



**DELINEATE studio**  
ARCHITECTURE - URBAN DESIGN  
916 Springdale, Bldg 4 #104  
Austin, TX 78702  
bart@delineatestudio.com  
512.522.3511



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# MCCALLUM RESIDENCE

AUSTIN, TEXAS

## CONSTRUCTION DOCUMENTS



### SHEET LIST

ARCHITECTURAL	
A0.01	Cover Sheet & Gen Notes
A0.21	Window Types
A0.91	Site Demo Plan
A1.01	Site Plan
A1.02	Site Setback Plan
A1.03	Tree Protection Site Plan
A2.01	Level 1 Floor Plan
A2.02	Level 2 Floor Plan
A4.01	Building Elevations
A4.02	Building Elevations

### GENERAL NOTES

- Drawings are for permitting and do not address all elements of construction. Construction administration services by the architect should be contracted.
- Contractor is responsible for protecting all completed work.
- Contractor shall schedule and obtain permission from building owner for access to any building/site areas outside the limits of construction. Contractor responsible for protecting and cleaning any of these access areas.
- All work shall be constructed in compliance with adopted codes, local amendments/rules, and state regulations. Contractor responsible for coordination of requirements.
- Contractor shall verify and correlate all dimensions on the job site. Use dimensions indicated. Do not scale drawings.
- Immediately notify the architect of any discrepancies in the drawings, specifications, or actual job conditions which affect the execution of the work as intended.
- Contractor shall comply with the Texas statute governing trench safety. Any trench excavation exceeding 5 feet shall comply with Texas "occupational safety" and "health administration" standards. See structural/civil for any special shoring requirements. Geotechnical information may be included in the project manual or available from the architect. Contractor's pay request must contain a separate pay line for excavation safety systems. The above trench requirements are required by Texas law for both public and private projects.
- Contractor shall supply all necessary labor and material necessary to complete the work described herein.
- Fire extinguishers shall be provided in accordance with NFPA 10 and local fire department requirements.
- Access panels shall be provided and installed where required by building code or for the proper operation or maintenance of mechanical/electrical equipment, whether or not indicated on the drawings. Contractor shall coordinate size, location, and type of access panel with work of all trades. All access panels shall receive approval of the architect.
- Contractor shall perform any work within public right-of-way according to gov. agency requirements.
- The contractor shall obtain and pay fees for all necessary permits, licenses, certificates, testing.
- Furnish all new materials except where specifically noted otherwise. Warrant all materials and labor for a period of one year from the date of substantial completion, or the date of beneficial occupancy by the owner, whichever is later. Repair or replace all work that is discovered to be defective during that period.
- The contractor shall coordinate the work of all trades.



6/14/2022

### MATERIAL HATCHES

<b>SITWORK</b>	<b>EARTH</b>	<b>THERMAL MOISTURE PROTECTION</b>	<b>BATT INSULATION</b>
	<b>GRAVEL</b>		<b>COMPRESSIBLE JOINT FILLER</b>
	<b>CRUSHED STONE</b>		<b>RIGID INSULATION</b>
<b>CONCRETE, MASONRY</b>	<b>FINISHES</b>		<b>GYPSUM WALLBOARD</b>
	<b>CONCRETE</b>		<b>CEMENT BOARD</b>
	<b>BRUCK, U.N.O.</b>		<b>CEMENT STUCCO ON METAL LATH</b>
	<b>BRICK, U.N.O.</b>		<b>CARPET &amp; PAD</b>
<b>METALS</b>	<b>STEEL</b>		<b>RUBBER/VCT</b>
	<b>ALUMINUM &amp; NON-FERROUS METALS</b>		<b>MARBLE</b>
<b>WOOD</b>	<b>PLYWOOD</b>		
	<b>WOOD FRAMING - THROUGH MEMBER</b>		
	<b>WOOD FRAMING - INTERRUPTED MEMBER</b>		
	<b>FINISHED WOOD/MILLWORK</b>		

