - PUSHOUT | PRIMARY BATH - TUB | 1' - 6" | 3' - 0" | 4' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 27A | AWNING | UPSTAIRS SHARED BATH | 1' - 6" | 1' - 6" | 5' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 27B | AWNING | UPSTAIRS SHARED BATH | 1' - 6" | 1' - 6" | 5' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 28 | DBL CASEMENT - PULL | BEDROOM 3 | 4' - 0" | 5' - 0" | 3' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 29 | CASEMENT - PUSHOUT | BEDROOM 3 | 2' - 0" | 4' - 0" | 3' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 30 | FIXED | UPSTAIRS DEN | 5' - 0" | 5' - 6" | 4' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 31 | FIXED | UPSTAIRS ENTRY GABLE | 2' - 0" | 5' - 0" | 4' - 3" A.F.F. | X | 0.25 | 0.35 | |
| 32 | FIXED | TOP OF STAIRS LANDING | 2' - 6" | 5' - 0" | 3' - 9" A.F.F. | X | 0.25 | 0.35 | |
| 33 | CASEMENT - PUSHOUT | LAUNDRY | 2' - 0" | 3' - 6" | 4' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 34 | CASEMENT - PUSHOUT | BEDROOM 2 BATH | 2' - 0" | 3' - 6" | 4' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 35 | CASEMENT - PUSHOUT | BEDROOM 2 | 2' - 0" | 4' - 0" | 1' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 36 | CASEMENT - PUSHOUT | BEDROOM 2 | 2' - 0" | 4' - 0" | 1' - 0" A.F.F. | X | 0.25 | 0.35 | |
| 37 | FIXED | BEDROOM 2 | 2' - 6" | 6' - 0" | 1' - 6" A.F.F. | X | 0.25 | 0.35 | |
| 38 | FIXED | PRIMARY WIC | 2' - 6" | 6' - 0" | 1' - 6" A.F.F. | X | 0.25 | 0.35 | MAX. UV PROTECTION |
| 39 | FIXED | PRIMARY BEDROOM | 4' - 0" | 4' - 0" | 10' - 0" A.F.F. | X | 0.25 | 0.35 | MULL (2) 2040 UNITS |
| 40 | AWNING | CABANA BATH | 4' - 6" | 2' - 0" | 7' - 0" A.F.F. | X | 0.25 | 0.35 | |
| | | | | | | | | | |
| | | | | | | | | | |

** TEMPER ALL UNITS AS PER IRC 2015 **
** VERIFY SAFETY HARDWARE ON ALL UPPER WINDOW UNITS PER LOCAL CODES **
** VERIFY FIRE / EGRESS CLEARANCES AND OPENINGS PRIOR TO ORDERING **
** ENSURE ADEQUATE WATERPROOFING FOR UNITS PLACED AT FINISHED FLOOR LEVEL **

KOLBE & KOLBE WINDOWS

ULTRA SERIES - TRADITIONAL (WOOD + ALUM CLAD.)

EXTERIOR: COAL BLACK or LUNAR - VERIFY w OWNER
FLUOROPOLYMER COLOR

INTERIOR FINISH: PAINTED INTERIOR - BRIGHT WHITE (or WHITE w EXPOSED GRAIN)

ALTERNATE INTERIOR FINISH: PINE WITH (BRIGHT WHITE PAINTED)

DIVIDED LITES: 5/8" BEVELED
GLAZING BEADS: BEVELED

HARDWARE: OIL RUBBED (RUSTIC UMBER ALTERNATE)

ALTERNATE: SIERRA PACIFIC

ALUMINUM CLAD WOOD

(WET RATED AT SHOWERS/WET AREAS)

EXTERIOR: BATTLESHIP GRAY or BRONZE - VERIFY w OWNER
COLOR STAY COLLECTION

SCREENS: BETTERVUE FLEXSCREEN

DIVIDED LITES: 5/8" PUTTY

EXTERIOR TRIM: SEE MATERIAL NOTES - VERIFY w OWNER

INTERIOR FINISH: PAINTED INTERIOR - ULTRA-COAT WHITE

INTERIOR TRIM: SEE MATERIAL NOTES - VERIFY w OWNER

HARDWARE: MATTE BLACK

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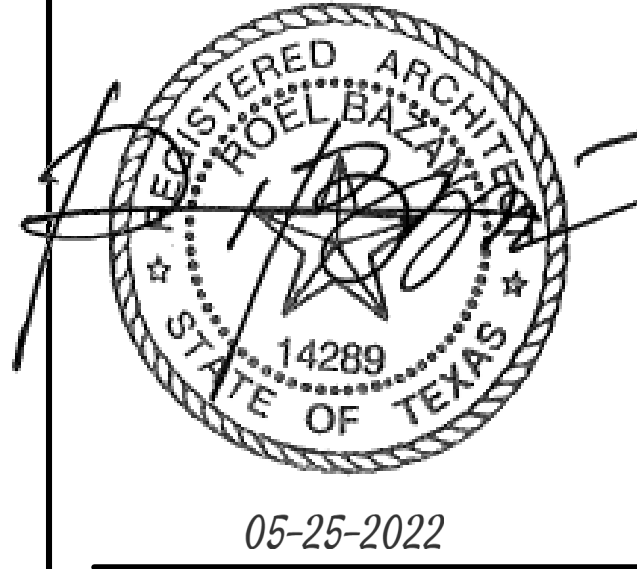
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NEW RESIDENCE

