CITY OF AUSTIN
Board of Adjustment
Decision Sheet
E-3

DATE: Monday June 13, 2022 **CASE NUMBER: C15-2022-0047**

___Y____Thomas Ates
___Y____Brooke Bailey
___Y____Jessica Cohen
___-____Melissa Hawthorne OUT
___Y____Barbara Mcarthur
___Y____Darryl Pruett
___Y____Agustina Rodriguez
___Y____Richard Smith
___Y____Michael Von Ohlen
___Y____Nicholl Wade
___Y____Kelly Blume (Alternate)
___Y____Carrie Waller (Alternate)
_____Marcel Gutierrez-Garza (Alternate)

APPLICANT: Christian Gutierrez

OWNER: Steven Walker

ADDRESS: 4522 CASWELL AVE

VARIANCE REQUESTED: The applicant is requesting a variance(s) from the Land Development Code Section 25-2-492 (*Site Development Regulations*) from setback requirements to decrease the minimum Rear Yard Setback from 10 feet (required) to 5 feet (requested), in order to remodel a Garage/Studio in a "SF-3-NCCD-NP", Single-Family-Neighborhood Conservation Combining District-Neighborhood Plan zoning district (Hyde Park Neighborhood Plan).

BOARD'S DECISION: BOA MEETING JUNE 13, 2022 The public hearing was closed by Madam Chair Jessica Cohen, Board member Jessica Cohen motions to postponed to July 11, 2022; Board member Michael Von Ohlen seconds on an 11-0, vote; POSTPONED TO JULY 11, 2022.

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:

2. (a) The hardship for which the variance is requested is unique to the property in that:

   (b) The hardship is not general to the area in which the property is located because:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Elaine Ramirez

Elaine Ramirez
Executive Liaison

Diana A. Ramirez for

Jessica Cohen
Madam Chair

E-4/3

Gobel, James [Jim] Mar 3

Just a confirmation email then attach it to the update and note on the plans what we talked

Christian Gutierrez Mar 10

Good morning Jim, hope you are having a good week so far. We have excavated

Gobel, James [Jim] Mar 10

to me

Thanks for the pictures. I think you are ready to proceed in submitting the update and building the extension that you talked about. I don't think I need to actually go out to the site to look at the roots. From the pictures you provided, it looks like nothing significant was found so I say go ahead and proceed with the design for that area. Let me know if you have any questions.

Stay safe.

Thank you,

Jim Gobel

Environmental Inspection Specialist Senior

Residential Tree Review, Community Tree Division

ISA Certified Arborist TX-3962 A

ISA Risk Assessment Qualified

Christian Gutierrez Mar 10

to Gobel

E-4/4

Good morning Jim, hope you are having a good week so far. We have excavated the area you requested and it's ready for assessment. Please let me know when you are available to do this so we can move forward with the permit process.
Thank you again.

Show quoted text

2022031...332.jpg

202203...1316.jpg

Gobel, James [Jim] Mar 10

to me

BOA GENERAL REVIEW COVERSHEET

CASE: C15-2022-0047

BOA DATE: June 13th, 2022

ADDRESS: 4522 Caswell Ave

COUNCIL DISTRICT: 9

OWNER: Steven Walker

AGENT: Christian Gutierrez

ZONING: SF-3-NCCD-NP (Hyde Park Neighborhood Conservation Combining District Neighborhood Plan)

LEGAL DESCRIPTION: LOT 1A LINDEN PLACE

VARIANCE REQUEST: decrease the minimum Rear Yard Setback from 10 feet (required) to 5 feet (requested).

SUMMARY: remodel addition to a garage/studio

ISSUES: protected trees critical root zones

	ZONING	LAND USES
Site	SF-3-NCCD-NP	Single-Family
North	SF-3-NCCD-NP	Single-Family
South	SF-3-NCCD-NP	Single-Family
East	SF-3-NCCD-NP	Single-Family
West	SF-3-NCCD-NP	Single-Family

NEIGHBORHOOD ORGANIZATIONS:
Austin Independent School District
Austin Lost and Found Pets
Austin Neighborhoods Council
Central Austin Community Development Corporation
Friends of Austin Neighborhoods
Friends of Hyde Park
Homeless Neighborhood Association
Hyde Park Neighborhood Assn.
Hyde Park Neighborhood Plan Contact Team
Neighborhood Empowerment Foundation
North Austin Neighborhood Alliance
Preservation Austin
SELTexas
Sierra Club, Austin Regional Group

May 25, 2022

Christian Gutierrez
6273 Negley B
Kyle, TX 78640

Property Description: LOT 1A LINDEN PLACE

Re: C15-2022-0047

Dear Christian,

Austin Energy (AE) has reviewed your application for the above referenced property, requesting that the Board of Adjustment consider a variance(s) from LDC Section 25-2, Subchapter F, 2.4 at 4522 Caswell Ave.

Austin Energy does not oppose the request, provided that any proposed or existing improvements follow Austin Energy's Clearance & Safety Criteria, the National Electric Safety Code, and OSHA requirements. Any removal or relocation of existing facilities will be at the owner's/applicant's expense.

Please use this link to be advised of our clearance and safety requirements which are additional conditions of the above review action:
https://library.municode.com/tx/austin/codes/utilities_criteria_manual?nodeId=S1AUENDECR_1.10.0CLSARE

If you require further information or have any questions regarding the above comments, please contact our office. Thank you for contacting Austin Energy.

Cody Shook, Planner II
Austin Energy
Public Involvement | Real Estate Services
2500 Montopolis Drive
Austin, TX 78741
(512) 322-6881
Cody.Shook@austinenergy.com

N

SUBJECT TRACT

PENDING CASE

ZONING BOUNDARY

1 " = 250 '

NOTIFICATIONS

CASE#: C15-2022-0047

LOCATION: 4522 CASWELL AVENUE

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

CITY OF AUSTIN Development SERVICES DEPARTMENT

Building a Better and Safer Austin Together

Board of Adjustment General/Parking Variance Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)
For submittal and fee information, see austintexas.gov/digitaldevelopment

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, click here to Save the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # C15-2022-0047 ROW # 12929765 Tax # 0220100714

Section 1: Applicant Statement

Street Address: 4522 Caswell Ave

Subdivision Legal Description:

LOT 1 A LINDEN PLACE

Lot(s): 243038 Block(s):

Outlot: Division:

Zoning District: SF-3-NCCD-NP (Hyde Park) **Council District:** 10

I/We CHRISTIAN GUTIERREZ / STEVE WALKER on behalf of myself/ourselves as authorized agent for 4522 CASWELL AVE affirm that on Month May, Day 5, Year 2022, hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

○ Erect ○ Attach ○ Complete ◉ Remodel ○ Maintain ○ Other:

Type of Structure: GARAGE / STUDIO

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

LDC, SECTION 25-2, SUBCHAPTER F, 2.4 REAR YARD SETBACK: All other structures shall comply with the rear yard setback provision of this code, but th minimum rear yard setback of a secondary dwelling unit (proposed garage/studio) may be reduced to five feet if the rear lot line is adjacent to an alley. We request the variance to grant the minimum 5' rear yard setback.

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

THE EXISTING BUILDING (ORIGINAL 1920'S GARAGE) IS ENCROUCHING OVER THE REAR YARD SETBACK.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

THE PROTECTED TREES (5 TREES) CRITICAL ROOT ZONES WOULD BE IMPACTED BY THE RENOVATION PROCESS IF WE WERE TO MOVE THE STRUCTURE OUTSIDE THE REAR YARD SETBACK TO COMPLY WITH CURRENT SETBACK RESTRICTION.

b) The hardship is not general to the area in which the property is located because:

IT APPLIES TO THE SPECIFIC LOCATIONS OF THE PROTECTED TREE CRITICAL ROOT ZONES IN THAT PARTICULAR LOT AND LOCATION.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

WE WILL RENOVATE THE STRUCTURE WITH THE SAME ARCHITECTURAL FEATURES PRESENT IN THE EXISTING STRUCTURE TO PRESERVE ITS HISTORIC VALUE AND WILL NOT AFFECT ANY ADJACNT PROPERTY IN ANY WAY WITH THE PROPOSED RENOVATION.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

WE ARE NOT REQUESTING ANY ADDITIONAL PARKING ACCOMODATIONS.

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

NONE OF OUR PROPOSED PLANS WILL AFFECT ANY AREAS OR FEATURES PERTAINING PARKING OR TRAFFIC FLOW.

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

OUR PROPOSED PLANS WILL ADHERE TO LDC CODES AND REGULATIONS.

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

OUR PROPOSED PLAN CAN BE PERFORMED WITHOUT THE NEED TO EXTEND DEVELOPMENT TO ANY AREAS NOT MENTIONED IN THE PROPOSAL.

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: _____ Date: 05/05/2022

Applicant Name (typed or printed): CHRISTIAN GUTIERREZ

Applicant Mailing Address: 6273 NEGLEY B

City: KYLE State: TX Zip: 78640

Phone (will be public information): (512) 902-2234

Email (optional – will be public information): [redacted]

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: _____ Date: 05/05/2022

Owner Name (typed or printed): STEVEN WALKER

Owner Mailing Address: 4522 CASWELL AVE

City: AUSTIN State: TX Zip: 78751

Phone (will be public information): (214) 533-2571

Email (optional – will be public information): [redacted]

Section 5: Agent Information

Agent Name: CHRISTIAN GUTIERREZ

Agent Mailing Address: 6273 NEGLEY B

City: KYLE State: TX Zip: 78640

Phone (will be public information): (512) 902-2234

Email (optional – will be public information): [redacted]

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

Section 1, Portion of the City of Austin LDC applicant is seeking a variance from:
LDC, Section 25-2, Subchapter F, 2.4 Rear Yard Setback: All other structures shall comply with the rear yard setback provisions of this Code, but the minimum rear yard setback of a secondary dwelling unit (proposed garage/studio) may be reduced to five feet if the rear lot line is adjacent to

Additional Space (continued)

an alley. We request the variance to grant the minimum 5' rear yard setback since our rear yard setback is not adjacent to an alley and the existing garage structure was originally built (1920's) encrouching on the now stipulated current rear yard setback by LDC Code.

4522 Caswell Ave, Austin, TX 78751

CONTRACTOR VERIFICATION RESPONSIBILITIES

CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO THE ENGINEER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER.

ELECTRIC NOTES

ALL ELECTRICAL SHALL COMPLY WITH: THE 2017 NATIONAL ELECTRIC CODE (NEC).

PLUMBING NOTES

CONTRACTOR SHALL VERIFY AND COORDINATE THE EXACT LOCATION OF PIPING, FITTINGS OFFSETS, BEND, DEVICES AND EQUIPMENT WITH EXISTING SITE CONDITIONS, THE BUILDING ELEMENTS AND THE WORK OF OTHER TRADES.

ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS AND ORDINANCES, THE UNIFORM RESPECTS AND IN ACCORDANCE WITH ACCEPTED AND ESTABLISHED CONSTRUCTION PRACTICES.

NOTES

IN ADDITION TO ALL CITY OF AUSTIN ORDINANCES, RULES AND REGULATIONS, THIS PROJECT SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE (IBC), 2021 EDITION.

GENERAL NOTES

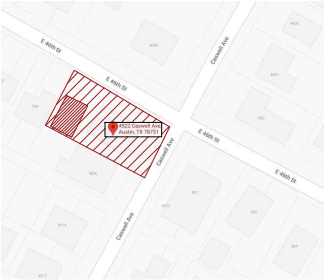
1. COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. CONTRACTOR AND SUB-CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS, LOCATIONS, AND PROJECT REQUIREMENTS PRIOR TO SUBMITTING A BID.
4. CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS, AND FAMILIARIZE THEMSELVES WITH PROJECT REQUIREMENTS PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO ENGINEER.
5. WORK SHALL INCLUDE ALL REQUIRED PERMITS, LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL WORK INDICATED ON DRAWINGS AND AS NECESSARY FOR A COMPLETE PROJECT.
6. PROVIDE TEMPORARY DUST-PROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXIST. AREAS AND EQUIPMENT FROM DAMAGE DUE TO DEMOLITION OR NEW CONSTRUCTION ACTIVITIES. COORDINATE LOCATIONS AND REQUIREMENTS WITH OWNER.
7. GENERAL CONTRACTOR TO PATCH, REPAIR AND PAINT (REFINISH) SURFACES AND BUILDING ELEMENTS DAMAGED BY MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND WHERE ITEMS ARE REMOVED, RELOCATED OR ADDED.
8. REPAIR FLOORS WHERE DAMAGED BY THE WORK OF THIS PROJECT.
9. PATCH AND REPAIR ALL SURFACES TO MATCH EXISTING WHERE ITEMS ARE REMOVED OR ALTERED - FIELD VERIFY EXTENT REQUIRED.
10. ALL PAINTING SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT FINISHES AND CLEANUP.
11. CONTRACTOR IS RESPONSIBLE FOR FINAL CLEANUP OF WORK AREA AND ALL EXPOSED BUILDING SURFACES AT SUBSTANTIAL COMPLETION.
12. ALL TRASH AND TOOLS SHALL BE REMOVED FROM PREMISES EACH DAY AND THE AREA LEFT CLEAN WHENEVER UNATTENDED. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP. COORDINATE WITH OWNER IF SECURE STORAGE IS NEEDED ONSITE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO FINISHED SURFACES, EQUIPMENT, FURNITURE, EXISTING MATERIALS OR FINISHES, CAUSED AS A RESULT OF HIS WORK. REPAIR OR REPLACE DAMAGED ITEMS AS DIRECTED BY ENGINEER.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.

ENGINEER

LOC CONSULTANTS, LLP
FIRM NO. 4756
SERGIO LOZANO-SANCHEZ P.E.
2211 S IH 35, AUSTIN, TX 78741
PHONE: (512)524-0677

CIVIL DIVISION
LOC CONSULTANTS

VICINITY MAP



OWNER

WOOD HARMON LLC
6443 LAS COLINAS BLVD.
IRVING, TX 75039
(214) 533-2571

INDEX OF DRAWINGS

ARCHITECTURE

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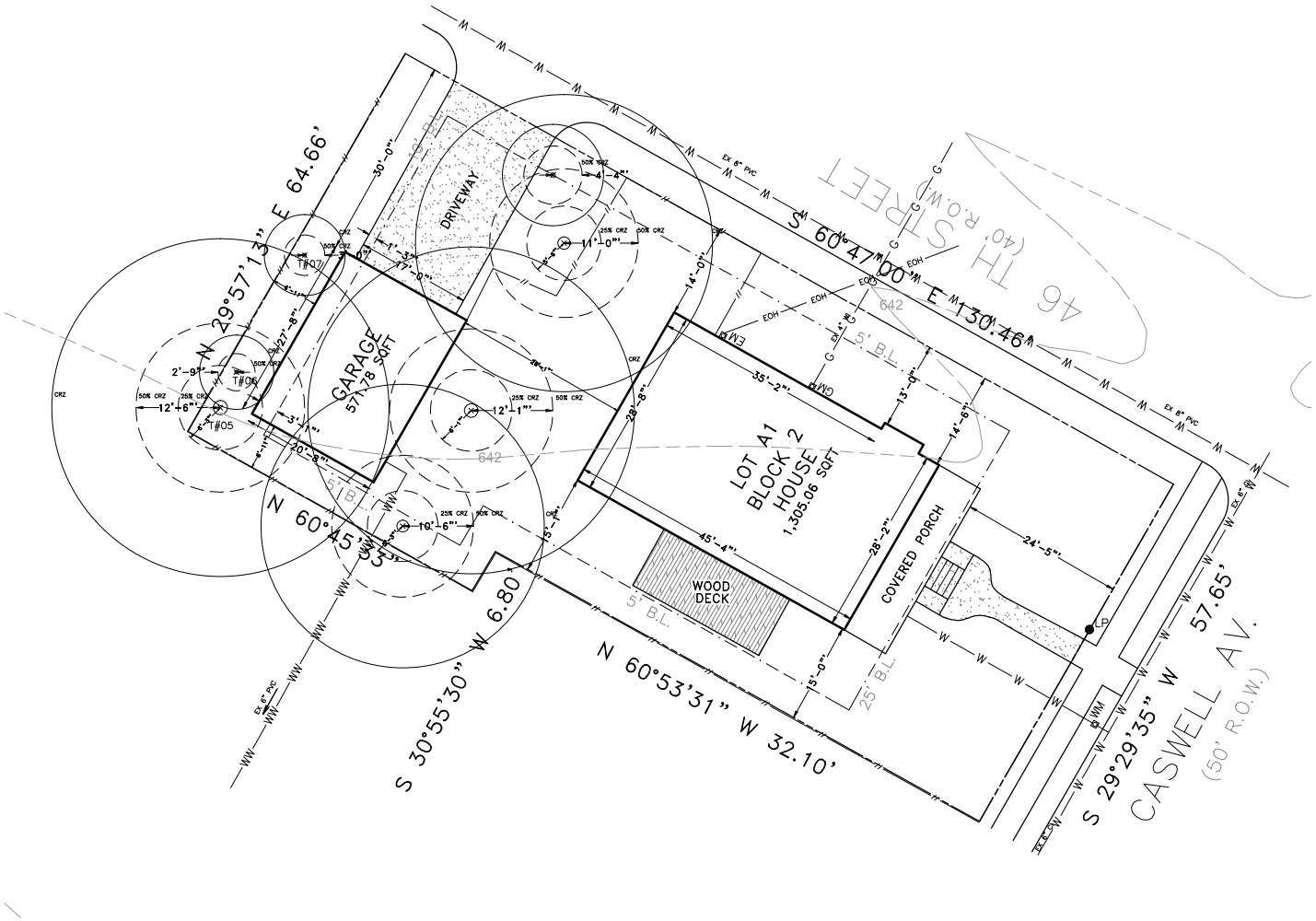
S5	FRAMING NOTES
S6	BRACING NOTES AND DETAILS

