

1 SITE PLAN
1/8" = 1'-0"

E
ELEMENT 5
ARCHITECTURE
RESIDENTIAL & HOSPITALITY
ARCHITECTURE & PLANNING
1212 Chicon Street
Ste. 101
Austin, TX 78702
(512) 473.8228 Voice
www.element5architecture.com

THIS SET OF DRAWINGS IS FOR INTERIM REVIEW ONLY. THIS DOCUMENT IS INCOMPLETE. NOT FOR REGULATORY APPROVAL / PERMITTING / BIDDING OR CONSTRUCTION. NICK MEHL, REGISTRATION NO. 17752

MONROE RESIDENCE
407 E MONROE
AUSTIN, TX 78704

SITE PLAN

A1.0

NOTE: ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS





04/08/2022

**Oam Parkash &
Eva Khazana**
512.945.0788
Austin, Texas

Dear Mr. Parkash & Ms. Khazana,

On 05 April 2022, R. Derek Hammond of RDH C&E performed a site observation to 407 E. Monroe Street in Austin, Texas to view the condition of the existing ADU. Based on the site observations, and calculations it appears the roof, attic, and portions floor framing are over spanned and insufficient for code required loading. Sagging in framing, cracking within the veneer, and rotting within the soffit and around the bottom plate were also observed. Roof & upper attic framing would all need to be removed and replaced or reinforced with additional framing and bracing. The 4x6 2nd floor framing support was also found to be deficient and would need to be reinforced or removed and replaced. Rotting was noted around the perimeter of the building due to the proximity of grade to the bottom plate of the wall. Termite damage was confirmed, and all wall framing at was damaged would need to be replaced.

The following report details site observations, conclusions and recommendations for the structure. If you have any questions, please do not hesitate to contact us. Thank you for the opportunity to provide these services to you. If we have erred in our understanding of the work feel free to contact me and we will be happy to adjust and resend,

Respectfully,



R. Derek Hammond, PE
Owner RDH C&E LLC

General Conditions

The existing apartment dwelling unit (ADU) was located at 407 East Monroe in Southwest Austin, Texas. The front of the residence faces north, toward East Monroe. The residence is located East of I-35 approximately 2 miles and south of Lady Bird Lake approximately 1 mile. The existing structure was a two story, stick framed structure resting on concrete stem walls with a slab on grade foundation.

Structure Composition

Roof and attic framing were composed of 2x4's at 24" OC. Hip and ridge beams were also 2x4 framing members. Floor and roofs were decked with ship lap boards and wall covering. The lateral system appeared to be braced walls. Wall sheathing and wall framing at the second floor were concealed and unable to be view during the observation. The second floor framing was composed of 2x8's at 16" on center (OC) resting on a 4x6 beam that ran the length of the building parallel to the front of the building. The concrete stem walls were approximately 2'-0" to 3'-0" tall and retained soil from the South and West sides. Reinforcement within the slab and stem wall were unable to be determined.

Structural Issues/Deficiencies

Roof framing and attic framing (2x4's at 24") were determined to be deficient for code required live and dead loading. Ridge and hip beams were also undersized and would need to be increased in size, or braced from walls below. The 2x8 floor framing is adequately sized provided no additional point loading is added to it from the roof above. The 4x6 framing carrying the 2x8's however were undersized for the required loading. The 4x6 beam center support was concealed from view and unable to be confirmed, a 4x4 post and foundation would be required for the loading.

Soils around the South and West sides were observed to be above the bottom plate of the wooden portions of the exterior wall framing. Cracking was observed in the skirting around the base of the home and sand bags were present to mitigate water infiltration. Wall framing was obscured from view, but is likely rotted due to the evidence of water infiltration over a long period of time. Rotting soffits were also noted around the perimeter of the ADU as well as evidence of settling, namely cracking around openings.

Termite damage had been confirmed within the walls, further investigation would be necessary to determine wall framing adequacy. Where damage or insufficient framing and/or sheathing attachments are discovered, removal and replacement would be recommended.

