

LITTLE-ROTH RESIDENCE

REMODEL AND ADDITION

4005 AVENUE B
AUSTIN, TEXAS 78751

CONSTRUCTION DOCUMENTS

ABBREVIATIONS

A.B. Acoust.	Anchor bolt Acoustical Area Drain	Elev. Emer.	Elevation Emergency	L. Lt.	Lavatory Laminate or Laminated Light	Rm. R.O. Rwd. RWL	Room Rough Opening Redwood Rain Water Leader
Aggr. Approx. Arch.	Aggregate Approximately Architectural	Equip. (E) Exist.	Equipment Existing Existing	Mat. Max. M.B. M.C. M.R. Mech Membr. Mtl. M.H. Min. Misc. M.O. Mid. Mul.	Material Maximum Machine Bolt Medicine Chest Moisture Resistant Mechanical Membrane Metal Manhole Minimum Miscellaneous Masonry Opening Mounted Mullion	S. S.C. Sched. S.D. S.D.L. Sh. Shwr. Sh. Shg. Sim. Spec. Sq. S.S. Std. Stl. Struct. Susp.	Sink Solid Core Schedule Smoke Detector Simulated Divided Lite Shelf Shower Sheet Sheathing Similar Specification Square Stainless Steel Standard Steel Structural Suspended
Bd. Bitum. Bldg. Blkg. Bm. B/ Btwn.	Board Bituminous Building Blocking Beam Bottom of Between	F.A. F.D. F.F. Fnd. F.E. Fin. Flr. Flash. Fluor. F.O.C. F.O.F. F.O.S. Ft. Fig. Furn. F.A.U. Furr.	Fire Alarm Floor Drain Finish Floor Foundation Fire Extinguisher Finish Floor Flashing Fluorescent Face of Concrete Face of Finish Face of Stud Foot or Feet Footing Furnace Forced Air Unit Furring	N.I.C. (N) No. Nom. N.T.S.	Not in Contract New Number Nominal Not to Scale	Trd. T.O.C. T.D. T.D.L. Tel. T&B T&G Thk. T.O.P. TV T.O.W. Typ. T/	Tread Top of Curb Tie Down True Divided Lite Telephone Top and Bottom Tongue and Groove Thick Top of Pavement Television Top of Wall Typical Top of
Cab. C.B. Cem. Cer. C.I. Ceil. Clkg. Clr. C.O. Col. Conc. Conn. Const. Cont. Ctsk. C.J. Ctr. CRZ	Cabinet Catch Basin Cement Ceramic Cast Iron Ceiling Caulking Clear Clean Out Column Concrete Connection Construction Continuous Countersunk Control Joint Center Critical Root Zone	Ga. Gal. Galv. Gen. Gl. GL GM Gnd. Gr. GSM. Gyp.	Gauge Gallon Galvanized General Glass Glu-Lam Gas Meter Ground Grade Galvanized Sheet Metal Gypsum	Obs. O.C. Opng. Opp. O.S.C.I.	Obscure On Center Opening Opposite Owner Supplied, Contractor Installed	U.N.O. Unless Noted Otherwise	
Dbl. Dept. D.F. Det. Dia. Dim. Disp. Dn. D.O. Dr. D.S. Dwg.	Double Department Douglas Fir Detail Diameter Dimension Dispenser Down Door Opening Door Downspout Drawing	H.B. H.C. H.D. Hdr. Hdwd. Hdwe. H.M. Hor. Hr. Ht.	Hose Bibb Hollow Core Hold-Down Header Hardwood Hardware Hollow Metal Horizontal Hour Height	Pl. Plas. P.Lam. Plywd. Pl. Prefab. Pt. Ptn. P.T. P.U.E. PVC	Plate Plastic Plastic Laminate Plywood Pair Prefabricated Paint Partition Pressure Treated Public Utility Easement Polyvinyl-chloride	Vert. V.I.F.	Vertical Verify In Field
Ea. E.J. Exp. Ext. E.W.	Each Expansion Joint Expansion Exterior Each Way	Insul. Jst. Jt. Kit.	Insulation Joist Joint Kitchen	R. Rad. R.D. Ref. Reinf. Rebar. Req. Resil.	Rod Radius Roof Drain Refrigerator Reinforcing Reinforcing Bar Required Resilient	W/ W.C. Wd. WH WM W.P. W.R.	With Water Closet Wood Water Heater Water Meter Water proof Water resistant

PROJECT NOTES

LOCATION MAP



CONTACTS

OWNER:	KEVIN LITTLE AND ANDREW ROTH 4005 AVENUE B AUSTIN, TX 78751 KEVIN LITTLE: kevinclittle@gmail.com ANDREW ROTH: andrew.roth13@gmail.com
BUILDER:	REALMBUILD, INC. ADDRESS ABOVE IN TITLE BLOCK (512) 447-4694 fax
ARCHITECT:	CHIP MOORE, R.A. ADDRESS ABOVE IN TITLE BLOCK

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STRUCTURAL DOCUMENTS:
STRUCTURAL ENGINEER'S SET OF DRAWINGS ARE ATTACHED.

GENERAL NOTES

- THE INTENT OF THESE DRAWINGS IS TO PROVIDE DIRECTION TO BUILD AND COMPLETE A FULLY OPERATIONAL RESIDENCE THAT MEETS ALL CODES AND AESTHETIC CRITERIA AS DESCRIBED IN THESE DRAWINGS. EACH AND EVERY PART OF THIS BUILDING, (EQUIPMENT, PLUMBING, ELECTRICAL, STRUCTURAL, ETC.) SHALL BE INSTALLED AND CONNECTED BY THE BUILDER AND BE FULLY OPERATIONAL.
- THE BUILDER SHALL VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS TO THE PROPERTY LINES, AND EXISTING CONSTRUCTION ADJACENT TO, AND BEING ALIGNED WITH, NEW CONSTRUCTION PRIOR TO COMMENCING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN THE ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON THE DRAWINGS OR THOSE STATED WITHIN THE BUILDING CODES.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC), 2021 INTERNATIONAL BUILDING CODE (IBC), 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2021 INTERNATIONAL FIRE CODE (IFC), 2021 NATIONAL ELECTRICAL CODE (NEC), 2021 UNIFORM MECHANICAL CODE (UMC), 2021 UNIFORM PLUMBING CODE (UPC), 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE, AND ALL OTHER STATE AND LOCAL GOVERNMENT AMENDMENTS, CODES, AND ORDINANCES. ANY WORK INSTALLED BY THE BUILDER THAT DOESN'T COMPLY WITH THE BUILDING CODES, INDUSTRY STANDARDS, OR MANUFACTURERS RECOMMENDATIONS SHALL BE REMOVED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND CITY INSPECTOR. THE CORRECTIVE WORK SHALL BE DONE AT THE EXPENSE OF THE BUILDER.
- THE BUILDER SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTORS WORK AND THE COMPLETION OF SAID WORK. THE BUILDER SHALL REVIEW ALL MATERIALS AND WORKMANSHIP, AND REJECT DEFECTIVE WORK WITHOUT WAITING FOR THE ARCHITECT OWNER TO REJECT THE WORK.
- THE BUILDER SHALL BE COMPLETELY RESPONSIBLE FOR SCHEDULING AND THE WORK CONDITIONS OF THE JOBSITE INCLUDING SAFETY OF PERSONS AND PROPERTY AND FOR COMPLIANCE WITH OSHA SAFETY STANDARDS. OWNERS' AND/OR ARCHITECT'S JOB-SITE OBSERVATIONS ARE NOT INTENDED TO INCLUDE THE CHECKING OF BUILDER'S SAFETY STANDARDS.
- THE BUILDER SHALL OBTAIN ALL CHANGE ORDERS IN WRITING PRIOR TO BEGINNING ANY WORK NOT INCLUDED IN THE ORIGINAL CONTRACT AMOUNT. FAILURE TO OBTAIN SUCH AUTHORIZATION MAY INVALIDATE THE BUILDER'S CLAIM TO ADDITIONAL COMPENSATION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED. ARCHITECT DRAWINGS TAKE PRECEDENCE OVER STRUCTURAL OR M.E.P. ENGINEERS' DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL CLEAR DIMENSIONS SHALL BE CONSTRUCTED WITHIN $\frac{1}{8}$ " TOLERANCE ALONG THE FULL HEIGHT AND WIDTH OF WALLS.
- THE BUILDER SHALL PROTECT ALL INSTALLED WORK AND MATERIALS STORED ON-SITE FROM RAIN OR ANY WEATHER CONDITIONS OR VANDALISM OR THEFT. ANY MATERIALS OR WORK LEFT UNPROTECTED AND THEN DAMAGED OR STOLEN SHALL BE REPLACED AT THE EXPENSE OF THE BUILDER.
- THE BUILDER SHALL PROVIDE ADEQUATE SHORING AND BRACING AGAINST GRAVITY LOADS AND/OR SEISMIC LOADS UNTIL ALL STRUCTURAL ITEMS HAVE BEEN COMPLETELY INSTALLED PER DRAWINGS.
- THE BUILDER SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK, AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK. AT THE END OF THE PROJECT, THE BUILDER SHALL CLEAN THE PROJECT AREA. ITEMS INCLUDE, BUT ARE NOT LIMITED TO, FLOORS AND WALLS, PLUMBING FIXTURES, APPLIANCES, AND THE SURROUNDING AREAS OF THE PROJECT.
- THE BUILDER SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTORS' WORK FOR A PERIOD OF ONE YEAR AFTER WHICHEVER ONE OF FOLLOWING THREE ITEMS OCCURS FIRST: THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED, THE CITY FINAL INSPECTION HAS PASSED, OR THE OWNER HAS OCCUPIED THE SPACE WITH THE BUILDER'S WRITTEN AGREEMENT.

SCOPE OF WORK

- REMOVE AND REPLACE EXISTING OPEN REAR DECK AND STEPS INTO REAR YARD.
- REMOVE, PRESERVE, AND PROTECT EXISTING WINDOW ON EAST WALL OF SOUTH WING. ENLARGE THAT ROUGH OPENING FOR NEW FRENCH DOOR OPENING FOR ENTRY INTO NEW SCREEN PORCH.
- BUILD NEW CARPORT SEPARATE FROM EXISTING NORTH WING WITH NEW DRIVEWAY TO ALLEY.
- BUILD NEW SCREEN PORCH WITH CABINETRY.
- BUILD NEW REAR GUEST SUITE ATTACHED TO NEW SCREEN PORCH, WITH LIVING ROOM, CLOSET, BATHROOM, AND STAIR UP TO LOFT SLEEPING SPACE.

BUILDING DATA

OCCUPANCY:	R-3 / U	CONSTRUCTION:	TYPE V, NON-RATED
ZONING DISTRICT:	SF-3-HD-NCCD-NP	MAXIMUM HEIGHT:	35'-0"
SITE DESCRIPTION: 8,125.00 SQ. FT. GROSS SITE AREA, MID-BLOCK LOT			
FLOOR TO AREA RATIO (F.A.R.) = 40% MAXIMUM 8,125.00 SQ. FT. X .40 = 3,250.00 SQ. FT. MAXIMUM			
GROSS FLOOR AREA: EXISTING CONDITIONED LIVING SPACE: 2,136.00 SQ. FT. PROPOSED ADDITIONAL COND. LIVING SPACE: 452.45 SQ. FT. PROPOSED AREA WITH CEILING > 15 FT.: 91.27 SQ. FT. DETACHED CARPORT: 282.96 SQ. FT. TOTAL PROPOSED GROSS FLOOR AREA: 2,962.68 SQ. FT.			
2,962.68/8,125.00 = 0.3646 X 100 = 36.46%			
MAXIMUM BUILDING COVERAGE: 40% MAXIMUM = 3,250.00 SQ. FT.			
EXISTING BUILDING FOOTPRINT: 2,136.00 SQ. FT. PROPOSED ADDITIONAL BLDG. FOOTPRINT: 301.54 SQ. FT. PROPOSED ADDITIONAL SCREEN PORCH: 286.67 SQ. FT. EXISTING COVERED PORCHES: 236.00 SQ. FT. PROPOSED COVERED PARKING: 282.96 SQ. FT. TOTAL PROPOSED BUILDING COVERAGE: 3,243.17 SQ. FT.			
PROPOSED 3,243.17 SQ. FT. / 8,125.00 SQ. FT. = 39.92%			
MAXIMUM IMPERVIOUS COVERAGE: 45% MAXIMUM = 3,656.25 SQ. FT.			
EXISTING AND PROPOSED BUILDING COVERAGE: 3,243.17 SQ. FT. PROPOSED DRIVEWAY: 130.78 SQ. FT. PROPOSED SCREEN PORCH DOOR LANDING: 16.00 SQ. FT. EXISTING AC CONDENSER PAD: 12.00 SQ. FT. EXISTING FRONT YARD WALKWAY: 121.00 SQ. FT. PROPOSED OPEN WOOD DECK (50% AREA): 38.23 SQ. FT. EXISTING FRONT PORCH STEPS: 55.00 SQ. FT. TOTAL PROPOSED IMPERVIOUS COVERAGE: 3,616.18 SQ. FT.			
PROPOSED 3,616.18 SQ. FT. / 8,125 SQ. FT. = 44.51%			



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A1

SITE PLAN GENERAL NOTES

- BUILDER SHALL VERIFY ALL EXISTING SITE CONDITIONS, SPOT ELEVATIONS, AND DIMENSIONS TO THE PROPERTY LINES PRIOR TO COMMENCING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN THE ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON THE DRAWINGS OR THOSE STATED WITHIN THE BUILDING CODES. CONFIRM ALL DRIVEWAY, WALKWAY, AND UNDERGROUND UTILITY AND DRAINAGE LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- BUILDER TO PROVIDE NEW GRADING AS REQUIRED TO MAINTAIN MIN. 2% SLOPE AWAY FROM BOTH ADDITION AND EXISTING BUILDING, AND INTO EXISTING PROPER SITE DRAINAGE.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE NOR 10'-0" BEYOND THE REAR OR SIDE PROPERTY LINES.
- ALL TREES WITHIN 50 FEET OF ANY DEMOLITION, NEW CONSTRUCTION, OR CONSTRUCTION MATERIALS TRANSPORT AND/OR STORAGE SHALL BE PROTECTED. NO EXISTING TREES TO BE REMOVED OR DISTURBED WITHOUT OWNER APPROVAL. ALL EXISTING TREES TO REMAIN.
- PROTECT AS MUCH OF THE EXISTING LANDSCAPING AS POSSIBLE. GRADE AND RESOD PORTIONS OF LANDSCAPING DAMAGED. EXISTING WOOD FENCE TO REMAIN.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING ADDITION.
- EROSION CONTROL BARRIERS ARE TO BE INSTALLED PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- SEE SHEET A2.2 FOR SURVEY.
- DRIVEWAY CONFIGURATION BETWEEN REAR SETBACK LINE AND PROPERTY LINE SHOWN ON THIS SHEET SUPERCEDES THAT SHOWN ON STRUCTURAL DRAWINGS. ALL STRUCTURAL DESIGN AND CALCULATIONS REMAIN APPLICABLE TO THIS CONFIGURATION.
- SEE SHEET A6 FOR FINISHED FLOOR ELEVATIONS.
- THE ALLEY BEHIND 4005 AVENUE B IS A PAVED ASPHALT ALLEY THE CITY OF AUSTIN MAINTAINS. CURRENTLY THERE ARE NO PLANS TO REPAVE THE ALLEY. THE BUILDER WILL NEED TO USE THE TOP OF THE EXISTING ASPHALT SURFACE AS THEIR STARTING GRADE FOR THE DRIVEWAY. THEY WILL ALSO NEED TO DO AROUND A 2'-3" (ESTIMATE) WIDE BY THE LENGTH OF THE DRIVEWAY CONCRETE DRIVEWAY APPROACH IN THE RIGHT OF WAY TO TIE INTO THE EDGE OF THE EXISTING ASPHALT ALLEY. THEY WILL ALSO NEED TO PLACE AN EXPANSION JOINT AT THE RIGHT OF WAY LINE. I WOULD SUGGEST SAW CUTTING ALONG THE ASPHALT AND USE AS THE FRONT FORM TO THE APPROACH. IF THE ASPHALT IS DAMAGED, THE BUILDER SHALL BE REQUIRED TO MAKE A 2" ASPHALT REPAIR. CONTACT SAMUEL WEST IN CITY OF AUSTIN PUBLIC WORKS DEPARTMENT, OFFICE OF CITY ENGINEER, AT 512-974-8775 OR Samuel.West@austintexas.gov FOR ANY COORDINATION REQUIRED.