1510 PEASE ROAD
AUSTIN, TX 78703

DATE5 / 24 / 22

SCALE

SHEET NAME

A1.8

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| DOOR SCHEDULE | | | | | | | |
|---------------|---------------------|----------------------|----------|---------|----------------|----------|----------|
| Mark | Type | Location | Width | Height | Description | SC / HC | Comments |
| EXTERIOR | | | | | | | |
| 1 | ENTRY w/ GLASS LITE | BASEMENT DEN ENTRY | 3' - 0" | 9' - 0" | SEE ELEVATIONS | TEMPERED | |
| 2 | HINGED | BED 4 CLOSET | 15' - 0" | 8' - 0" | | SC | |
| 3 | CUSTOM PANEL SLIDER | BASEMENT LAUNDRY | 9' - 6" | 8' - 0" | SEE ELEVATIONS | TEMPERED | |
| 4 | HINGED | BEDROOM 4 | 2' - 8" | 8' - 0" | | SC | |
| 5 | POCKET | BED 4 SHARED BATH | 2' - 8" | 8' - 0" | | SC | |
| 6 | HINGED | BED 4 SHARED BATH | 2' - 8" | 8' - 0" | | SC | |
| 7 | HINGED | SAUNA | 2' - 8" | 8' - 0" | | SC | |
| 8 | HINGED | BASEMENT UTILITY RM | 2' - 8" | 8' - 0" | | SC | |
| 9 | HINGED | BEDROOM 5 | 2' - 8" | 8' - 0" | | SC | |
| 10 | HINGED | BED 5 BATH | 2' - 6" | 8' - 0" | | SC | |
| 11 | POCKET | BED 5 CLOSET | 2' - 6" | 8' - 0" | | SC | |
| 12 | HINGED | HOME GYM | 2' - 6" | 8' - 0" | | SC | |
| 13 | DOUBLE POCKET | HOME GYM CLOSET | 5' - 0" | 8' - 0" | | SC | |
| 14 | HINGED | UNDER STAIR STORAGE | 2' - 8" | 8' - 0" | | SC | |
| 15 | FRENCH SLIDER | LIVING / PORCH | 14' - 0" | 9' - 0" | SEE ELEVATIONS | TEMPERED | |
| 16 | FRENCH DOORS | REAR KITCHEN ENTRY | 5' - 0" | 9' - 0" | SEE ELEVATIONS | TEMPERED | |
| 17 | POCKET | PANTRY | 2' - 0" | 8' - 0" | | SC | |
| 18 | HINGED | VISITABLE BATH | 3' - 8" | 8' - 0" | | SC | |
| 19 | CUSTOM PANEL | HIDDEN COAT STOR | 2' - 6" | 8' - 0" | | SC | |
| 20 | POCKET | MUD ROOM | 3' - 0" | 8' - 0" | | SC | |
| 21 | HINGED | MUD RM / GARAGE | 2' - 8" | 8' - 0" | | SC | |
| 22 | POCKET | GUEST BED/OFFICE | 2' - 8" | 8' - 0" | | SC | |
| 23 | POCKET | GUEST BED/OFFICE | 2' - 4" | 8' - 0" | | SC | |
| 24 | GLASS SLIDER | GUEST BED/OFFICE | 5' - 0" | 8' - 0" | | TEMPERED | |
| 25 | CUSTOM ARCH w LITE | FRONT ENTRY | 4' - 0" | 9' - 0" | SEE ELEVATIONS | TEMPERED | |
| 26 | FRENCH SLIDER | PRIMARY BED/DECK | 14' - 0" | 8' - 0" | SEE ELEVATIONS | TEMPERED | |
| 27 | DOUBLE POCKET | PRIMARY BED CLOSET | 5' - 0" | 8' - 0" | | SC | |
| 28 | POCKET | PRIMARY BATHROOM | 2' - 8" | 8' - 0" | | SC | |
| 29 | HINGED | PRIMARY TOILET CLOS. | 2' - 6" | 8' - 0" | | SC | |
| 30 | POCKET | PRIMARY BED CLOSET | 2' - 6" | 8' - 0" | | SC | |
| 31 | HINGED | PRIMARY BED | 2' - 8" | 8' - 0" | | SC | |
| 32 | HINGED | BEDROOM 2 | 2' - 8" | 8' - 0" | | SC | |
| 33 | POCKET | BEDROOM 2 CLOSET | 2' - 8" | 8' - 0" | | SC | |
| 34 | HINGED | BEDROOM 2 BATH | 2' - 8" | 8' - 0" | | SC | |
| 35 | POCKET | UPSTAIRS LAUNDRY | 2' - 6" | 8' - 0" | | SC | |
| 36 | POCKET | UPSTAIRS SHARED BATH | 2' - 8" | 8' - 0" | | SC | |
| 37 | HINGED | BED 3 - HVAC ACCESS | 2' - 6" | 4' - 0" | | SC | |
| 38 | HINGED | BEDROOM 3 | 2' - 8" | 8' - 0" | | SC | |
| 39 | HINGED | BED 3 - ATTIC STOR | 2' - 6" | 4' - 0" | | SC | |
| 40 | HINGED | CABANA BATHROOM | 3' - 0" | 8' - 0" | | SC | |