STATE OF TEXAS
Sergio N. Lozano-Sanchez
89158
LICENSED
PROFESSIONAL ENGINEER

DEC 20, 2021

E-4/14



1 EXISTING PLOT PLAN
SCALE: 1/8" = 1'

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING BUILDING
- EM – ELECTRIC METER
- EOH – OVERHEAD POWER LINE
- WM – WATER METER
- GM – GAS METER
- W – EXISTING WATER LINE
- WW – EXISTING WASTEWATER LINE
- G – EXISTING GAS LINE
- LP – LAMP POST
- WIRE FENCE
- WOOD FENCE
- CHAINLINK FENCE
- SETBACK
- PROPOSED ADDITION
- PROPOSED DEMOLITION

TREE LIST:

No.	DBH	SPECIES	BOTANICAL NAME
T01	8.67"	HACKBERRY	CELTIS OCCIDENTALIS
T02 (NW)	22"	PECAN	CARYA ILLINOINENSIS
T03	24.16"	PECAN	CARYA ILLINOINENSIS
T04 (SW)	21"	PECAN	CARYA ILLINOINENSIS
T05	25"	PECAN	CARYA ILLINOINENSIS
T06	5.5"	PRIVET	LIGUSTRUM
T07	6"	HACKBERRY	CELTIS OCCIDENTALIS

UPDATE

NO.	DESCRIPTION

STATE OF TEXAS
Sergio H. Lozano-Sanchez
89158
LICENSED
PROFESSIONAL ENGINEER
12/20/2021

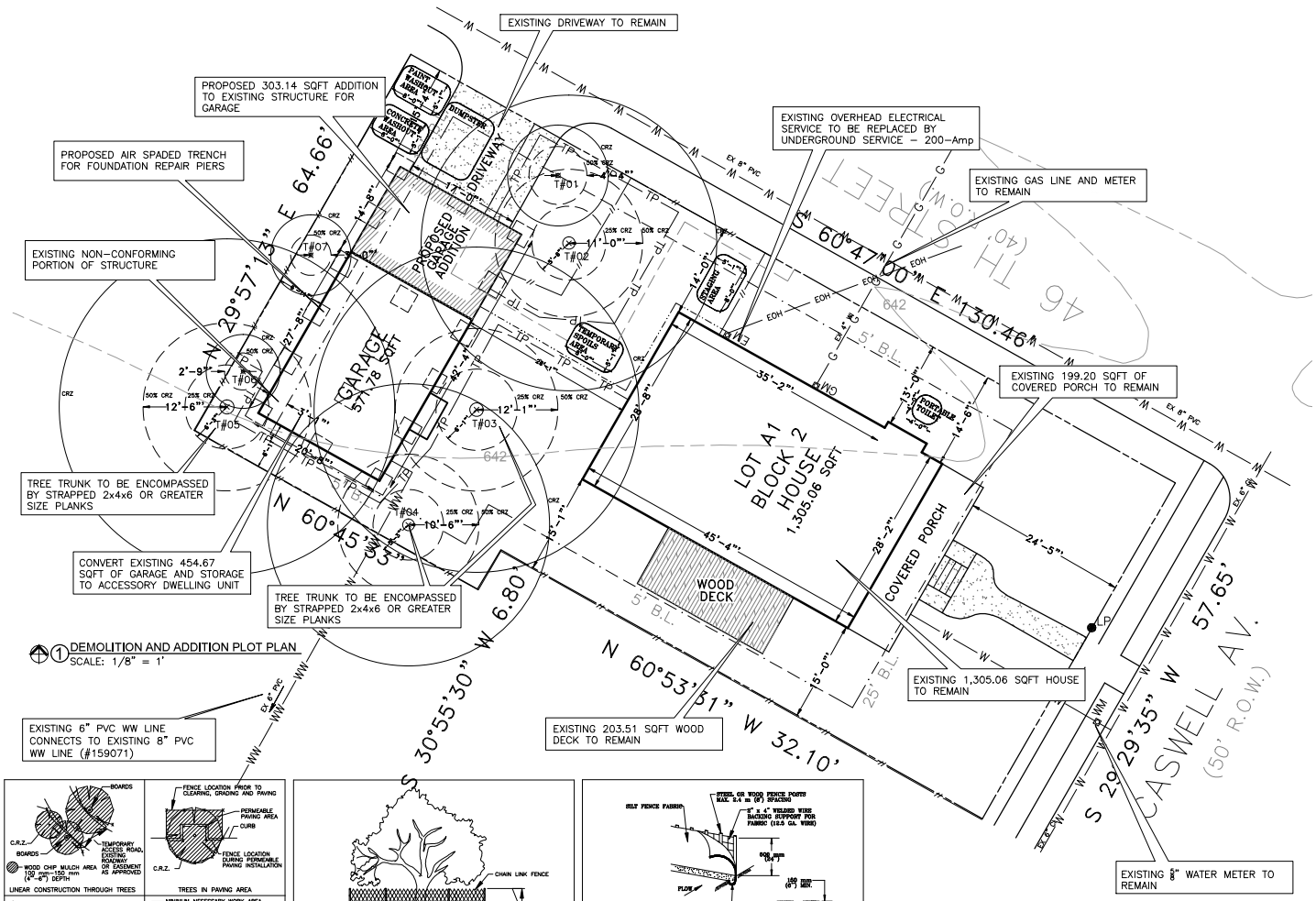
4522 CASWELL AV.
AUSTIN, TEXAS 78751

EXISTING PLOT PLAN

CIVIL DIVISION
LOC CONSULTANTS
F-4756
2211 S IH 35
Austin, Texas 78702
Ph. (512) 524-0577
SERGIO@LOCCIVIL.COM

SHEET:
A1 OF 20

PM:4522 CASWELL AVE\



① DEMOLITION AND ADDITION PLOT PLAN
SCALE: 1/8" = 1'

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING BUILDING
- EM – ELECTRIC METER
- EOH – OVERHEAD POWER LINE
- WM – WATER METER
- GM – GAS METER
- W – EXISTING WATER LINE
- WW – EXISTING WASTEWATER LINE
- G – EXISTING GAS LINE
- LP – LAMP POST
- WIRE FENCE
- WOOD FENCE
- CHAINLINK FENCE
- SETBACK
- PROPOSED ADDITION
- PROPOSED DEMOLITION
- AIR SPADED TRENCH
- TP – TEMPORARY SILT FENCE
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED UNDERGROUND POWER LINE

NOTE: AIR SPADING TRENCHES AS PER RECOMMENDATION OF ARBORIST SHALL BE MADE FOR PROPOSED WORK FOR FOUNDATION IMPROVEMENT HELICAL PIERS IN THE 1/4 CRZ OF PROTECTED TREE T#05 AND 1/2 CRZ OF PROTECTED TREES T#02, T#03 AND T#04 BEFORE INSTALLING HELICAL PIERS WITH 3" PIPE AND 8" FLIGHT.

TREE LIST:

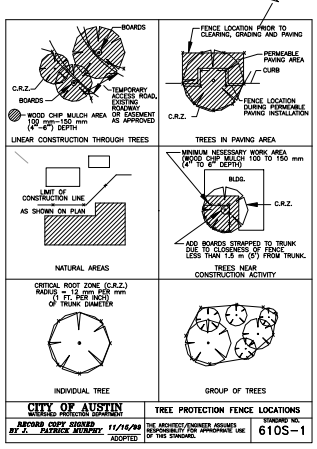
No.	DBH	SPECIES	BOTANICAL NAME
T01	8.67"	HACKBERRY	CELTIS OCCIDENTALIS
T02 (NW)	22"	PECAN	CARYA ILLINOINENSIS
T03	24.16"	PECAN	CARYA ILLINOINENSIS
T04 (SW)	21"	PECAN	CARYA ILLINOINENSIS
T05	25"	PECAN	CARYA ILLINOINENSIS
T06	5.5"	PRIVET	LIGUSTRUM
T07	6"	HACKBERRY	CELTIS OCCIDENTALIS

INDIVIDUAL FIXTURES	FIXTURE UNITS PER ITEM	BLDNG 1 (HOUSE) QT	BLDNG 1 (HOUSE) WSFU	BLDNG 2 (ADU) QT	BLDNG 2 (ADU) WSFU	
WATER CLOSET, 1.6 GPF GRAVITY TANK	2.5	1	2.5	1	2.5	
LAVATORY	1.0	1	1	1	1	
SHOWER	2.0	1	2	1	2	
KITCHEN SINK	1.5	1	1.5	1	1.5	
DISHWASHER	1.5	1	1.5	0	0	
HOSE BIB	2.5	1	2.5	0	0	TOTAL WSF
TOTAL WSF			11		7	18

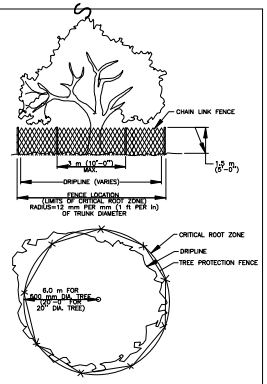
IMPERVIOUS COVER CALCULATION

NET SITE AREA :	0.181 AC =	7,863.00	SF
ZONED:	SF-3-NCCD-NP		
MAX. IMPERVIOUS COVER:	45%		

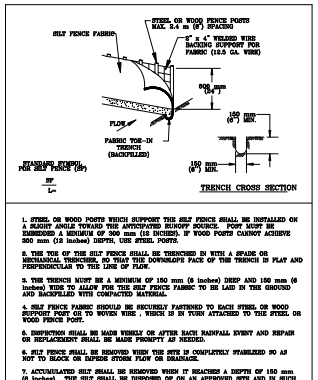
IMPERVIOUS COVER	EXISTING		%	REPURPOSED		%	PROPOSED		%	TOTAL		%
BUILDING	1,305.06	SF	16.60	-	SF	0.00	454.67	SF	5.78	1,759.73	SF	22.38
COVERED PORCH	199.20	SF	2.53	-	SF	0.00	-	SF	0.00	199.20	SF	2.53
WOOD DECK	101.75	SF	1.29	-	SF	0.00	-	SF	0.00	101.75	SF	1.29
CONCRETE	652.50	SF	8.30	249.33	SF	3.17	-	SF	0.00	403.17	SF	5.13
DETACHED GARAGE	571.78	SF	7.27	571.78	SF	7.27	420.29	SF	5.35	420.29	SF	5.35
TOTAL	**2,830.29**	**SF**	**28.72**	**821.11**	**SF**	**3.17**	**454.67**	**SF**	**5.78**	**2,463.84**	**SF**	**36.68**
PERVIOUS COVER	5,032.71	SF	64.00							5,399.16	SF	68.67



CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
TREE PROTECTION FENCE LOCATIONS
RECORD COPY SIGNED BY T. PATRICK MURPHY 11/16/99 ADOPTED
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 610S-1



CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
TREE PROTECTION FENCE TYPE A – CHAIN LINK
RECORD COPY SIGNED BY T. PATRICK MURPHY 11/16/99 ADOPTED
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 610S-2



1. STEEL OR WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 300 mm (12 INCHES). IF WOOD POSTS CANNOT ACHIEVE 300 mm (12 inches) DEPTH, USE STEEL POSTS.

2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.

3. THE TRENCH MUST BE A MINIMUM OF 150 mm (6 inches) DEEP AND 150 mm (6 inches) WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.

4. SILT FENCE FABRIC SHOULD BE SECURELY FASTENED TO EACH STEEL OR WOOD SUPPORT POST OR TO WOVEN WIRE , WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST.

5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTY AS NEEDED.

6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 150 mm (6 inches). THE SILT SHALL BE DISPOSED OF ON AN APPROVED SITE AND IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.

CITY OF AUSTIN
SILT FENCE
RECORD COPY SIGNED BY MORGAN STARKS 08/01/2011 ADOPTED
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 642S-1

UPDATE

NO.	DESCRIPTION

STATE OF TEXAS
Gerardo M. Lozano-Sanchez
89158
LICENSED PROFESSIONAL ENGINEER
12/20/2021

4522 CASWELL AV.
AUSTIN, TEXAS 78751

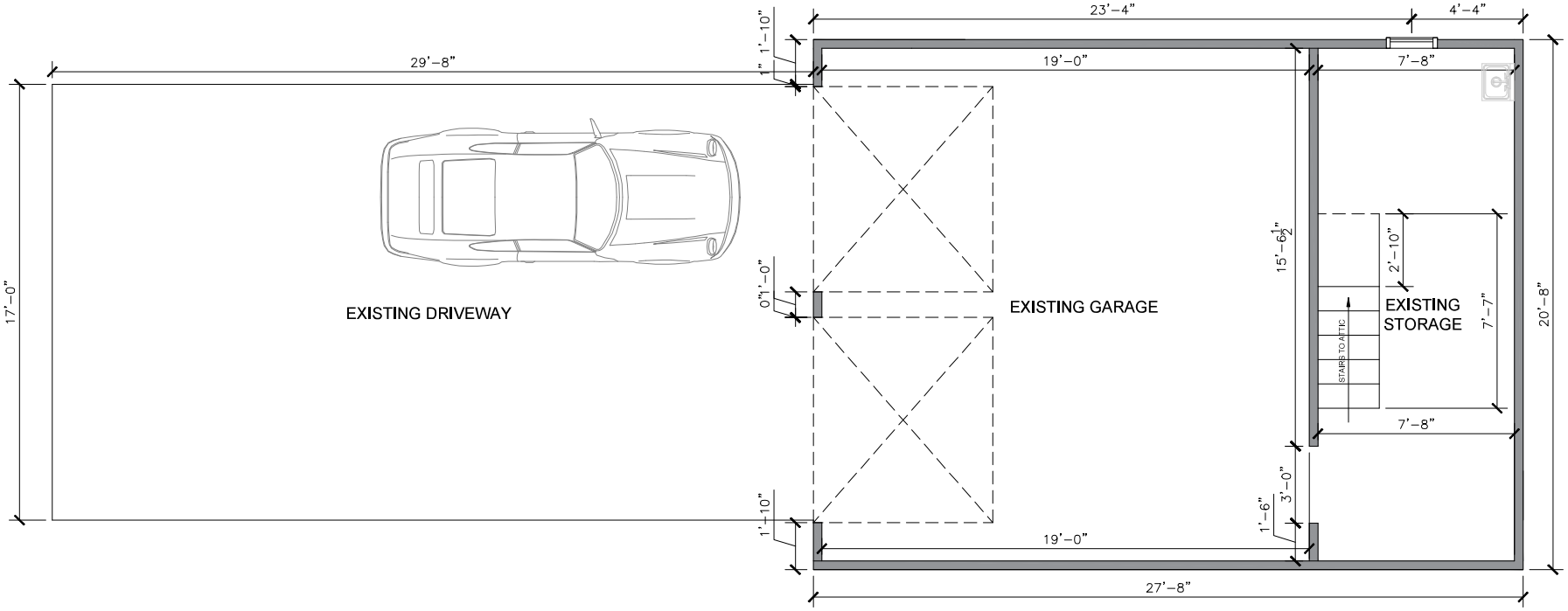
DEMOLITION AND ADDITION PLOT PLAN

CIVIL DIVISION
LOC CONSULTANTS
2211 S IH 35
Austin, Texas 78702
Ph. (512) 524-0677
SERVICE@LOCCIVIL.COM
F-4756

SHEET:
A2 OF 20

PM:4522 CASWELL AVE.\

E-4/16



① EXISTING FLOOR PLAN
SCALE: 1/2" = 1'

NO.	DESCRIPTION

UPDATE

STATE OF TEXAS
Sergio H. Lozano-Sanchez
89158
LICENSED
PROFESSIONAL ENGINEER
12/20/2021