Conclusions

Roof framing, sheathing, attic framing and wall framing are deficient for current code required loading and likely water and/or termite damaged, respectively. Roof framing members and attic framing would need to be upgraded to 2x6 framing at the roof, 2x10's at the attic, and ridges would need to be reinforced, and possibly braced off of the interior walls. Bracing off of walls would require the 2x8 floor framing to be upgraded to support the added point loading from the roof bracing. The 4x6 framing



RDHammond, Consulting & Engineering, LLC

Residential & Commercial Structural Solutions

Texas Firm# 17051

email: rhammond@RDHCE.com

phone: 956.367.5561

supporting the floor framing would need to be removed and replaced with a larger beam, but may create head height issues, so special consideration will need to be taken. Damaged walls and sheathing would need to be replaced, and evidence of damage was noted around the entire exterior.

Roof, attic framing, and primary 2nd floor framing support were noted as deficient, some to severe degrees. Removal and replacement would be necessary to a large portion of ADU wood framing. Headers were concealed from view and unable to be confirmed, but will also likely require replacement as well. Foundations and stem walls appeared in tact, however reinforcement (if any) was not confirmed, nor slab depth, grade beam depth, or the existence of spread footings below the interior support for the second floor framing. Further investigation would be necessary, but after trenching for plumbing, water proofing for the retaining wall, and re-grading to avoid water infiltration on the rear, it may be more economical to demo the slab and stem walls as well. Shoring or replacement of the 4x6 beam would be recommended to avoid safety issue for any work crews prior to working on the ADU.



Figure 1: 2x4 roof framing at 24", 2x4 ridge beam, and 2x4 hip beam, note lack of vertical support at hip to ridge connection.



Figure 2: 2x8 floor framing at 16".



Figure 3: Rear wall, SW corner, sand bags, and soil built up above bottom plate.



Figure 4: Rotting soffit and crack stucco veneer on rear wall



Figure 5: Rotted soffit on West side of ADU.



eva konvit <eva@designtreehome.com>

A-Text Pest Management

1 message

Chris Roddy <cratexpest@gmail.com>
To: eva@designtreehome.com

Fri, Apr 1, 2022 at 9:58 AM

Hi this is Chris with A-Text Pest Management. I am the one who performed the termite inspection for both 407 and 409 Monroe. I have sent over a treatment plan for both including treatment around the detached garage. I highly recommend a treatment due to all the conducive conditions for example wood touching the ground which also hides areas during the inspection. Also the condition of the wood sitting on all 3 structures is in poor condition which attracts termites. While on site I saw no evidence or proof a treatment had been done so in those cases we recommend having the property treated and in tern will provide protection. The product we use states it provides protection against termites for up to 15 years and will also eliminate and existing termites in 90 days. I hope this recommendation email helps and we look forward to your business.

Thanks, Chris

Sent from my iPad

Welcome EVA

Thank you for choosing A-TEX PEST MANAGEMENT INC!

Welcome to our newly featured customer portal, for your convenience you may pay your bill from here, see your service history and invoice details as well, it is our goal to provide as many tools as possible to make your service experience with us 2nd to none! Thank you for allowing us to serve you!

Please review the following document and then sign. You will receive a copy via email for your records. Thank you!



<https://www.atexpest.com>
 P.O. Box 80081 - Austin, Texas 78708
 (512) 428-6967
 TPCL#12357

MAPSCO _____

3/30/22
 Date
 EVA CONVIT
 Billing Name
 407 E MONROE ST
 Billing Address
 Austin TX 78704
 Billing City State Zip
 (512) 751-5667
 Billing Phone # Person To Contact

EVA CONVIT
 Account Name
 407 E MONROE ST
 Service Address
 Austin TX 78704
 Service City State Zip
 (512) 751-5667
 Service Phone # Person To Contact
 eva@designtreehome.com
 Email

Termite Service Agreement

This agreement is by and between A-TEX and the party indicated above and hereinafter referred to as the "Company" (the seller) and the "Customer" (the buyer). The Company agrees to finish Eastern Subterranean termite control service to the structure(s) specified above under the "service address" and to guarantee this treatment for a period of one year from the date of treatment, subject to general terms and conditions (refer to the "General Terms and Conditions" on the back of this document).