SITE SPECIFICATIONS

02100 Site Preparation

SCOPE: All materials and labor necessary for the preparation of the site for the project.

- Protect existing utilities indicated or made known during demolition or excavation.
- Barricade open depressions and holes occurring as part of this work.
- Protect Structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, wash-out, and other hazards created by operations under this section.
- Maintain access to the site at all times.
- Utilities: Coordinate with Utility companies and agencies as required. If active lines are encountered and are not shown on the Drawings, or otherwise made known to the Contractor, promptly take necessary steps to assure that service is not interrupted.

02200 General Site-Grading

SCOPE: All site excavation, rough grading, and finish grading per Drawings

- See Drawings for extent of Excavations, rough grading, and finish grading. Clear site of all vegetation, roots for foundations, and other undesirable materials. Remove organic materials from site or use in landscaped areas. Excavate and remove all soft and yielding areas.
- Existing culverts, drains, pipes, etc. where shown on the Drawings to be abandoned, shall be abandoned in place or at the option of the Contractor the structures shall be removed and disposed of.
- All resulting openings, pipes larger than 6 inches diameter, including those into existing structures that are to remain in place, shall be completely filled with commercial quality concrete. Grading shall be conducted to minimize windblown dust. The Contractor shall assume all liability for claims from wind-blown materials.
- Fill: See Drawings for extent and composition of fill material. All Fill shall be compacted to 90 % OMP compaction per TxDOT Specifications. Existing fill on the site also shall meet the requirements for a controlled engineered fill if the precautions discussed below in (a) are taken.
 - Materials to be compacted should be placed in layers no thicker than 8 inches (compacted thickness) to permit adequate bonding and compaction. Each layer should be spread evenly and thoroughly blade mixed during spreading.

02303 Portland Cement Concrete Flatwork

SCOPE: Furnish all labor, equipment and materials necessary for complete placement and furnishing of site portland cement concrete, including storage of materials in secure protected area.

- Concrete shall be Class B (5 Sack, 2500 PSI) 4" slump with color additive as selected by Architect. Schofield, Davis or approved
- Color: Match existing
- Formwork lumber shall have smooth upper edge, place surface face against concrete, and shall be 1-1/2" minimum in thickness.
- Aggregate Base, TxDOT Standard, Class 2, 3/4" maximum.
- Expansion joint materials: Bituminous-saturated fiber expansion joint; Burke or approved equal
- Curing material, Satin sheen curing material compatible with integral color additive.
- Finish, Broom finish with stiff bristled broom across a floated finish, direction of brooming to be perpendicular to direction of walk or as otherwise shown on drawings.

02400 Site Drainage

SCOPE: Furnish all work and material for all sub-grade drainage systems to tie into existing properly.

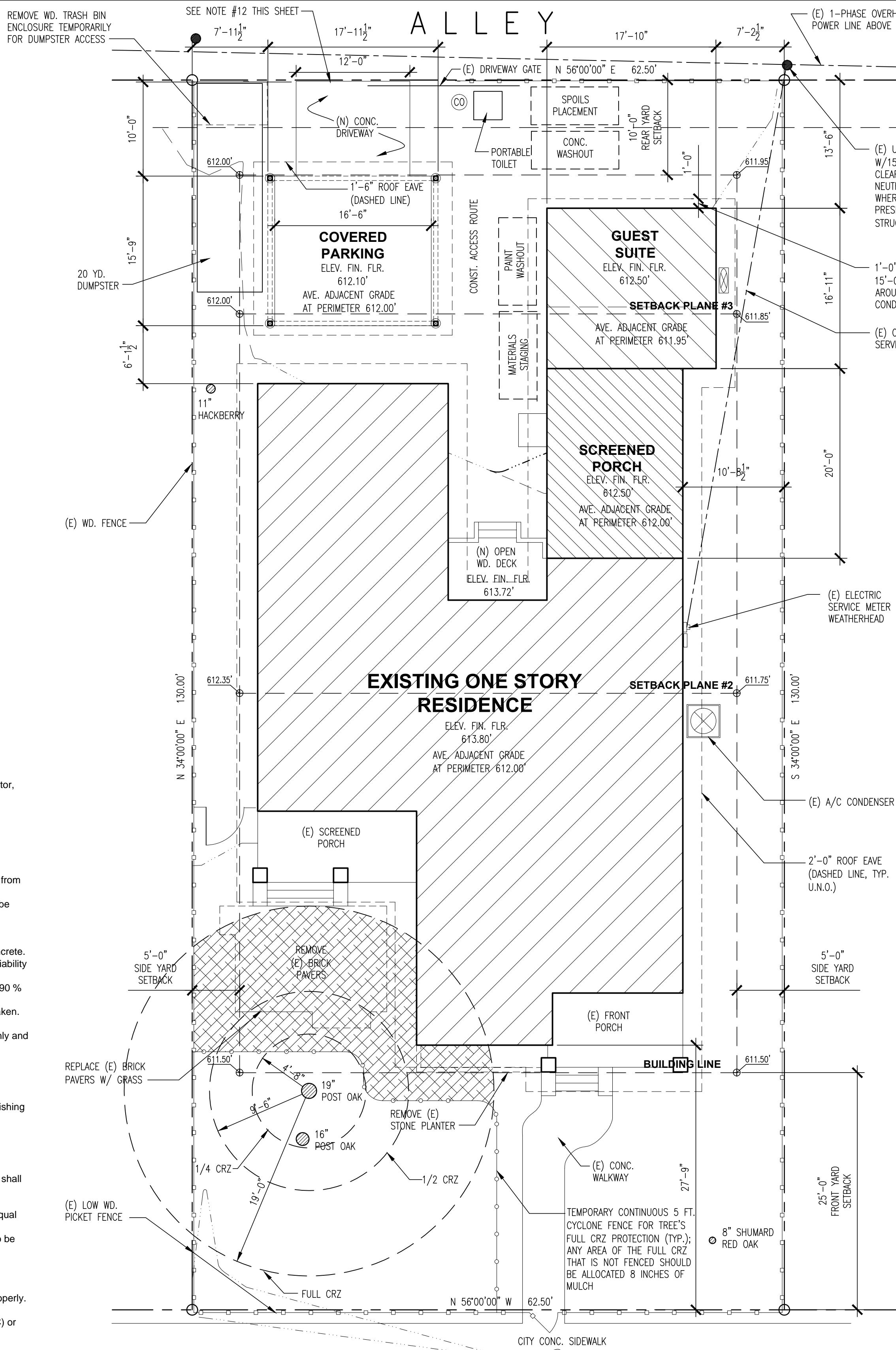
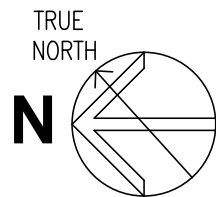
- Subgrade drainage pipe: Rigid perforated or non-perforated smooth polyvinylchloride (PVC) or Polyethylene, ASTM-F810, Hancor or equal. See Drawings for sizes and types.
- Drain Rock: Class II perm aggregate base
- Provide all pipe connections required to make turns and connections. All piping shall drain; no ponding, 1/4" per foot minimum slope

LEGEND

	NEW CONTOUR LINE
	EXISTING CONTOUR LINE
	FORMER CONTOUR LINE
	8" MULCH COVERED AREA FOR PROTECTION OF TREE'S CRITICAL ROOT ZONE

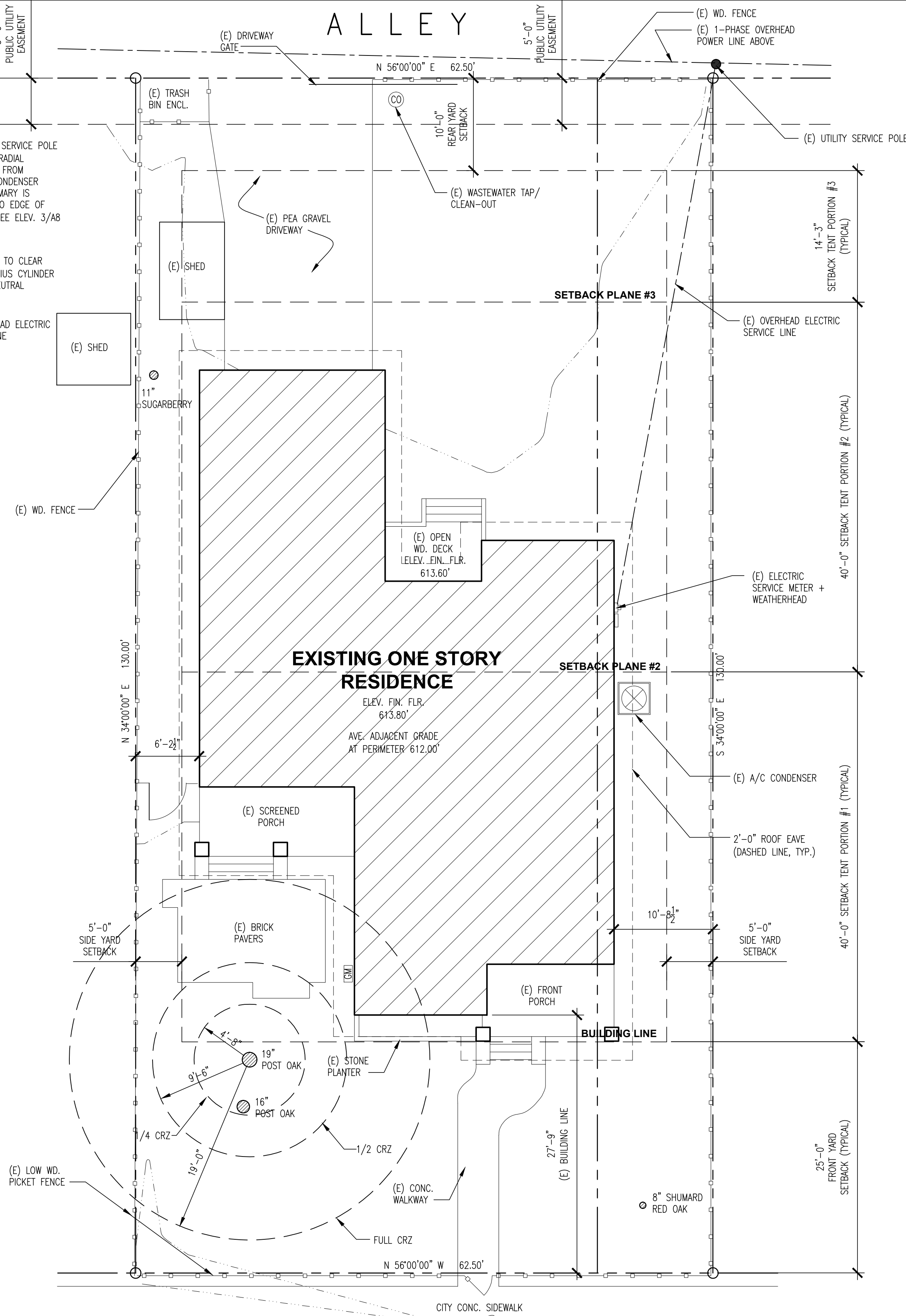
1 PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"



2 EXISTING SITE PLAN

SCALE: 1/8"=1'-0"



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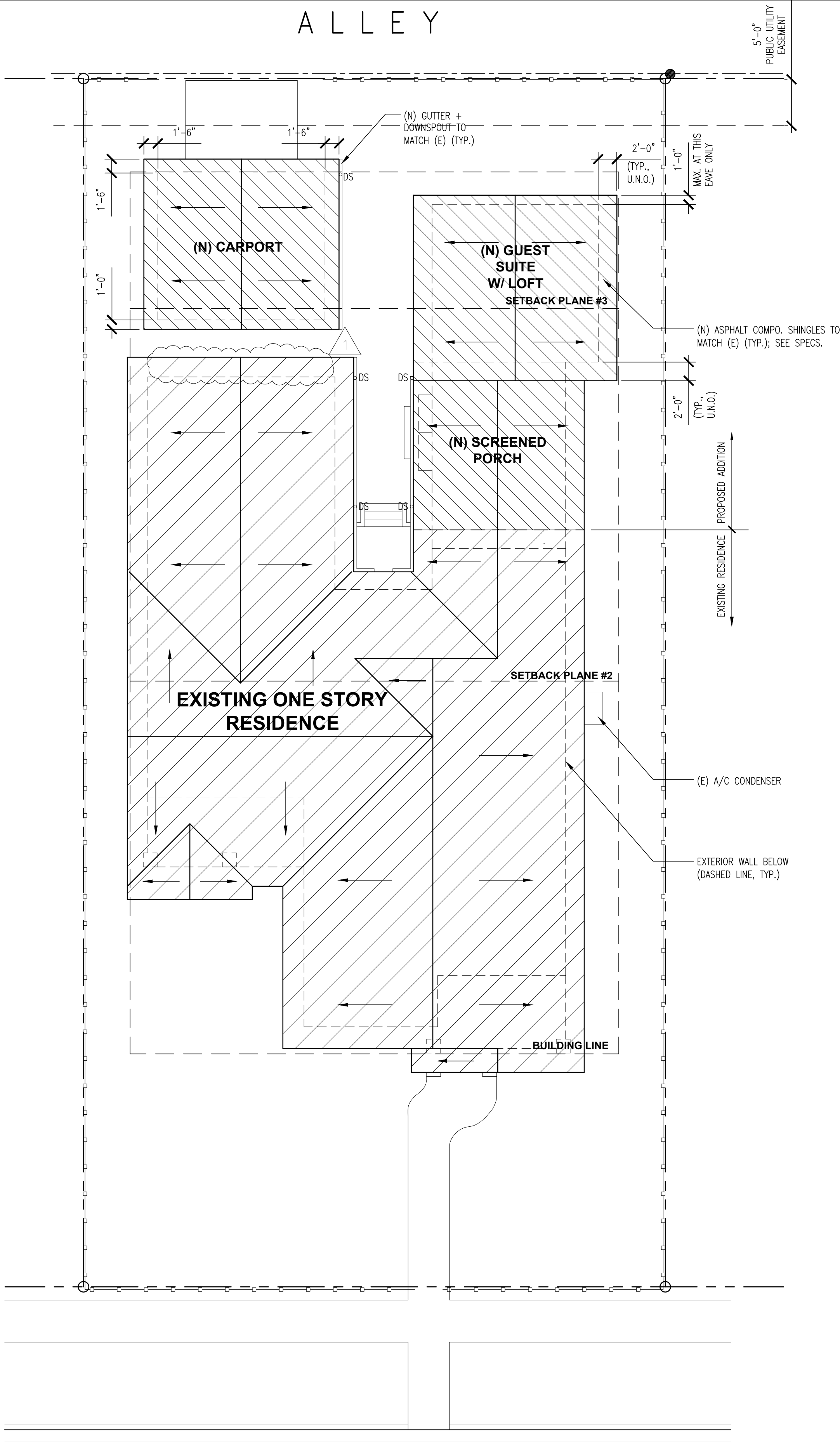
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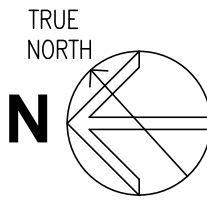
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1 PROPOSED ROOF PLAN

