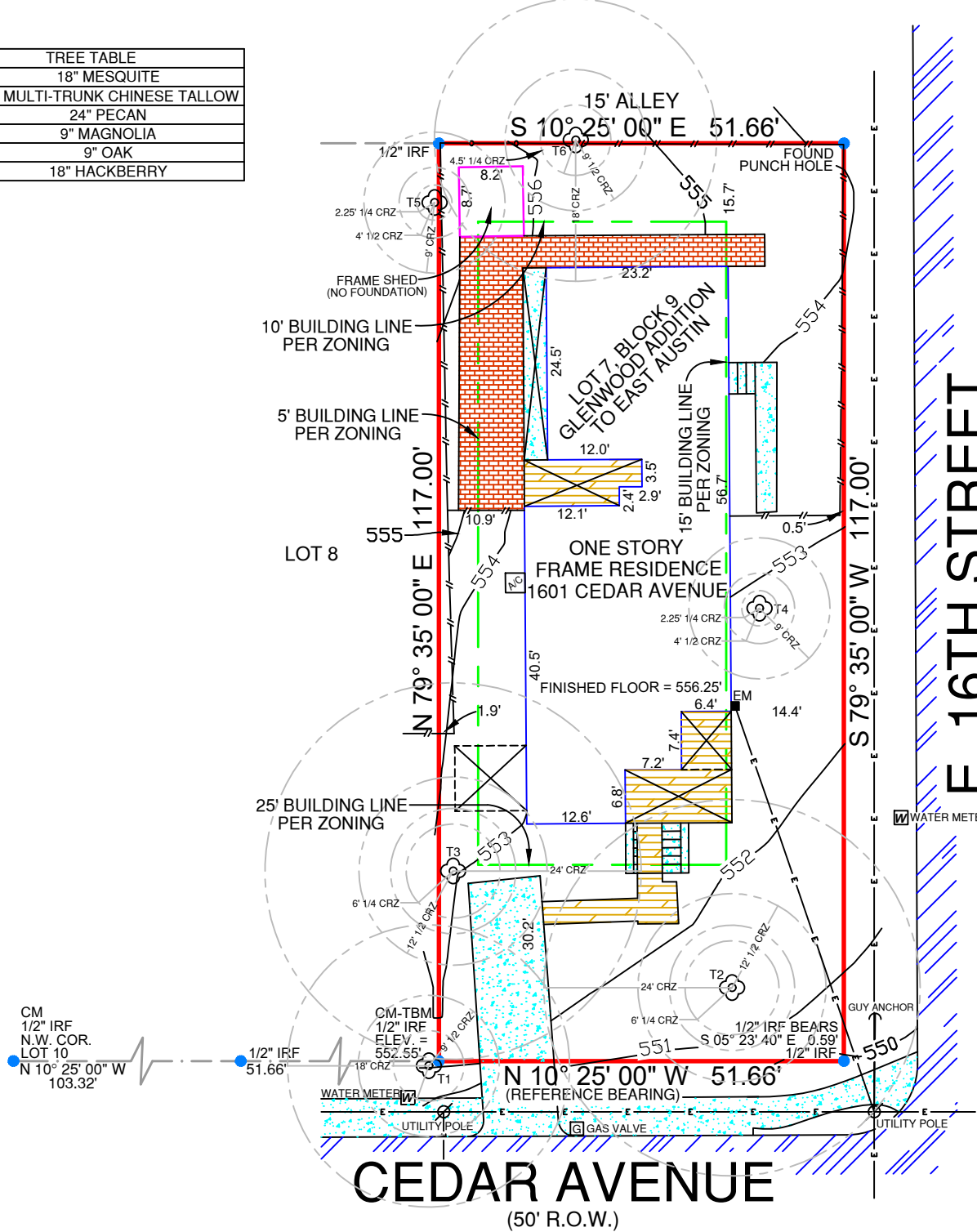
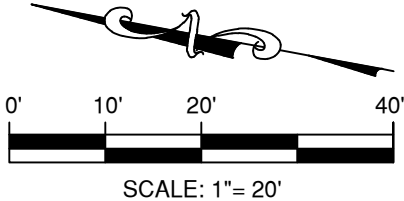


TREE TABLE	
T1	18" MESQUITE
T2	24" MULTI-TRUNK CHINESE TALLOW
T3	24" PECAN
T4	9" MAGNOLIA
T5	9" OAK
T6	18" HACKBERRY



LEGEND:	
—x—x—	BARB WIRE FENCE
—o—o—	CHAIN LINK FENCE
—□—□—	WROUGHT IRON FENCE
—//—//—	WOOD FENCE
—v—v—	VINYL FENCE
—E—E—	ELECTRIC LINE
GM =	GAS METER
EM =	ELECTRIC METER
IPF =	IRON PIPE FOUND
IRS =	IRON ROD SET WITH "PREMIER" CAP
IRF =	IRON ROD FOUND
CM =	CONTROLLING MONUMENT
ASPHALT =	[Pattern]
CONCRETE =	[Pattern]
GRAVEL =	[Pattern]
TILE =	[Pattern]
WOOD =	[Pattern]
BRICK =	[Pattern]
STONE =	[Pattern]
(WOOD) RAILROAD TIE =	[Pattern]

NOTES:
CRZ = CRITICAL ROOT ZONE.
TBM = TEMPORARY BENCHMARK.
CONTOUR INTERVAL EQUALS ONE FOOT.
ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS.
BEARINGS ARE BASED ON THE RECORDED PLAT.
HOUSE EXTENDS BEYOND 15' BUILDING LINE AS SHOWN ABOVE.



LEGAL DESCRIPTION:
BEING LOT 7, BLOCK 9, OF GLENWOOD ADDITION TO EAST AUSTIN, AN ADDITION TO TRAVIS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2, PAGE 154, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

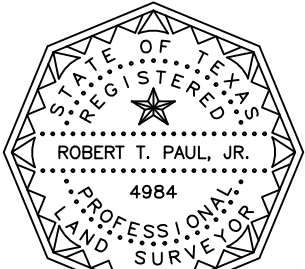
SURVEYOR'S CERTIFICATION:
THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT PROVIDED BY A TITLE COMPANY. THERE MAY BE EASEMENTS AND OTHER MATTERS OF RECORD AFFECTING THE PROPERTY SHOWN HEREON THAT ONLY A PROPER TITLE SEARCH WOULD REVEAL. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

TECH	MSP
FIELD	BB

FLOOD INFORMATION:
THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48453C0465 K, DATED JANUARY 22, 2020.

DATE: 05/10/22 JOB NO.: 21-06616TS
FIELD: 05/09/22 REV.: 05/12/22

1601 CEDAR AVENUE, AUSTIN, TX 78702
LOT 7, BLOCK 9, GLENWOOD ADDITION



Robert T. Paul, Jr.
Registered Professional Land Surveyor



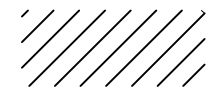
5700 W. Plano Parkway
Suite 1200
Plano, Texas 75093
972-612-3601 (O) | 855-892-0468 (F)
www.premiersurveying.com
premierorders@premiersurveying.com

DATE: _____

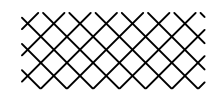
ACCEPTED BY: _____



Premier
Surveying LLC
5700 W. Plano Pkwy., Suite 1200
Plano, Texas 75093
Office: 972-612-3601
Fax: 972-964-7021
Firm Registration No. 10146200



MULCH AREA FOR TREE PROTECTION (8" DEPTH).