Limited Lifetime Renewable Termite Re-Treatment Agreement

Subject to any limitations or restrictions set forth in the graph, specifications, inspection reports and to the General terms and conditions, the Company will issue a Re-treatment Agreement. This Agreement obligates the company, at no extra cost to the customer, to perform any necessary additional treatment to the customer's building if any infestation of subterranean termites is found during the effective period of this agreement.

After completion of the initial treatment, the agreement will apply to the building at the above stated service address and described in the attached graph. The Agreement will be effective when the initial charge for treatment are paid and after that, upon payment of the annual renewal fee on or before each anniversary date of the agreement. The annual renewal fee indicated below is due on the anniversary date of the initial treatment. The annual renewal fee is subject to increase after the 5th fiscal year no more than 10% per year.

So long as the Agreement is in effect, the company will reinspect the building located at the service address when the Company determines it is necessary, or unusually upon request. The customer agrees to make the building available for inspection.

Customer warrants full cooperation with the company, and agrees to maintain the building located at the service address free from any condition conducive to re-infestation, such as excessive moisture, wood debris, trash or allowing lumber or wood adjacent or attached to the building to come in direct contact with the ground. Any alterations or additions to the building shall not be included in this agreement unless the company has also treated the additions. This agreement may be transferred to any new owner at any time, the service and warranty does not include Drywood, or Formosan Termites.

Annual Renewal Fee \$ 150 Plus tax, per year

Type of Treatment Baiting Partial (Chemical) Spot (Chemical)
 Physical Barrier Pier & Beam
 (Refer to the "Definitions of Treatment" on the back of this document)

Chemical to be used TERMIDOR HE at .125 %

START DATE _____ --/ -- / -- _____ --

Attach Copy of Label Attach MSDS Sheet Prep. Sheet Attached
 Attach Graph showing termite treating specs. Consumer Information Sheet

Treatment Charge \$ 625 + Tax \$ 51.56 = \$ 676.56

Inspections Recommended Annually _____

Amount Remitted with this Agreement \$ _____

You, the buyer, may cancel this transaction at anytime prior to midnight of the third business day after the date of this transaction. Ask for details and/or see the back of this document.

In the event payment is not met, A-TEX will submit for collection and all expenses, charges, fees, etc. will be added to the amount due and owed by Customer. There will be a \$25.00 fee for all returned checks.

The undersigned property owner/customer acknowledges that they have read and understand the foregoing agreement. They also understand that they will be bound by its terms.

A-TEX PEST MANAGEMENT INC.

ACCEPTED BY:



Chris Roddy
Representative Name

Special Instructions/Payment Arrangements: _____

LICENSED & REGULATED BY: TEXAS DEPARTMENT OF AGRICULTURE
P.O. BOX 12847 AUSTIN, TX 78711-2847, PHONE: (806) 918-4481, FAX:(888) 232-2567

GENERAL TERMS AND CONDITIONS

It is agreed that the Company is not responsible for the repair of visible or hidden damage existing as of the date of his contract. It is further agreed that the customer is solely responsible for the repair of such damage.

Excessive moisture, structural or mechanical defects which result in water leakage and stress cracks in foundation and sub-slab areas may destroy the effectiveness of the treatment and permit the infestation to continue after the date of initial treatment. If moisture and/or structural conditions which are conducive to subterranean termite infestation (such as structural wood to ground contact, water leakage stucco/veneer below grade, firewood adjacent to structure, milch beds adjacent to structure) are found to exist after the date of this agreement the Company shall be relieved of any and all liability for damage occurring during the term of this agreement. If such repairs are discovered, it is agreed that the customer will be responsible for making such repairs as are necessary to correct the defect and the company will within one year from the date of this contract, upon completions of said repairs, provide treatment to control the infestation.