- SCALE: 1/8"=1'-0"
- 1. ALL EAVES SHALL MATCH (E) U.N.O.
 - 2. ALL ROOF PITCH IS 6:12 TO MATCH (E).
 - 3. (N) ASPHALT COMPOSITE SHINGLES SHALL MATCH (E); SEE SPECS.
 - 4. EAVE OVER SCREENED PORCH EXTERIOR DOOR SHALL BE 1'-6"



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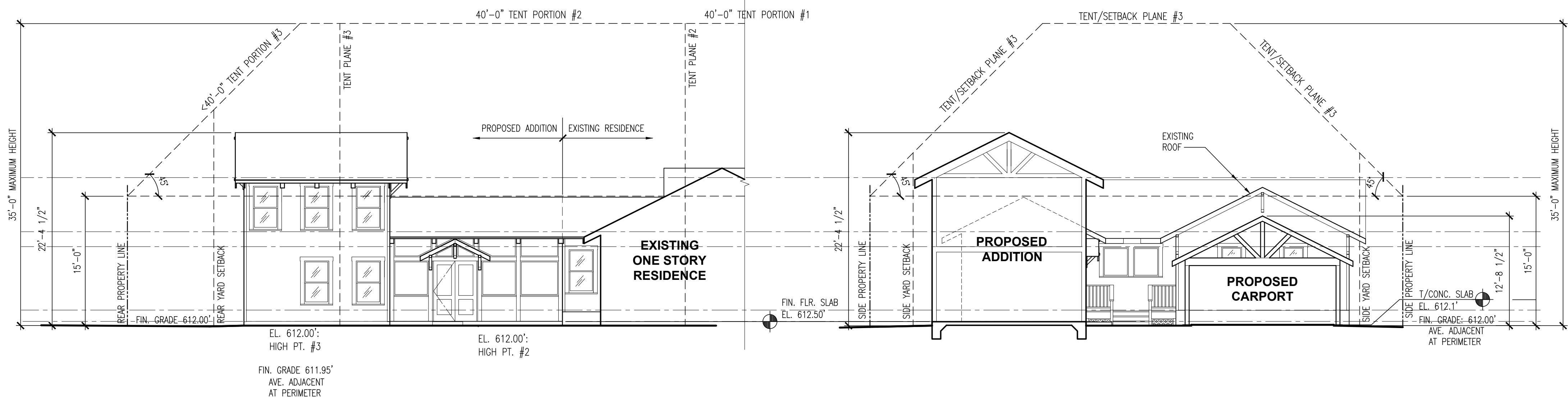
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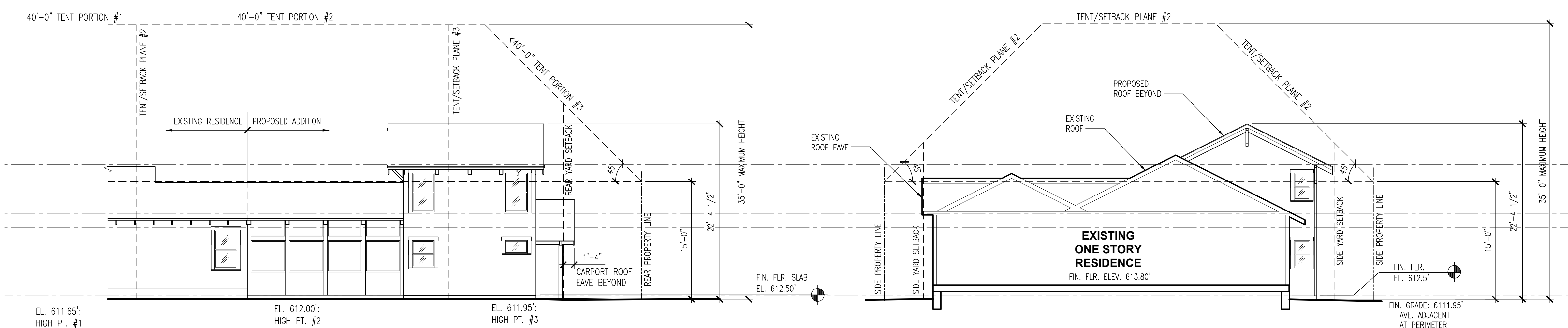


1 SECTION/ELEV. AT REAR SETBACK TENT
SCALE: 1/8"=1'-0"

1. SEE SHEET A2 FOR SETBACK PLANE BASE LINES IN PLAN.

2 SECTION AT TENT SETBACK PLANE #3
SCALE: 1/8"=1'-0" FACING WEST

1. SEE SHEET A2 FOR SETBACK PLANE BASE LINES IN PLAN.



3 ELEV. AT REAR SETBACK TENT
SCALE: 1/8"=1'-0"

1. SEE SHEET A2 FOR SETBACK PLANE BASE LINES IN PLAN.
2. EXCEPTION DESCRIBED IN MUNICIPAL CODE TITLE 25-2 SUBCHAPTER F ARTICLE 2.6.E.1 ALLOWS CARPORT ROOF EAVE ENCROACHES INTO REAR SETBACK 1'-4." THIS IS THE ONLY ENCROACHMENT INTO ANY REAR OR SIDE SETBACK PLANE IN THIS ADDITION.

4 SECTION AT TENT SETBACK PLANE #2
SCALE: 1/8"=1'-0" FACING EAST

1. SEE SHEET A2 FOR SETBACK PLANE BASE LINES IN PLAN.

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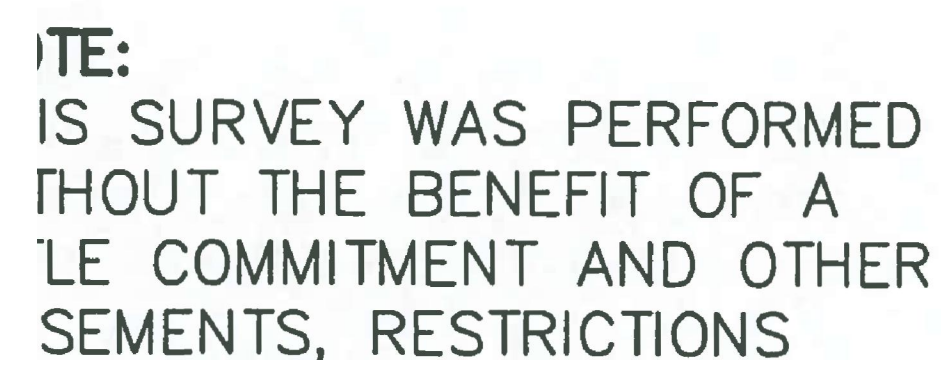
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A2.2



NOTE: SURVEY BY WATERLOO SURVEYING, INC. AND
DATED AUGUST 13, 2019.

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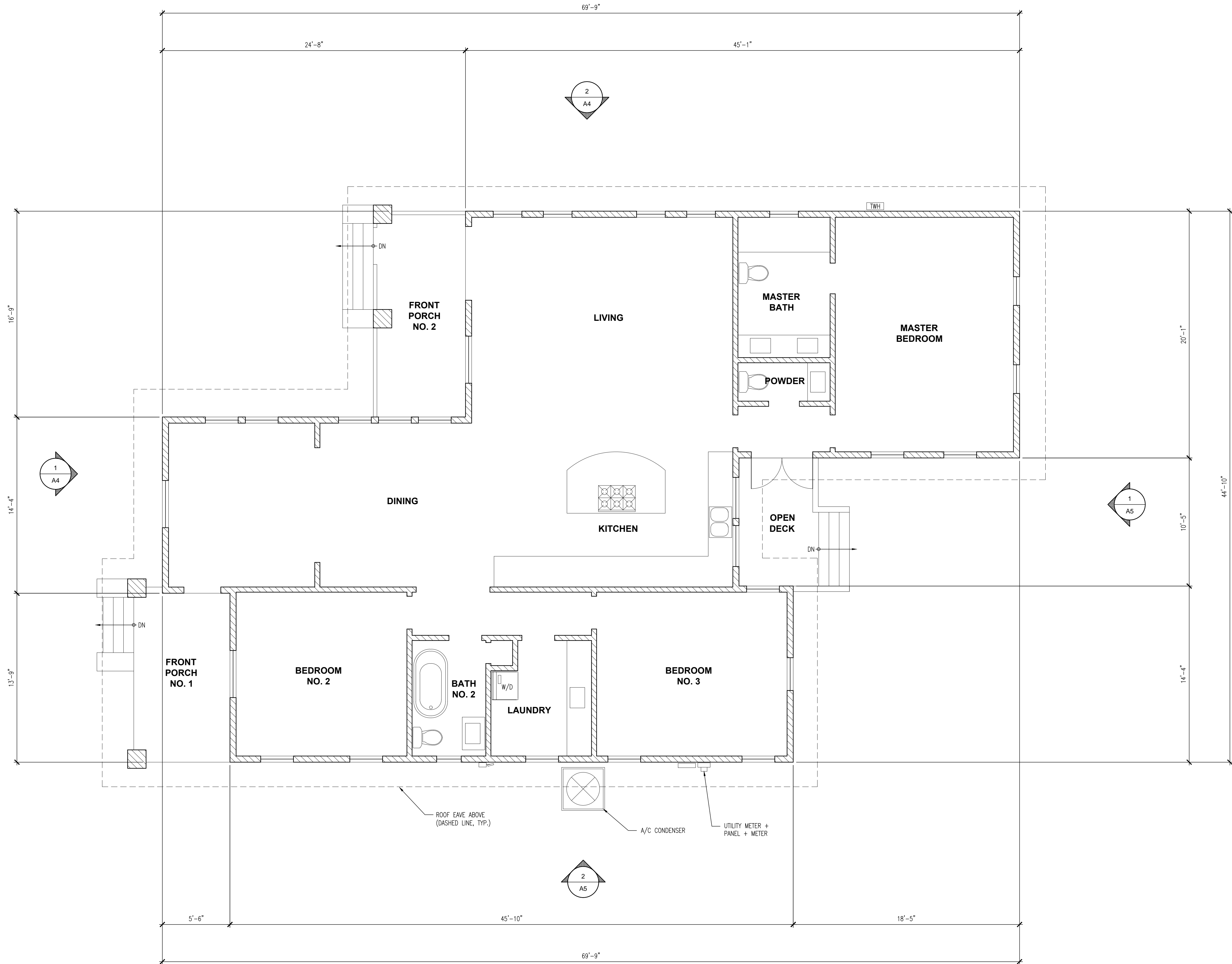
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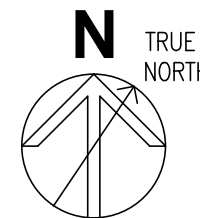


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EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"