STAGING, DUMPSTER, SPOILS PLACEMENT, CONCRETE/PAINT WASHOUT, AND PORTABLE TOILET AREA. ALL ACCESS COMING FROM E 16TH STREET.



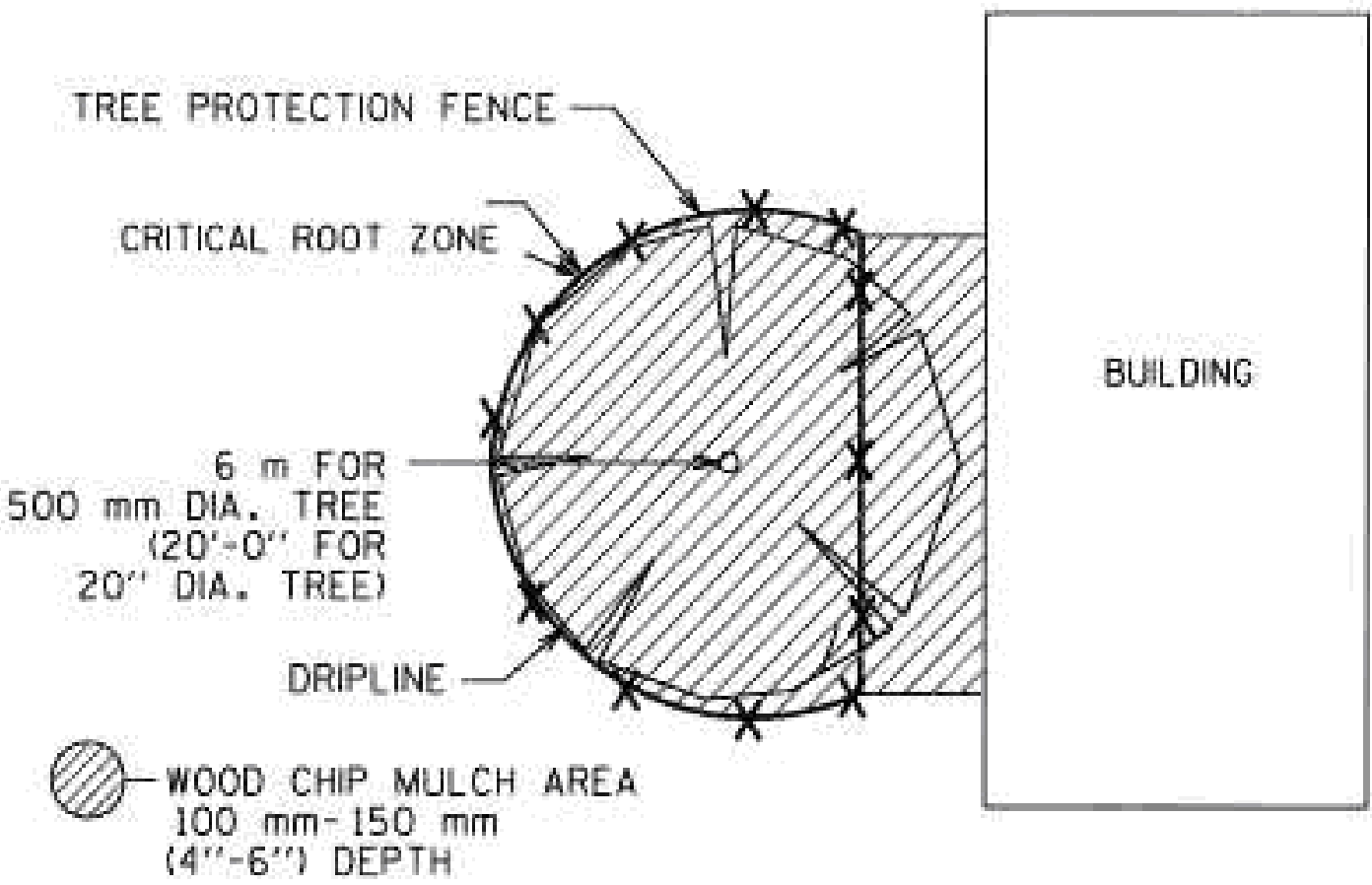
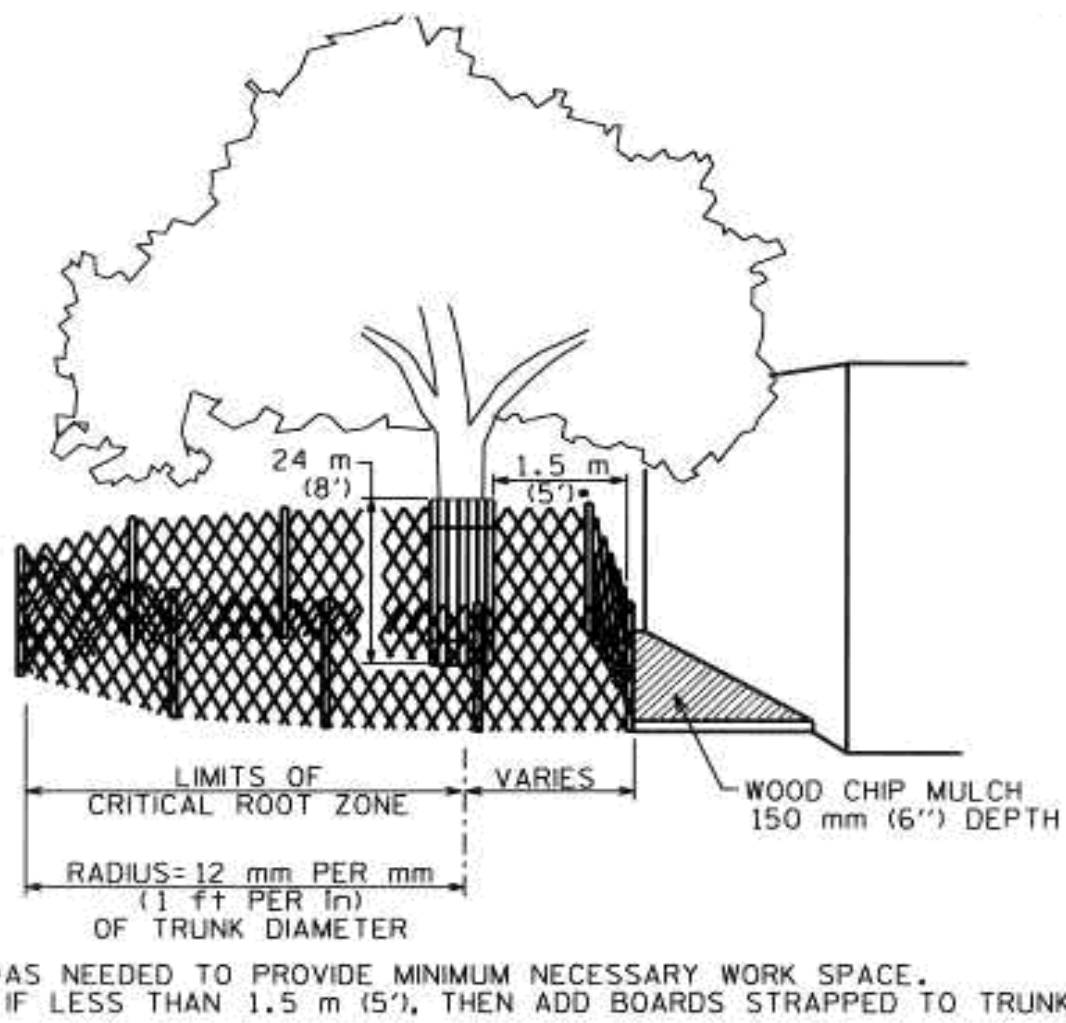
TREE PROTECTION FENCE