4522 CASWELL AV.
AUSTIN, TEXAS 78751

EXISTING FLOOR PLAN

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SHEET:
A3 OF 20

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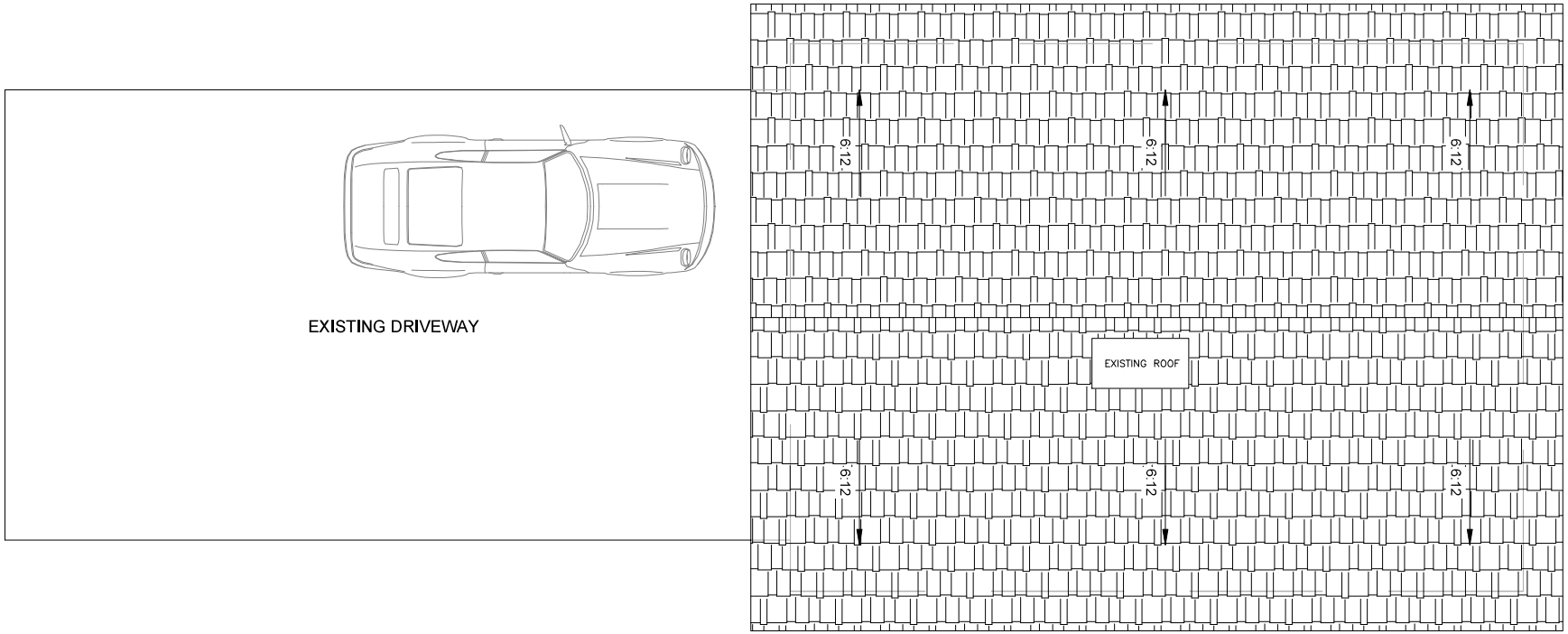
E-4/17



1 EXISTING ROOF PLAN
SCALE: 1/2" = 1'

NO.	DESCRIPTION

UPDATE

STATE OF TEXAS
Sergio M. Lozano-Sanchez
89158
LICENSED
PROFESSIONAL ENGINEER
12/20/2021

4522 CASWELL AV.
AUSTIN, TEXAS 78751

EXISTING ROOF PLAN

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SHEET:
A4 OF 20

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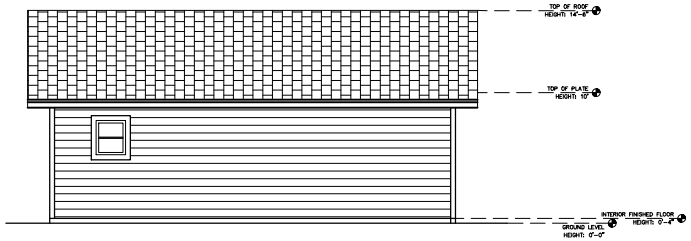
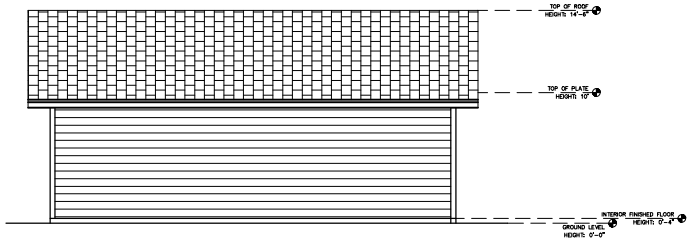
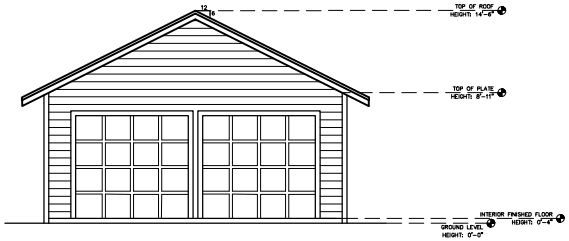
E-4/18



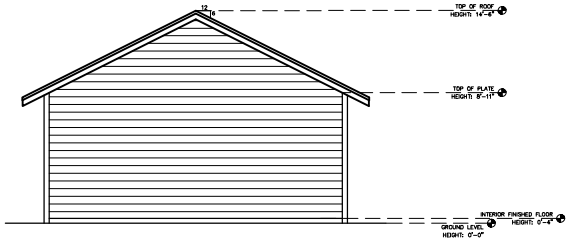
① EAST FACADE
SCALE: 1/4" = 1'



② WEST FACADE
SCALE: 1/4" = 1'



③ NORTH FACADE
SCALE: 1/4" = 1'



④ SOUTH FACADE
SCALE: 1/4" = 1'

NO.	DESCRIPTION

UPDATE

STATE OF TEXAS
Sergio M. Lozano-Sanchez
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12/20/2021

4522 CASWELL AV.
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EXISTING ELEVATIONS

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A5 OF 20

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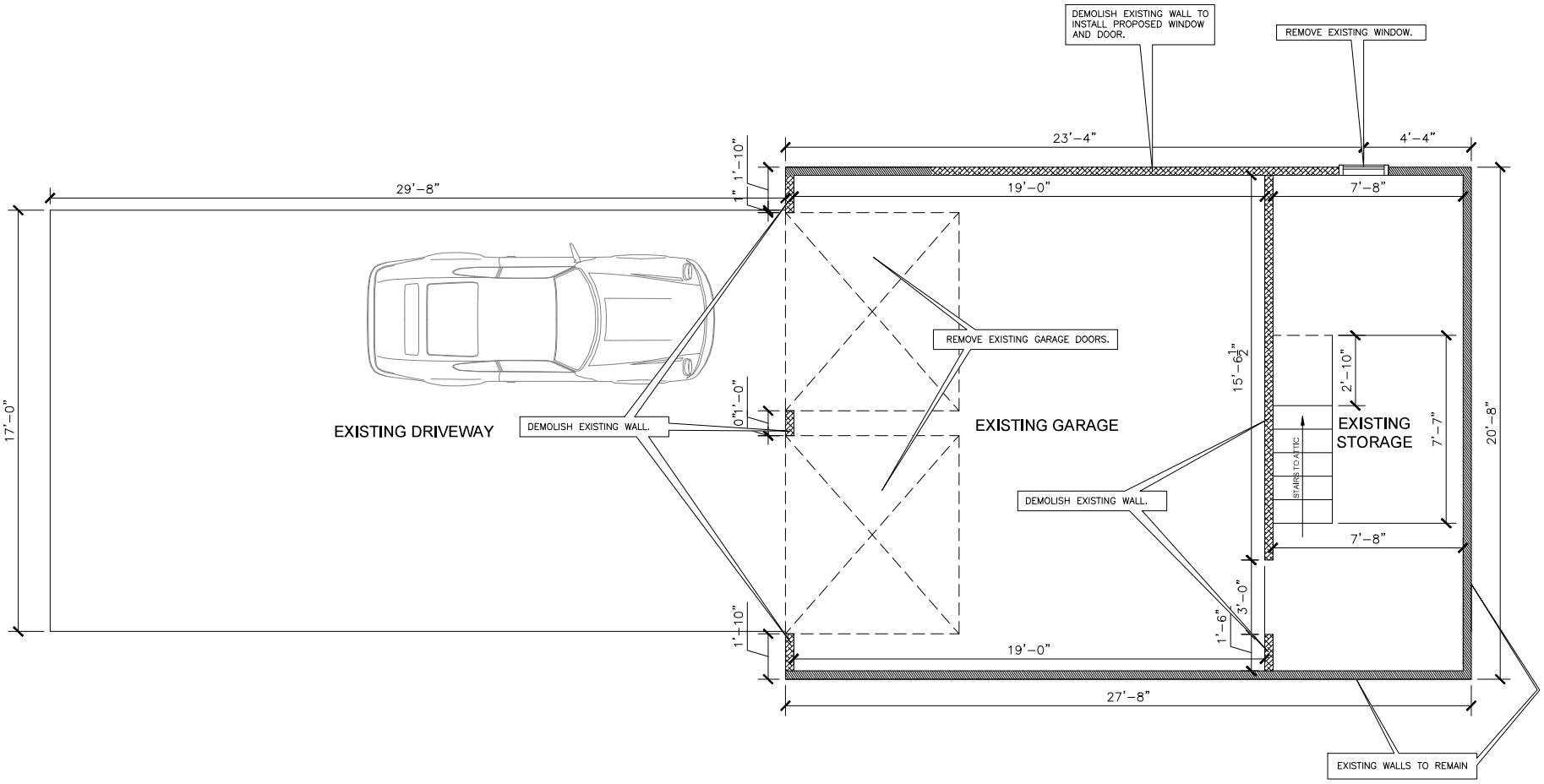

1 DEMOLITION FLOOR PLAN
SCALE: 3/8" = 1'

LEGEND

- EXISTING WALLS TO REMAIN
- DEMOLISHED WALLS

UPDATE

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DEMOLITION PLAN

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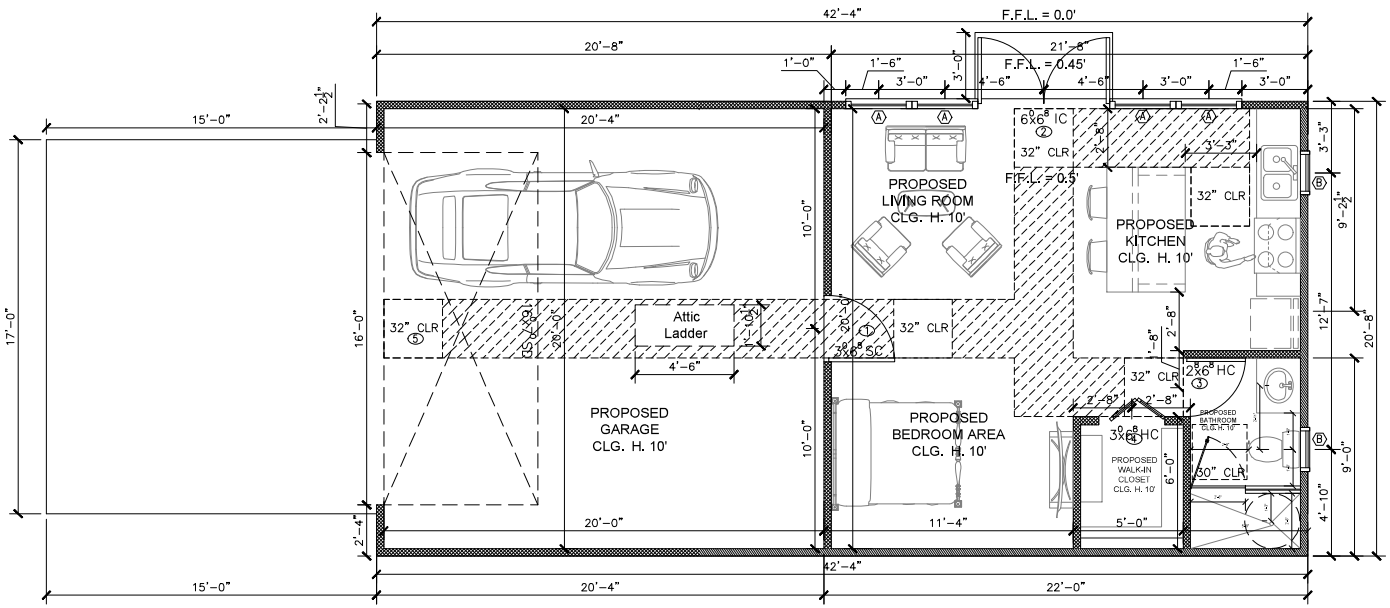

① PROPOSED FLOOR PLAN
SCALE: 3/8" = 1'

WINDOW SCHEDULE							
MARK	SIZE	MATERIAL	FINISH	GLAZING	FRAME	QTY.	NOTES
Ⓐ	72" X 36"	VYNIL/GLASS	PER MANUF.	TEMPERED	VINYL	4	PICTURE
Ⓑ	36" X 36"	VYNIL/GLASS	PER MANUF.	TEMPERED	VINYL	2	SINGLE HUNG

DOOR SCHEDULE							
MARK	SIZE	MATERIAL	FINISH	GLAZING	FRAME	QTY.	NOTES
①	3'-0" X 6'-8"	MDF SOLID CORE	PRIMED	–	ALUM.	1	1.75", SELF CLOSING, 20 MIN FIRE RATED
②	6'-0" X 6'-8"	FIBERGL./GLASS	PER MANUF.	TEMPERED	FIBERG.	1	
③	3'-0" X – 6'-8"	WOOD	PER MANUF.	–	WOOD	1	
④	3'-0" X – 6'-8"	MOLD. COMP.	PRIMED	–	WOOD	1	BIFOLD DOORS
⑤	16'-0" X 7'-0"	STEEL	PER MANUF.	–	STEEL	1	WITH WINDOWS

LEGEND

- EXISTING WALLS
- PROPOSED WALLS
- 32" CLEARING
- 32" CLEARING PATHWAY
- (X) WINDOW KEY NOTE
- (X) DOOR KEY NOTE

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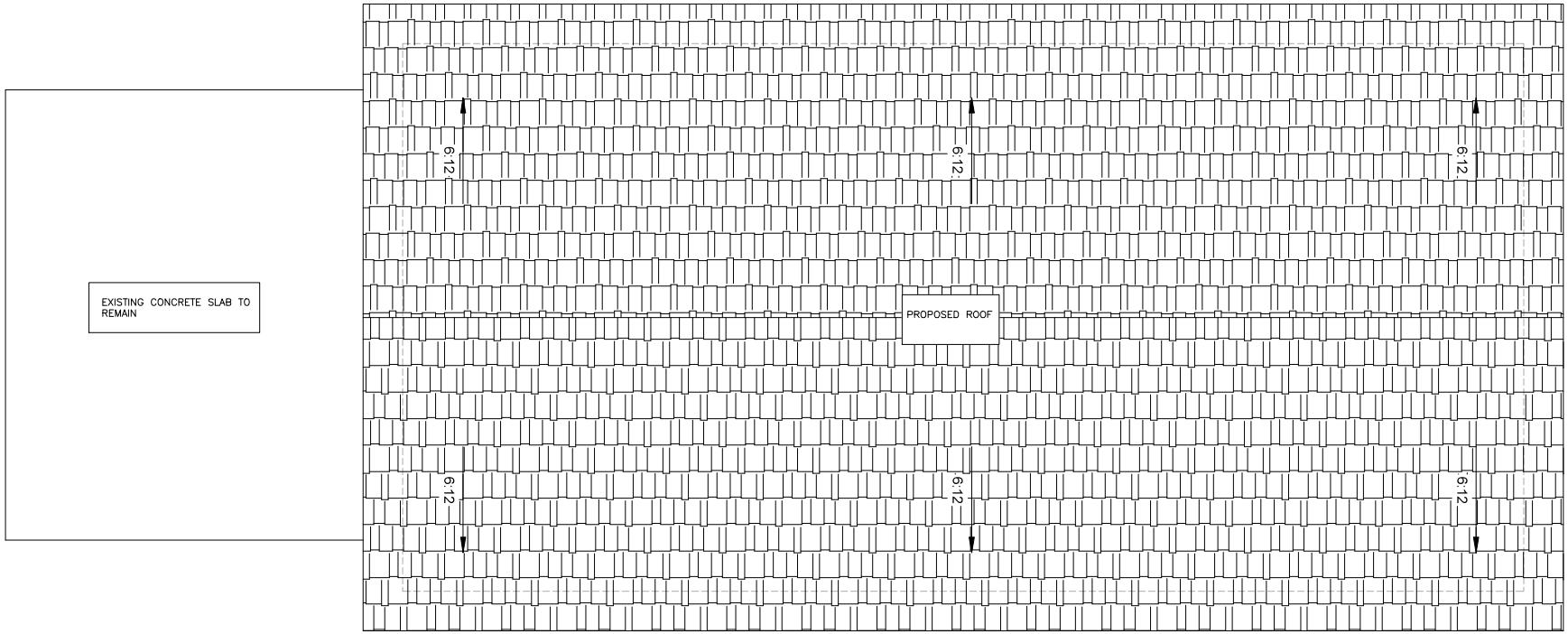