1. ALL CEILING HEIGHTS ARE 9'-0" UNLESS OTHERWISE NOTED.



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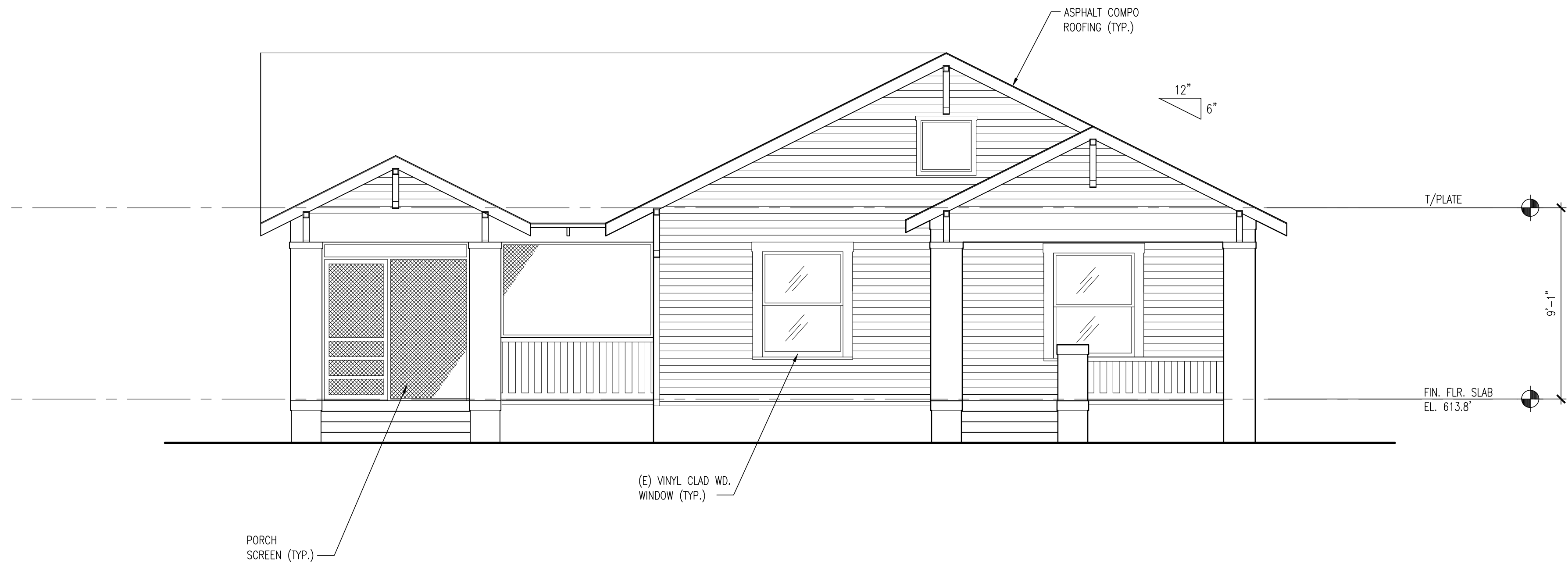
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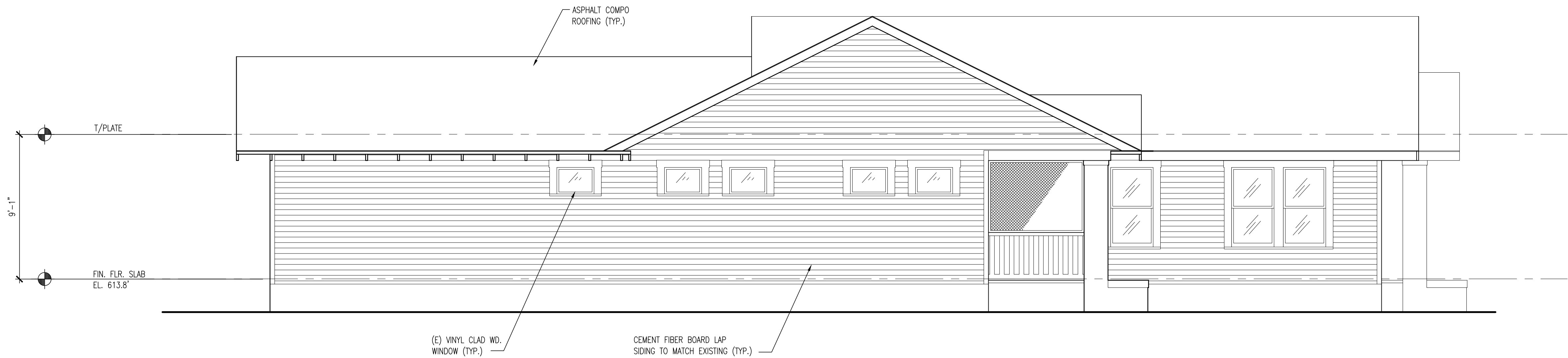
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1 **EXISTING WEST ELEVATION**
SCALE: 1/4"=1'-0"



2 **EXISTING NORTH ELEVATION**
SCALE: 1/4"=1'-0"

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Preliminary Set	
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Plan Check Set	X
Permit Set	
Construction Set	

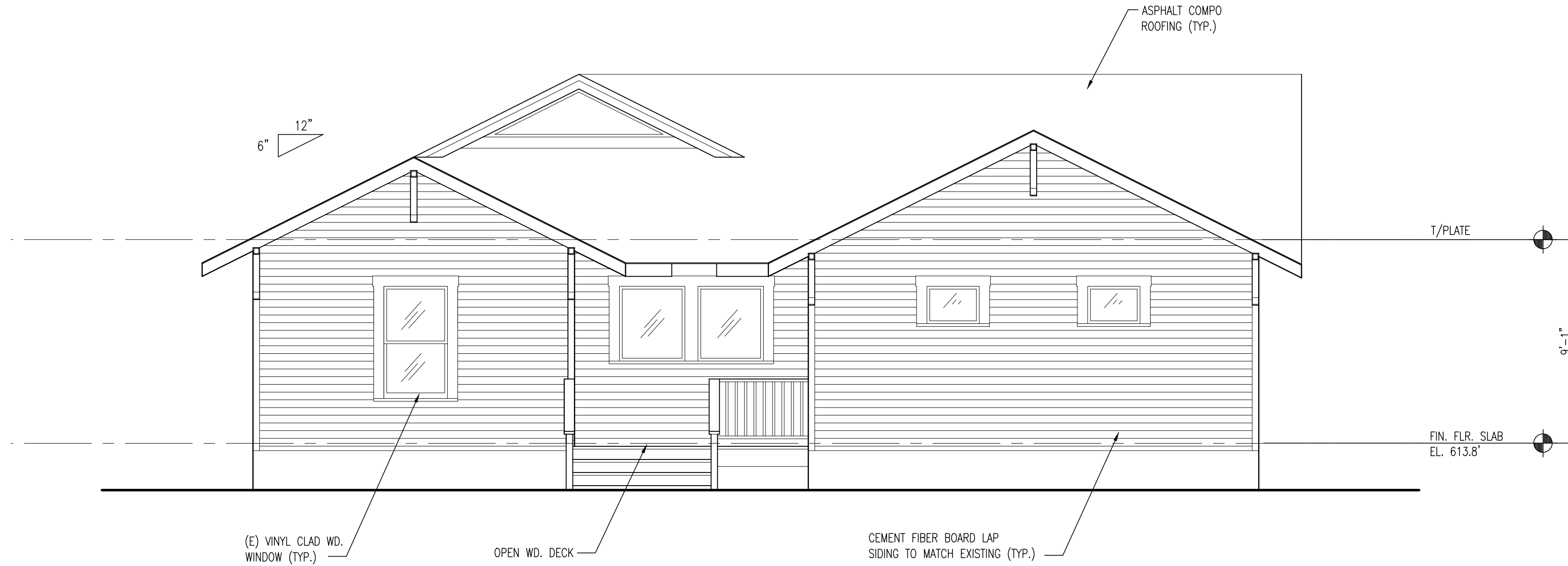
Revisions	Date
Master Comments Report	7-14-2022

LITTLE + ROTH RESIDENCE
REMODEL AND ADDITION

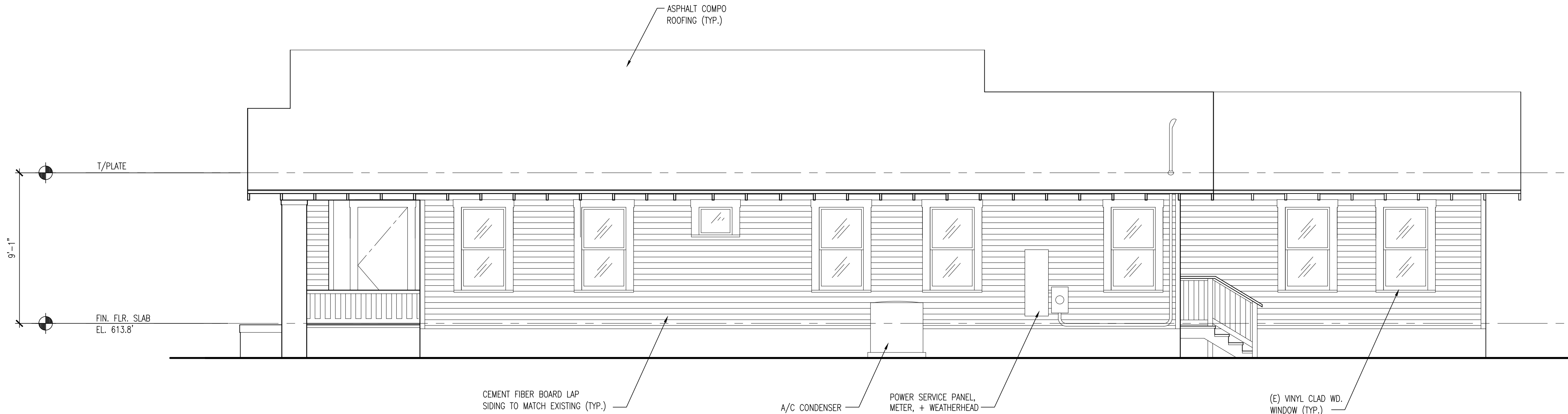
4005 AVENUE B
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Drawn By:	CM
Job:	AVENUE B
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A4



1 **EXISTING EAST ELEVATION**
SCALE: 1/4"=1'-0"



2 **EXISTING SOUTH ELEVATION**
SCALE: 1/4"=1'-0"

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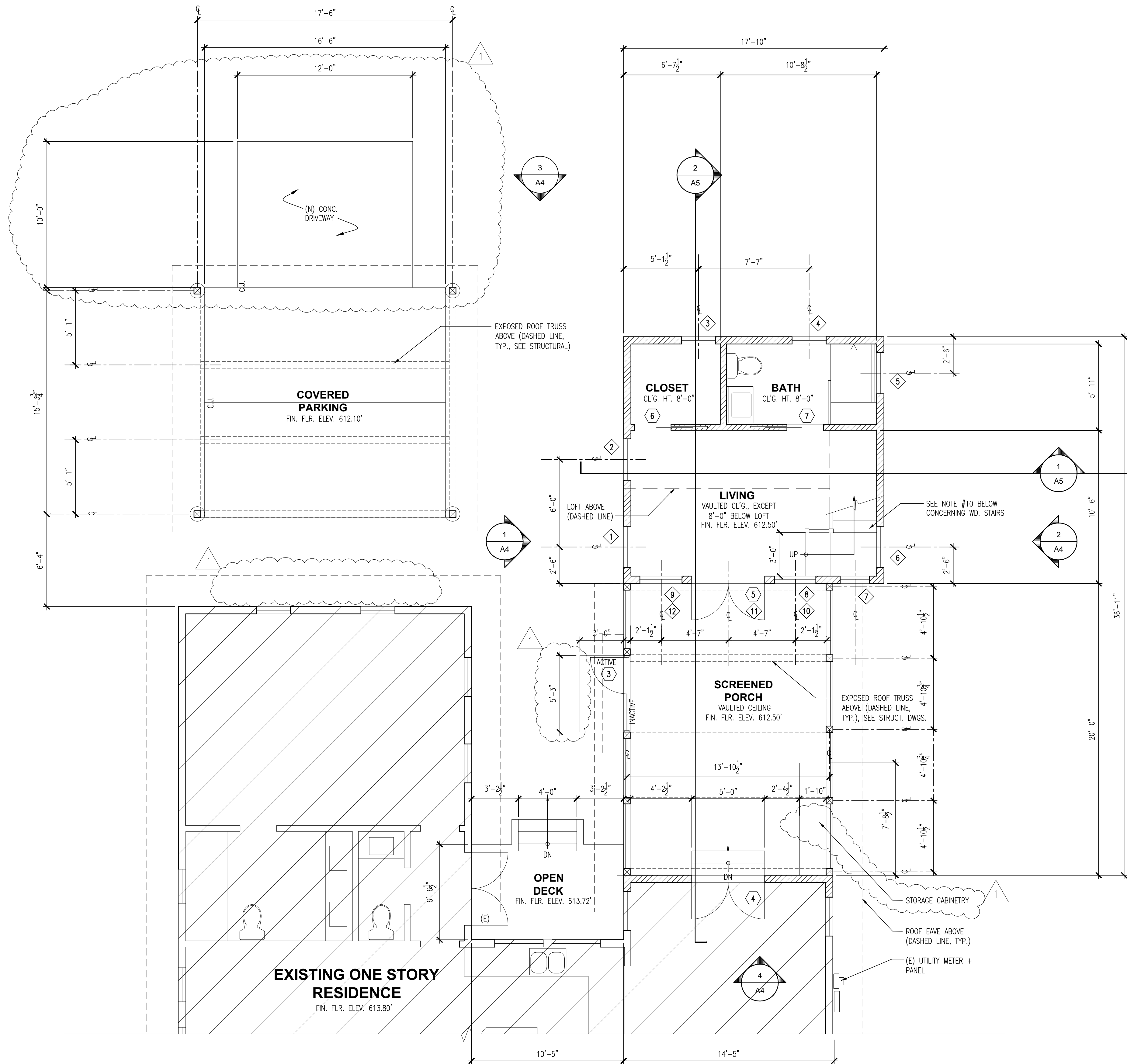
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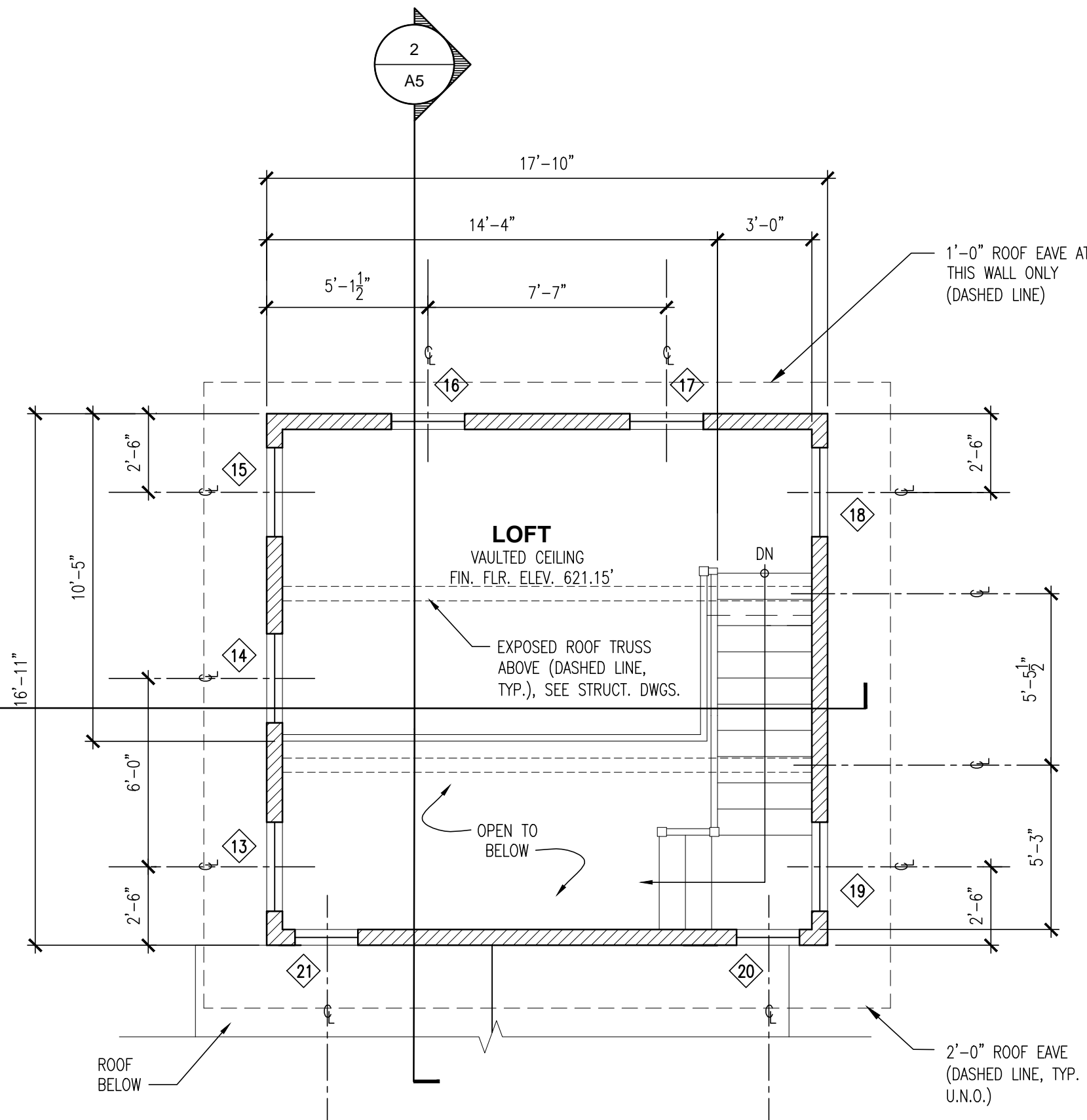
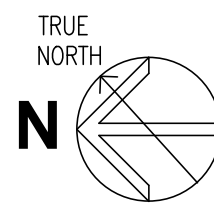
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A5