EXISTING OVERHEAD ELECTRICAL

Tree Leged

- T1 - 18" MESQUITE
- T2 - 24" MULTI-TRUNK CHINESE TALLOW
- T3 - 24" PECAN
- T4 - 9" MAGNOLIA
- T5 - 9" OAK
- T6 - 18" HACKBERRY



Tree Protection Detail (NTS)

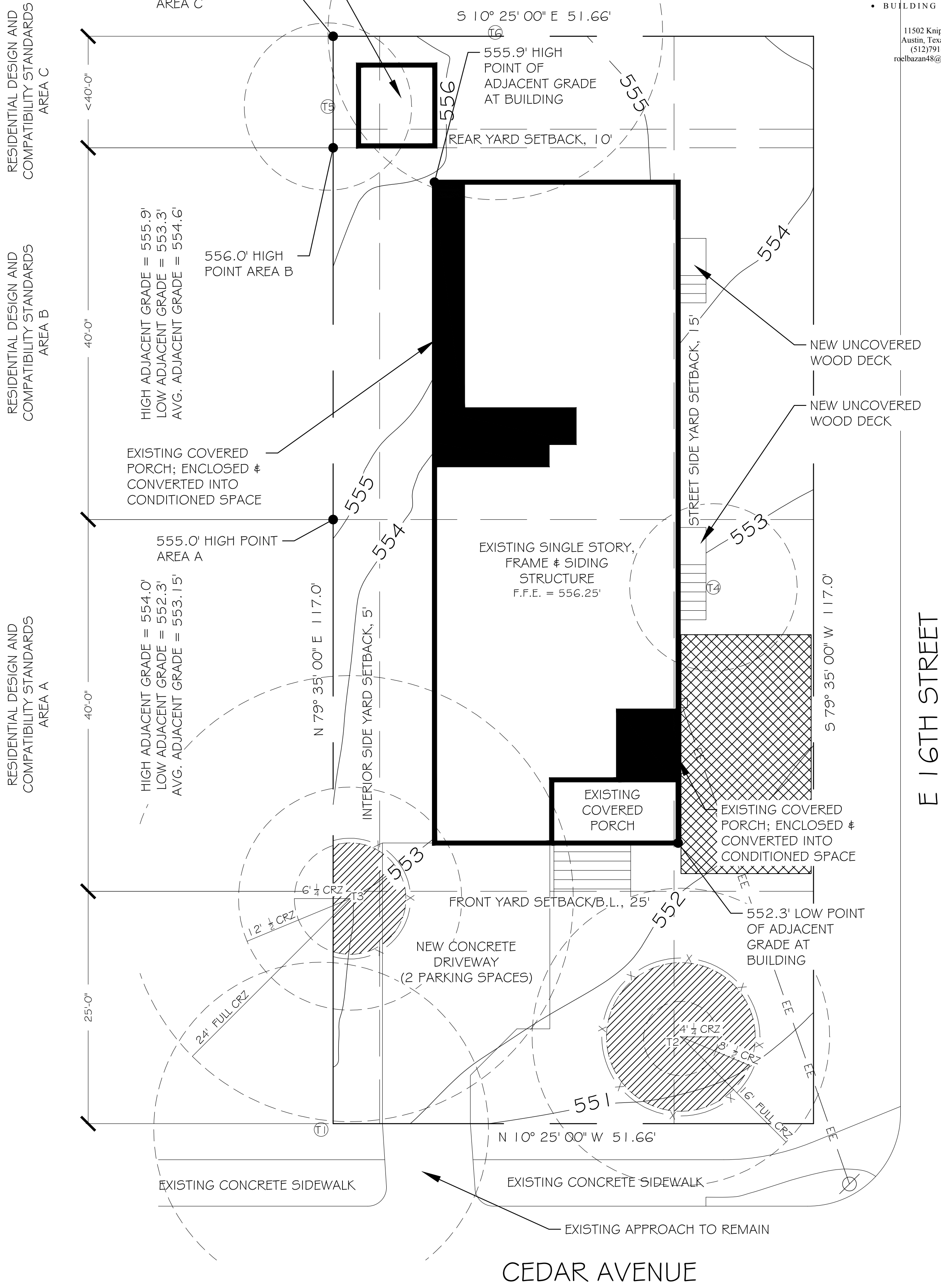
IN ORDER TO ASSURE THAT TREES ARE ADEQUATELY PRESERVED, TREE PROTECTION FENCING IS REQUIRED FOR TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING SHOULD PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA. FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF FIVE FEET. WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRZ, AN EIGHT INCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRZ. FOOT TRAFFIC IS CONSIDERED A ROOT ZONE DISTURBANCE, AS WELL. 2X4 OR GREATER SIZE PLANKS (6' TALL MINIMUM) ARE REQUIRED TO BE STRAPPED SECURELY AROUND PROTECTED TREES TRUNKS AND ROOT FLARES WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN HE PROJECT.

APPROVED

By Jeff Diaz at 7:33 am, May 27, 2022

Any New or Proposed Electric Service Location is NOT Included during the BSPA Review

NO ANTICIPATED IMPACT TO ANY PROTECTED TREES.



SITE PLAN W/RDCS SET BACK PLANE COMPLIANCE

Scale: 1/8" = 1'-0" ON PAGE SIZE 22X34
Scale: 1/16" = 1'-0" ON PAGE SIZE 11X17

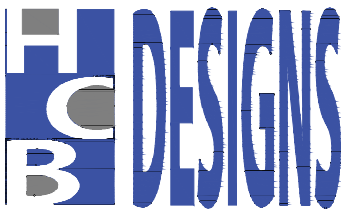


RB ARCHITECT, PLLC



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11502 Knipp Cove
Austin, Texas 78739
(512) 791-2986
roelhasan48@gmail.com



CONSULTATION

DESIGN SERVICES

CONSTRUCTION MANAGEMENT

832.628.3448
dheads@hcbdesigns.com
www.hcbdesigns.com



SINGLE FAMILY RESIDENCE
ADDITION/REMODEL
1601 CEDAR AVENUE
AUSTIN, TEXAS 78702

DRAWN BY:

CHECKED BY:

DATE:

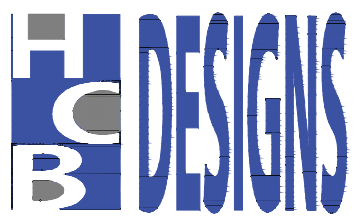
PROJECT NO:

REVISIONS:

SHEET TITLE:
SITE PLAN

SHEET NO:

AS101



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AUSTIN, TEXAS 78702

DRAWN BY:

CHECKED BY:

DATE:

PROJECT NO:

REVISIONS:

SHEET TITLE:
ELEVATIONS w/RDCS

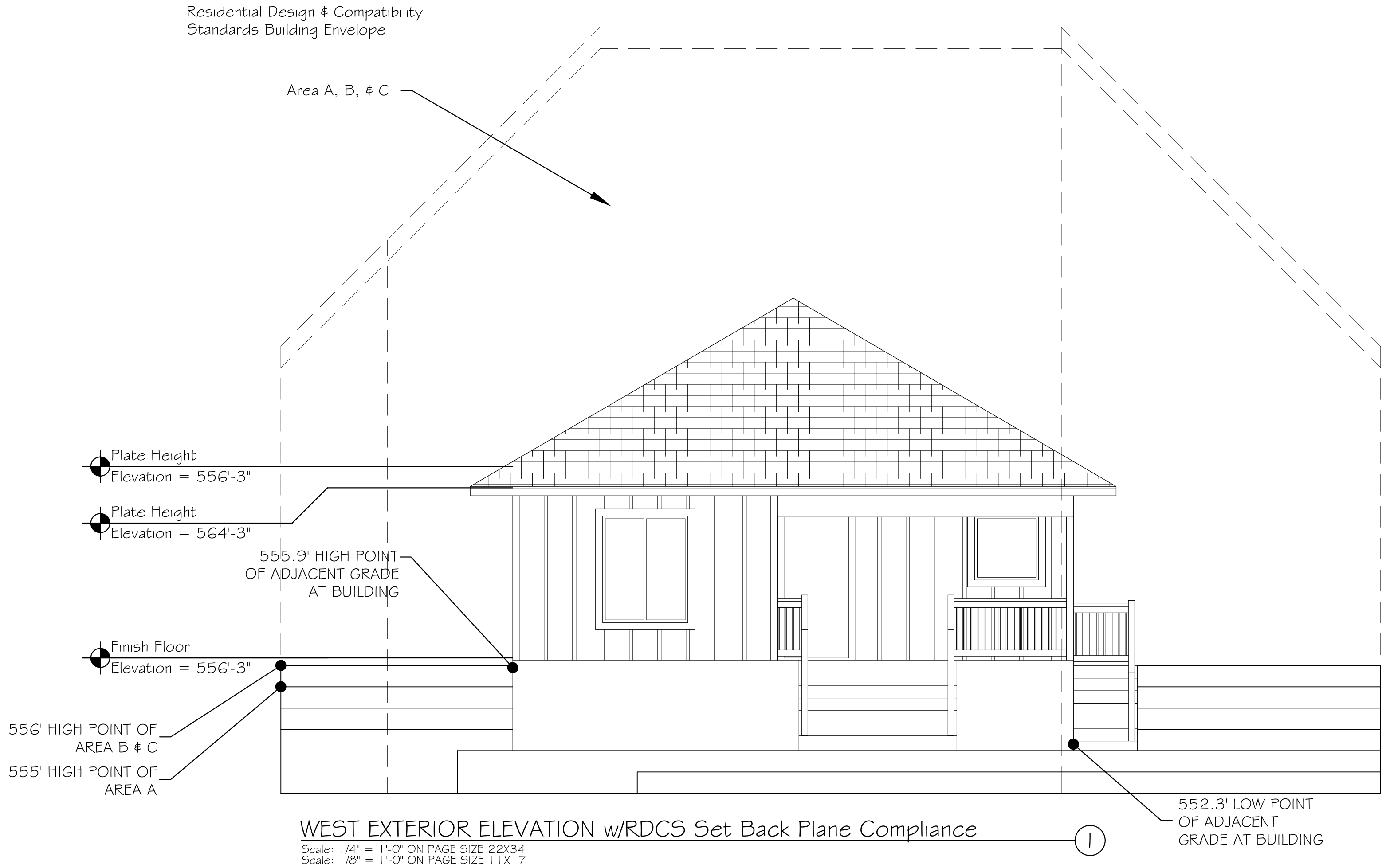
SHEET NO:
AS102

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Residential Design & Compatibility
Standards Building Envelope

Area A, B, & C

Plate Height
Elevation = 556'-3"

Plate Height
Elevation = 564'-3"

Finish Floor
Elevation = 556'-3"