** ALL DOOR GLASS TO BE TEMPERED **
** VERIFY CLEARANCES AND OPENINGS PRIOR TO ORDERING **
** ENSURE ADEQUATE WATERPROOFING FOR UNITS PLACED AT FINISHED FLOOR LEVEL **

KOLBE & KOLBE DOORS

ULTRA SERIES - TRADITIONAL (WOOD + ALUM CLAD.)

EXTERIOR: COAL BLACK or LUNAR - VERIFY w OWNER
FLUOROPOLYMER COLOR

INTERIOR FINISH: PAINTED INTERIOR - BRIGHT WHITE (or WHITE w EXPOSED GRAIN)

ALTERNATE INTERIOR FINISH: PINE WITH (BRIGHT WHITE PAINTED)

DIVIDED LITES: 5/8" BEVELED
GLAZING BEADS: BEVELED

HARDWARE: OIL RUBBED (RUSTIC UMBER ALTERNATE)

INTERIOR DOORS:

SOLID CORE WOOD - 3-PANEL (SEE SECTS/ELEVS)

ALTERNATE: SIERRA PACIFIC DOORS

ALUMINUM CLAD WOOD - ASPEN INSWING

EXTERIOR: BATTLESHIP GRAY or BRONZE - VERIFY w OWNER
COLOR STAY COLLECTION

SCREENS: BETTERVUE FLEXSCREEN

DIVIDED LITES: 5/8" PUTTY

EXTERIOR TRIM: SEE MATERIAL NOTES - VERIFY w OWNER

INTERIOR FINISH: PAINTED INTERIOR - ULTRA-COAT WHITE

INTERIOR TRIM: SEE MATERIAL NOTES - VERIFY w OWNER

HARDWARE: MATTE BLACK

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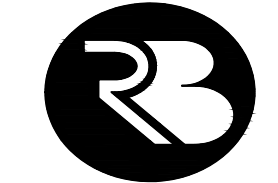
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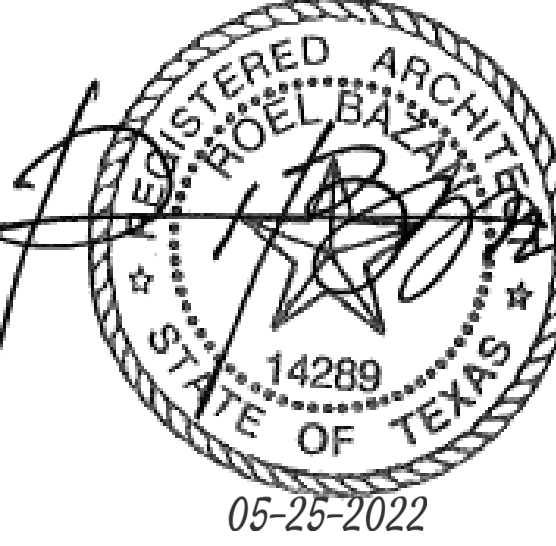
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LUCKY CHARM
HOMES