1 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED LOFT FLOOR PLAN
SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES

- FIELD VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION ADJACENT AND ALIGNED WITH NEW CONSTRUCTION. NOTIFY ARCHITECT OF ANY ADJUSTMENTS NECESSARY BEFORE CONSTRUCTION.
- ALL EXTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C., UNLESS OTHERWISE NOTED ON PLANS. SEE STRUCTURAL DRAWINGS.
- ALL INTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED ON PLANS. SEE STRUCTURAL DRAWINGS.
- INSULATE ALL EXTERIOR WALLS WHEN EXPOSED WITH R-13 INSUL.
- ALL (N) DOOR JAMB HINGE STUD IS 4" FROM PERPENDICULAR WALL STUD FACE, UNLESS NOTED OTHERWISE.
- SEE DOORS AND WINDOWS SCHEDULE, AND EXTERIOR BUILDING ELEVATIONS FOR TEMPERED GLASS REQUIREMENT LOCATIONS.
- INSTALL 3X BLOCKING EVERY OTHER STUD BAY ALONG BOTTOM OF ALL STUD WALLS FOR ATTACHMENT OF INTERIOR FINISHES TO STUD WALLS.
- ALL ROOMS EXCEPT CLOSET, BATH, AND CARPORT STORAGE SHALL HAVE PAINTED AND EXPOSED CEILING JOISTS W/ BOTTOM OF JOISTS 8'-0" A.F.F. SEE FINISH SCHEDULE.
- NO WORK IN EXISTING RESIDENCE EXCEPT REPLACING OPEN REAR WD. DECK, AND ATTACHING NEW SCREEN PORCH WITH FRENCH DOOR REPLACING WINDOW ON EXTERIOR EAST WALL.
- DRIVEWAY CONFIGURATION BETWEEN REAR SETBACK LINE AND PROPERTY LINE SHOWN ON THIS SHEET SUPERCEDES THAT SHOWN ON STRUCTURAL DRAWING. ALL OTHER ASPECTS OF STRUCTURAL DESIGN AND CALCULATIONS REMAIN APPLICABLE TO THIS CONFIGURATION.
- WOOD STAIRS SHALL HAVE MAX. 7.5" OPEN RISERS AND MIN. 10" TREADS, W/ WOOD HANDRAIL +34" ABOVE NOSING, AND VERT. RAILS SPACED SUCH THAT SPHERE 4" IN DIA. CANNOT PASS THROUGH THEM (TYP.).

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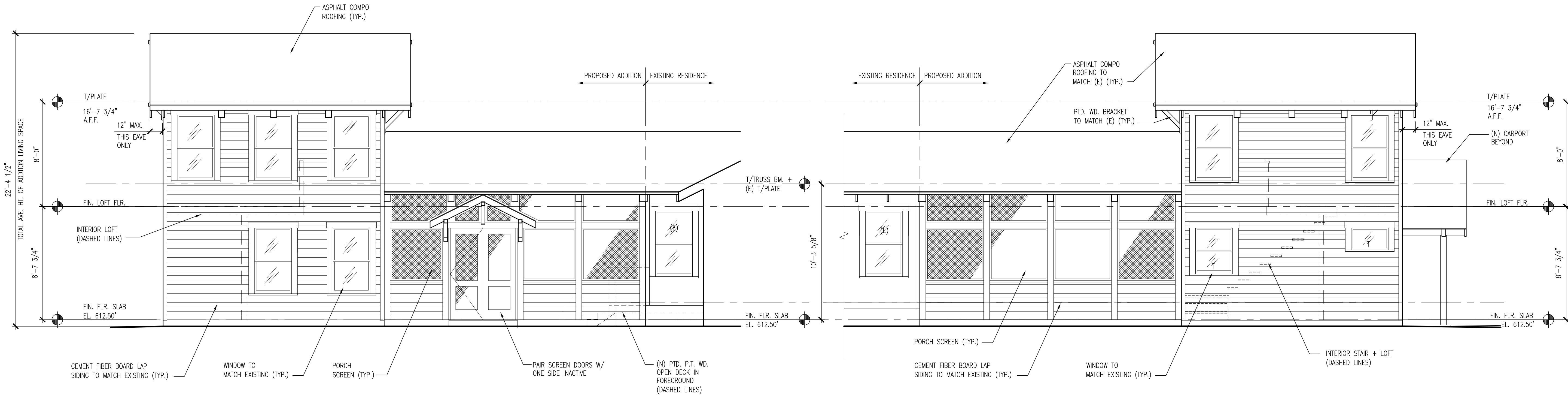
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LITTLE + ROTH RESIDENCE
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1 NORTH ELEVATION

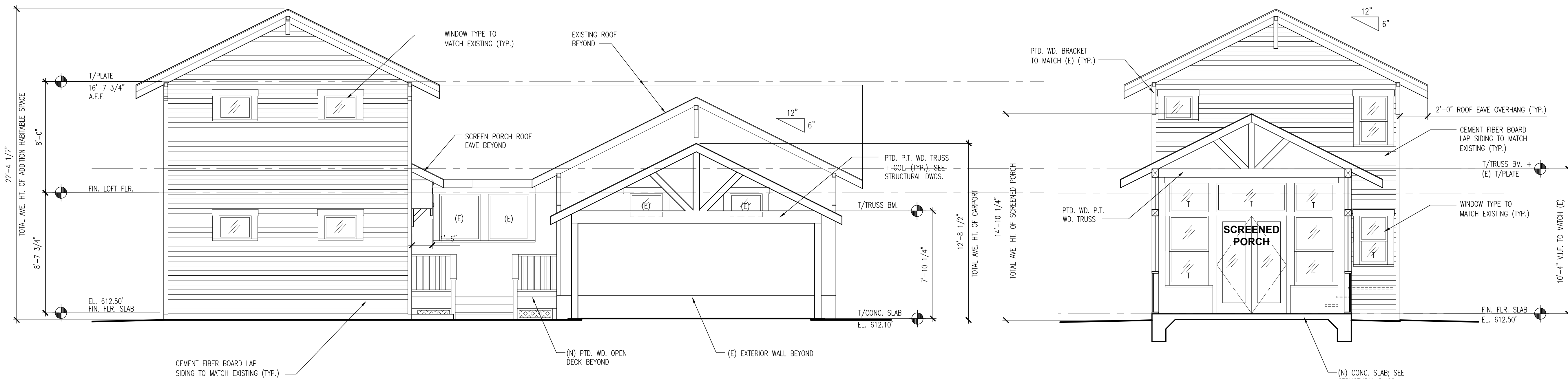
SCALE: 1/4"=1'-0"

- ALL GLAZING MARKED BY A "T" IN DRAWING MUST BE TEMPERED GLASS
- ONLY NEW WD. WALL SIDING IS DELINEATED; EXISTING TO REMAIN IS SHOWN BLANK.
- ALL EAVES SHALL MATCH (E) U.N.O.

2 SOUTH ELEVATION

SCALE: 1/4"=1'-0"

- ALL GLAZING MARKED BY A "T" IN DRAWING MUST BE TEMPERED GLASS
- ONLY NEW WD. WALL SIDING IS DELINEATED; EXISTING TO REMAIN IS SHOWN BLANK.
- ALL EAVES TO MATCH (E) U.N.O.



3 EAST ELEVATION

SCALE: 1/4"=1'-0"

- WOOD DECK RAILING: +36" ABOVE FIN. FLR. OF DECK. GUARDRAIL IS NOT REQUIRED ON THE OPEN SIDES OF THE PORCH FLOOR AND STAIRS AS THEY ARE NEVER MORE THAN 24" ABOVE FINISHED GRADE, BUT INTERMEDIATE WOOD BALUSTRADES SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH (BETWEEN) THEM (TYPICAL).
- ALL GLAZING MARKED BY A "T" IN DRAWING MUST BE TEMPERED GLASS
- ONLY NEW WD. WALL SIDING IS DELINEATED; EXISTING TO REMAIN IS SHOWN BLANK.
- ALL EAVES TO MATCH (E) U.N.O.

4 SCREEN PORCH SECTION / WEST ELEVATION

SCALE: 1/4"=1'-0"

- ALL GLAZING MARKED BY A "T" IN DRAWING MUST BE TEMPERED GLASS
- ONLY NEW WD. WALL SIDING IS DELINEATED; EXISTING TO REMAIN IS SHOWN BLANK.
- ALL EAVES TO MATCH (E) U.N.O.

SPECIFICATIONS

- ALL EXTERIOR STUD WALLS SHALL BE SHEATHED IN 1/2" THICK OSB BOARD WITH 8d @ 6" O.C. EDGE; 8d @ 12" O.C. FIELD (TYP.). TYVEK HOMEWRAP OR APPROVED EQUAL MEMBRANE OVER ALL PLWD. SHEATHING.
- CEMENT FIBER LAP SIDING: HARDIE "SMOOTH" LAP SIDING TO MATCH EXISTING SIZE, COLORPLUS COLORS FOR SIDING AND TRIM.

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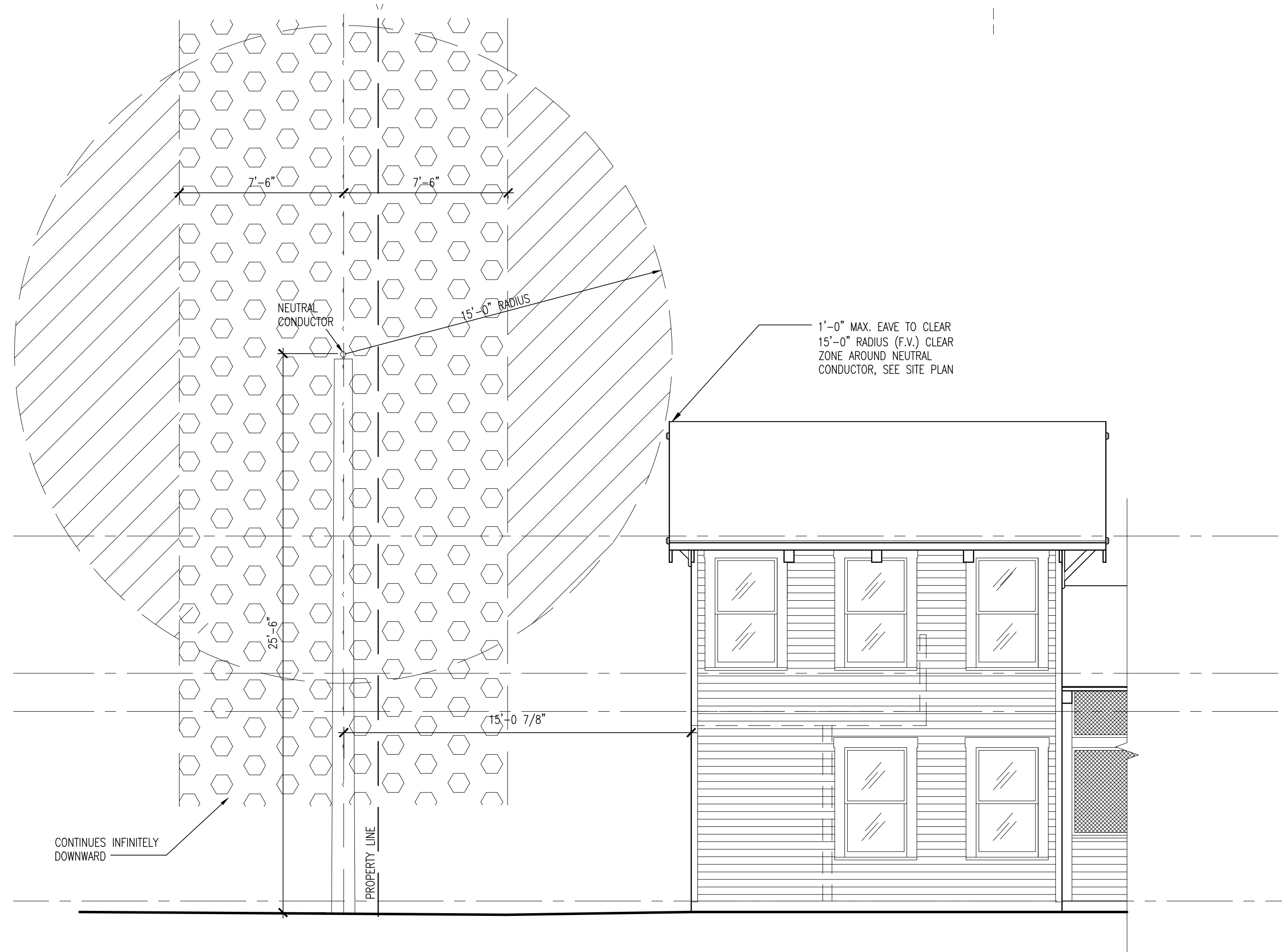
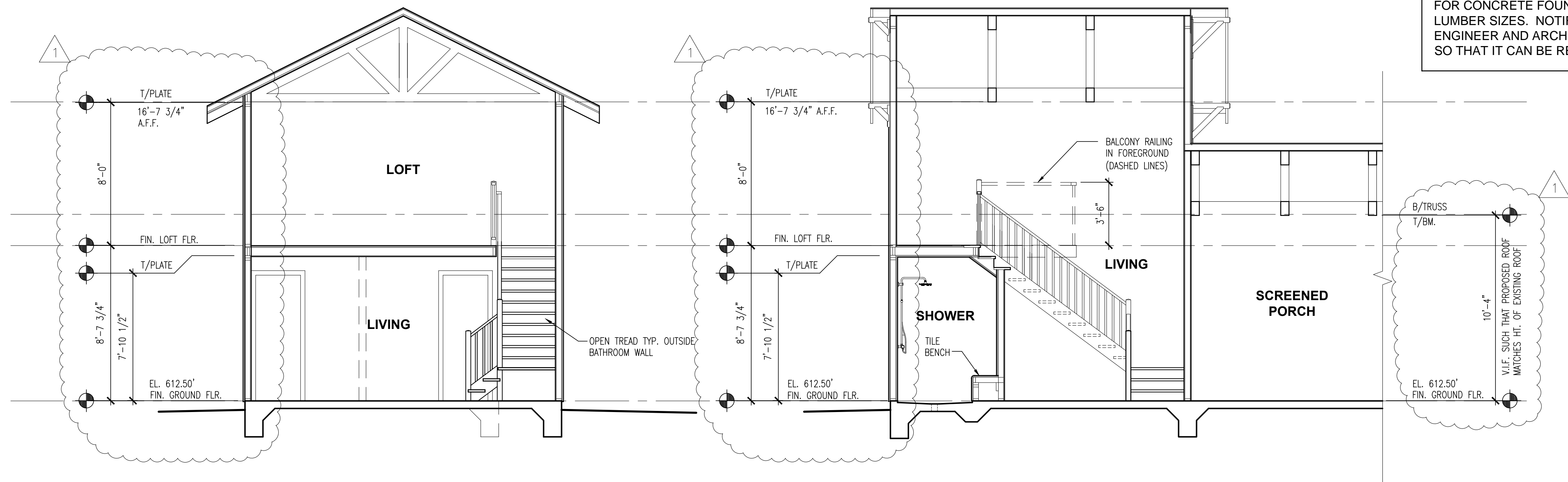
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LITTLE + ROTH RESIDENCE
REMODEL AND ADDITION

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SPECIFICATIONS

NOTE: SEE SITE PLAN SHEET AND STRUCTURAL DRAWINGS FOR ALL SITE PREPARATION, DRAINAGE, AND PAVING

06200 Finish Carpentry / Exterior Fiber-Cement Siding

SCOPE: All work and material for the installation of all carpentry and fiber-cement siding.