1 PROPOSED ROOF PLAN
SCALE: 3/8" = 1'

NO.	DESCRIPTION

UPDATE

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89158
LICENSED
PROFESSIONAL ENGINEER
12/20/2021

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PROPOSED ROOF PLAN

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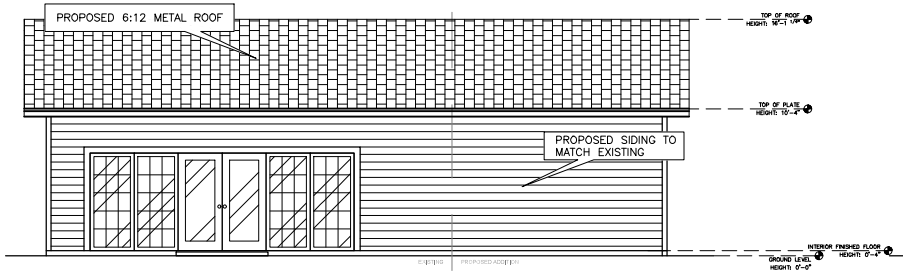
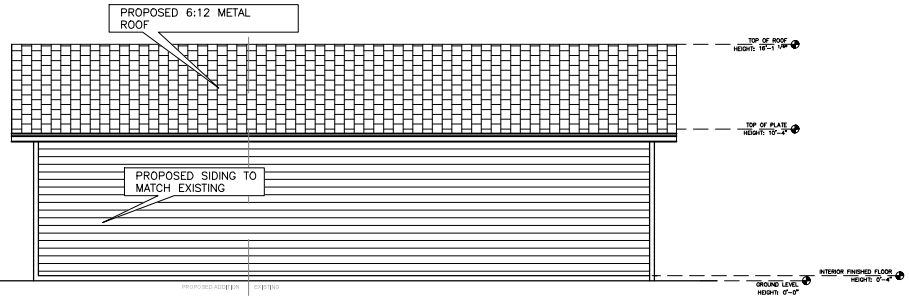


③ EAST FACADE
SCALE: 1/4" = 1'



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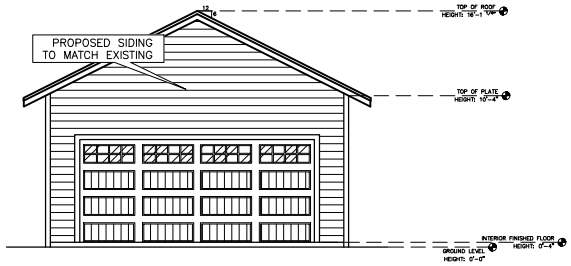
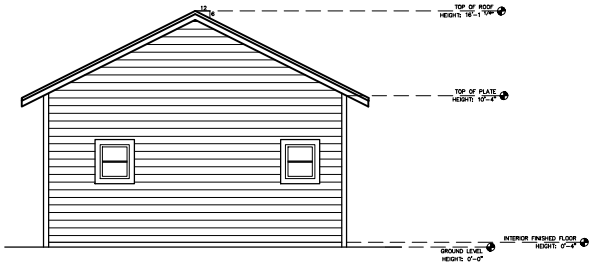
SCALE: 1/4" = 1'



② NORTH FACADE
SCALE: 1/4" = 1'



④ SOUTH FACADE
SCALE: 1/4" = 1'

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A9 OF 20

P:\4522 CASWELL AVE\

GENERAL NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.

2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.

4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.

5. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.

6. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS

7. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.

8. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

9. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.

10. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.

11. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.

12. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.

13. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE, AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.

14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND FINISH-OUT OF THE PROJECT.

15. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND STANDARDS.

16. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.

17. THE CONTRACTOR SHALL PICK-UP ALL REQUIRED PERMITS AND CERTIFICATE OF OCCUPANCY, TAP FEES & ANY OTHER FEES SHALL BE PAID BY THE CONTRACTOR. THE OWNER SHALL PAY FOR THE PERMITS & CERTIFICATE OF OCCUPANCY.

18. CONTRACTOR TO PROTECT ALL EXISTING BUILDINGS AND ALL EXISTING ABOVE AND BELOW GRADE UTILITIES, CONTRACTOR WILL REPAIR ALL DAMAGE TO EXISTING CONDITIONS.

19. CONTRACTOR TO EXERCISE EXTREME CARE IN CONSTRUCTION TO OR ADJACENT TO EXISTING BUILDINGS. PROVIDE ALL SHORING OR OTHER PROJECTION NECESSARY TO PREVENT DISTURBING BUILDING SUBGRADE OR FOUNDATIONS.

20. ALL MAIN AND BRANCH SPRINKLER LINES, ELECTRICAL AND PLUMBING LINES ARE TO BE RUN AS HIGH AS POSSIBLE WITHIN THE ROOF STRUCTURE SPACE WHEREVER THIS IS POSSIBLE. WHEN LINES ARE RUN BELOW ROOF STRUCTURE, THEY ARE NOT TO BE HELD AS TIGHT AS POSSIBLE TO BOTTOM OF STRUCTURE. ALL LINES ARE TO BE SUSPENDED FROM TOP JOIST AND GIRDER CHORDS. ANY CHANGES IN LINE ROUTING ARE TO BE AS 90` PARALLEL TO STRUCTURE.

21. DO NOT SUSPEND ANY ITEMS FROM THE X-BRACING, OR PIPING AND CONDUITS, METAL ROOF OR FLOOR DECKS AND/OR ANY WORK BY OTHER TRADES. REFER TO STRUCT. DWGS. FOR JOIST LOADS NOT SHOWN ON THE STRUCT. FRAMING PLAN(S) CONSULT STRUCTURAL ENGINEER IF THE DETAIL(S) IS/ARE NOT PROVIDED OR MAY NOT BE APPLICABLE TO SPECIFIC LOADING CONDITION(S).

22. UNLESS OTHERWISE INDICATED, EACH SUBCONTRACTOR AND GENERAL CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING & SUPPORTING ALL ITEMS FROM THE ROOF STRUCTURE FOR GRAVITY LOADS AND TO RESIST SEISMIC MOVEMENTS AS REQ'D. BY ALL APPLICABLE CODES. (ANY BRACING W/ A SIGNIFICANT VISUAL IMPACT IS SUBJECT TO ENGINEER APPROVAL).

23. AN APPROVED SINGLE SET OF PLANS (BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC.) SHALL BE ON THE JOB SITE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF APPROVED PLANS TO COINCIDE W/ INSPECTIONS TAKING PLACE.

24. ALL EXPOSED EXTERIOR WALL MOUNTED CONDUITS, BUSS GUTTERS, JUNCTION BOXES, PANEL BOXES, METERS, PIPES, ETC. ARE TO BE THREE (3) COAT PAINTED WITH COLOR TO BE SELECTED BY THE ENGINEER. ALL EXPOSED CONDUIT PIPES, JUNCTION BOXES, ROOF SCUTTLES, ETC. ABOVE THE ROOF BOTH IN MID FIELD AREAS AND ON BACKS OF PARAPETS ARE TO BE THREE (3) COATS PAINTED; COLOR TO BE SELECTED BY THE ENGINEER.

25. CONTRACTOR IS TO REFER TO M.E.P. DRAWING AND PROJECT MANUAL (IF ANY) FOR ANY HINGED ACCESS PANELS NOT INDICATED IN ARCH. DWGS AND PROJ. MANUAL. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS FOR DRYWALL, TILE, E.I.F.S., AND PLASTER WORK WITH ALL TRADES.

26. HAZARDOUS MATERIALS MAY NOT BE STORED, USED OR DISPENSED.

27. WOOD PRODUCTS THAT ARE USED IN NON-COMBUSTIBLE BUILDINGS SHALL BE PRESSURE-TREATED WITH AN APPROVED FIRE RETARDANT IN ACCORDANCE WITH THE 1997 UBC CODE.

28. "TYPICAL" NOTES APPLY TO ALL SIMILAR CONDITIONS. TYPICAL DETAILS ARE COMMON CONSTRUCTION CONDITIONS AND APPLY TO ALL CIRCUMSTANCES UNLESS NOTED OTHERWISE.

29. THE DRAWINGS AND THE PROJECT IS CONSIDERED PARTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR IS RESPONSIBLE FOR THE REVIEW AND CONFORMANCE TO ALL CONTRACT DOCUMENTS. IN THE CASE OF APPARENT CONFLICTS AND DISCREPANCIES WITHIN THE DRAWING, CONTRACTOR IS TO NOTIFY ENGINEER IN WRITING OF SUCH APPARENT CONFLICTS AND REQUEST CLARIFICATION FROM THE ENGINEER. NO ADDITIONAL COSTS OR DELAYS IN SCHEDULE WILL BE ACCEPTED DUE TO CONTRACTOR'S MISINTERPRETATIONS AND FAILURES TO REQUEST CLARIFICATIONS.

30. FOR CONSTRUCTION ADMINISTRATION PURPOSES, PROVIDE A PRODUCT DATA SUBMITTAL FOR ALL PRODUCTS SPECIFIED AND BEING INSTALLED IN THIS PROJECT.

31. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB SITE AFTER ITS COMPLETION, CLEANING SHALL INCLUDE INTERIOR OF THE BUILDING AND PATH OF TRAVEL FROM PARKING.

NO.	DESCRIPTION

UPDATE

STATE OF TEXAS
Sergio M. Lozano-Sanchez
89158
LICENSED
PROFESSIONAL ENGINEER
12/20/2021

4522 CASWELL AV.
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GENERAL NOTES

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SHEET:
A10 OF 20

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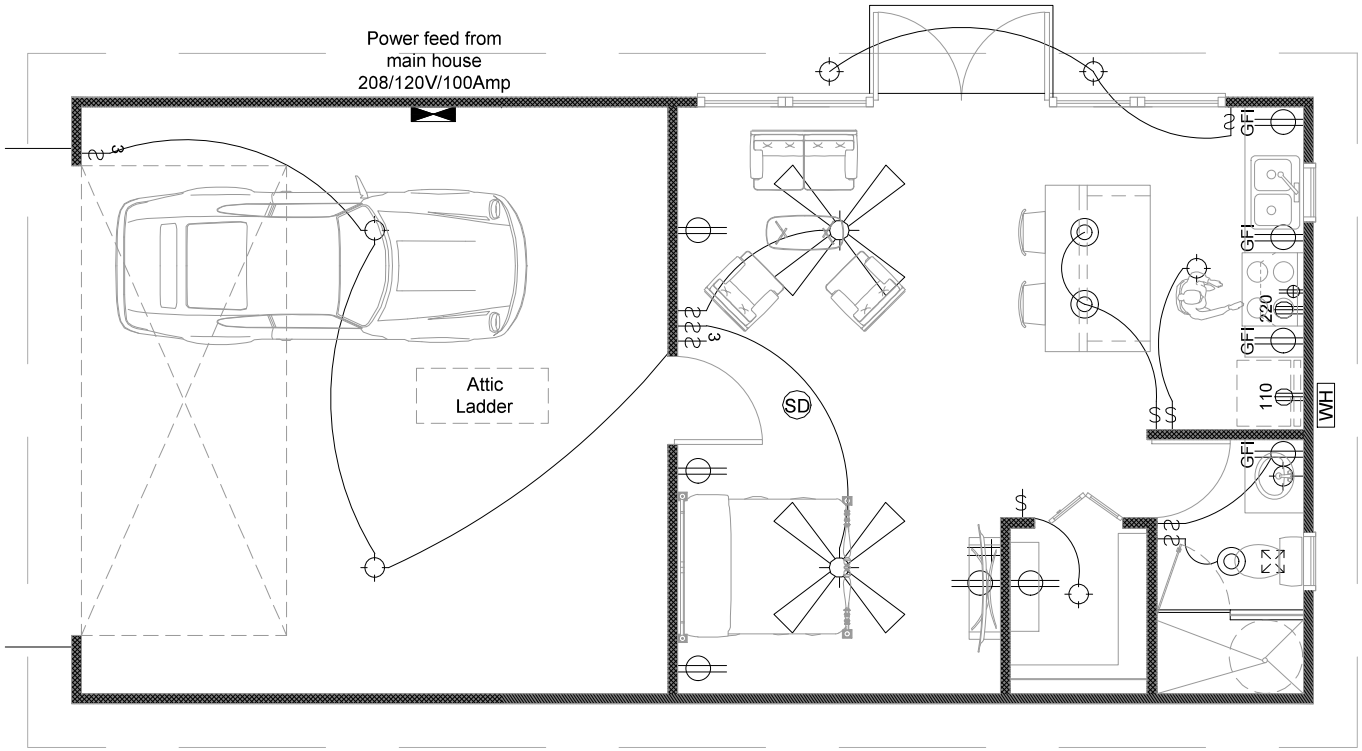

LEGEND

- SWITCH
- 3-WAY SWITCH
- RECESSED LIGHTING
- SUSPENDEED LIGHTING
- FAN EXTRACTOR
- CEILING FAN w/ LIGHT
- 220 VOLT OUTLET
- 110 VOLT OUTLET
- DUPLEX OUTLET
- HOOD OUTLET
- SMOKE/CARBON MONOXIDE DETECTOR
- CABLE TV/ CAT 5e
- EXISTING ELECTRICAL PANEL
- ELECTRIC TANKLESS WATER HEATER

1 PROPOSED LIGHTING AND POWER PLAN
SCALE: 1/2" = 1'

ELECTRICAL PLAN NOTES

LAYOUT SHOWN IS SCHEMATIC ONLY. ELECTRICAL CONTRACTOR SHALL DESIGN AND FURNISH ELECTRICAL SYSTEM IN CONFORMANCE WITH ALL APPLICABLE CODES.

OUTLETS IN FOLLOWING ROOMS TO BE INSTALLED SIDEWAYS. MEASUREMENTS ARE TO THE BOTTOM OF THE OUTLETS.