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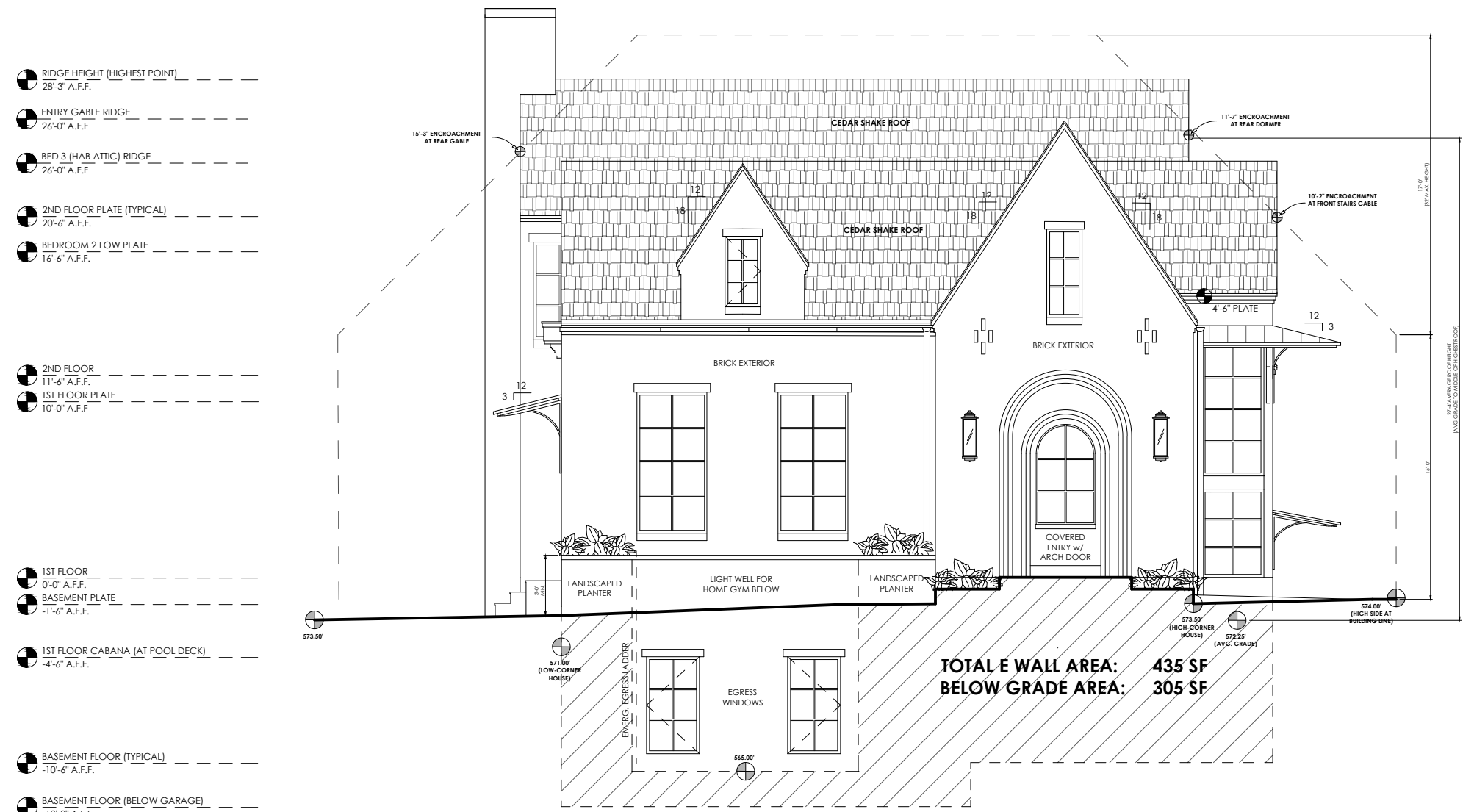
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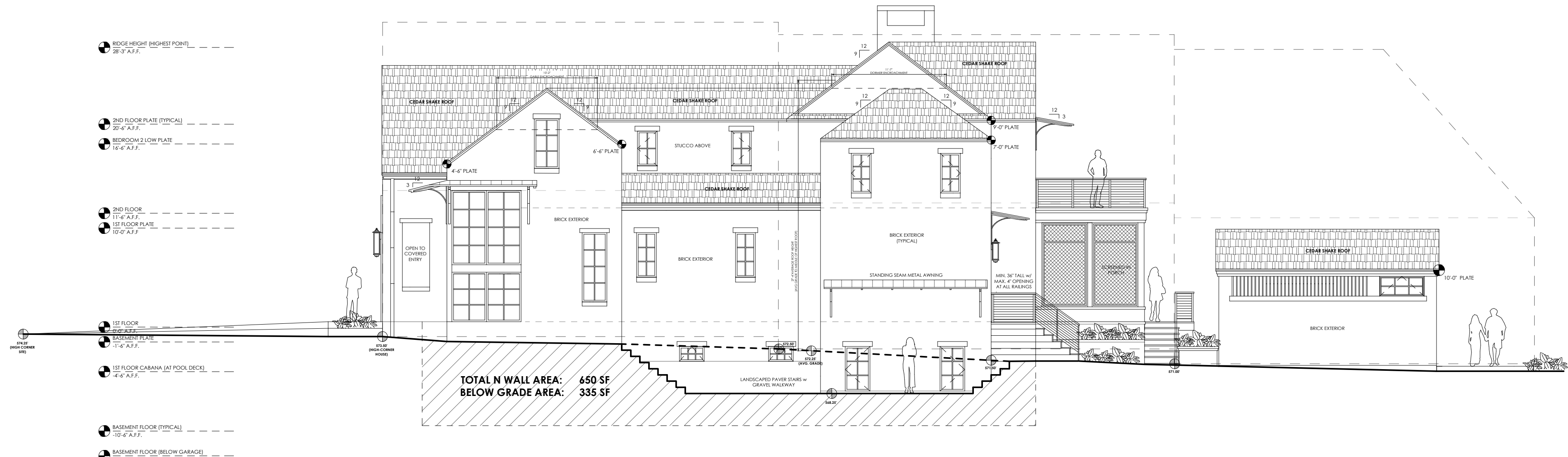
SCALE