- A. Trade Standards: Residential Construction Performance Guidelines
B. See drawings for locations of finish carpentry and fiber-cement siding.
C. Use a finish saw to cut all lengths and miters. Butt joints are to be smooth and unnoticeable to the eye and touch after painting. Block all butt joints from behind. Use finish nails for attachment.
D. Plywood: Sanded Hardwood, and OSB for exterior sheathing. See Structural drawings for thickness.
E. Solid stock: Southern Pine vertical grain kiln dried S4S; WWSA Grade B or better.
F. All base boards: Stain Grade where walls are to be finished in ship lap. Paint Grade at gyp. bd. See Finish Schedule.
G. Exterior Wood Trim: Painted 1x Southern Pine around windows and doors to match existing and per drawings.
H. Fiber-Cement Siding: 7/16" Exterior Fiber-Cement lap board HardiePlank by James Hardie Building Products or approved equal to match existing and colors at all surfaces over Tyvek Siding membrane or approved equal. Ease all exposed edges of cut ends with 80 grit-100 grit sandpaper on wood block. Miter all corners unless noted otherwise per drawings.

06400 Cabinetry

SCOPE: All materials and labor for the construction and installation of Cabinetry and all related accessories per WIC Standards.

- A. All cabinetry to be constructed to "Custom-Grade" Specifications. Cabinetry to be Full Flush Overlay construction, Type-II, Style A; Flush style.
B. Hinges: Heavy-duty TBD
C. Door and Drawer Pulls: selected by Owner
D. Drawer slides: Heavy-duty grade with ball-bearings: Stanley, Klein, or approved equal
E. Door Catches: Heavy-duty commercial friction type
F. Wood Base and Wall Cabinets including doors: 3/4 inch thick VG Southern Pine plywood stain-grade:
1. Conceal all fastenings.
2. Provide clear spaces as required for mechanical and electrical fittings.
3. Edge exposed faces of all shelves.
4. Provide 3/4 inch thick doors and drawer faces.
5. Provide back and ends on all cabinets.

07111 Waterproofing

SCOPE: Furnish all materials and labor required to install below-grade waterproofing:

- A. Type: Liquid-applied waterproofing membrane under waterproof membrane under shedrain membrane.
B. Liquid-Applied waterproofing membrane: Sonneborn HLM-5000 or approved equal.
C. Waterproof membrane: Tyvek HomeWrap or approved equal.
D. Sheet Drain membrane: AWD Amerdrain 500 or approved equal
E. Apply all products per manufacturer's recommendations and instructions.

07200 Insulation

SCOPE: All materials and labor for the installation of building insulation and related accessories.

- A. Concealed Insulation: Paper-backed glass-fiber batts: Owens/Corning or approved equal to achieve R-19 wall rating.
B. Acoustic Insulation: Owens/Corning Sonobatt or approved equal.
C. Closed cell polyurethane spray foam roof insulation blown on underside of plywood sheathing and between + including rafters to achieve R-30 rating.
D. Place insulation with vapor retarder toward the interior (warm in winter) side of the construction. Apply insulation around and to the rear of the Electrical Devices. Place insulation to the outside (cold side) of all pipes.
D. Fasten all insulation to wall structure.

07600 Pre-finished metal Flashing and Gutters

SCOPE: all material and labor for the installation of pre-finished metal Flashing, Sheet Metal, Downspouts, and related accessories required for the installation.

- A. Manufacturer: Architectural Flashing Supply or approved equal.
B. Pre-finished Sheet Metal: 24 gauge metal with Kynar-500 finish over baked on corrosion resistant primer (0.2 mil thick). Color: Match prefinished standing seam metal roof as much as possible.
C. All Galvanized Sheet Metal: ASTM A526. Galvanizing Coating to be minimum 1.25 oz/square foot conforming to the requirements of ASTM A527.
D. Fabricate and install sheet metal with lines, rises, and angles sharp and trim , and place surfaces free from objectionable wave, warp, and buckle. Hem exposed edges to form a 1/2 inch wide hem on the side concealed from view.
E. Fasteners: 300 series stainless steel #12 x 3/4 inch stitch screws with bonded sealing washer. Color: Color to match pre-finished metal.

07313 Asphalt Composite Shingle Roofing

SCOPE: All materials and labor for the installation of new sheathing, shingles, and related accessories shall match existing.

- A. Roofing Type: Engineered Asphalt Composite Shingles that meet Class A roof covering requireme, Malarkey Dura-Seal, or approved equal.
B. Shingle Type: Self-sealing, single-layer, 3-tab shingles that consist of bitumin and fillers applied on a fiberglass mat and surfaced with algae-resistant roof granules, and approximate dimensions of 12 inches x 39 inches.
C. Color: Match existing or as selected by Owner.
D. Fasteners: Comply with ASTM F1667, and minimum No. 12 ga., 3/8" diameter head, galvanized steel, alum., or copper roofing nails. Fasteners must penetrate into sheathing min. 3/4" inch., or through the sheathing, whichever is less.
E. Underlayment: In accordance with 2015 IRC Section R905.1.1 and Table R905.1.1(1). In accordance with 2015 IBC, roof underlayment must be in accordance with Section 1507.2.3.
F. Asphalt Roofing Cement: Must be used for hand-sealing the shingles must comply with ASTM D4586, Type I, Class I, or Type II, Class I.
G. Roof Deck: Must be code-complying, minimum 7/16" thick exterior-grade plywood or OSB. Minimum roof slope must match existing and be minimum 2:12.
H. Installation: Shingles installed with vertical joints of each course of shingles offset 5 5/8" from the preceding course and with a maximum exposure to the weather of 5 5/8". Each shingle is fastened to the roof deck using four fasteners, one at top of each slit and one within 3/4" and 1 1/2" of each end, aligned with those at top of slits.
I. Valley Construction. Other flashings and drip edges: Roof valleys must be flashed with 26 ga. GSM in accordance with IBC Section 1507.2.9.2, or IRC Section R905.2.8.2. Other flashings must be installed in accordance with IBC Sections 1503.2 and 1507.2.9 or IRC Sections R903.2 and R905.2.8. Drip edges must be installed in accordance with IBC Section 1507.2.9.3 or IRC Section R905.2.8.5.
J. Hip and Ridge: shingles must be centered over hips and ridges, and must be fastened to the roof deck using two fasteners, one located on either side of the hip or ridge, 6 1/2" from the exposed end and 1" from the shingle edge. Hip and ridge shingles must be installed with a maximum 5 5/8" exposure to the weather.

08210 Interior and Exterior Doors

SCOPE: All materials and labor necessary for the installation of Wood Doors that match the existing, required accessories and preparations for hardware.

- A. Typical Interior Wood Doors: Paint Grade Pine; Manufacturer: Simpson or equal. See Door Schedule for sizes.
B. Interior Door Frames: Paint Grade Pine at gyp. bd. walls or Stain Grade at wood panel walls.
C. Typical Interior Double Doors: See Door Schedule for sizes, Verify Later, Inswing, 1-3/4, Fiberglass Door, Flush, FG SM FLUSH NB, 20x64, Full Lt IG Clear 20x64, 1 Lite, 4 9/16, Frame Saver, Kerfed Jamb, Aluminum Flip T-Astragal, White, Bronze Weatherstrip, Adjustable Sill, 5 5/8, Mill, Double Bore, 2 3/8 Backset, Standard, Satin Nickel Hinge, Fixed Sweep, No Trim

08710 Finish Hardware

SCOPE: All materials and labor for the installation of all Door Hardware, locksets, closers, hinges, miscellaneous door hardware.

- A. Typical Interior and Exterior Door Lockset and Cylinder: Schlage "A" series; Orbit Style 619 finish; satin nickel.
B. Exterior Door Lockset and Cylinder: Schlage "L" series. Model "L Standard"; Style #17 lever for both sides of door; escutcheon both sides; satin nickel finish through-out.
C. Finishes for all locksets and latchsets: 619 satin nickel finish.
D. Hinges: Stanley or approved equal. 5-knuckle Full mortise template butt hinges throughout. Exterior hinges: ball-bearing, average frequency; 619 satin nickel finish through-out
E. Stops: Glyn Johnson or approved equal.
F. Thresholds: Pemko; bronze anodized finish.
G. Weatherstripping: Pemko S88 or approved equal.
H. Door Shoe: Pemko. See hardware Schedule

Hardware Schedule:

Group: 1
NOT USED

Group: 2 (Exterior Screen Door)
Lockset: D53PD
Hinges:1-1/2 pair; spring-loaded to shut
Threshold: bronze anodized
Doorstops: 1, floor-mounted
Weather-stripping: 1 set

Group: 3 (Interior Double Door)
Lockset: D53PD
Hinges:1-1/2 pair
Threshold: bronze anodized
Doorstops: 1, floor-mounted
Weather-stripping: 1 set

Group: 4 (standard pocket door)
Lockset: flush on both sides of door
Pocket Door Hardware kit: Heavy-Duty
Stanley series 1750

09201 Furring and Flashing

SCOPE: Provide all materials and labor for paper backing, metal grounds, control joints and screeds including all accessories.

- A. Paper backing: Grade D paper underneath Paper-backed Lath.
B. Lath accessories: Corner reinforcement 18 gauge galvanized wire truss corners at exterior corners; Superior SICO78-112G at internal corners.
C. Base "J" Screed at bottom of walls with 3-1/2 inch vertical leg: Superior SJB078W312G.
D. Penetration Flashing (at all doors, windows, penetrations through exterior cement plaster, etc.): Asphalt saturated felt, 30 pounds per square, non-perforated, ASTM D228 type II.
E. Additional Flashing around windows: Bituthene around all windows. Install before paper backing is installed. Lap over nailing flange and plywood at head and jamb. Lap over nailing flange and over paper at sill.

09310 Ceramic and Stone Tile

SCOPE: Provide and install all materials and labor for the installation of Ceramic Tile per Drawings

- A. Wall Tile Type: Selected by Owner, installed by the Contractor.
B. Floor Tile Type: Selected by Owner, installed by the Contractor.
C. Mudset Wall Installation: ANSI 108.1 and TCA W221. Align grout joints with wall grout joints
D. Floor Installation on wood: ANSI 108.1 and TCA B415. Align grout joints with floor grout joints.
E. Floor Installation on concrete: ANSI 108.1 and TCA B112. Align grout joints with floor grout joints.
F. Shower Floor Installation: ANSI 108.1 and TCA B414. Align grout joints with floor grout joints. See item G.
G. Waterproof Membrane: placed under all shower floors and lapped up adjacent walls 6 inches minimum. Chloraloy or approved equal; chlorinated polyethylene sheet, 40 mil thick.
H. Tile Backer Board: 1/2 inch thick wonderboard screwed to gyp. board with 2 inch wide glass-fiber mesh tape over joints.
I. Grout: Commercial Portland Cement Grout; Custom Building Products or approved equal
J. Mortar: Latex-Portland cement mortar; Custom Building Products or approved equal.

09900 Painting

SCOPE: All materials and installation of painting.

- A. Paint Manufacturers: Sherwin-Williams, Benjamin Moore, or approved equal.
C. Preparation and Installation: All surfaces to receive paint shall be clean and properly prepared prior to application. Surface must be dry and free of dust, dirt, grease, wax, rust, chalky or loose paint, mildew, or any other contamination.
D. All work shall be installed in accordance with published specifications of the manufacturers. Do not apply paint to wood surfaces with a moisture content of greater than 12%.
E. Galvanized metal shall be solvent-cleaned and pre-treated with vinyl wash, or etched with acid before priming.
F. Paint colors shall be selected by the Owner.
G. Check Substrate for levelness, divots, high areas, and low areas. Remove any deformity that is contrary to United States Gypsum Standards for flatness. Remove all oil, paint, wax, dirt or any other damaging material that may prevent the proper installation of the gypsum wallboard. Proceeding with work is understood by the Owner that substrate conditions meet the Specifications and that the Contractor claims responsibility for any damage to the finish materials due to the conditions of the substrate.