BATHS
- 39" FROM FLOOR, 33" HIGH VANITIES
- 42" FROM FLOOR, 36" HIGH VANITIES

KITCHEN
- 38" FROM FLOOR, 36" HIGH BASE CABINETS

UTILITY
- 42" FROM FLOOR

GFCI AND ARC FAULT
- OUTLETS WITHIN 6' OF ANY SINK OR EDGE OF SHOWER/TUB MUST BE GFCI
- ALL DISHWASHERS SHALL HAVE GFCI PROTECTION
- ALL GFCI AND ARC FAULT OUTLETS MUST BE READILY ACCESSIBLE
- ALL NON-220v OUTLETS IN A UTILITY ROOM SHALL BE GFCI
- ALL 120v SINGLE PHASE, 15 AND 20 AMP CIRCUITS MUST BE ARC-FAULT EXCEPT OUTLETS IN BATHS, ATTICS, GARAGES, & EXTERIOR
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED IN SERIES WITH BATTERY BACKUP

UPDATE

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PROPOSED LIGHTING AND POWER PLAN

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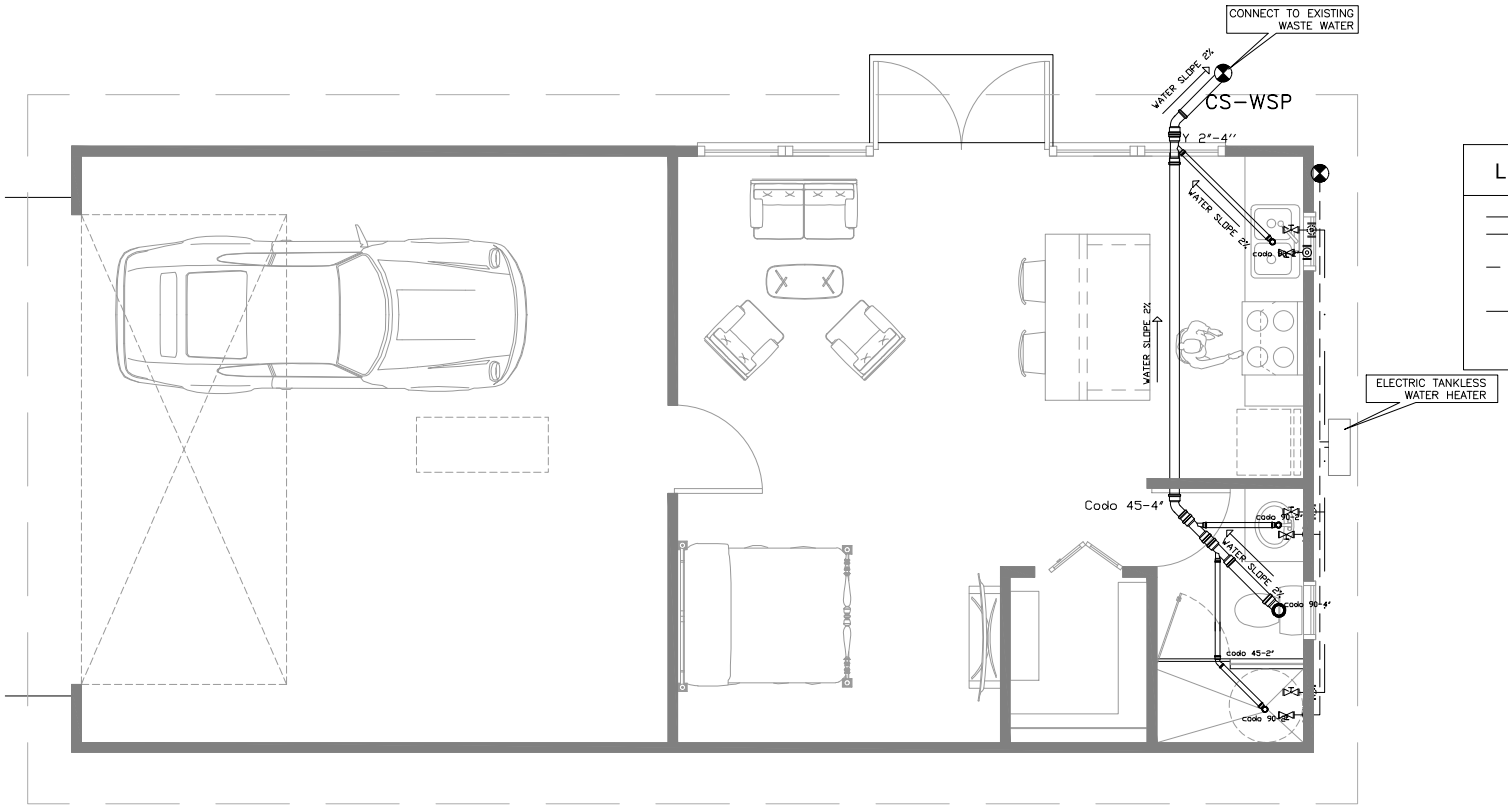

LEGEND

- DRAINAGE PVC
- COLD WATER
- HOT WATER
- POINT OF CONNECTION TO EXISTING SERVICE

PROPOSED PLUMBING PLAN
SCALE: 1/2" = 1'

GENERAL NOTES TO PROPOSED PLUMBING PLAN

1. ALL PLUMBING MUST COMPLY WITH APPLICABLE CITY, COUNTRY AND STATE BUILDING CODE, PLUMBING REGULATIONS AND LOCAL PLUMBING INSPECTORS.

2. ALL WATER SUPPLY AND DISTRIBUTION PIPING IN THE BUILDING (ABOVE SLAB) SHALL BE TYPE "L" COPPER TUBE (HARD DRAWN) WITH 95/5 LEAD FREE COPPER, COMPLY WITH ASTM B 75/88/251/477

3. ALL WASTE AND VENT PIPING BELOW SLAB OR HIDDEN IN WALLS SHALL BE SCHEDULED 40 PVC. ALL EXPOSED WASTE WASTE AND VENT PIPING SHALL BE SCHEDULED 40 C.I.

4. ALL WATER PIPING SHALL BE INSULATED WITH CLOSED CELL (ARM-FLEX) TYPE INSULATION WITH FLAME DENSITY RATING NOT EXCEEDING 25 AND SMOKE DENSITY RATING NOT EXCEEDING 50. THICKNESS SHALLL BE 1" FOR HOT AND COLD WATER PIPING.

5. CONTRACTOR SHALL COORDINATE LOCATION FIXTURES WITH LOCATIONS HEREIN AND ON ARCHITECTURAL PLANS. CONTRACTOR SHALL VERIFY FIXTURE QUANTITIES PRIOR TO BID AND NOTIFY OWNER OF ANY DISCREPANCIES.

6. CONTRACTOR SHALL COORDINATE PLUMBING WITH OTHER TRADES. PIPING ROUTING IS APPROXIMATE. MAKE CHANGES TO AVOID DUCTS, BEAM, ETC.

7. TEST: WATER SUPPLY-ONE HOUR @150 PSI; WASTE-FILL TO ROOF 15 PRIOR TO INSPECTING, MUST BE GAS AND WATER TIGHT. NOTIFY OWNER 24 HOURS IN ADVANCE OF ALL TESTING.

8. LAVATORY AND SINK "P" TRAPS SHALL BE MIN. 17 GA. CHROME PLATED BRASS.

9. SET FLOOR DRAIN, 1/4" BELOW FINISHED FLOOR AND SLOPE WITHIN MINIMUM 4" CIRCLE AROUND FLOOR DRAIN.

10. SLOPE ALL WASTE PIPE @2% SLOPE U.N.O.

11. EVERY FLOOR DRAIN, FLOOR SINK OR HUB DRAIN SHALL BE SERVED BY AN INDIVIDUAL AUTOMATIC TRAP PREMIER.

12. COORDINATE ALL ROOF PENETRATIONS WITH BUILDING OWNER'S ROOFING CONTRACTOR.

13. PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES OR EQUIPMENT.

14. MAINTAIN MIN 10'-0" BETWEEN PLUMBING VENTS AND FRESH AIR INTAKES.

NO.	DESCRIPTION

UPDATE

STATE OF TEXAS
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89158
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12/20/2021

4522 CASWELL AV.
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PROPOSED PLUMBING PLAN

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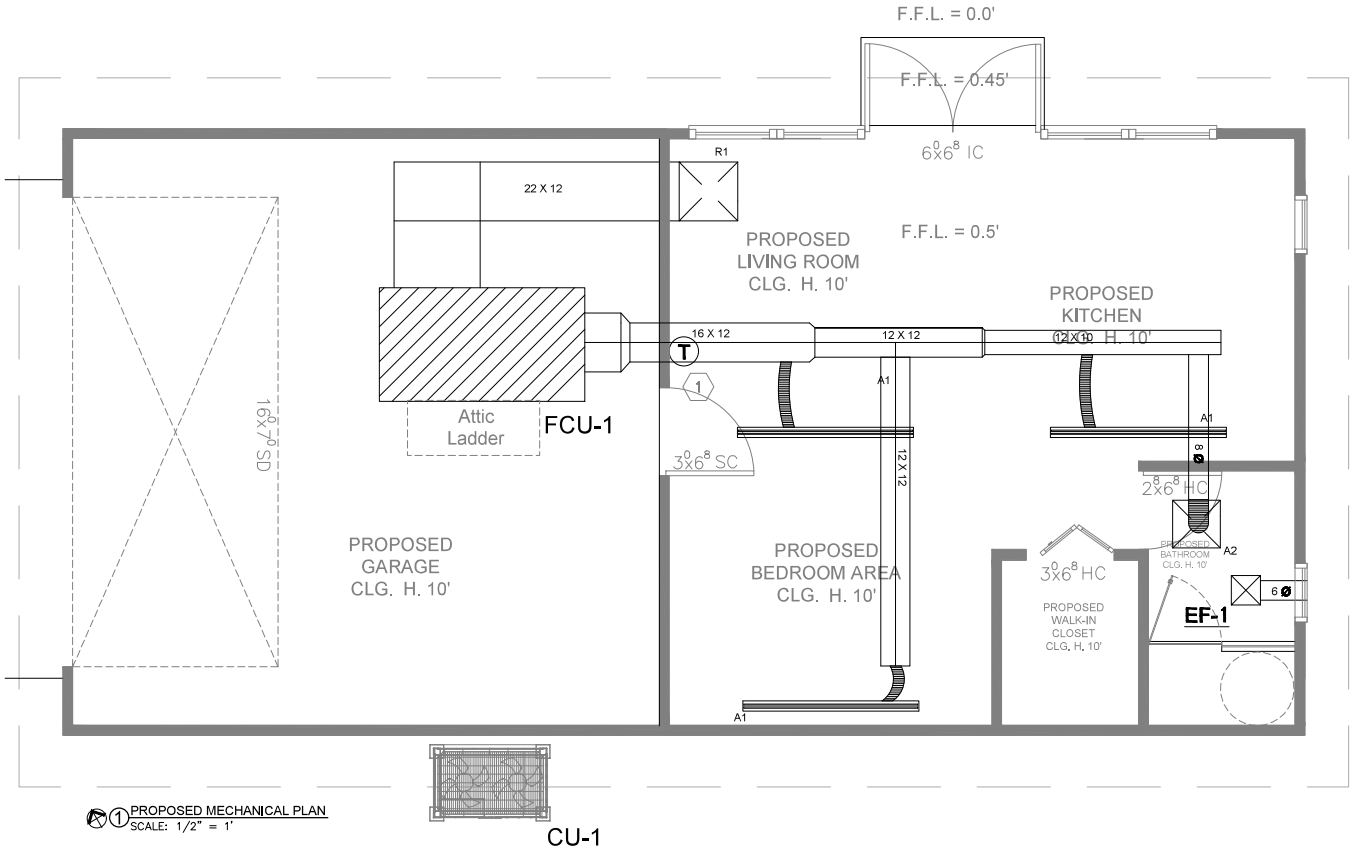
SHEET:
P01 OF 20

PM4522 CASWELL AVE\



1 PROPOSED MECHANICAL PLAN
SCALE: 1/2" = 1'

(NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON DRAWINGS)

MECHANICAL SYMBOL LEGEND

SYMBOL (SINGLE LINE)	SYMBOL (DOUBLE LINE)	DESCRIPTION	SYMBOL	DESCRIPTION
		RIGID DUCTWORK, 1ST NUMBER IS VISIBLE DIMENSION		FLEXIBLE CONNECTION
		FLEX DUCTWORK		CONCENTRIC PIPE REDUCER/INCREASER
		90 DEGREE ROUND DUCT DOWN		ECCENTRIC PIPE REDUCER/INCREASER
		90 DEGREE ROUND DUCT UP		PIPE SLEEVE
		ROUND RADIUS ELBOW	SLOPE	DIRECTION OF SLOPE (DWNWRD)
		SIZE OR SHAPE TRANSITION		EQUIPMENT OR FIXTURE DRAIN LINE
		90 DEGREE S/A ELBOW DOWN		DIRECTION OF FLOW
		90 DEGREE S/A ELBOW UP		PIPING DOWN
		90 DEGREE OR RADIUS RETURN AIR OR EXHAUST ELBOW DOWN		PIPING UP
		90 DEGREE OR RADIUS RETURN AIR OR EXHAUST ELBOW UP		CAP
		SUPPLY DUCT RISER	T	THERMOSTAT
		RETURN OR EXHAUST DUCT RISER	SD	DUCT MOUNTED SMOKE DETECTOR
		RECTANGULAR RADIUS ELBOW	R	REMOTE RESET
		RECTANGULAR ELBOW WITH TURNING VANES	S	SENSOR
		RECTANGULAR BRANCH TAKE-OFF WITH ADJUSTABLE VANED EXTRACTOR	A 100	DIFFUSER/REGISTER/GRILL DESIGNATION CFM
		S/A GRILLE OR REGISTER	AH1	EQUIPMENT DESIGNATION NUMBER IN SEQUENTIAL ORDER
		R/A, E/A, T/A GRILLE OR REGISTER		
		OPPOSED BLADE DUCT VOLUME DAMPER		
		ROUND DUCT TAKE-OFF DAMPER		

GENERAL NOTES (APPLIES TO ALL SHEETS)

1. IN ANY CASE WHERE A PIPE OR DUCT SHOWN ON A PLAN SHEET DIFFERS FROM THAT SHOWN IN A SCHEMATIC OR DETAIL, USE THE LARGER OF THE TWO SIZES SHOWN.
2. PIPING SHOWN ON EACH PLAN IS RUN ABOVE THE CEILING ON THE FLOOR WHERE IT IS SHOWN UNLESS OTHERWISE NOTED.
3. MOUNT THERMOSTATS SUCH THAT TOP OF DEVICE IS AT 48 INCHES ABOVE FINISHED FLOOR AND CENTERED ABOVE THE LIGHT SWITCHES WHERE BOTH OCCUR IN THE SAME LOCATION, UNLESS OTHERWISE NOTED.
4. NORMAL DESIGN CONDITIONS ARE BASED ON ASHRAE AT THE FOLLOWING:

	OUTSIDE	INSIDE
SUMMER:	98°/78°F	75°F, 50% RH
WINTER:	20 °F	70°F

5. ALL DUCT DIMENSIONS SHOWN ARE CLEAR AIRSTREAM SHEETMETAL DIMENSIONS.
6. OUTSIDE AIR DUCT SYSTEMS SHALL BE SHEET METAL PER SPECIFICATIONS W/ EXTERNAL INSULATION.
7. DO NOT RUN AIR HANDLERS OR EXHAUST FANS UNTIL ALL INTERIOR CLEANING AND PAINTING IS COMPLETE. THE CLEANING OF FOULED COILS OR FAN ASSEMBLIES DUE TO PAINT OR CONSTRUCTION DEBRIS WILL BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR.
8. ALL EQUIPMENT, INSTALLATION METHODS AND MATERIALS USED ARE TO MEET LOCAL, STATE AND OTHER APPLICABLE CODES.
9. THESE PLANS ARE DIAGRAMMATIC IN NATURE, CONTRACTORS SHALL INCLUDE APPROPRIATE ALLOWANCES FOR OFFSETS AS REQUIRED TO ACCOMMODATE VERTICAL AND HORIZONTAL VARIATIONS IN THE LOCATIONS AND ELEVATIONS OF DUCTWORK AND TERMINAL DEVICES.
10. PROVIDE RECTANGULAR TO ROUND DUCT TRANSITIONS AS REQUIRED.
11. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
12. FLEXIBLE DUCTWORK SHALL NOT EXCEED FIVE (5) FEET IN LENGTH. FLEXIBLE DUCT SHALL NOT REST ON LIGHTING FIXTURES. WHERE FLEXIBLE DUCTS REQUIRE SUPPORT, SUSPEND FROM STRUCTURE OVERHEAD WITH NYLON BANDS.