SHEET NAME

A1.9



1 FRONT (EAST) ELEVATION
SCALE: 1/8" = 1'-0"



2 SIDE (NORTH) ELEVATION
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| | 70.10% |
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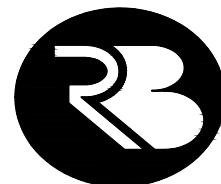
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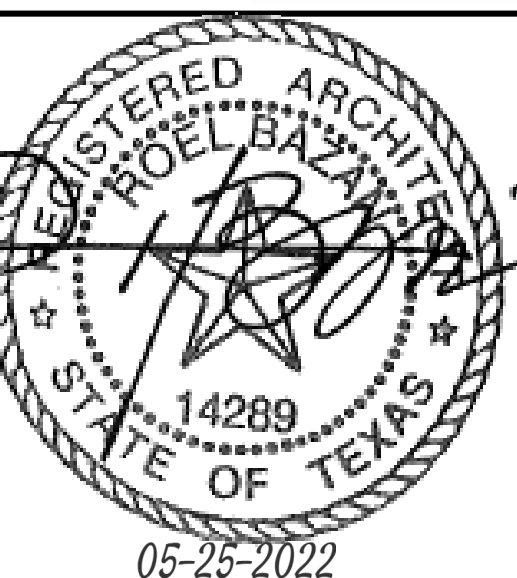
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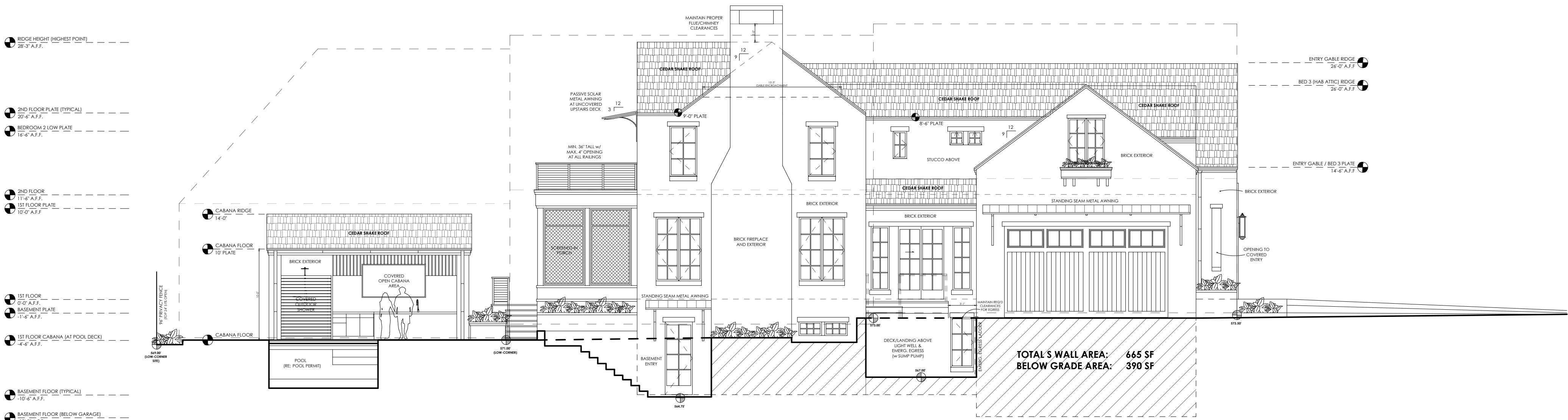
SCALE

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A2.1



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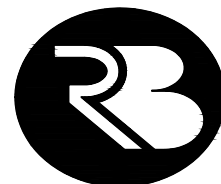
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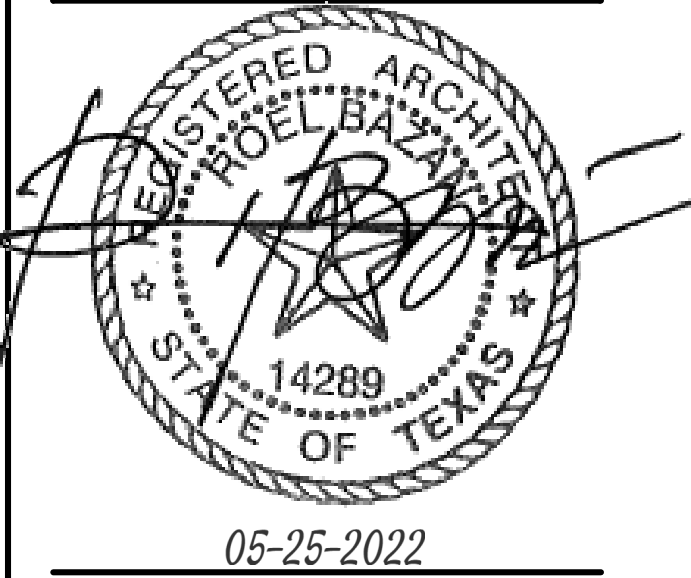
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NEW RESIDENCE