552.3' LOW POINT
OF ADJACENT
GRADE AT BUILDING

556' HIGH POINT OF
AREA B & C

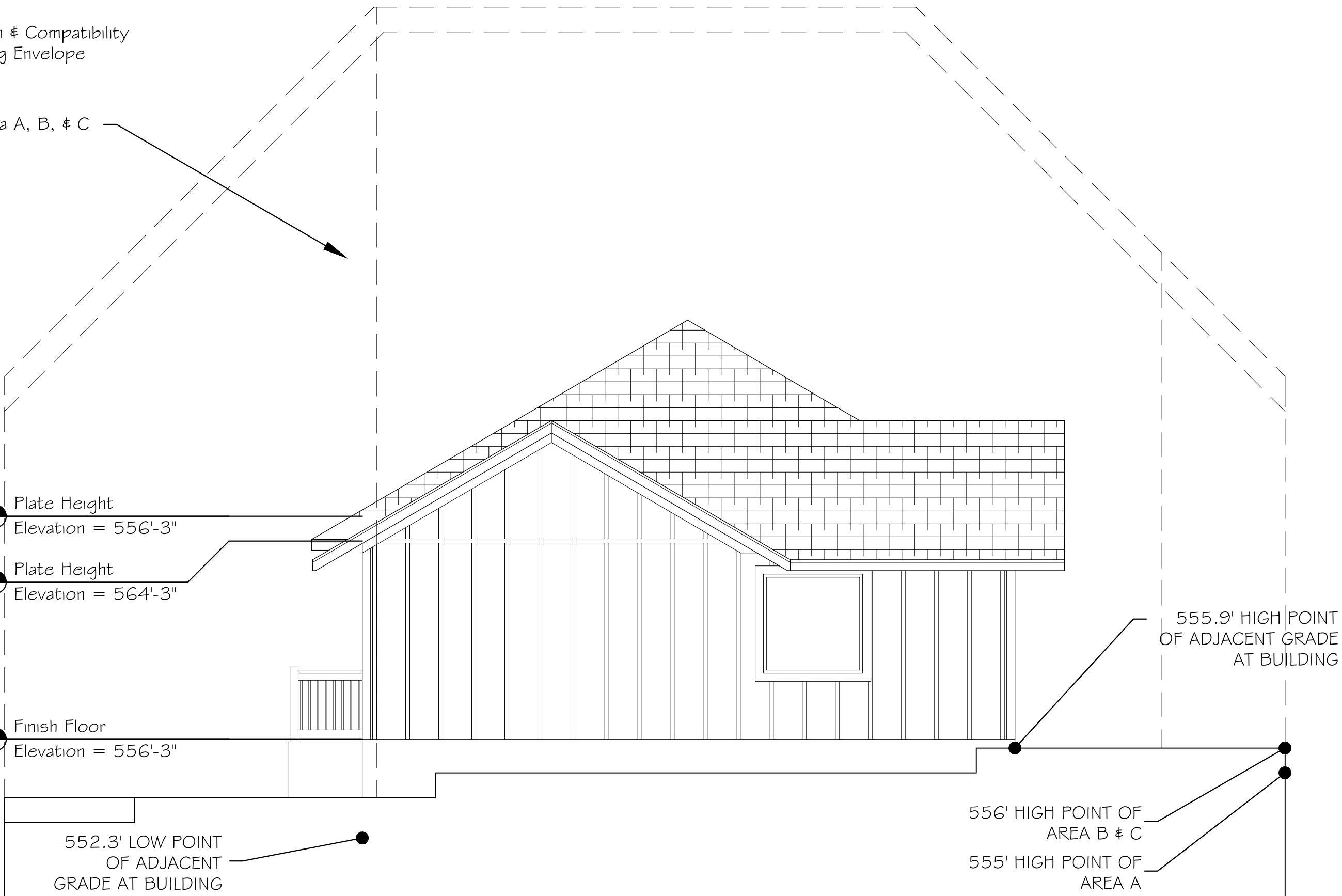
555' HIGH POINT OF
AREA A

555.9' HIGH POINT
OF ADJACENT GRADE
AT BUILDING

EAST EXTERIOR ELEVATION w/RDCS Set Back Plane Compliance

Scale: 1/4" = 1'-0" ON PAGE SIZE 22X34
Scale: 1/8" = 1'-0" ON PAGE SIZE 11X17

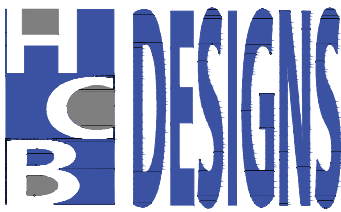
2





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AUSTIN, TEXAS 78702

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CHECKED BY:

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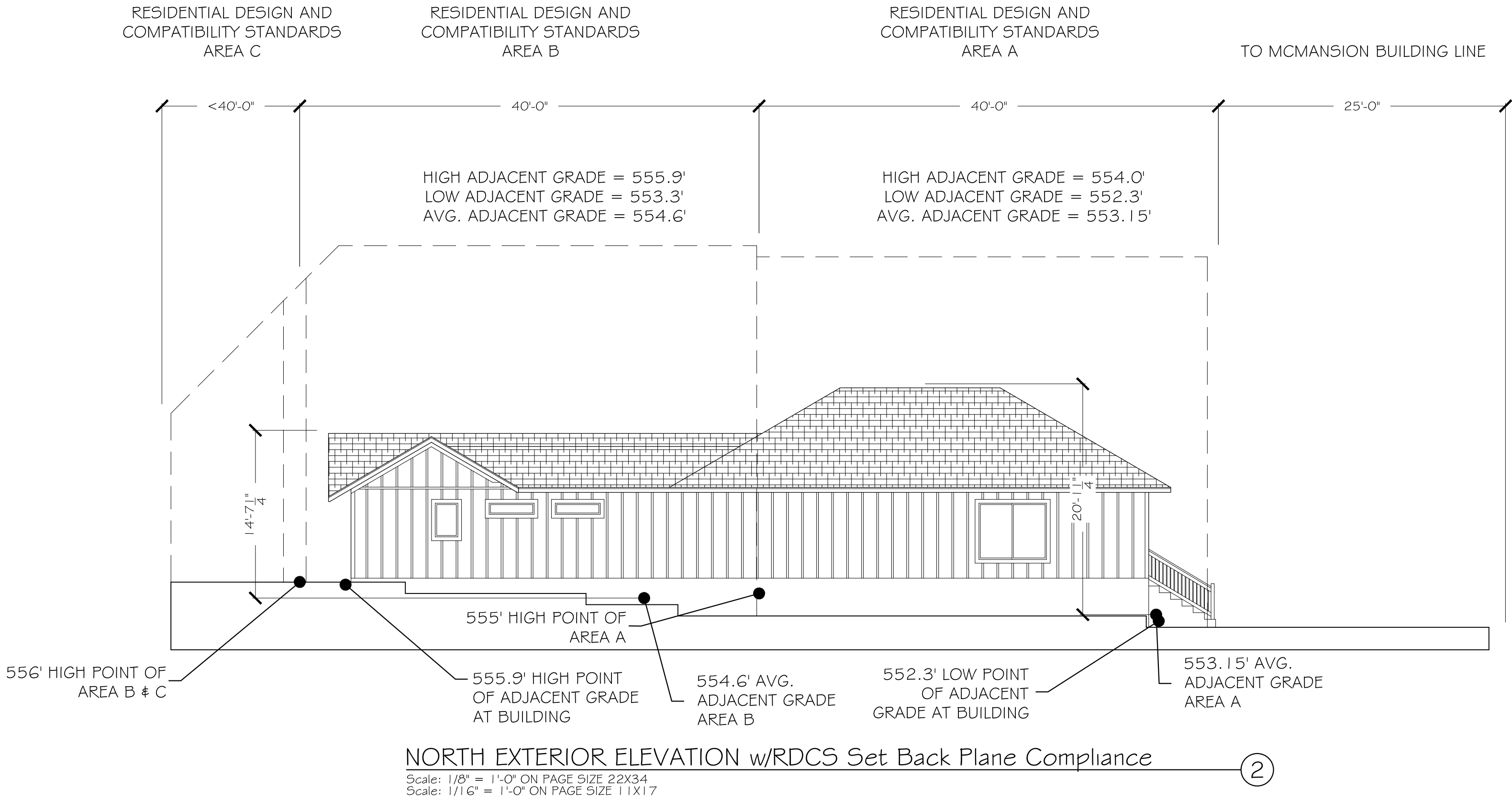
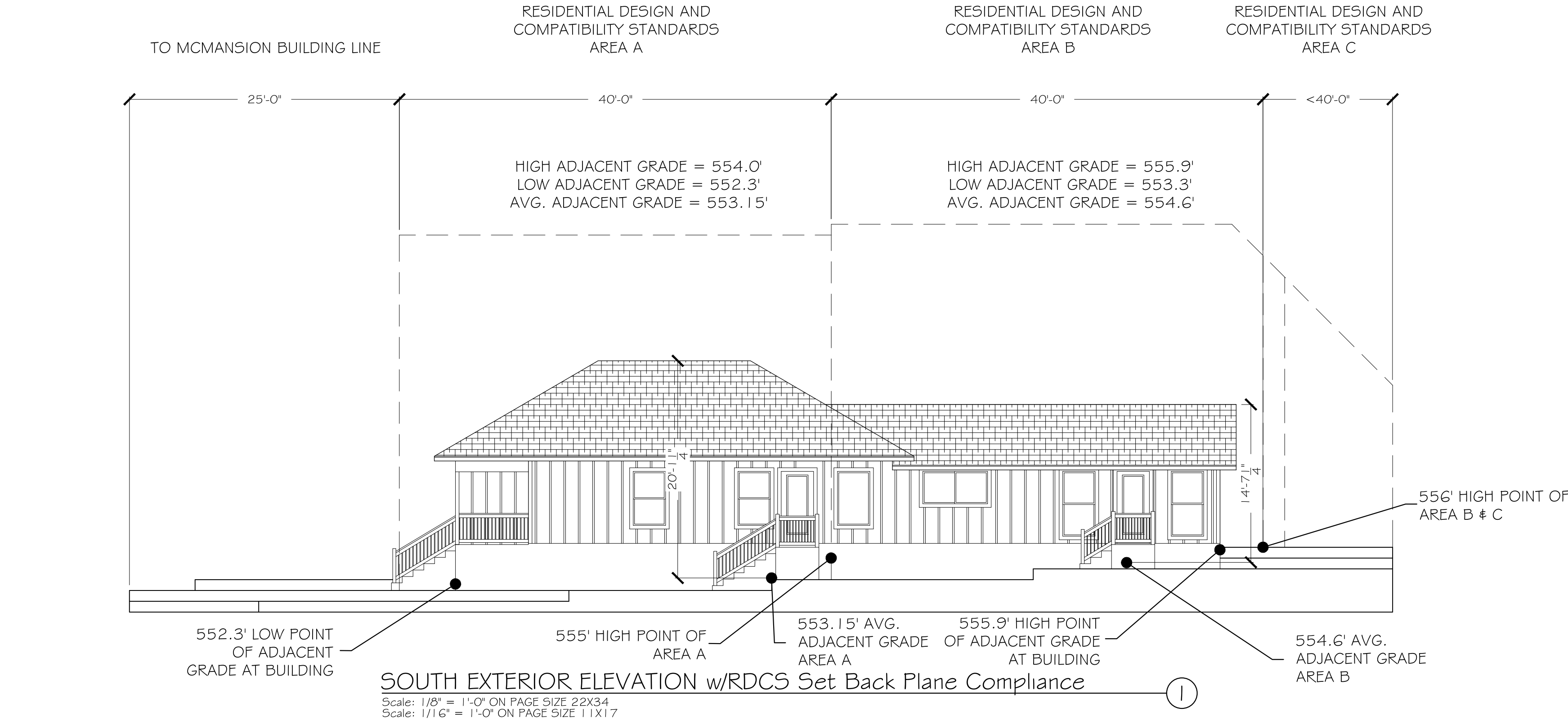
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REVISIONS:

SHEET TITLE:
ELEVATIONS w/RDCS

SHEET NO:

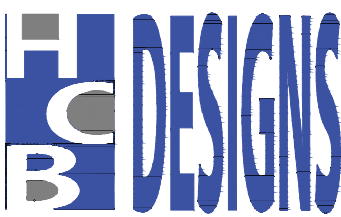
AS103





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SINGLE FAMILY RESIDENCE
ADDITION/REMODEL
1601 CEDAR AVENUE
AUSTIN, TEXAS 78702

DRAWN BY:

CHECKED BY:

DATE:

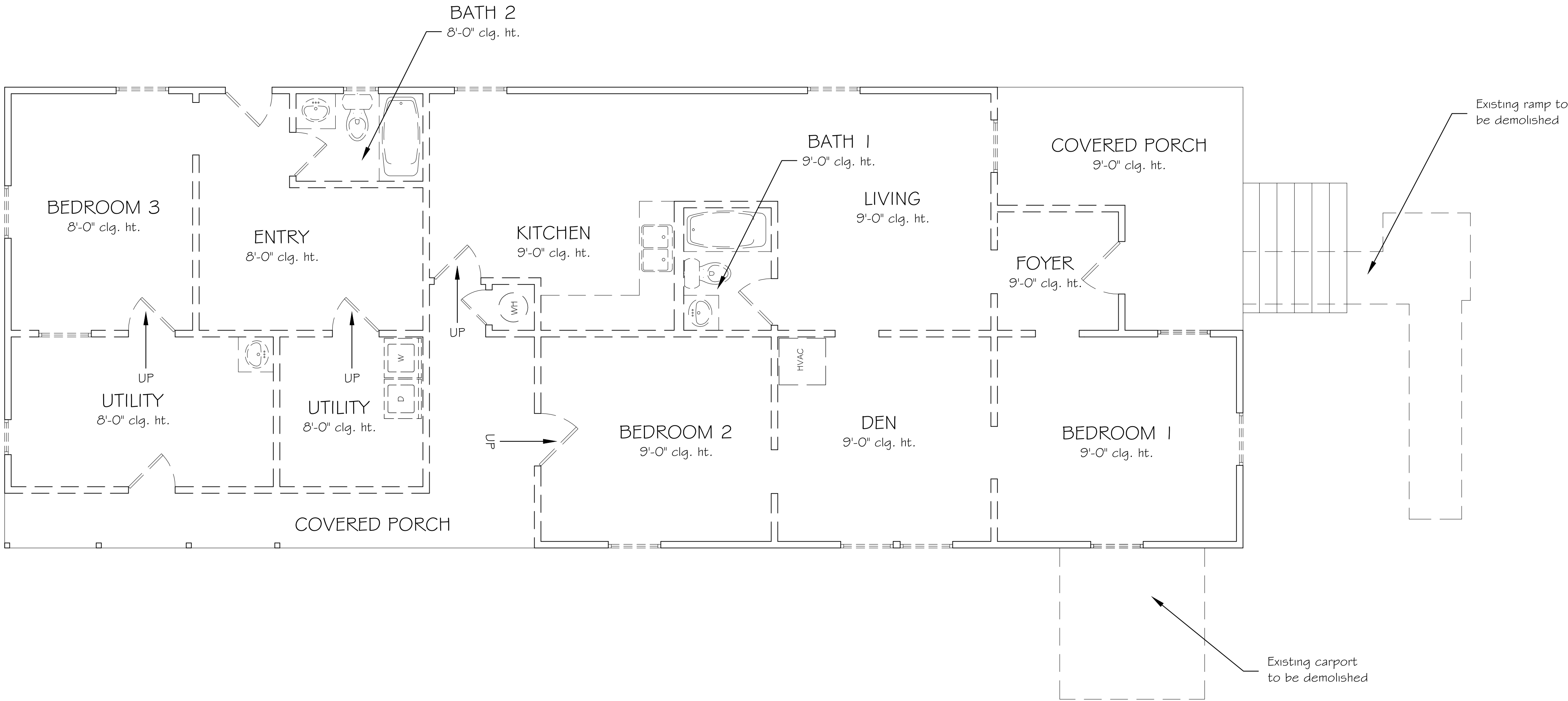
PROJECT NO:

REVISIONS:

SHEET TITLE:
DEMO FLOOR PLAN

SHEET NO:

A100



DEMO FLOOR PLAN

Scale: 1/4" = 1'-0" ON PAGE SIZE 22X34
Scale: 1/8" = 1'-0" ON PAGE SIZE 11X17

Dashed lines indicate items for demo

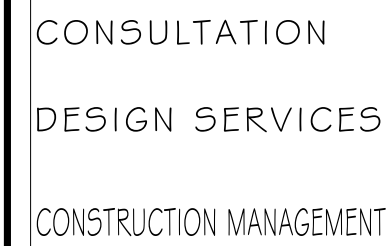
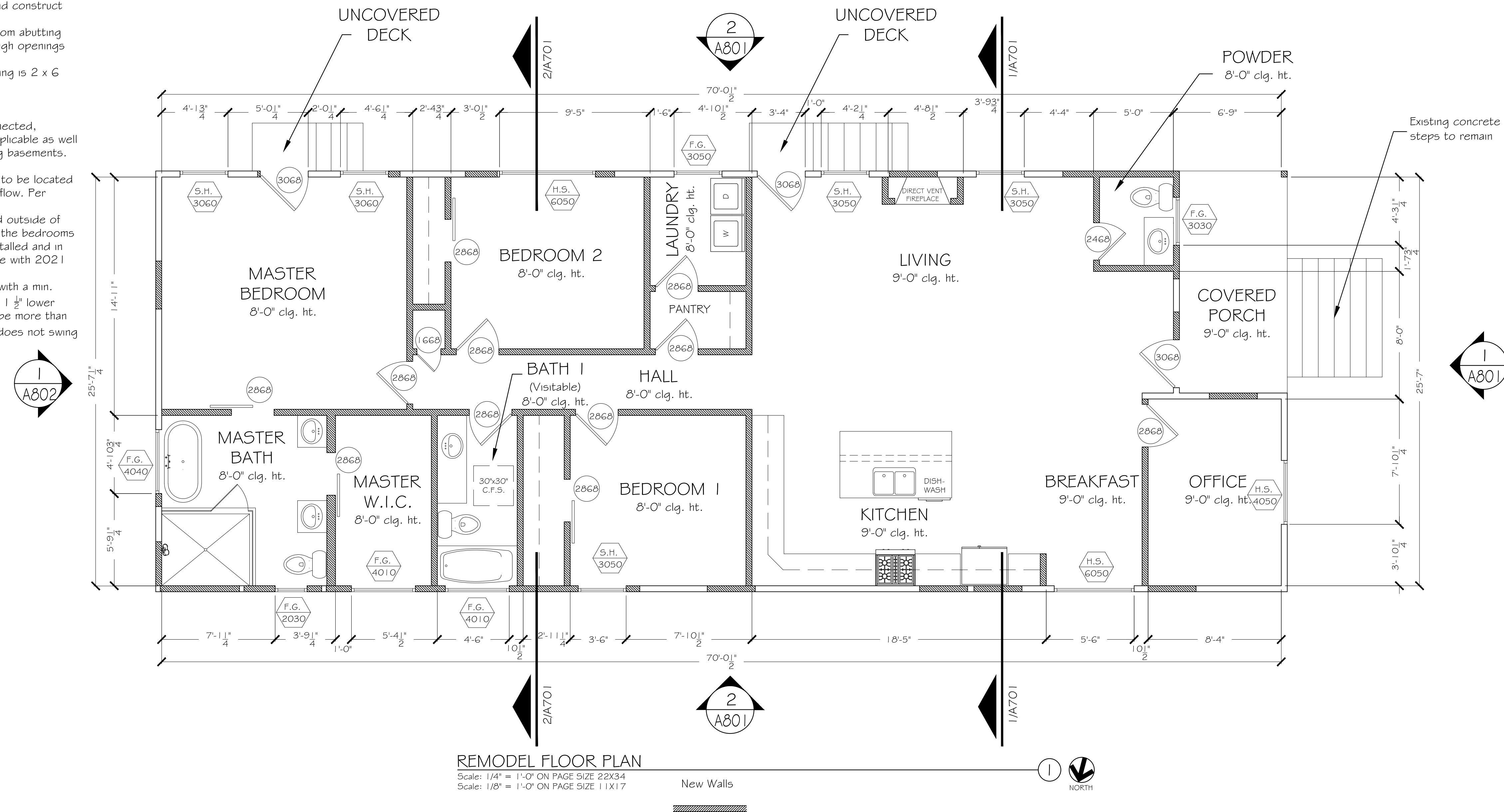


1. Report any and all discrepancies, errors or omissions in the documents to the Architect & Builder prior to the ordering of any materials and/or the commencement of construction.
2. All dimensions to be verified at jobsite.
3. All dimensions are to one side of gypsum board unless otherwise noted.
4. Under no circumstances shall any dimension be scaled from these drawings. Any critical dimensions not given shall be brought to the attention of the Architect & Builder prior to construction.
5. Frame all new doors a min. 4" from corners where possible.
6. Door and window rough openings shall be such that outside edges of adjacent door, window and transom trim is aligned, unless otherwise noted.
7. Window sizes given are approximate unit sizes. Verify actual sizes and rough opening requirements with manufacture.
8. U.N.O. ALL new window header heights to be 6'-8" A.F.F.
9. U.N.O. ALL new door header heights to be @ 6'-8" A.F.F.
10. All existing ceilings to remain as is U.N.O.
11. Provide S.C. fire-rated at utility/garage as required by code.
12. Provide attic venting at roof as required.
13. Confirm locations of recessed equipment and fixtures and construct chase walls as necessary.
14. Window and door jams shall be placed a standard 4" from abutting partition unless dimensioned otherwise. Coordinate rough openings with frame dimensions.
15. All interior wall framing is 2 x 4 and all exterior wall framing is 2 x 6 unless noted otherwise.
16. All toilet wall framing is 2 x 6 unless noted otherwise.
17. Wall insulation to be minimum R-Value of 13.
18. Provide Smoke Detector system - hard wired, interconnected, battery backup, at each sleeping room and vicinity, if applicable as well on each additional story within the dwelling unit including basements. In accordance with 2021 IRC Sec. R314.
19. General Contractor shall verify for SMOKE DETECTORS to be located at least 36" away from horizontal path of mechanical air flow. Per 2007 NFPA 72 Chapter 11.
20. Approved CARBON MONOXIDE ALARM shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel fired appliances are installed and in dwelling units that have attached garages. In accordance with 2021 IRC Sec. R315.1.
21. Provide landing or floor on each side of exterior doors with a min. width of the door served. Landing will not be more than 1 $\frac{1}{4}$ " lower than the top of the threshold. Exterior landing may not be more than 7 $\frac{3}{4}$ " below the top of the threshold provided the door does not swing over the landing. Reference 2021 IRC R311.3.1



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SINGLE FAMILY RESIDENCE
ADDITION/REMODEL
1601 CEDAR AVENUE
AUSTIN, TEXAS 78702

DRAWN BY:

CHECKED BY:

DATE:

PROJECT NO:

REVISIONS:

SHEET TITLE:
FLOOR PLAN

SHEET NO:

AIOI

IHP ENGINEERING

8330 LBL FWY SUITE B650

DALLAS, TX 75243

TBPE F# 21256

Mr. Jose Luis Burgos P.E. 214-815-4833

In relation to the Property as follows:

1601 Cedar Ave

Austin, Tx 78062

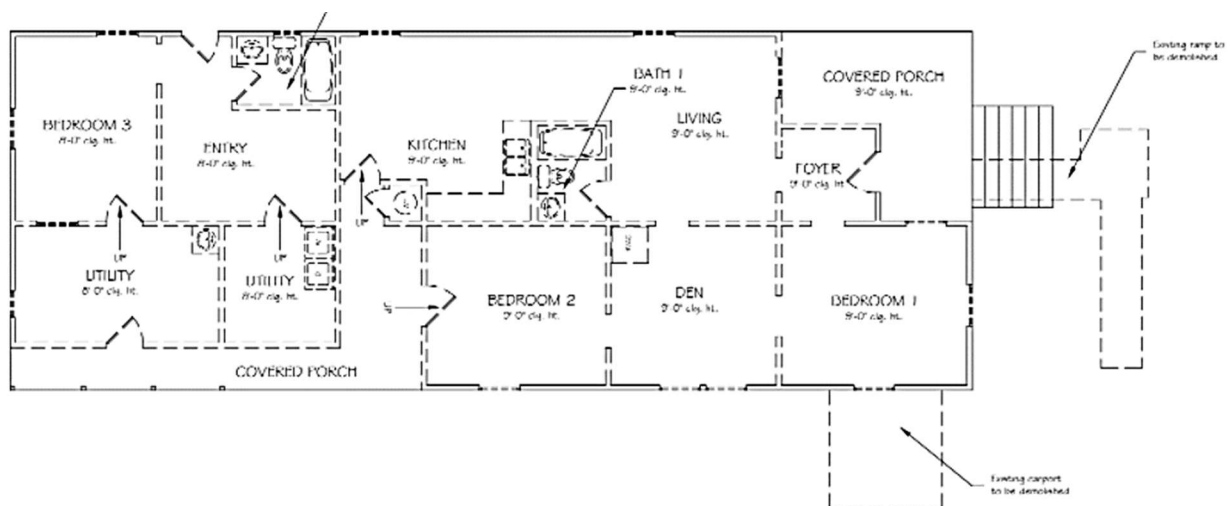
To Whom it May Concern:

CURRENT CONDITIONS REPORT FOR SINGLE FAMILY RESIDENCE

The framing structure to be remodeled due to age of the structure. The purpose of this letter with the set of plans is to permit the home owner to get restitution of his aged property by a general contractor.