Any claim for breach of this guarantee shall be made in writing to the Company. The parties hereto agree to submit all disputes to binding arbitration if the parties are unable to agree to a resolution of any dispute. In no event may any lawsuit be brought more than two (2) years after the breach of the guarantee.

The Company's liability shall be terminated should the Company be prevented from fulfilling its responsibilities under the terms of the Guarantee by reason of acts of war, whether declared or undeclared, acts of any duly constituted government authority, strikes, acts of God, or failure by the customer to allow the Company access to the premises for any purpose contemplated by the Guarantee, specifically including re-inspection, whether such re-inspection was requested by the customer or deemed necessary by the Company.

This agreement covers the premises diagram on the attached Graph and specifications as of the date actual treatment, and the event the premises are structurally modified, altered, sold, transferred or otherwise changed after date of initial treatment, this agreement shall terminate as to that portion modified, altered, sold, transferred or changed unless a prior written agreement shall have been entered into between the customer and the Company to re-inspect the premises, provide additional treatment and/or adjust the annual renewal fee.

It is understood and agreed between the parties that this Agreement, the attached Graph and specifications constitute the complete agreement between the parties and that said agreement may not be transferred, changed or altered in any manner, oral or otherwise, unless the alteration or change is in writing and executed by a duly authorized representative of the Company.

It is specifically understood and agreed that the Company and the Customer are bound only by the terms and conditions of this agreement and have not relied on any other representation oral or otherwise.

Customer acknowledges and agrees that no insecticides shall be applied to the baited/monitored sites, that all bait stations shall remain the property of the company, that customer shall be responsible for missing or damaged bait stations, and that customer shall not move, open or handle bait stations.

Customer acknowledges and agrees that control subterranean termites through a baiting system shall be provided through baiting and monitoring by the company. The subterranean termite baiting system is designed to reduce and/or eliminate termite activity to the extent required to provide structural protection from further damage. Achievement of this end result may take several months or in some cases longer depending on the size and number of termite colonies presents, the number of conducive conditions, the treatment method used, and the number of station used and their placement. Additional damage may occur because of the time needed to gain control. The company will not be responsible for such damage.

It is agreed that the agreement does not cover Drywood, Formosan or any other species of Termites other than Eastern Subterranean Termites.

DEFINITIONS OF TREATMENT

A subterranean termite treatment may be a partial treatment or a spot treatment using termiticide, approved physical barriers or a baiting system, These types of treatments are defined as follows:

Partial Treatment

This technique allows a wide variety of treatment strategies but is more involved than a spot treatment. (See definition below.) Ex: treatment of some or all of the perimeter, bath traps, expansion joints, stress cracks, portions of framing, walls and bait locations.

Pier and Beam: Generally defined as the treatment of the outer perimeter including porches, patios and treatment of the attached garage. In the crawl space, treatment would include any soil to structure contacts as well as removal of any wood debris on the ground.

Slab Construction: Generally defined as treatment of the perimeter and all known slab penetrations as well as any known expansion joints or stress cracks.

Spot Treatment

Any treatment which concerns a limited, defined area less than ten (10) linear or square feet that is intended to protect a specific location or "spot." Often there are adjacent areas susceptible to termite infestation, which are not treated.

Baiting

This type of treatment may include interior and/or perimeter placement of monitoring or baiting systems along with routine inspection intervals. The baiting technique may include one or more baiting locations as prescribed by the product label and instructions.

For all treatment there will be a graph showing exactly what will be treated. Treatment specifications and warranties for those treatments may vary widely. Review the pesticides label provided to you for minimum treatment specifications. If you have any questions, contact the service provider or the Texas Department of Agriculture P.O. Box 12847, Austin, TX 78711 Phone:866-918-4481 or Fax: 888-232-2567

Notice of Cancellation

I, the buyer, having been informed of my right to cancel this transaction at anytime prior to midnight of the third business day after the date of this transaction hereby exercise my right of cancellation.