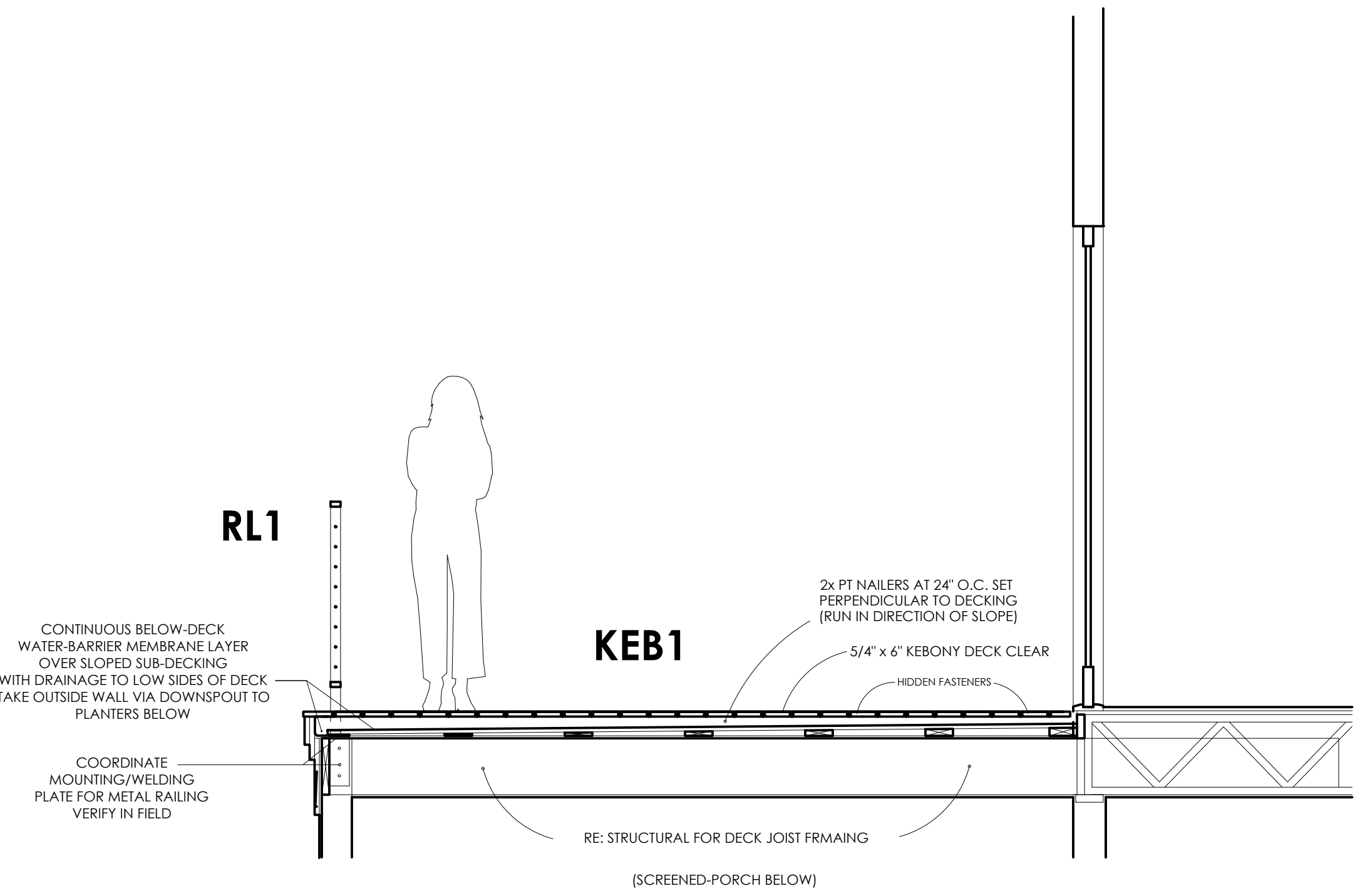
1510 PEASE ROAD
AUSTIN, TX 78703

DATE 5 / 24 / 22

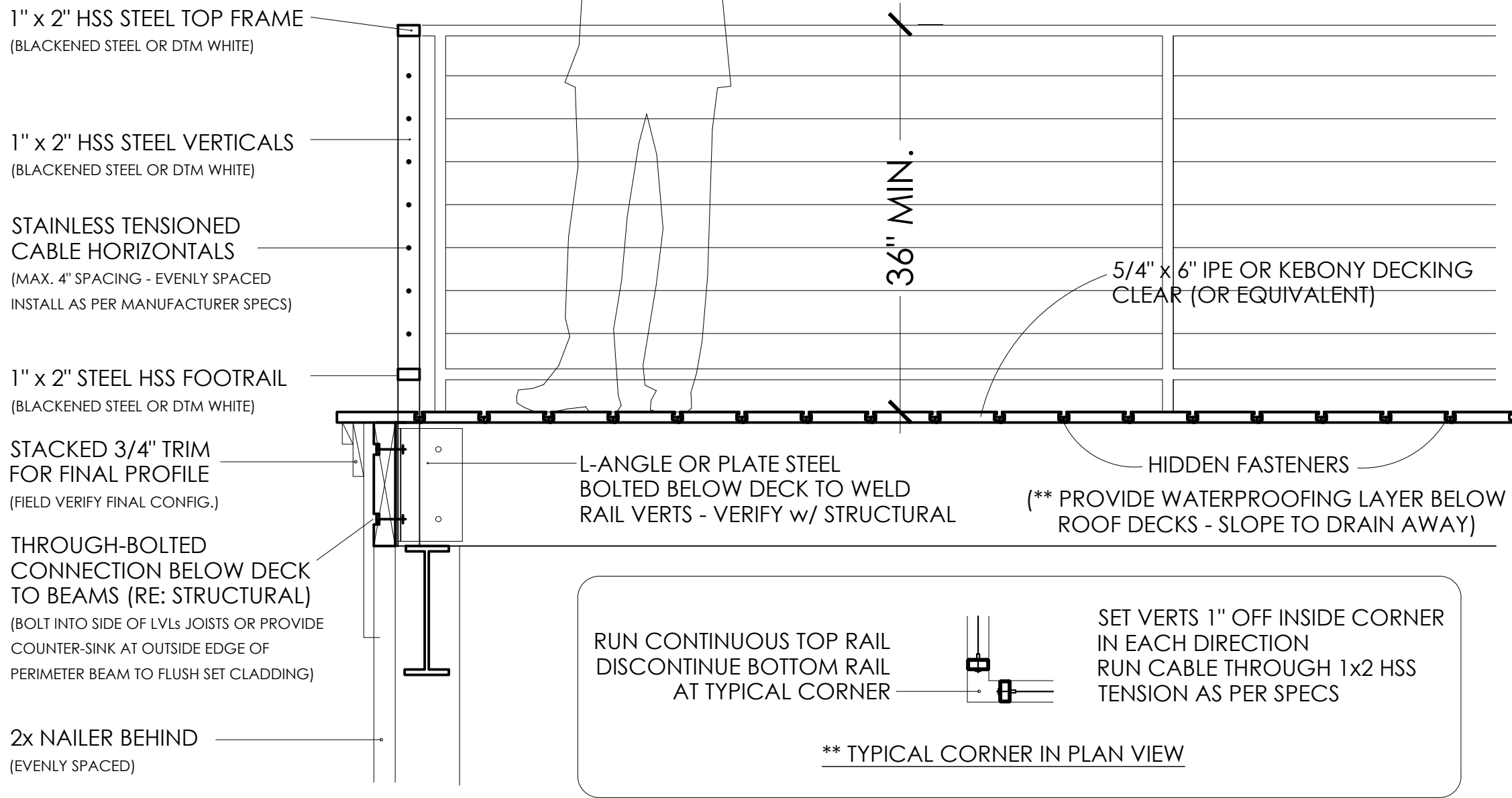
SCALE

SHEET NAME

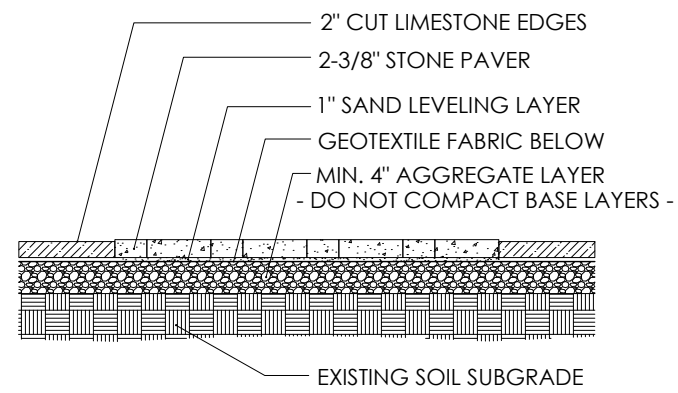
A2.2



① ROOF DECK ASSEMBLY - VERIFY w/ OWNER (RE: STRUCTURAL)
SCALE: 1" = 1'-0"

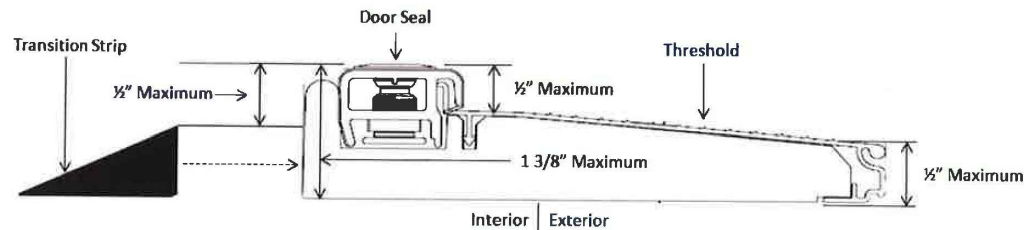