The initial inspection determines the restoration procedure, ceiling rafters and ceiling beams to be reinforced, restored as needed. The Framing plans show in color green the existing ceiling rafters to be reused, and reinforced with 4:x6" Simpson longitudinal plates with a nailing pattern overlapping beam sections providing adequate support on both sides.

After performing the inspection, a complete remodel and framing was required, a section of roof to be reconstructed and also for the foundation wood posts added as part of the support.



The current conditions of the pier and beam slab shown good signs of integrity. The existing foundation is not damaged and will support the loads of a new home similar in shape to what was already erected before.

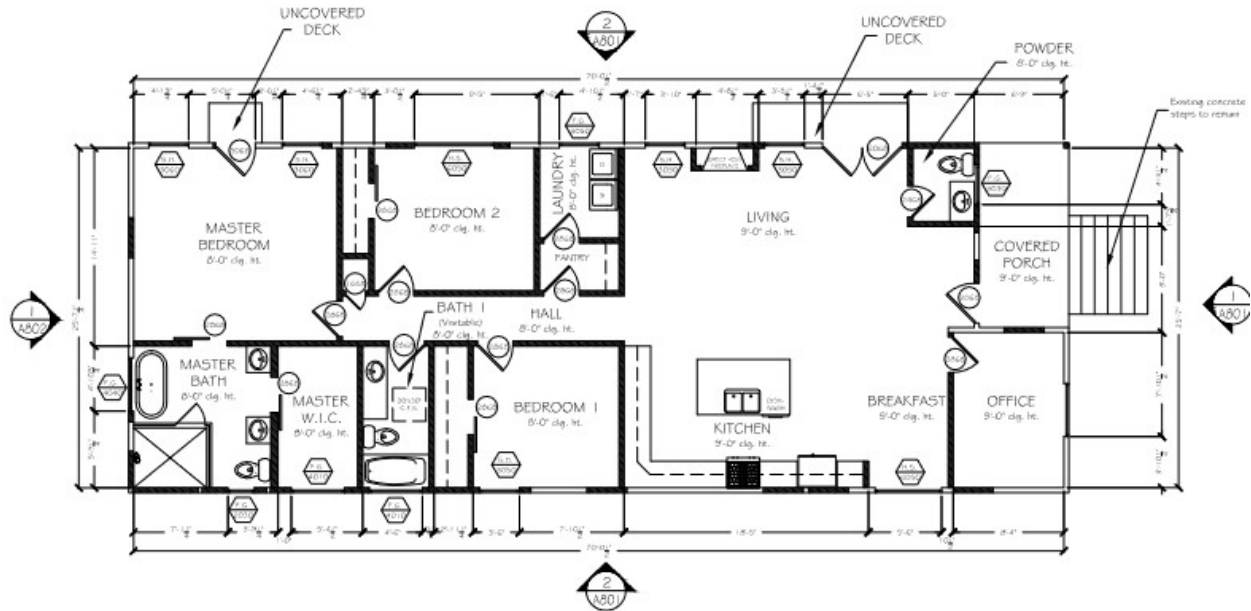
IHP ENGINEERING

8330 LBL FWY SUITE B650

DALLAS, TX 75243

TBPE F# 21256

Mr. Jose Luis Burgos P.E. 214-815-4833



For the updated living room and kitchen area refer to the updated framing plans.

Is highly recommended to construct new walls with new frames conformed by 2x4 @ 16" o.c. and new perimeter beams (3-2x12 beam reinforcement beams to be installed). Refer to general standard framing details. The description of the home reconstruction works conforms to the city adopted codes.

Local Codes adopted by city.

- 2021 International Building Code
- 2021 International Residential Code
- 2020 National Electrical Code

Is highly recommended to follow the updated framing plans and provide the proper support as follows:

-Column 8"x8" – this column can be comprised of 4 -2"x4" members nailed together or 2-8"x2" nailed together.

-Column 8"x10"- this column can be comprised of 5 -2"x4" members nailed together or 2-10"x2" nailed together.

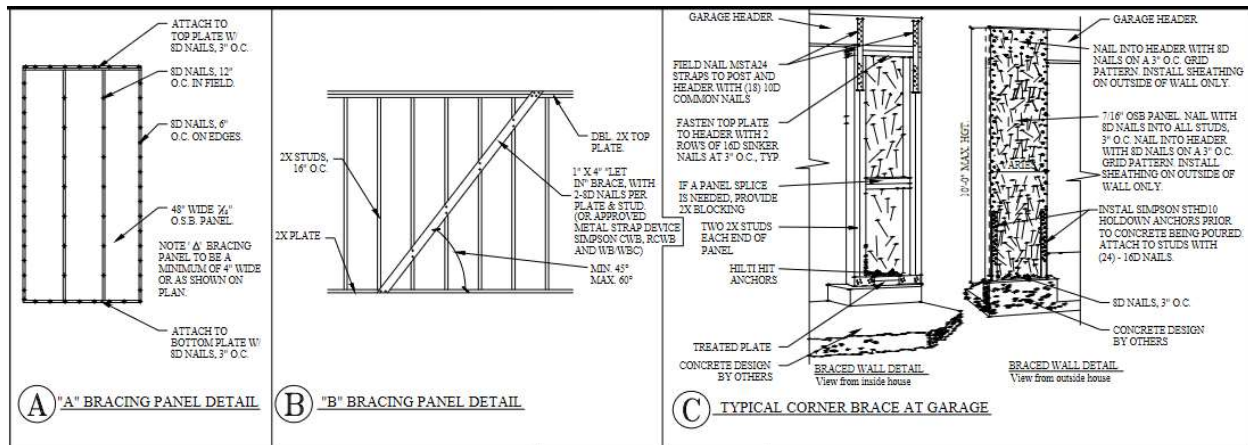
IHP ENGINEERING

8330 LBL FWY SUITE B650

DALLAS, TX 75243

TBPE F# 21256

Mr. Jose Luis Burgos P.E. 214-815-4833



Framing general details.

After performing the inspection it was concluded that the house needs to be upgraded with LVL Beams and ceiling/roof rafters is highly recommended. The owner must have home insurance, smoke detectors and maintenance of general equipment and HVAC units.

Due to the changes in current codes this letter has a validity date of 1 year from the issuance date.

May 5, 2022



Do not hesitate to contact Jose Luis Burgos 214-815-4833 for any additional questions or concerns and verification of the findings of this report.





For more
Call 3-1-1
austinfood.com

13T628405

12Y90