Buyer _____ **Date:** _____ **Time:** _____



https://www.atexpest.com
P.O. Box 80081 - Austin, Texas 78708
(512) 428-6967
TPCL#12357

- X = ACTIVE TERMITES
A = TRENCH
B = DRILL
C = BATH & TRAPS
D = WASHER/DRYER
E = SINKS
F = ICE MAKER
G = SHOWER PAN
H = ROD
I = LONG ROD
NOTES

APPROX: 125 LIN. FT.
APPROX: 30-40 CHEM. GALS.
APPROX: 2-3 HR. LABOR

Name: EVA CONVIT
Address: 407 E MONROE ST
Austin, TX 78704
Phone #: H (512) 751-5667 W

TOTAL \$ 625

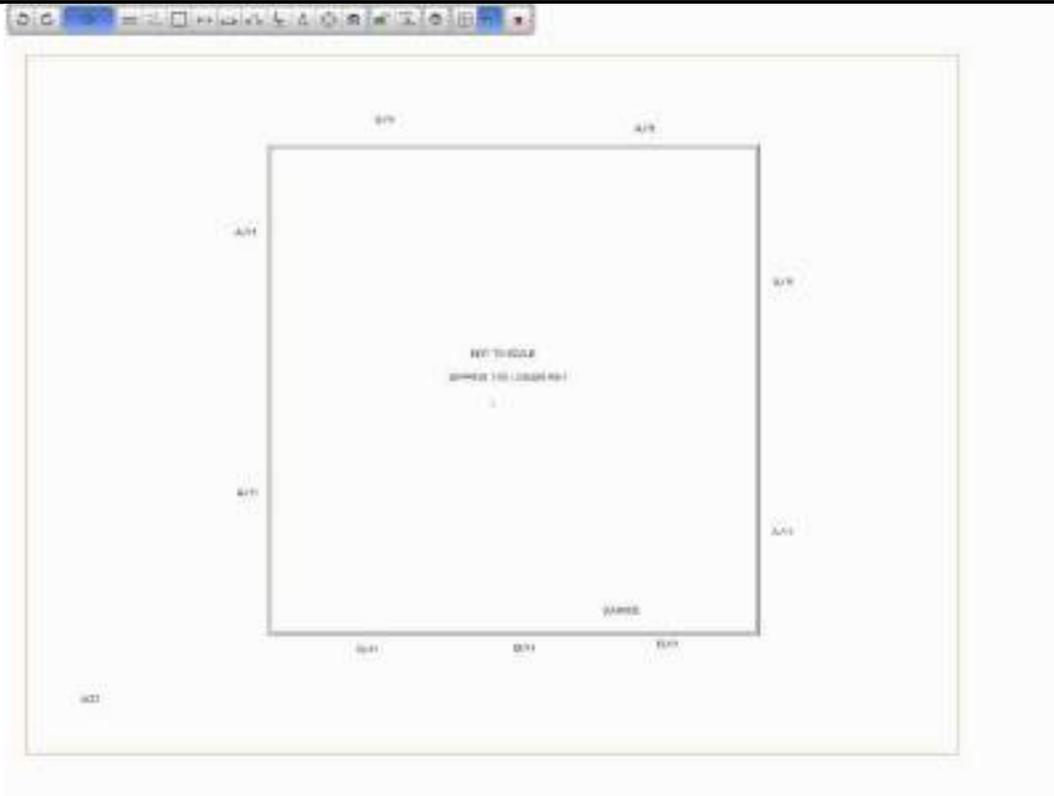
SERVICE CHARGE \$

TAX \$

TOTAL:\$

GRAPHED BY: CR

1 SQ# FT



+

Add Diagram Legend

Finish



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(<https://twitter.com/atexpest>)



Powered by



**A-TEX PEST
MANAGEMENT INC**
PO BOX 80081
AUSTIN, TX 78708



Demolition Permit Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)
For submittal and fee information, see austintexas.gov/digitaldevelopment

Download application before entering information.