KEYED NOTES TO MECHANICAL FLOOR PLAN

1. PROGRAMMABLE THERMOSTAT AT 48" A.F.F. WITH LOCKABLE COVER.

GENERAL NOTES TO MECHANICAL FLOOR PLAN

1. DO NOT SCALE FROM THIS DRAWING. REFER TO CIVIL OR ARCHITECTURAL DRAWINGS.
2. DRAWING IS DIAGRAMMATIC ONLY. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF DUCTWORK, PIPING, DEVICES, AND EQUIPMENT WITH BUILDING ELEMENTS AND THE WORK OF OTHER TRADES.
3. ALL SPIRAL AND FLEXIBLE DUCT RUN-OUTS TO DIFFUSERS SHALL BE SAME SIZE AS SCHEDULED DIFFUSER NECKS U.N.O.
4. MAXIMUM FLEX DUCT LENGTH 5'-0".
5. CONTRACTOR SHALL INSTALL ALL MECHANICAL EQUIPMENT PER N.E.C. REQUIREMENTS AND MANUFACTURERS WRITTEN RECOMMENDED INSTALLATION INSTRUCTIONS.
6. ALL ROOF, CEILING, AND WALL PENETRATIONS SHALL BE SEALED AIR TIGHT.
7. CONTRACTOR SHALL COORDINATE ALL DUCTWORK, DIFFUSER, AND GRILLE LOCATIONS WITH OTHER CEILING MOUNTED DEVICES.
8. ALL CONCEALED DUCTWORK SHALL BE INSULATED WITH 2" DUCT INSULATION.
9. ALL DUCTWORK OPENINGS SHALL BE COVERED AND PROTECTED FROM CONSTRUCTION DEBRIS DURING CONSTRUCTION.
10. PROVIDE BALANCING DAMPER ON ALL SUPPLY AND RETURN TAPS. INSTALL DAMPERS SO THAT THEY ARE ACCESSIBLE FOR SYSTEM BALANCING. CONTRACTOR SHALL FURNISH ACCESS PANELS AND COORDINATE PLACEMENT WITH ARCHITECT. PROVIDE REMOTE MOUNTED REGULATORS WHERE ACCESS PANELS ARE NOT FEASIBLE.
11. ALL WORK, INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL CODES, LAWS, AND ORDINANCES AND THE LATEST EDITION OF NEC, INTERNATIONAL MECHANICAL, PLUMBING, AND BUILDING CODES, AND THE 2015 INTERNATIONAL ENERGY CODE. WORK SHALL BE COMPLETE IN ALL RESPECTS AND IN ACCORDANCE WITH THE BEST ESTABLISHED AND ACCEPTED CONSTRUCTION PRACTICES.
12. CONTRACTOR SHALL PROCURE ALL REQUIRED PERMITS FROM THE LEGALLY CONSTITUTED AUTHORITIES, ARRANGE ALL INSPECTIONS AND PAY FOR ALL REQUIRED TESTING AND UTILITY CONNECTIONS.
13. CONTRACTOR SHALL PROTECT EXISTING BUILDINGS, STRUCTURES AND UTILITIES FROM DAMAGE. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER.
14. ANY APPARATUS, APPLIANCE, DEVICE, MATERIAL, OR WORK NOT SHOWN ON DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND PERFECT IN ALL RESPECTS AND READY FOR TESTING AND OPERATION, EVEN IF NOT PARTICULARLY SPECIFIED, SHALL BE FURNISHED, DELIVERED, AND INSTALLED BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNER.
15. ALL MISCELLANEOUS IRON AND STEEL WORK REQUIRED TO PROPERLY INSTALL EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. WORK INCLUDES ALL HANGERS, SUPPORTS, RACKS, BRACKETS AND ANY WELDING REQUIRED.
16. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL OR RUBBISH, MAINTAIN THE WORK AREA IN A NEAT ORDERLY MANNER, AND LEAVE THE PREMISES IN A BROOM CLEAN CONDITION AT THE END OF EACH DAY. THE CONTRACTOR SHALL FURNISH TRASH BINS AND SHALL BE RESPONSIBLE FOR THE PROPER TRANSPORTATION AND DISPOSAL OF ALL WASTE MATERIAL.
17. ALL DUCT LINER AND PLENUM LINER SHALL BE EQUAL TO OWENS CORNING QUIET-R ACOUSTIC DUCT LINER, TYPE 200, 1/2".
18. ALL EXPOSED DUCTWORK SHALL BE INSULATED, DOUBLE WALL, ROUND, OR FLAT OVAL SPIRAL DUCT.
19. FURNISH HAIL GUARDS ON ALL ROOFTOP EQUIPMENT AND CONDENSING UNITS.
20. ALL REFRIGERANT CIRCUITS SERVICE PORTS LOCATED IN THE EXTERIOR OF THE BUILDING SHALL BE PROVIDED WITH LOCKING ACCESS PORT CAPS.
21. MINIMUM PIPE INSULATION FOR REFRIGERANT PIPING LESS THAN 1 1/2" NOMINAL PIPE DIAMETER SHALL BE INSULATED WITH MINIMUM 1-1/2" PIPE INSULATION.
22. ROUTE ALL CONDENSATE DRAINS TO NEAREST FLOOR DRAIN, FLOOR SINK, MOP SINK, OR HUB DRAIN.
23. ALL DUCT AND PIPE INSULATION IS TO HAVE NO ADDED UREA FORMALDEHYDE, NAUF.
24. MAX VOC LIMIT FOR ADHESIVE (MASTIC) 30 G/L.

UPDATE

NO.	DESCRIPTION

STATE OF TEXAS
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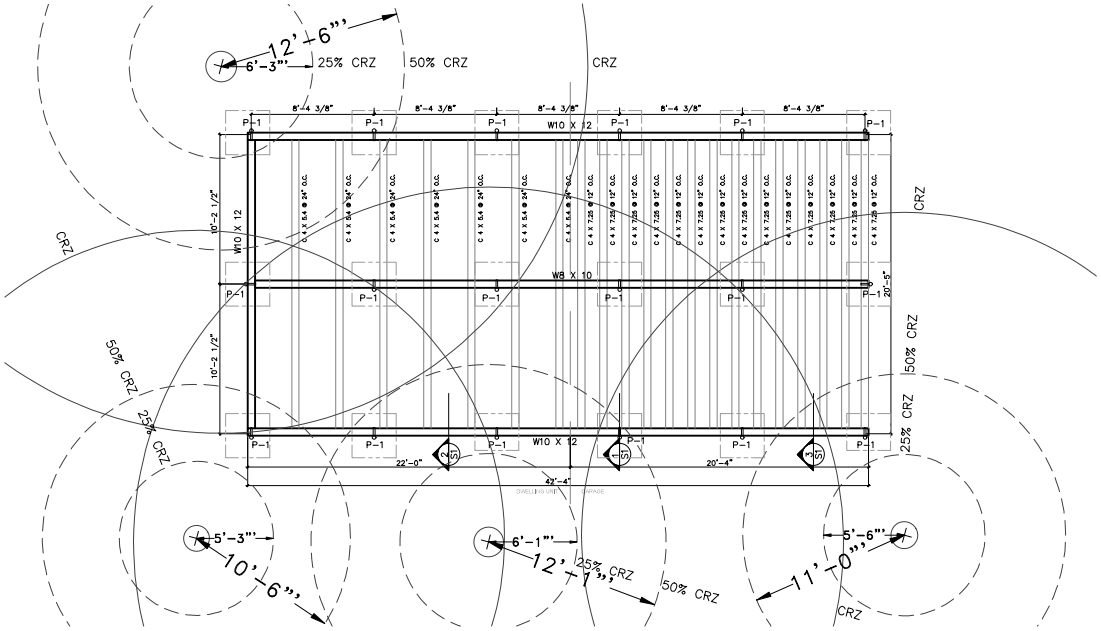
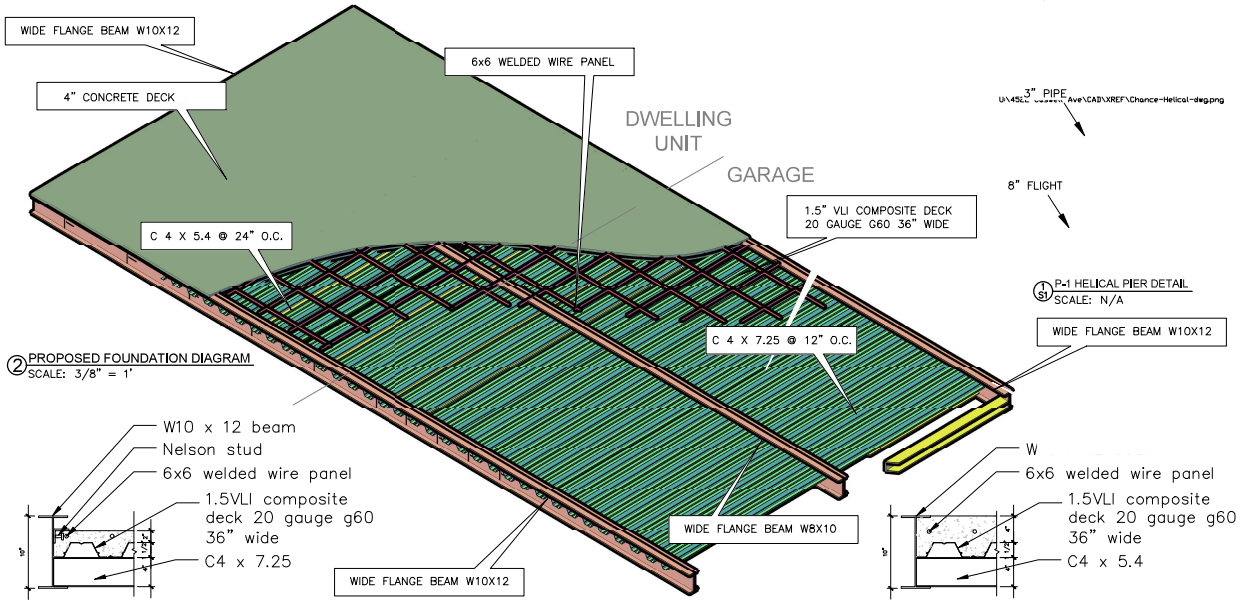


① FOUNDATION IMPROVEMENT PLAN
SCALE: 3/8" = 1'



② PROPOSED FOUNDATION DIAGRAM
SCALE: 3/8" = 1'

③ FOUNDATION DECK SECTION 3
SCALE: 1 1/2" = 1'

② FOUNDATION DECK SECTION 2
SCALE: 1 1/2" = 1'

① P-1 HELICAL PIER DETAIL
SCALE: N/A

LEGEND

- WIDE FLANGE BEAM
- C CHANEL JOIST 4"
- HELICAL PIER
- AIR SPADED TRENCH

NOTE:
- A HELICAL PIER SYSTEM IS PROPOSED TO KEEP CRITICAL ROOT ZONE INTERVENTION TO THE MINIMUM. LOCATION OF PIERS IS TO BE EXPLORED BEFORE DRILLING WITH AIR SPADING EXCAVATION TO AVOID DAMAGING ROOTS OF TREES IN CRZ.

1-0. GENERAL
1-1. Engineer's inspection required for:
concrete pre-pour setup AND final stressing of tendons
Engineer's inspection recommended (not required) for:
concrete placement / testing.
1-2. This design is in accordance with the Criteria for Selection and Design of Residential Slabs-on-Ground: BRAB No. 33, WRI/CRSI-81 Design of Slab-on-Ground Foundations or PTI Design of Post-Tensioned Slabs-on-Ground 3rd Edition, The 2009 and 2015 International Residential Code, and Standard Building Code and recognized Engineering practices.
1-3. DO NOT SCALE PLAN.
1-4. Vertical control joints should be used in exterior masonry to the full height spaced approximately 25 feet apart. A joint should be located directly above all slab control joints.

2-0. SITE PREPARATION
2-1. Reference soils report, as required, for site preparation requirements. Do not impact C.R.Z. protected trees if req'd. (ref. sht.1).
2-2. All underslab "Forming Fill" shall have a P.I. less than 20 and be free of organics.
2-3. This foundation plan is intended to work in conjunction with the grading and drainage sections for slabs on grade in the currently adopted edition of the IRC. Drainage of surficial water away from the foundation is essential for the best foundation performance. Gutters and downspouts should be considered for proper site drainage.

3-0 CONCRETE
3-1. Concrete shall have a min. compressive strength of 3000 psi at 28 days. Concrete should be min. 2000 psi at full tendon stressing. All concrete work shall meet A.C.I 318. Concrete shall be deposited in forms no later than two hours after water is mixed at the plant. One addition of water will be permitted at the job site to adjust the slump to a maximum of 6".
3-2. Concrete shall be well consolidated using proper mechanical vibration, especially in the vicinity of the tendon anchorage.
3-3. If unanticipated interruptions in concrete placement occur, and concrete hardens, temporary forms or chipped vertical joints prior to setting additional concrete. Use #3 X 24" dowels at 12" O.C. epoxied into existing concrete to bond old to new concrete.

4-0. CONCRETE COVERAGE
Beam Tendons may be moved 3" down and/or 2" upward vertically as req'd.
4-2. REBAR: 1.5" slab, 2" formed, and 3" exposed to earth.
4-3. PIPE PENETRATIONS: 2" for tendon and rebar.
4-4. Piping, conduit and electrical lines:
a. 1" and smaller conduit - conduit smaller than 1" dia. do not have to be trenched into the underslab fill material.
b. Greater than 2" conduit - should be trenched into the underslab fill material.

5-0. REINFORCING
5-1. All reinforcing bars shall be ASTM A-615 Grade 60, except Grade 40 may be used for stirrups, corner bars and hairpins.
5-2. Anchorage system shall be a monostrand unbonded tendon anchorage utilizing a cast wedge plate and a two piece wedge as manufactured by a P.T.I. approved manufacturer.

6-0. PLAN VARIATIONS
6-1. All depth dimensions of beams are min. unless intact rock is encountered at less depth. Inspector may approve beams continuously on rock to min. beam depth of 12".
6-2. Should conditions arise that are not covered by details on this plan, contact Engineer at once for additional instructions.

7-0. FOUNDATION MOISTURE MAINTENANCE
Performance of residential structures built on ground-supported-concrete-foundations depend not only on proper design and construction, but also on proper moisture maintenance performed by the occupant or owner of the property. Many residential foundations have experienced problems as a result of improper installation, maintenance, or alterations of the drainage system and landscaping. A properly designed and constructed foundation may still experience distress from soils which undergo volumetric changes caused by non-climatic moisture sources such as leaking pipes or irrigation. Positive drainage is required for proper foundation moisture maintenance. The most commonly used technique for positive drainage is grading away from the foundation to promote rapid runoff and avoid ponding water near the foundation. Poor drainage and/or ponding water can cause a change in soil moisture content, resulting in swelling of supporting soils, thus causing foundation movement. Berming of landscape beds, while visually appealing, can create a damming effect between the berm and foundation that may prevent water from draining away. Special attention must be paid to these areas by providing additional precautions, such as area drains. Area drains must be checked periodically to insure they are functional. It is important to note that consistent moisture content of supporting soils is the key to proper foundation performance. In areas where silty and/or sandy soil material is present, excessive water can cause soil to lose bearing capacity. In areas such as these, where expansive clays are present, excessive water will cause increased swelling of supporting soils, while insufficient moisture will cause shrinkage of supporting soils.

The following is a list of items to be considered when planning proper foundation maintenance:

1. Maintain positive drainage away from the foundation and install area drains (if applicable). Never allow water to pond near or against the foundation.
2. Replace and compact loose fill adjacent to the foundation with native soil; DO NOT use sand or a granular material.
3. Check gutters and downspouts to be sure they are clear and water is discharged away from the foundation.
4. Avoid seasonal drying around the perimeter of the foundation.
5. Existing vegetation near the foundation typically draws additional water from adjacent soils towards the foundation, causing added soil movement.

The objective of a proper maintenance program is to maintain as near constant moisture content as possible for soils around and under the foundation.

It is recommended that all property owners conduct a yearly survey of their foundation and perform any maintenance necessary to improve drainage and prevent ponding of water adjacent to these structures. This is especially important during the first ten (10) years after construction. This is usually when the most severe adjustment between the new foundation and supporting soil occurs. Following the above listed procedures should minimize detrimental foundation movement caused by expansive soils.

UPDATE

NO.	DESCRIPTION

STATE OF TEXAS
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89158
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12/20/2021

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FOUNDATION IMPROVEMENT PLAN

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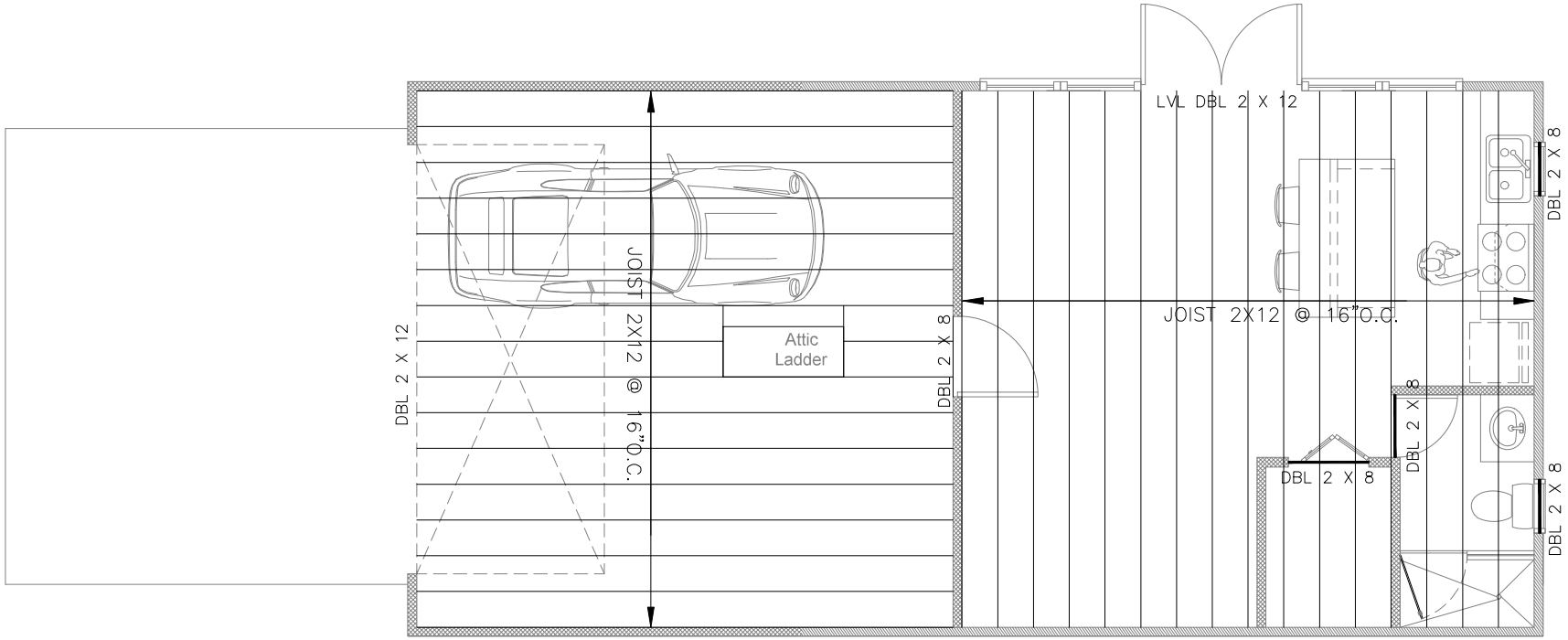
SHEET:
S1 OF 20