② TYPICAL RAILING (RE: STRUCTURAL)
SCALE: 1" = 1'-0"

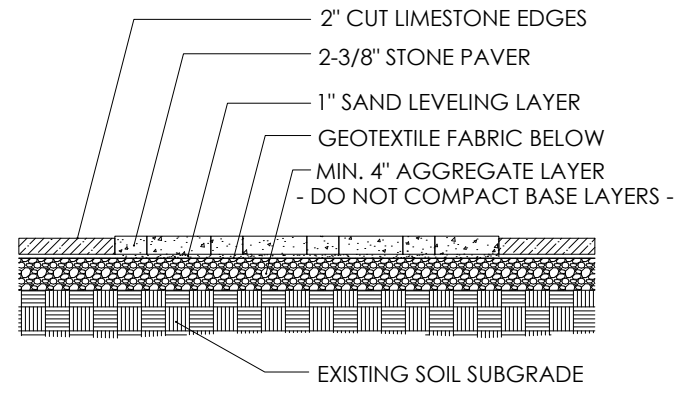


NOTES:
- THICKNESS OF AGGREGATE BASE WILL VARY WITH EXISTING GRADE
- CUT STONE TO BE PLACED AT FACE OF RISERS AT STEPS
- STACK CUT STONE EDGING AS NEEDED (MAX. 3 COURSES) AT STEPS
- DRY SET/STACK STONE - NO MORTARED JOINTS