WINDOW SCHEDULE

NOTE: 1. SEE EXT. ELEVATIONS FOR LOCATIONS OF TEMP. GL (DENOTED BY "T")
2. ALL NEW WINDOWS SHALL HAVE ENERGY STAR U-VALUE RATING

SYM.	SIZE	FRAME MAT.	TYPE	GLASS	SCR.	MUN.	HD.HT.	INT. TRIM	FIN.	MANUFACT.	REMARKS
1	2'-10" X 5'-0"	VINYL OVER ALUM. TO MATCH (E)	DBL. HUNG	DBL GL. SOFT-COAT LOW E	YES	NO	7'-0"	WD. CRAFTSMAN TO MATCH (E)	PTD.	WELD-WEN TO MATCH (E)	
2	2'-10" X 5'-0"		DBL. HUNG		YES						
3	2'-4" X 1'-8"		FIXED		NO						OPEN-OUT; OPERATING W/ LEVER
4	2'-4" X 1'-8"		AWNING		YES						OPEN-OUT; OPERATING W/ LEVER
5	2'-10" X 1'-8"		AWNING								OPEN-OUT; OPERATING W/ LEVER
6	2'-10" X 3'-6"		DBL. HUNG								
7	2'-0" X 3'-6"		DBL. HUNG								
8	2'-10" X 5'-0"		DBL. HUNG		NO						INTERIOR DBL. HUNG
9	2'-10" X 5'-0"		DBL. HUNG								INTERIOR DBL. HUNG
10	2'-10" X 2'-0"		FIXED				9'-4-1/4"				INTERIOR FIXED GL.
11	5'-0" X 2'-0"		FIXED				9'-4-1/4"				INTERIOR FIXED GL.
12	2'-10" X 2'-0"		FIXED				9'-4-1/4"				INTERIOR FIXED GL.
13	2'-10" X 5'-0"		DBL. HUNG		YES		15'-8"				
14	2'-10" X 5'-0"		DBL. HUNG								
15	2'-10" X 5'-0"		DBL. HUNG								
16	2'-4" X 1'-8"		AWNING								OPEN-OUT; OPERATING W/ LEVER
17	2'-4" X 1'-8"		AWNING								OPEN-OUT; OPERATING W/ LEVER
18	2'-10" X 5'-0"		DBL. HUNG								
19	2'-10" X 5'-0"		DBL. HUNG								
20	2'-0" X 3'-6"		DBL. HUNG								
21	2'-0" X 1'-8"		AWNING								

DOOR SCHEDULE

NOTE: 1. SEE EXT. ELEVATIONS FOR LOCATIONS OF TEMP. GL (DENOTED BY "T")
2. ALL WD. DOORS ARE SIX PANEL TO MATCH (E) STYLE

SYM.	SIZE	FRAME MAT.	FIN.	TYPE	OPERATION	MAT.	FIN.	INT. TRIM	FIN.	SCR.	HDWR.	REMARKS
1	NOT USED											
2	NOT USED											
3	PR 2'-6"x 7'-0"x 1 1/2"	S. PINE	PTD.	SCREEN DR.	LH OUT SWING	WD.	PT.	S. PINE	PT.	NO	2	DBL. CYLINDER DEAD-BOLT, MAX. 1/2" HT. THRESHOLD
4	PR 2'-6"x 7'-0"x 1 3/4"	FIBERGLASS	PTD.	SC FRENCH W/ GLR. TEMP. GLASS	IN SWING	WD.	PT.	S. PINE	PT.	NO	3	
5	PR 2'-6"x 7'-0"x 1 3/4"	FIBERGLASS	PTD.	SC FRENCH W/ GLR. TEMP. GLASS	OUT SWING	WD.	PT.	S. PINE	PT.	NO	3	
6	2'-6"x 7'-0"x 1 3/4"	S. PINE	PTD.	HC WOOD	SLIDING POCKET	WD.	PT.	S. PINE	PT.	NO	4	MATCH (E) STYLE
7	2'-6"x 7'-0"x 1 3/4"	S. PINE	PTD.	SC WOOD	SLIDING POCKET	WD.	PT.	S. PINE	PT.	NO	4	MATCH (E) STYLE

INTERIOR FINISH SCHEDULE

NOTE: 1. ALL STAIN COLORS, PAINT COLORS, AND CER. TILE SELECTED BY OWNER
2. ALL CABINETRY IS STAIN GRADE WOOD TO BE SELECTED BY OWNER

ROOM	FLOOR		BASE		WALLS		CEILING	
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH
SCREENED PORCH	STONE TILE	SEALANT, TWO COATS	2X4 PT. GR. SOLE PLATE WD.	PT.	CEMENT FIBER BD. BELOW 36" WD. FRAMING	EXT. ACRYLIC LATEX	1X6 T&G PLANKS OVER EXPOSED JOISTS+BMS.	EXT. ACRYLIC LATEX
LIVING ROOM	STONE TILE	SEALANT, TWO COATS	1X6 (OR MATCH E) PT. GR. WD.	PT.	5/8" GYP. BD.	SMOOTH FINISH/ FLAT LATEX	1X6 T&G PLANKS OVER EXPOSED JOISTS+BMS.	SMOOTH FINISH/ SATIN ENAMEL
BATHROOM	STONE TILE	SEALANT, TWO COATS	1X6 (OR MATCH E) PT. GR. WD.	PT.	5/8" W.P. GYP. BD. + CER. WALL TILE	SMOOTH FINISH/ SATIN ENAMEL	5/8" W.P. GYP. BD.	SMOOTH FINISH/ SATIN ENAMEL
LOFT	HARDWOOD TO MATCH STAIR TREADS	SEALANT, TWO COATS	1X6 (OR MATCH E) PT. GR. WD.	PT.	5/8" GYP. BD.	SMOOTH FINISH/ FLAT LATEX	1X6 T&G PLANKS OVER EXPOSED JOISTS+BMS.	SMOOTH FINISH/ SATIN ENAMEL
CARPORT	CONC.	TROWELED, CONTROL JOINTS 10'-0" O.C.	N/A	N/A	WD. COLUMNS	EXT. ACRYLIC LATEX	WD. TRUSSES	EXT. ACRYLIC LATEX

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Revisions	Date
Master Comments Report	7-14-2022

LITTLE + ROTH RESIDENCE
REMODEL AND ADDITION

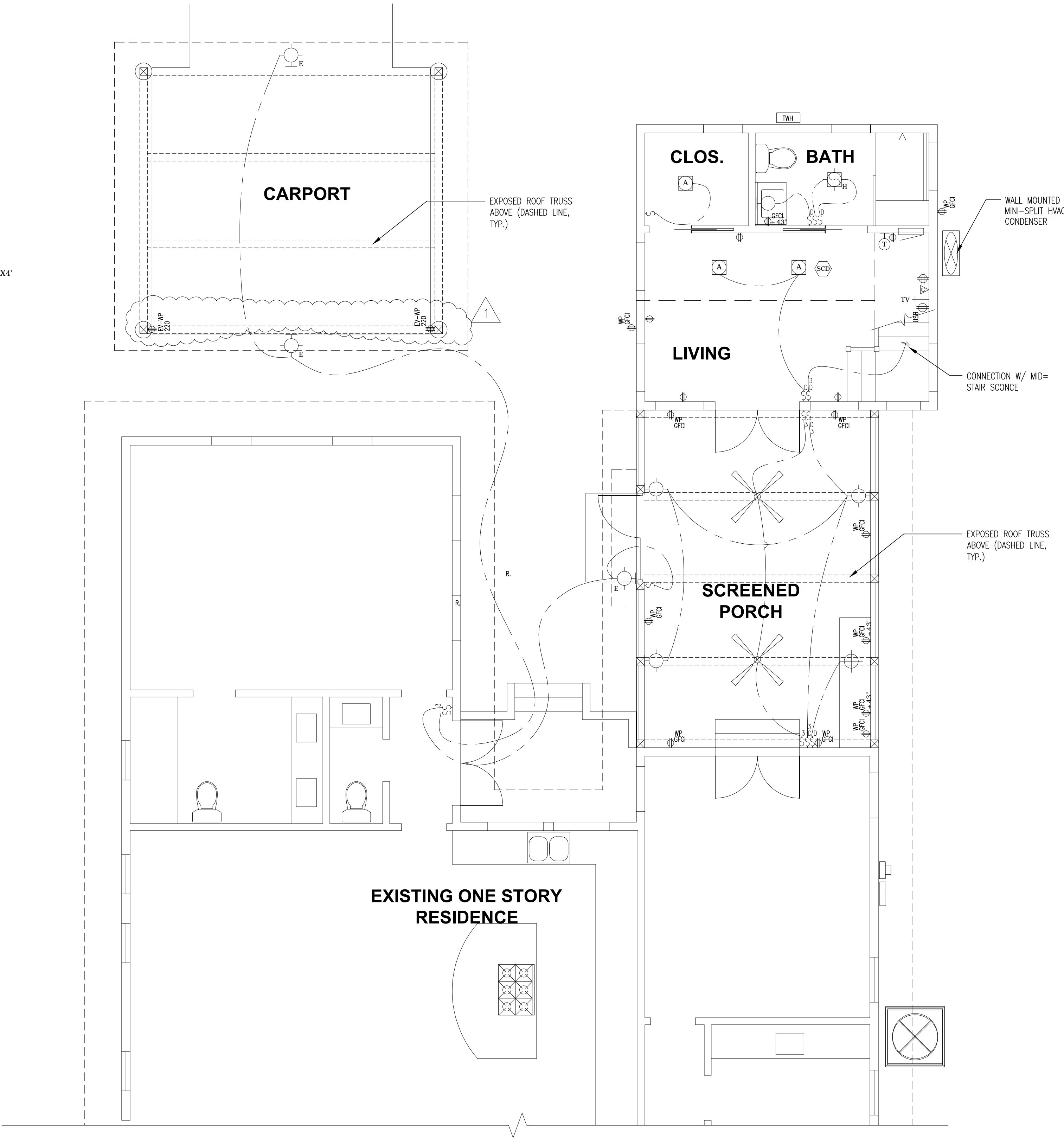
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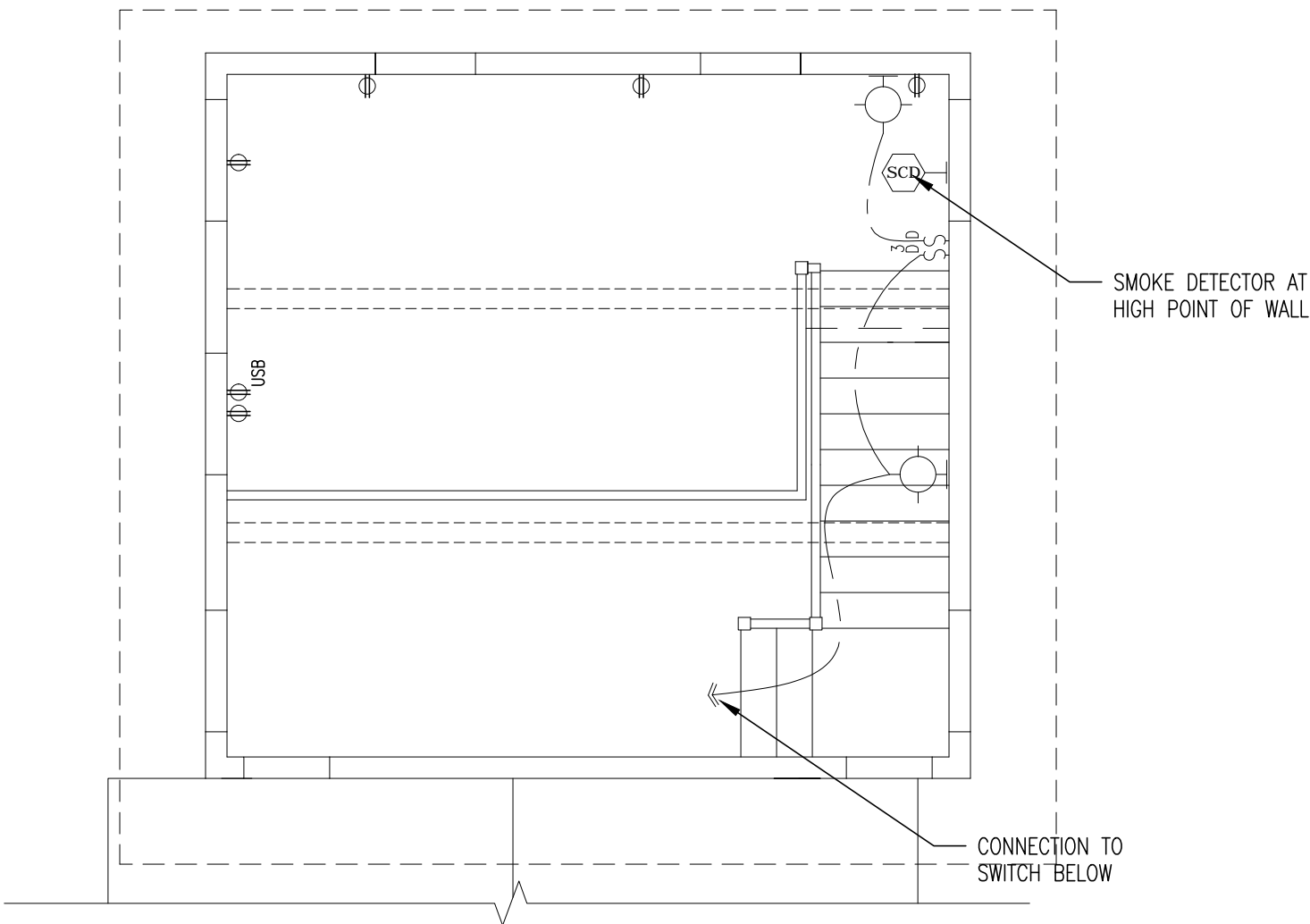
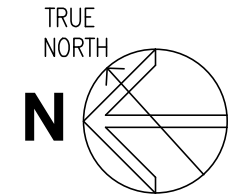
ELECTRICAL/MECH./PLUMBING SYMBOLS

- RECESSED CEILING CAN LIGHT FIXTURE
- WATERPROOF RECESSED CEILING CAN LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE FOR VAULTED CEILING
- RECESSED LOW-VOLTAGE CAN WALL-WASHER W/ SLOT APERTURE
- WATERPROOF EXTERIOR RECESSED CEILING CAN LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- STATIC MOUNTED PENDANT LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- CEILING MOUNTED PANCAKE LIGHT FIXTURE; ULTRA-SLIM CANLESS
- WALL-MOUNTED LIGHT FIXTURE
- EXTERIOR WALL MOUNTED LED LIGHT FIXTURE
- LOW-VOLTAGE MINI SPOT LIGHT FIXTURE; INCLUDING PUCK LIGHT
- RECESSED INTERIOR WALL DOWN LIGHT FIXTURE; WATERPROOF IF NOTED W/ "WP"
- CEILING MOUNTED FLUORESCENT FIXTURE WITH PLASTIC DIFFUSER; 1'X'4' W/ ONE T-8 TUBE, OR 2'X'4' W/ TWO T-8 TUBES, AS NOTED
- SURFACE-MOUNTED LED UNDER-CABINET LIGHT FIXTURE; WITH LENGTH OF LAMPS DEPENDING ON FIELD VERIFIED LENGTH. FIELD VERIFY LENGTHS PRIOR TO ORDERING. MOUNT AT FRONT EDGE OF CABINET. FIXTURE TO BE SUPPLIED WITH ELECTRONIC BALLAST. LAMPS: WARM-WHITE 40W
- 110V DUPLEX OUTLET (12" ABOVE FLR., U.N.O.)
- 110V DUPLEX OUTLET (12" ABOVE FLR., U.N.O.) W/ BUILT-IN USB CONNECTION
- 110V QUADPLEX OUTLET (12" ABOVE FLR., U.N.O.)
- 110V OUTLET WITH WATERPROOF COVER (18" ABOVE FLR., U.N.O.)
- 110V OUTLET IN GROUND FAULT INTERRUPTER CIRCUIT
- 240V SUPPLY OUTLET (12" ABOVE FLR., U.N.O.)
- 110V DUPLEX OUTLET (12" ABOVE FLR., U.N.O.) W/ SPLIT-WIRE FOR PLUG SWITCH, TOP PLUG ONLY
- FLUSH FLOOR DUPLEX OUTLET SUITABLE FOR HARDWOOD FLOORS; HUBBEL PFCBCL A W/ ADJUSTABLE HT. FLR. BOX, OR APPROVED EQUAL
- SWITCH (48" ABOVE FLR., U.N.O.)
- 3-WAY SWITCH (48" ABOVE FLR., U.N.O.)
- SWITCH W/ DIMMER (48" ABOVE FLR., U.N.O.)
- WATERPROOF SWITCH (48" ABOVE FLR., U.N.O.)
- PRESSURE OPERATED SWITCH (48" ABOVE FLR., U.N.O.)
- SWITCH WITH TIMER (48" ABOVE FLR., U.N.O.)
- VENT/EXHAUST
- VENT/EXHAUST + LIGHT FIXTURE COMBO
- VENT /EXHAUST + HEATER + LIGHT FIXTURE COMBO
- LAND-BASED PHONE OUTLET
- A/V-MEDIA OUTLET (2 COAX 2-CAT 5 PHONE LINE)
- CABLE TELEVISION OUTLET
- HOSE BIB W/ BACKFLOW PREVENTER
- WATER VALVE
- THERMOSTAT
- JUNCTION BOX
- ELECTRIC CIRCUIT SUB-PANEL RECESSED IN WALL
- DOOR CHIMES
- DOOR CHIMES BUTTON
- 110V COMBO SMOKE + CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP. COLOR: WHITE
- 110V WALL-MOUNTED COMBO SMOKE + CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP; COLOR: WHITE
- BURGLAR ALARM KEYPAD
- DECK MOUNTED AIR SWITCH FOR GARBAGE DISPOSAL
- CEILING MOUNTED HVAC REGISTER
- CEILING FAN WITHOUT LIGHT KIT (WP FOR EXTERIOR)
- CEILING FAN WITH LIGHT KIT (WP FOR EXTERIOR)
- COLUMN MOUNTED FAN (WP FOR EXTERIOR)



1 GROUND FLOOR MECHANICAL-ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

- ALL LIGHT FIXTURES SHALL BE SELECTED BY OWNER, UNLESS NOTED OTHERWISE.
- ALL SWITCH AND RECEPTACLE PLATES FINISH AND COLOR SHALL BE SELECTED BY OWNER, UNLESS NOTED OTHERWISE.