4522 CASWELL AVE\

E-4/28



① FRAMING PLAN
SCALE: 1/2" = 1'

NO.	DESCRIPTION

UPDATE

STATE OF TEXAS
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FRAMING PLAN

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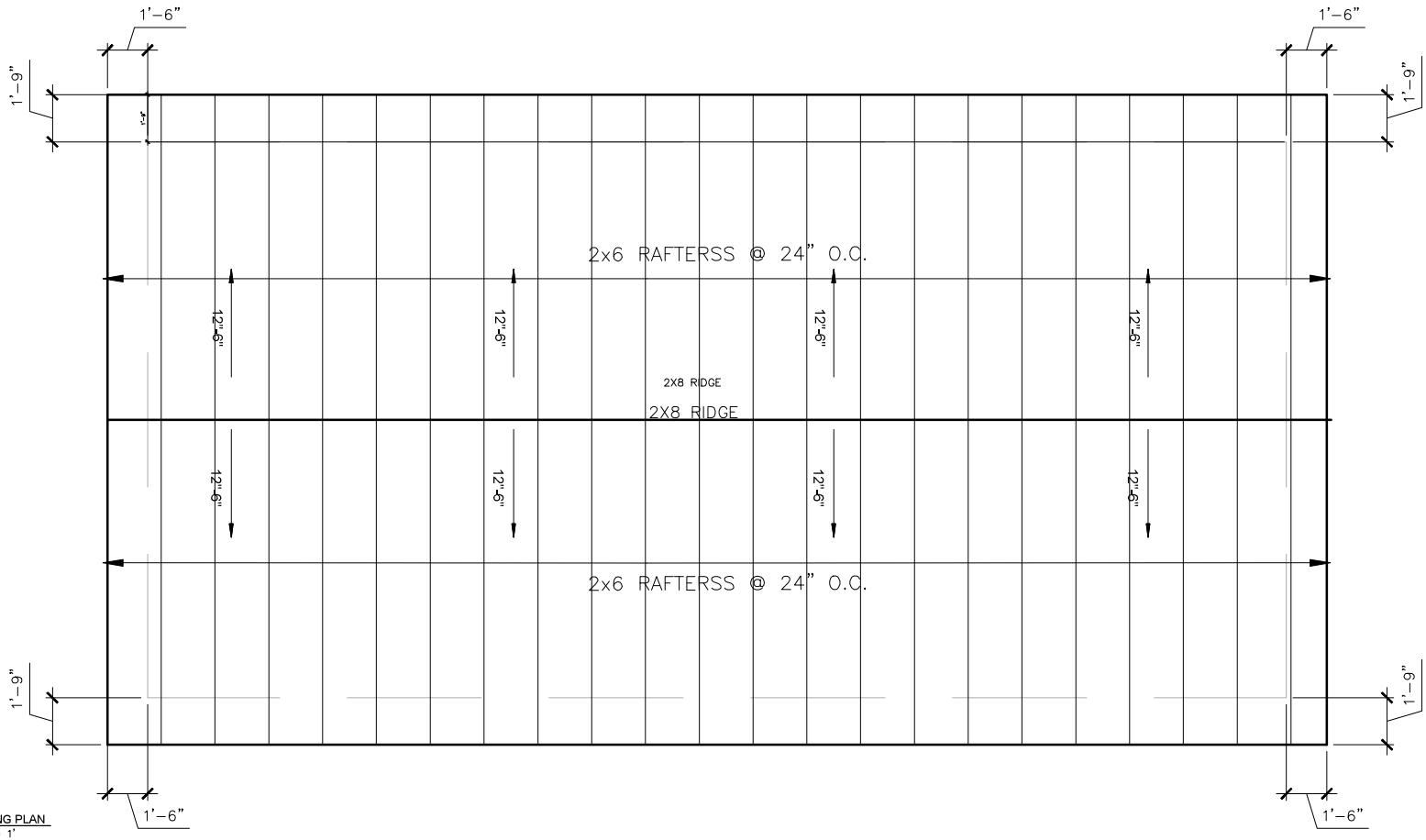
S2 of 20



① ROOF FRAMING PLAN
SCALE: 1/2" = 1'

NO.	DESCRIPTION

UPDATE

STATE OF TEXAS
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ROOF FRAMING PLAN

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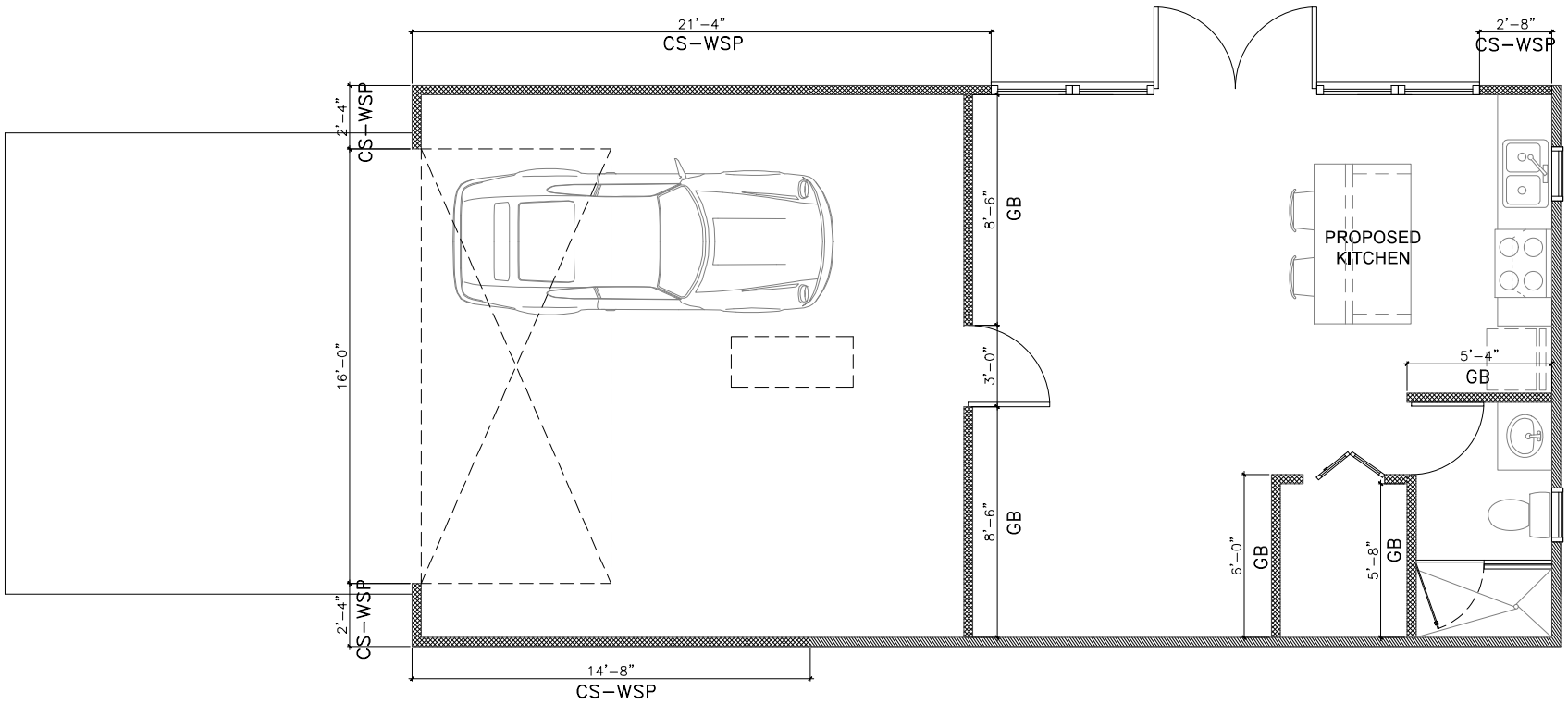
PM\4522 CASWELL AVE\



① BRACING PLAN
SCALE: 1/2" = 1'

CS-WSP
(Continuous wood structural panel sheathing) 4x8 Wood structural panel sheathing w/ a thickness not less than 3/8" OSB for 16" stud spacing. Nailing: 6d common @6" o.c. all edges @12" o.c. in field. Fasten sheathing to header w/ 8d common nails in 3" grid pattern and 3" o.c. in all framing (studs and sills) typ.

GB
(Gypsum board panel) 4x8 Gypsum panel w/ a thickness not less than 1/2" for 16" stud spacing. Nails and screws at 7" spacing at panel edges including top and bottom plates for all braced wall panel locations. For interior Gypsum board nail or screw size, see IRC table R702.3.5.

UPDATE

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BRACING PLAN

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SHEET:
S4 OF 20

P:\4522 CASWELL AVE\

FRAMING NOTES

PLEASE SEE FR-03 FOR WALL BRACING NOTES.

1. DESIGN IS BASED ON LOCAL INTERNATIONAL RESIDENTIAL CODE (IRC)

2A. ALL LOAD BEARING WALL STUDS SHALL BE STUD GRADE S.Y.P. @ 16" O.C., & CONFORM TO SECTIONS R602.3.1 & R602.3(5) OF THE IRC. ALL FIRST FLOOR MUD SILLS SHALL BE TREATED LUMBER. STUD WALLS EXCEEDING 10' IN HEIGHT SHALL CONFORM TO THE FOLLOWING TABLE.

MAXIMUM UNBRACED LENGTH OF WALL STUDS BALLOON FRAMING SCHEDULE
*UNLESS OTHERWISE NOTED ON DRAWING

HEIGHT (FEET)	ON-CENTER SPACING (INCHES)			
	24	16	12	8
< 10	2x4	2x4	2x4	2x4
12	2x6	2x4	2x4	2x4
14	2x6	2x6	2x6	2x4
16	2x6	2x6	2x6	2x4
18	NA	2x6	2x6	2x6
20	NA	NA	2x6	2x6
24	NA	NA	NA	2x6

2B. ALL NON-LOAD BEARING WALL STUDS CAN BE STUD GRADE S.Y.P. @ 24" O.C.

3. ANCHORAGE:

-EXTERIOR WALLS:
THE WOOD SOLE PLATE AND WOOD SILL PLATE AT EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATIONS WITH ½" DIA. BY 10" LONG ANCHOR BOLTS WITH 7" MINIMUM EMBEDDED OR SIMPSON MASA OR MASAP MUDSILL ANCHOR INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ANCHOR BOLTS SHALL BE PLACED AT A MAXIMUM OF 6'-0" O.C. FOR 2 STORY STRUCTURES. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE SECTION WITH 1 BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION.

-INTERIOR SHEAR WALLS:
ALL RESIDENTIAL STRUCTURES REQUIRE INTERIOR FOUNDATION ANCHORAGE FOR EACH BRACING SEGMENT. ALL BRACING SEGMENTS SHALL BE ANCHORED WITHIN 6" FROM EACH END. ACCEPTABLE ANCHORAGE WOULD INCLUDE THE FOLLOWING:

A. .157" x 2 7/8" HILTI X-U FASTENER EMBEDDED A MIN. 1 1/4" INTO THE FOUNDATION AND SPACED AT 12" O.C.
B. .157" x 2 7/8" HILTI X-CP FASTENER EMBEDDED A MIN. 1 1/4" INTO THE FOUNDATION AND SPACED AT 8" O.C.
C. ½" x 5" SIMPSON TITEN-HD CONCRETE SCREW w/ (3) ¼" WASHERS EMBEDDED 2 ¾" INTO THE FOUNDATION AND SPACED AT 4' O.C.
D. ½" x 4 ¼" WEDGE BOLT ANCHORS w/ (2) ¼" WASHERS EMBEDDED 2 1/4" INTO THE FOUNDATION AND SPACED AT 4' O.C.

-INTERIOR NON-SHEAR WALLS:
FOR MUNICIPALITIES UNDER THE 2012 OR NEWER IRC SHALL BE POSITIVELY ANCHORED w/ AN APPROVED FASTENER.

-COLUMNS:
UNLESS OTHERWISE NOTED, ALL EXTERIOR COLUMNS SHALL BE ATTACHED TO THE FOUNDATION WITH A SIMPSON AB OR USP PA POST BASE ANCHOR & ATTACHED TO A BEAM W/ ANY POST CAP OR 12" LONG COILED STRAP.

4. PURLINS SHALL BE SIZED NO LESS THAN THE RAFTER. PURLINS MUST BE CONTINUOUS AND SUPPORTED BY 2x4 STRUTS INSTALLED TO BEARING WALLS OR STRUCTURAL MEMBERS AT A SLOPE NOT LESS THAN 45 DEGREES FROM THE HORIZONTAL. THE STRUTS SHALL BE SPACED NOT MORE THAN 4'-0" O.C. AND THE UNBRACED LENGTH OF STRUTS SHALL NOT EXCEED 8'-0". PROVIDE BLOCKING OR CLEATS AT STRUT-TO-RAFTER CONNECTION LOCATIONS, SECURE CLEAT TO STRUT WITH MIN. OF (8) 12d NAILS.

5. THIS RAFTER LAYOUT IS DESIGNED TO SUPPORT COMPOSITION ROOF SHINGLES ONLY, UNLESS SPECIFIED OTHERWISE ON THE ROOF FRAMING PLAN. PLEASE CONSULT ENGINEER IF ANY OTHER TYPE OF ROOF COVERING IS TO BE USED.

6A. THIS STRUCTURE HAS BEEN DESIGNED FOR THE APPLICABLE LOADS AS PRESCRIBED BY THE IRC INCLUDING TABLE R301.5. THE BELOW TABLE LISTS THE MOST COMMON AREAS.

MINIMUM UNIFORMLY DISTRIBUTED LOADS

ATTIC W/ LIMITED STORAGE	20 PSF	LIVE LOAD
ATTIC W/ LIMITED STORAGE	10 PSF	DEAD LOAD
ATTIC W/ NO STORAGE	10 PSF	LIVE LOAD
ATTIC W/ NO STORAGE	5 PSF	DEAD LOAD
BALCONIES (EXTERIOR) AND DECKS	60 PSF	LIVE LOAD
SLEEPING ROOMS	30 PSF	LIVE LOAD
SLEEPING ROOMS	10 PSF	DEAD LOAD
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF	LIVE LOAD
ROOMS OTHER THAN SLEEPING ROOMS	10 PSF	DEAD LOAD
ROOF	20 PSF	LIVE LOAD
COMPOSITION SHINGLE ROOF	10 PSF	DEAD LOAD
LIGHTWEIGHT TILE ROOF	18 PSF	DEAD LOAD
HEAVYWEIGHT TILE ROOF	27 PSF	DEAD LOAD
MASONRY	40 PSF	DEAD LOAD

6B. HANDRAILS AND GUARDRAILS SHALL BE CONSTRUCTED AND INSTALLED TO RESIST A 200 LB CONCENTRATED LOAD APPLIED IN ANY DIRECTION ALONG THE TOP AS PRESCRIBED BY TABLE R301.5 INCLUDING THE FOOTNOTES AND SECTIONS R311.7.7 AND R312 OF THE INTERNATIONAL RESIDENTIAL CODE.

7. RAFTERS SHALL BE DOUBLED WHEN THE SUSPENDED HVAC UNIT ARE CONNECTED TO THE SAME RAFTER. MULTIPLE ROWS OF SOLAR PANELS CONNECTING TO THE SAME RAFTER SHALL ALSO BE DOUBLED (I.E. MORE THAN 2 CONNECTION LOCATIONS).

8. ROOF DECKING SHALL BE 1/2" EXPOSURE 1 (CDX) OR O.S.B. APA RATED SHEATHING (24/0). (U.N.O.)

9. ALL JOISTS FRAMING TO FLUSH BEAMS SHALL BE SUPPORTED BY APPROVED METAL JOIST HANGERS (U.N.O.).

10. ALL BEAMS FRAMING TO WALLS ARE TO BE SUPPORTED BY MIN. OF (2) 2x4 OR (2) 2x6 STUDS (ACTUAL NUMBER OF STUDS EQUAL WIDTH OF BEAM, U.N.O.).