⑤ TYPICAL NON-COMPACTED PAVERS ONSITE
1/2" = 1'-0"



TYPICAL VISITABLE THRESHOLD
CoA DETAIL: C12013-0002



NOTES:
- THICKNESS OF AGGREGATE BASE WILL VARY WITH EXISTING GRADE
- CUT STONE TO BE PLACED AT FACE OF RISERS AT STEPS
- STACK CUT STONE EDGING AS NEEDED (MAX. 3 COURSES) AT STEPS
- DRY SET/STACK STONE - NO MORTARED JOINTS

⑥ TYPICAL COMPACTED PAVERS IN ROW
1/2" = 1'-0"

NOTES:

PROJECT SUMMARY:

| | |
|------------------|-----------|
| TOTAL SITE: | 9,246 SF |
| ALLOWABLE FAR: | 3,698 SF |
| EXISTING FAR: | 2,470 SF |
| EXISTING % FAR: | 26.71 % |
| PROPOSED FAR: | |
| BASEMENT: | 2,105 SF |
| BASEMENT EXEMPT: | -2,105 SF |
| 1ST FLOOR FAR: | 2,369 SF |
| GARAGE EXEMPT: | - 200 SF |
| COVERED PATIO: | 198 SF |
| FAR PORCH RED: | - 198 SF |
| COVERED ENTRY: | 97 SF |
| FAR PORCH RED: | - 97 SF |
| 2ND FLOOR FAR: | 1,450 SF |
| POOL BATH FAR: | 50 SF |

| | |
|--------------|----------|
| TOTAL FAR: | 3,669 SF |
| TOTAL % FAR: | 39.68 % |

IMPERVIOUS COVER

| | |
|-----------------|----------|
| ALLOWABLE I.C.: | 4,161 SF |
| EXISTING I.C.: | 6,562 SF |
| | 70.10% |
| PROPOSED I.C.: | 4,101 SF |
| | 44.35% |

| | |
|--------------------|----------|
| HOUSE FOOTPRINT: | 2,369 SF |
| DRIVEWAY: | 865 SF |
| CABANA: | 242 SF |
| STAIRS/LANDINGS | 136 SF |
| LIGHT/EGRESS WELLS | 104 SF |
| COVERED PATIO: | 198 SF |
| FRONT ENTRY | 97 SF |
| POOL COPING | 72 SF |
| 2 AC PADS: | 18 SF |

| | |
|-----------------|----------|
| NEW IMPERVIOUS: | 4,101 SF |
|-----------------|----------|

GENERAL CONTRACTOR NOTES:

THE GENERAL CONTRACTOR (GC) SHALL FULLY COMPLY WITH THE LOCAL GOVERNING CODES, INCLUDING ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

THE GC SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, & REGULATIONS. THE GC SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GC SHALL FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION DOCUMENTS AND NOTIFY THIS OFFICE OF ANY DISCREPANCY THAT THEY MAY IDENTIFY OR ANY ITEM NEEDING FURTHER ATTENTION.

DIMENSIONS SHOWN ARE TO FACE OF FINISHED MATERIALS.

THE GC SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GC IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS. THE GC SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CDS, ANY DEFECT OR DISCREPANCY FOUND WITH THE CDS, SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE PRIOR TO PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE GC.

SAFETY GLAZING: ALL HAZARDOUS GLASS MUST BE IN ACCORDANCE WITH 2015 IRC SECTION R808.4. NOTED LOCATIONS: GLASS IN DOORS, WINDOWS 36" OR LESS FROM DOOR JAMB, GLAZING LESS THAN 5'0" ABOVE TUB FLOOR, AND SHOWER OR TUB ENCLOSURES.

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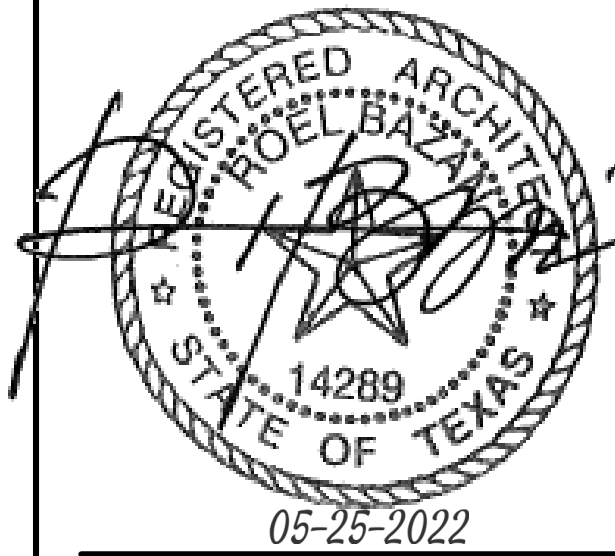
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SCALE

SHEET NAME

A4.1