For Office Use Only – Permit Information

PR- _____ BP- _____ Historic Review: _____ Year Built: _____
 Referred By: _____ Historic District Name: _____
 Release permit

 Historic Preservation Office _____ Date _____

IMPORTANT: Inspections are required for all demolition projects. If you do not schedule a final inspection, the permit will expire after twenty-four (24) months from the date of permit activation. To close an expired permit, applicants must submit a NEW application and pay associated fees for the project.

DO NOT LET YOUR PERMIT EXPIRE!

HISTORIC LANDMARKS AND HISTORIC DISTRICTS: If this property is a historic landmark or a contributing property in a local or National Register Historic District, additional applications and fees apply. Visit the Historic Preservation Office website at www.austintexas.gov/department/historic-preservation for more information.

Submittal Requirements

- 1. Owner authorization/signature, **notarized** at the bottom of the next page, **OR** a **notarized** letter of authorization from the owner giving the applicant permission to apply. Electronically notarized applications are preferred.
- 2. Dimensioned site plan(s) or survey that shows all existing structures and the structures to be demolished
- 3. Notarized Affidavit of Compliance
- 4. Certified tax certificate(s) from the Travis County Tax Assessor (5501 Airport Boulevard, 512-854-9473)
- 5. Photos of each side of structure. One photo must show the entire elevation visible from the street. Photos must be two megapixels (1200 x 1600 pixels) or larger
- 6. Tree survey with all trees 19" or greater shown on plans

Additional requirements for commercial demolitions:

- 7. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- 8. Texas Department of Health Asbestos Notification Form completed by a licensed inspector or contractor

Property Information	Proposed Demolition
Address: 407 East Monroe City: Austin Zip: 78704 Current Use: Vacant	<input checked="" type="checkbox"/> Total <input type="checkbox"/> Greater than 50% of exterior: identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished on site plan/survey and photos.
Demolition Contractor Information	Structural Information
Company: Possum Trot Address: 1212 West 9th ST City: Austin Zip: 78703 Phone: 512-520-8878	Square Feet: 1,177 sqft Building Materials: Stucco, Stick Frame Foundation Type: Pier and Beam Estimated Cost of Demolition: \$15,000

Owner	Applicant
Name: <u>Parkash Builders LLC</u>	Name: <u>Khazana Design Team</u>
Address: <u>1212 West 9th St</u>	Address: <u>9327 TX-71</u>
City: <u>Austin</u> Zip: <u>78703</u>	City: <u>Austin</u> Zip: <u>78735</u>
Phone: <u>512-520-8878</u>	Phone: <u>512-520-8878</u>
Email: <u>ParkashBuilders@gmail.com</u>	Email: <u>khazanadesignteam@gmail.com</u>

Additional Questions

Are there trees 19 inches or greater in diameter on the site or along neighboring properties? (Residential only) Yes No

Was the structure inhabited within the last 12 months? Yes No

What is the total number of housing units that will be demolished? 1 (Commercial only)

What is the total number of bedrooms in the units that will be demolished? 1 (Commercial only)

How many currently occupied residential units will be demolished? 1 (Commercial only)

If 5 or more, tenant notification and a certified form may be required with your application per the City of Austin Land Development Code (Division 23-4E-8; F25-1-712 and 713). Visit www.austintexas.gov/page/tenant-relocation-assistance for more information.

Is the property located in a National Register historic district, a historic district (zoned HD), or a historic landmark (zoned H)? Yes

What is the total square footage being demolished? 1,177 sqft

Will this project involve implosion? Yes No

If yes, contact Austin Water at 512-972-0101 to determine if water mains are applicable to your project location.