11A. LOAD BEARING HEADER SCHEDULE FOR CONVENTIONAL FRAMING AS FOLLOWS (U.N.O.). NOT DESIGNED FOR USE WITH ROOF TRUSSES.

MAXIMUM HEADER SPAN FOR UNIFORM LOADS

HEADER SIZES	SUPPORT ROOF/CEILING	SUPPORT ROOF, CEILING & ONE CENTER BEARING FLOOR		SUPPORT ROOF, CEILING & ONE CLEAR SPAN FLOOR		SUPPORT ROOF, CEILING & TWO CENTER BEARING FLOOR		SUPPORT ROOF, CEILING & TWO CLEAR SPAN FLOOR	
2-2x6	4'-2"	NJ-1	3'-7"	NJ-2	3'-0"	NJ-2	2'-11"	NJ-2	2'-4"	NJ-2
2-2x8	5'-4"	NJ-1	4'-6"	NJ-2	3'-10"	NJ-2	3'-9"	NJ-2	3'-0"	NJ-3
2-2x10	6'-6"	NJ-2	5'-6"	NJ-2	4'-8"	NJ-2	4'-7"	NJ-3	3'-8"	NJ-3
2-2x12	7'-6"	NJ-2	6'-5"	NJ-2	5'-5"	NJ-3	5'-3"	NJ-3	4'-3"	NJ-3

*NJ - # OF JACK STUDS REQUIRED

ALL HEADER MATERIAL TO BE NO. 2 GRADE SYP LUMBER

11B. NON-LOAD BEARING HEADER SCHEDUAL:
0'-0"-8'-0" SINGLE FLAT 2x4 #2 SYP MEMBER
8'-1"-15'-0" (2) 2x6 #2 SYP MEMBER

12. THE NUMBER AND SIZE OF NAILS USED TO CONNECT WOOD MEMBERS SHALL BE ACCORDING TO IRC TABLE R602.3(1). MULTIPLE STUDS SHALL BE SECURED WITH 10d NAILS SPACED 24 O.C. MULTIPLE JOISTS SHALL BE NAILED WITH 3-16d NAILS SPACED 12" O.C. THERE SHALL BE NO SPLICES.

13. ENGINEERED WOOD BEAMS (EWB) SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. EWB SPECIFIED ON THE PLANS MAY BE SUBSTITUTED FOR A DIFFERENT EWB AS LONG AS THE FOLLOWING CRITERIA IS MEET.
A. WIDTH AND DEPTH OF THE SUBSTITUTED EWB IS GREATER THAN OR EQUAL TO THE EWB SPECIFIED ON THE PLANS.
B. SUBSTITUTED EWB MUST BE GREATER THAN OR EQUAL TO THE FOLLOWING SPECIFICATIONS:
PSL: Fb=2900 PSI, Fv=290 PSI, E=2,000 KSI.
LSL: Fb=2325 PSI, Fv=285 PSI, E=1,550 KSI.
LVL: Fb=2600 PSI, Fv=285 PSI, E=1,900 KSI.

14. CONTRACTOR/OWNER SHALL VERIFY FIELD DIMENSIONS AND DETAILS, NOTIFY THE PROJECT ARCHITECT/ENGINEER OF ANY DISCREPANCY AND REVIEW FOR RECOMMENDATIONS OR REVISIONS IF NECESSARY. ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO LOCAL CODES AND OSHA GUIDELINES.

15. CONTRACTOR/OWNER IS RESPONSIBLE FOR SELECTION AND CORRECT APPLICATION OF ALL MATERIALS FOR CONSTRUCTION.

16. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. STEEL COLUMNS SHALL HAVE MIN. 1/2" CAP AND BASE PLATES WITH MIN. 2-5/8" DIA. ANCHORED BOLTS EMBEDDED MIN. 4 1/2" INTO CONCRETE. THE STEEL ANGLE LINTEL SCHEDULE TO SUPPORT MASONRY VENEER IS AS FOLLOWS:

MINIMUM SIZE	NO STORY ABOVE	ONE STORY ABOVE	TWO STORY ABOVE	MIN. BEARING
3" x 3" x 1/4"	6'-0"	4'-6"	3'-0"	4"
4" x 3" x 1/4"	8'-0"	6'-0"	4'-6"	4"
5" x 3 1/2" x 5/16"	10'-0"	8'-0"	6'-0"	4"
6" x 3 1/2" x 5/16"	14'-0"	9'-6"	7'-0"	4"
SEE PLAN	> 14'-0"	> 9'-6"	> 7'-0"	4"

LINTELS ARE DESIGNED TO SUPPORT A DESIGN LOAD OF 27 PSF (2 3/4" BED-DEPTH FOR COMMON BRICK) BASED ON MANUFACTURER'S SPECIFICATIONS.

17. JOIST/BEAM HANGER SCHEDULE AS FOLLOWS (U.N.O.):

JOIST/BEAM HANGER SCHEDULE

JOIST/BEAM SIZE	SIMPSON	TAMLYN	USP
2x6	LU26	SJQ26	JL26
2x8	LU28	SJQ28	JL28
2x10	LUS210	HDTP210	JUS210
2x12	LUS210	HDTP210	JUS210
2-2x6	LUS26-2	DJ46	JUS26-2
2-2x8	LUS28-2	DJ48	JUS28-2
2-2x10	LUS210-2	HDTP210-2	JUS210-2
2-2x12	LUS210-2	HDTP210-2	JUS210-2
3-2x8	HGUS28-3	N/A	THDH28-3
3-2x10	HGUS210-3	HDTP210-3	THDH210-3
3-2x12	HGUS212-3	HDTP212-3	THDH212-3
4-2x12	HGUS212-4	HDTP212-4	THDH6712
3 1/2 x 11 1/4	HGUS412	N/A	THDH412
3 1/2 x 14+	HGUS414	N/A	THDH414
5 1/4 x 11 1/4	HGUS5.50/12	N/A	THDH5212
5 1/4 x 14+	HGUS5.50/14	N/A	THDH614
7 x 11 1/4	HGUS7.25/12	N/A	THDH7212
7 x 14+	HGUS7.25/14	N/A	THDH7214

UPDATE

NO.	DESCRIPTION

STATE OF TEXAS
Sergio H. Lozano-Sanchez
89158
LICENSED
PROFESSIONAL ENGINEER
12/20/2021

4522 CASWELL AV.
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FRAMING NOTES

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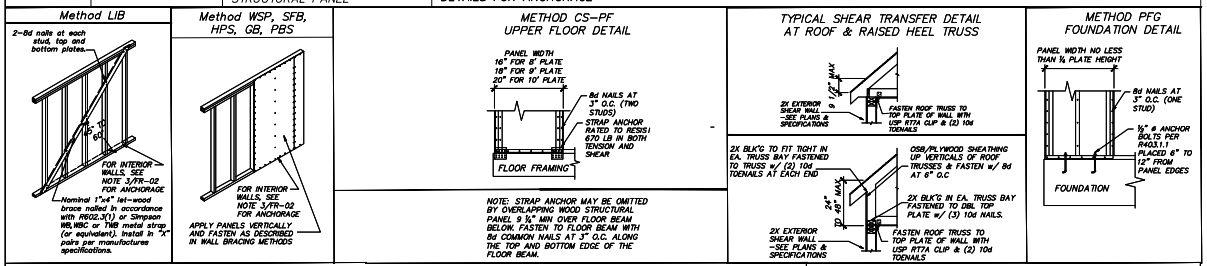
WALL BRACING

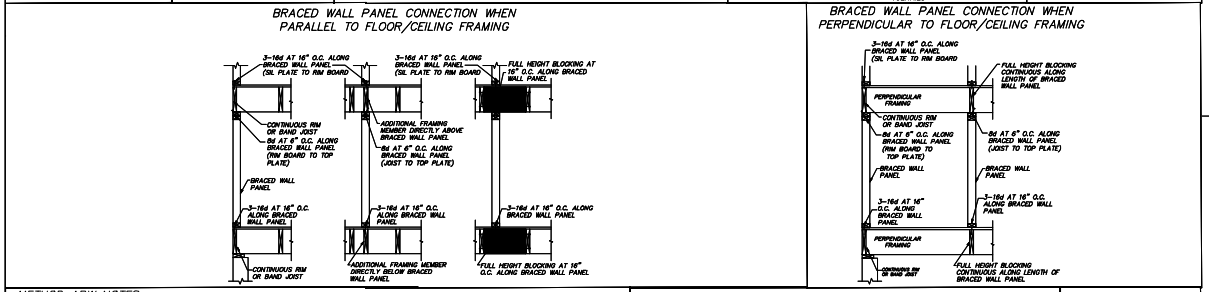
THE FOLLOWING WALL BRACING REQUIREMENTS APPLY TO ALL RESIDENTIAL CONSTRUCTION IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) IN AREAS WHERE THE BASIC WIND SPEED IS LESS THAN OR EQUAL TO 115 MPH ULTIMATE 3-SEC GUST RISK CAT. 2 & SEISMIC CAT. A/B (EQUIV. TO 2012 IRC 90 MPH 3-SEC GUST). THE BUILDER SHALL DETERMINE THE BASIC WIND SPEED FOR THE CONSTRUCTION PROJECT LOCATION FROM THE APPROPRIATE JURISDICTION. THE FOLLOWING WALL BRACING METHODS ARE NOT INTENDED TO COMPLY WITH THE TEXAS DEPARTMENT OF INSURANCE WINDSTORM REQUIREMENTS.

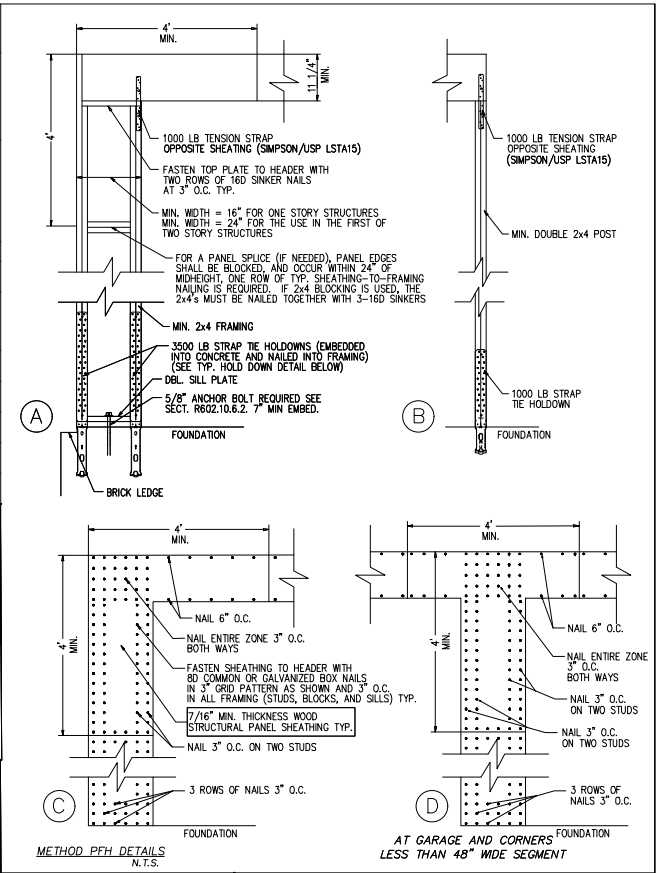
WALL BRACING METHODS

UNLESS OTHERWISE NOTED, THE SHEARWALL SECTIONS SHOWN ON THE PLAN SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING METHODS. ALL STUDS SHALL BE SPACED A MAX. OF 16" FOR ALL BRACING METHODS LISTED HEREIN. LIB (LET-IN-BRACING), METHOD WSP (WOOD STRUCTURAL PANELS), METHOD SFB (STRUCTURAL FIBERBOARD SHEATHING), METHOD PBS (PARTICLE BOARD SHEATHING) OR METHOD HPS (HARDBOARD PANEL SIDING). EACH METHOD IS DESCRIBED FURTHER BELOW. IF METHOD OSB IS CALLED OUT REFERENCE METHOD WSP IN CHART BELOW.

METHOD	MATERIAL	MINIMUM THICKNESS	FASTENING
LIB	LET IN BRACING	NOMINAL 1x4 WOOD OR APPROVED METAL STRAPS	FOR WOOD 2-8d (2½" LONG 0.131" DIAMETER) NAILS PER STUD FOR METAL STRAP; SIMPSON WB, WBC OR TWB (OR EQUIVALENT) INSTALLED IN "X" PAIRS PER MANUFACTURERS SPECS.
CS-WSP & WSP	WOOD STRUCTURAL PANELS (OSB)	⅜"	8d (2½" LONG 0.131" DIAMETER) NAILS AT 6" ON CENTER AROUND THE EDGES AND AT 12" O.C. AT INTERMEDIATE STUDS. FOR CS-WSP ALL SHEATHABLE SURFACES INCLUDING AREAS ABOVE AND BELOW OPENINGS SHALL BE SHEATHED. RED OR BLUE THERMO-PLY AND ZIP SYSTEM WALL SHEATHING PANELS ARE AN ACCEPTABLE 1 TO 1 REPLACEMENT FOR OSB EXCEPT IN PORTAL FRAME APPLICATIONS & SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
GB	GYPSUM BOARD	½"	5d COOLER NAIL (1⅝" LONG 0.086" DIAMETER 15/64" HEAD) OR GYPSUM BOARD NAIL (1⅝" LONG 0.0915" DIAMETER 9/32" HEAD) SPACED AT 7" O.C. MAX AROUND THE PERIMETER AND AT 12" O.C. AT INTERMEDIATE STUDS
ABW	SEE DETAIL BELOW	3/8" WOOD STRUCTURAL PANEL	PER DETAIL BELOW
PFH	SEE DETAIL RIGHT	7/16" WOOD STRUCTURAL PANEL	PER DETAIL RIGHT
PFG	SEE DETAIL BELOW	7/16" WOOD STRUCTURAL PANEL	SEE PFH DETAIL FOR FASTENING WITH THE FOLLOWING EXCEPTIONS. FASTENERS SHALL ONLY BE INSTALLED IN THE OUTER STUD OF EACH SIDE OF THE NARROW WIDTH PANEL. SEE METHOD PFG DETAIL BELOW FOR FOUNDATION ATTACHMENT
CS-PF	SEE DETAIL BELOW	⅜" WOOD STRUCTURAL PANEL	SEE PFH DETAIL FOR FASTENING WITH THE FOLLOWING EXCEPTIONS. SEE METHOD CS-PF FOUNDATION AND UPPER FLOOR DETAILS FOR ANCHORAGE





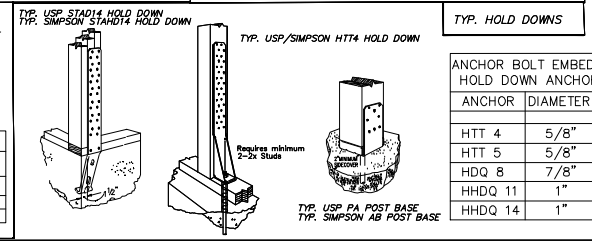


METHOD ABW NOTES

FASTEN WOOD STRUCTURAL PANELS WITH 8d COMMON OR 8d GALVANIZED BOX NAILS @ 6" O.C AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS FOR SINGLE STORY OR 4" O.C AT PANEL EDGES AND 8" AT INTERMEDIATE STUDS FOR THE FIRST OF TWO STORIES.

PANEL WIDTHS AND HOLD DOWN FORCES SHALL BE AS DESCRIBED IN THE TABLE BELOW. HOLD DOWNS MAY BE CAST IN PLACE OR ANCHOR BOLT TYPE (BOTH SHOWN IN DETAIL ABOVE FOR CLARITY.)

PLATE HEIGHT	8 FT.	9FT.	10FT.	11 FT.	12FT.
MINIMUM PANEL WIDTH	2'-4"	2'-8"	2'-10"	3'-2"	3'-6"
HOLD DOWN FORCE					
ONE STORY	1800 LB	1800 LB	1800 LB	2000 LB	2200 LB
1ST FLOOR OF 2 STORY	3000 LB	3000 LB	3000 LB	3300 LB	3600 LB



ANCHOR BOLT EMBEDMENT DEPTHS FOR TYPICAL HOLD DOWN ANCHORS AT FOUNDATION EDGES

ANCHOR	DIAMETER	EMBEDMENT DEPTH	
		WET SET	EPOXY
HTT 4	5/8"	6 1/2"	3 1/2"
HTT 5	5/8"	6 1/2"	4"
HDQ 8	7/8"	8 1/2"	5"
HHDQ 11	1"	15"	9"
HHDQ 14	1"	15"	9"

UPDATE

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STATE OF TEXAS Sergio M. Lozano-Sanchez 89158 LICENSED PROFESSIONAL ENGINEER
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BRACING NOTES AND DETAILS

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