2 LOFT ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL NOTES:

- ADDITION SUB-PANEL SHALL CONNECT TO (E) ELECTRICAL MAIN PANEL AND METER: 200 AMP, 240 VOLT, SINGLE PHASE.
- ALL LIGHTING CIRCUITS SHALL BE CIRCUITS DEDICATED TO LIGHTING ONLY.
- SMOKE DETECTOR SHALL BE CONNECTED TO A LIGHTING CIRCUIT, IS 110V WITH BATTERY BACKUP AND IS AUDIBLE IN ALL SLEEPING AREAS.
- AT BATHROOM, ONE 20 AMP. BRANCH CIRCUIT W/ GROUND FAULT INTERRUPTER SHALL SUPPLY ALL BATHROOM WALL OR COUNTER-TOP OUTLETS ONLY.
- ALL (N) BEDROOM ELECTRICAL RECEPTACLES SHALL BE OF THE ARC-FAULT CIRCUIT INTERRUPTER TYPE, TYPICAL.
- THE FOLLOWING APPLIANCES SHALL BE ON A DEDICATED, GROUNDED 20 AMP CIRCUIT:
A. UNDER COUNTER REFRIGERATOR
- ELECTRICAL GROUNDING SYSTEM SHALL BE PER ALL APPLICABLE CODES. CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR SHALL SELECT WHICH GROUNDING METHOD MOST COMPATIBLE WITH FOUNDATION SYSTEM.
- ALL LIGHT FIXTURES SHOWN WITHOUT CONNECTION TO A WALL SWITCH ARE CONNECTED TO A JUNCTION BOX ON A SUPPLY CIRCUIT, WITH SWITCH PART OF FIXTURE ASSEMBLY.

MECHANICAL NOTES

- ALL EXTERIOR TERMINATION OF AIR DUCTS SHALL BE A MINIMUM 3 FEET FROM ANY OPENINGS INTO THE BUILDING (i.e., BATH EXHAUST FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OR SKYLIGHT OPENINGS).
- MINI-SPLIT HVAC UNIT SHALL BE LOCATED DISCREETLY AT HIGH WALL POINT ABOVE WINDOWS AWAY FROM GOOD ART LOCATIONS. INSTALLER SHALL SELECT SMALLEST/SUMMEST EXTERIOR CONDENSER AVAILABLE STILL ADEQUATE FOR SYSTEM.
- MINI-SPLIT HVAC UNIT CONDENSER SHALL BE MOUNTED ON EXTERIOR WALL MIN. 30" ABOVE FINISH GRADE.

15500 HEATING, VENTILATION, AND AIR CONDITIONING

SCOPE: All material and labor for the installation of the Mechanical Equipment, including all final plumbing and electrical connections.

- The Contractor shall be responsible for the construction and installation for heating, ventilating and air condition systems including controls, related equipment, ductwork, and accessories.
- See IECC 2021 edition for City of Austin Energy Requirements.
- The Drawings make every effort to coordinate the systems with structural requirements, but minor problems may occur. Study Drawings and premises to determine the best methods, exact locations, routing of piping and ductwork; Coordinate with trades; Comply with all governing authorities; Layout system to avoid conflicts with structural components.
- Equipment shall be tested, adjusted and balanced in order to assure proper functioning and air Distribution per Drawings. The Contractor shall provide written evidence that Balancing is per B. above. All Ductwork shall be insulated.

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ELECTRICAL NOTES (CONTINUED):

16000 ELECTRICAL SYSTEMS

SCOPE: All material and labor for the installation of all Electrical Systems, including all final connections to mechanical systems and electrical items.

- A. This portion of the work includes the furnishing of all transportation, all skilled and common labor, all apparatus and materials necessary for or incidental to the complete electrical installation including power and control for mechanical supplied systems as shown on the accompanying drawings and as herein specified or required to properly complete the work. Electrical drawings are diagrammatic and are intended to show the design intent of fixtures, equipment, wiring, etc. Follow the drawings, make adjustment as required by structural conditions, governing authorities, the Owner and coordination by other trades without additional cost to the Owner.
- B. Temporary Power: The Contractor shall furnish, install, maintain and remove after construction is completed, temporary lighting and power for the work area, so that construction work can be performed safely.
- C. Cutting and Patching: All necessary cutting and patching of walls, partitions, ceilings, etc., as required for the proper installation of the work under this section, shall be done under in accordance with these drawings.
- D. All Work shall be in accordance with all applicable codes: National, State, and Local.
- E. Permits, Fees and Inspections shall be arranged and paid for by the Contractor.
- F. All materials shall be listed in the latest "Electrical Construction Materials List" that has been examined and approved by the Underwriter's Laboratories.
- Boxes: Ceiling or walls -- metal or plastic with open plaster ring cover.
 - Wire: 12 or 14 gauge Romex wiring
 - Wire Connections: "Scotchlocks" type R, & B or Lugs type QDA.
 - Switches: Single Pole --Color + Style selected by Owner or approved equal.
 - Receptacles: Color + Style selected by Owner or approved equal.
 - Telephone Outlets: Color + Style selected by Owner or approved equal.
 - Lighting and Receptacle Panel: Type Q22B, Branch Type QBH, Quick-Make and Quick-Break, toggle mechanism, inverse time limit characteristics, and shall trip free on overload or short circuit. Breakers shall be interchangeable, capable of being operated in any position as well as being removable from front of panel without disturbing adjacent units.
- G. Grounding: All equipment, conduit, boxes and neutrals shall be permanently and effectively grounded as called for in the latest editions of the National Electrical Code, and Local codes.
- H. Upon Completion of Work: Test for continuity and short circuits, all receptacles, switches, and circuits affected and check to be sure that work has been properly completed before applying for final inspection.

PLUMBING SYMBOLS

- HB+ HOSE BIB W/ BACKFLOW PREVENTER
- W+ WATER VALVE
- TWH EXTERIOR WALL MOUNTED TANKLESS WATER HEATER
- V 2" DIA. VERTICAL ROOF PLUMBING VENT STACK EXTENDED TO MIN. 8" ABOVE ROOFING; ROOF PENETRATION W/ GSM FLASHING CONTINUOUSLY ATTACHED W/ METAL ROOF SEALANT
- CO CLEAN OUT FOR SANITARY WASTE PIPING
- Gas Valve
- Gas Key

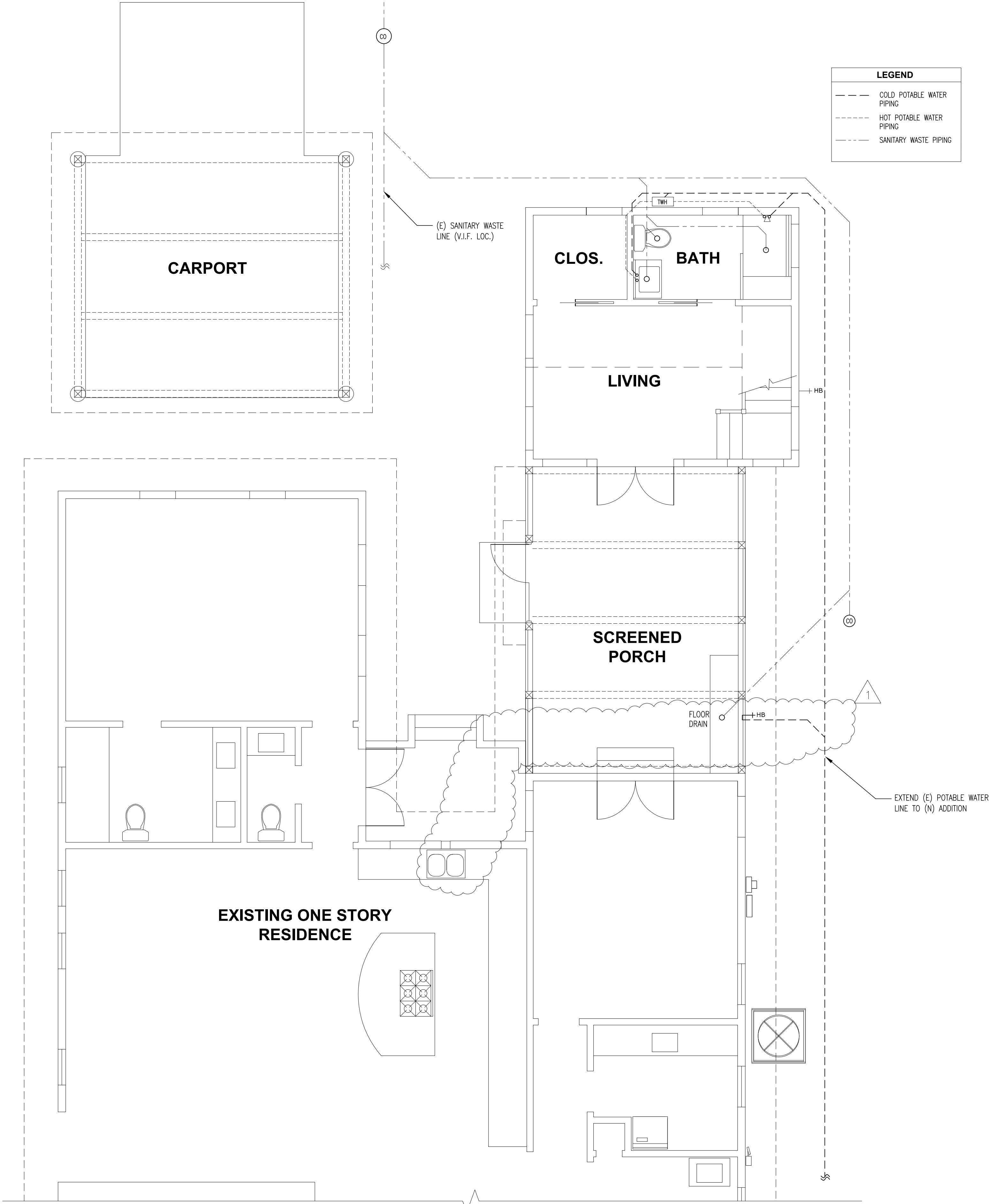
PLUMBING NOTES

- WATER HEATER AND HOT WATER PIPES: 3/4 INCH DIAMETER HOT WATER WITH 3/4 INCH DIAMETER FEEDER TO EACH BATHROOM AND 1/2 INCH DIAMETER SUB-FEEDER TO EACH FIXTURE.
- INSULATE ALL INTERIOR HOT WATER PIPES WITH FOAM PIPE INSULATION.
- COLD WATER PIPES: 3/4 INCH DIAMETER MAIN LINE WITH 3/4 INCH DIAMETER FEEDER TO EACH BATHROOM AND 1/2 INCH DIAMETER SUB-FEEDER TO EACH FIXTURE.
- WATER HEATER SHALL BE EXTERIOR WALL MOUNTED TANKLESS ELECTRIC HOT WATER HEATER, WATER QUALITY ASSOCIATION TESTING NSF/ANSI FOR LEAD FREE COMPLIANCE, OR APPROVED EQUAL.
- WATER CLOSET TO HAVE MAXIMUM 1.6 GALLONS PER FLUSH.
- SHOWER COMPARTMENT, REGARDLESS OF SHAPE, SHALL HAVE MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, AND ALSO CAPABLE OF ENCOMPASSING 30 INCH CIRCLE.
- SHOWER SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

15400 PLUMBING

SCOPE: All material and labor for the installation of all plumbing work including all finish plumbing and final plumbing connections to mechanical equipment and plumbing fixtures.

- A. The Contractor shall be responsible for the construction and installation for all plumbing systems including domestic water supply and distribution system, waste and vent systems, including all related trenching and backfilling, sleeves through concrete work, flashing of pipes through waterproof membranes. See Drawings.
- B. Plumbing Drawings are diagrammatic and are intended to show the design intent of fixtures, equipment, etc. Follow the Drawings; Make adjustments as required by structural conditions, governing authorities, selection by Owner, and coordination by other trades without additional cost to the Owner. Coordinate with other trades.
- C. Plumbing Fixtures shall be per Drawings, complete with all items of trim, valves, supplies, traps, hangers, grounds and supports, etc. as required for a complete installation.
- D. Install all piping in concealed locations unless otherwise indicated. Slope soil and waste piping for proper drainage per Code requirements. Provide brass or copper nipples from copper pipe to fixture supplies. Provide escutcheons where piping passes through walls, floors, or ceiling in exposed locations. Test all piping per local codes prior to enclosing or covering.
- E. All domestic hot and cold water pipe shall be Copper Type M hard-drawn with wrought copper fittings and 95-5 solder.
- F. Sanitary waste and vent piping 4 inches diameter or less below slab or outside the building below grade shall be service weight cast-iron soil pipe with compression neoprene gasket
- G. Sanitary waste and vent inside the building shall be ABS or PVC plumbing H. Shock absorbers: One per fixture.



1 PLUMBING FLOOR PLAN
SCALE: 1/4"=1'-0"

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