Floodplain: Is the property located in the City of Austin regulatory floodplain? Yes No

Stricter permit regulations apply to any building, remodeling, construction or other development on locations in the floodplain. Approval for demolition does not guarantee approval for new construction on the property.

Consent, Authorizations, and Signatures

I understand and will adhere to the following rules or regulations:

- No work may begin prior to issuance of this permit. All required permits must be obtained prior to the start of work.**
- Verify with the Development Assistance Center that new construction will be permitted on the property at this location PRIOR to submitting this application.
- If the structure to be demolished is tied into water and/or sewer services provided by the City of Austin, you must contact City of Austin's Utility Contact Center at 512-494-9400 to obtain specific water and sewer service information.
- For disconnect and removal of services by Austin Energy, contact City of Austin's Utility Contact Center at 512-494-9400.
- Water/waste water tap permit [application](#) for Commercial shall be emailed to Austin Water Taps (AWTaps@austintexas.gov). Water/waste water tap permit application for Residential shall be completed via the AB+C portal.
- Erosion and sedimentation controls are required by the City of Austin Land Development Code (§23-4D-7; F25-8-181). Failure to comply may result in a Stop Work Order and/or legal action by the City of Austin, including criminal charges and fines of up to \$2,000 per day. Inspection of erosion, sedimentation controls, and tree protection must be requested by the owner before construction begins (§23-5B-6050 (B); F25-1-288). Call (512) 974-2278 or email environmental.inspections@austintexas.gov to obtain these inspections.
- Tree preservation is required per the Land Development Code (Article 23-4C; F25-8-B) and Environmental Criteria Manual (§3.5.2 (A)). Proposed work that will remove, impact the critical root zone, or prune more than 25% of the canopy of a protected size tree must be reviewed for a tree permit. Note: Root zone protection measures (e.g. fencing, boards attached to the trunk, mulch) are required prior to work.

8. If the proposed work will require use of City right of way, a Right of Way Application must be approved. Obtain an application from the Transportation Department at (512) 974-7180 or www.austintexas.gov/rowman.
9. The Historic Preservation Office will determine if the referenced structure meets historic designation criteria as defined by the Land Development Code (Article 23-6E; F25-11-213 to 214; and §23-3C-10090; F25-2-352). Additional review by the Historic Landmark Commission may be required and additional fees may be assessed. If the property is a historic landmark or is located in a local or National Register historic district, the Historic Landmark Commission must review plans for new construction before the demolition permit is released. Call (512) 974-3583, email preservation@austintexas.gov, or visit www.austintexas.gov/department/historic-preservation for more information.
10. Construction projects exceeding 5,000 square feet of new, added, or remodeled floor area and all permitted commercial and multi-family demolition projects are required to divert construction debris from the landfill per the Land Development Code (§23-6C-2060; F25-11-39). Email constructionrecycling@austintexas.gov or visit www.austintexas.gov/department/construction-demolition-recycling-ordinance for more information.
11. Approval of a demolition permit does not guarantee approval for new construction in the City of Austin regulatory floodplain.
12. For properties in the City of Austin regulatory floodplain, a determination of substantial damage and/or substantial improvement (for partial demolitions) may trigger additional floodplain regulations.
13. Greater than 50% of exterior walls demolished will require compliance with the Demolition Notification requirements (Ordinance 20201001-040)
14. Approved permits may be obtained from the Service Center. Any additional fees will be assessed at that time.

I, the undersigned, hereby swear or affirm that the information provided in this application is true and correct to the best of my knowledge and is an accurate reflection of my intentions for the above structure and/or property. I understand that any omission or incorrect information herein will render this application and any permit obtained invalid.

As owner(s) of the property described in this application, I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.

Signature of Applicant (if different than owner): _____ Date: 3-31-22

Signature of Owner: _____ Date: _____

Sworn and subscribed before me this 31 day of 03, 2022

Signature of Public Notary: _____ My commission expires: 12/15/25

Notary Public in and for the State of Texas