### SYMBOLS LEGEND

	EXISTING CONTOUR
	NEW CONTOUR
	TREE
	ELEVATION TAG (DRAWING #, SHEET #)
	SECTION TAG (DRAWING #, SHEET #)
	DETAIL TAG (DRAWING #, SHEET #)
	EXISTING ELEVATION TC= TOP OF CONCRETE, TG+ TOP OF GRADE TW= TOP OF WALL
	NEW ELEVATION TC= TOP OF CONCRETE, TG=TOP OF GRADE TW= TOP OF WALL
	KEYED NOTE
	WALL TYPE - SEE WALL DETAILS (SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION)
	HORIZONTAL ASSEMBLY - SEE ASSEMBLY DETAILS (HORIZONTAL ASSEMBLIES NOTED ON SECTIONS)
D.S.	DOWNSPOUT
(R)	RELOCATED
(E)	EXISTING
(D)	DEMOLISH
C.J.	CONTROL JOINT

### PROJECT DESCRIPTION

- PROJECT ADDRESS:  
2607 MCCALLUM DRIVE  
AUSTIN, TX 78703
- LEGAL DESCRIPTION:  
S 55 FT OF LOT 22 \* & N 15 FT OF  
LOT 24 BLK 17 PEMBERTON  
HEIGHTS SEC 8
- ZONING:  
SF3-NP
- LOT SIZE:  
10232 SF
- APPLICABLE CODES:  
2021 IRC, 2021 IECC

### PROJECT DIRECTORY

<b>OWNER</b>	LAURA AND JOHN LEE (512) 368-0838 laura@lauraleehome.com jleeep3@gmail.com
<b>ARCHITECT</b>	DELINEATE STUDIO BART WHITLEY, ARCHITECT (512) 522-3511 bart@delineatestudio.com 916 SPRINGDALE RD. #4-104 AUSTIN, TX 78702
<b>STRUCTURAL</b>	HOLLINGSWORTH PACK CHRIS HEWITT, PE (512) 275-6060 X101 chris.h@holl-pack.com 3801 S CONGRESS AVE #110 AUSTIN, TX 78704
<b>CONTRACTOR</b>	IDM BUILDERS DAVID MORGAN (512) 778-5573 idmbuilders@gmail.com 350 COUNTY ROAD 258 LIBERTY HILL, TX 78642

### PROJECT AREAS

LOT AREA	10131 SF
<b>MAIN HOUSE</b>	3442 SF
Conditioned	1786 SF
Level 1	1786 SF
Level 2	1656 SF
<b>GARAGE</b>	1054 SF
Conditioned	527 SF
Level 2	527 SF
Unconditioned	527 SF
Level 1	
<b>COVERED PORCH</b>	
Main House	
Front	32 SF
Back	18 SF
<b>FAR (Gross Floor Area)</b>	4046 SF 39.94%
<b>BUILDING COVER</b>	2397 SF 23.66%
<b>IMPERVIOUS COVER</b>	4377.5 SF 43.21%

### VICINITY MAP:



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2607 McCallum Drive, Austin, TX 78703

### REVISIONS

NUMBER	DATE	DESCRIPTION

Cover Sheet & Gen  
Notes

CONSTRUCTION  
DOCUMENTS

DATE: 6/14/2022

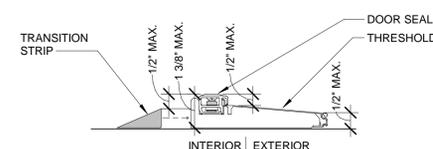
JOB: 2204

SHEET:

**A0.01**



6/14/2022



## 2 VISITABLE ENTRY THRESHOLD

3\"/>

### VISIBILITY NOTES:

- First floor to comply with all visibility standards under city code Sec. 25-12-243, R320. Visibility items are referenced on floor plans.
- Visible bathrooms (R320.3): At least 1 bathroom group must contain the following: A) Minimal net clear opening of 30\"/>

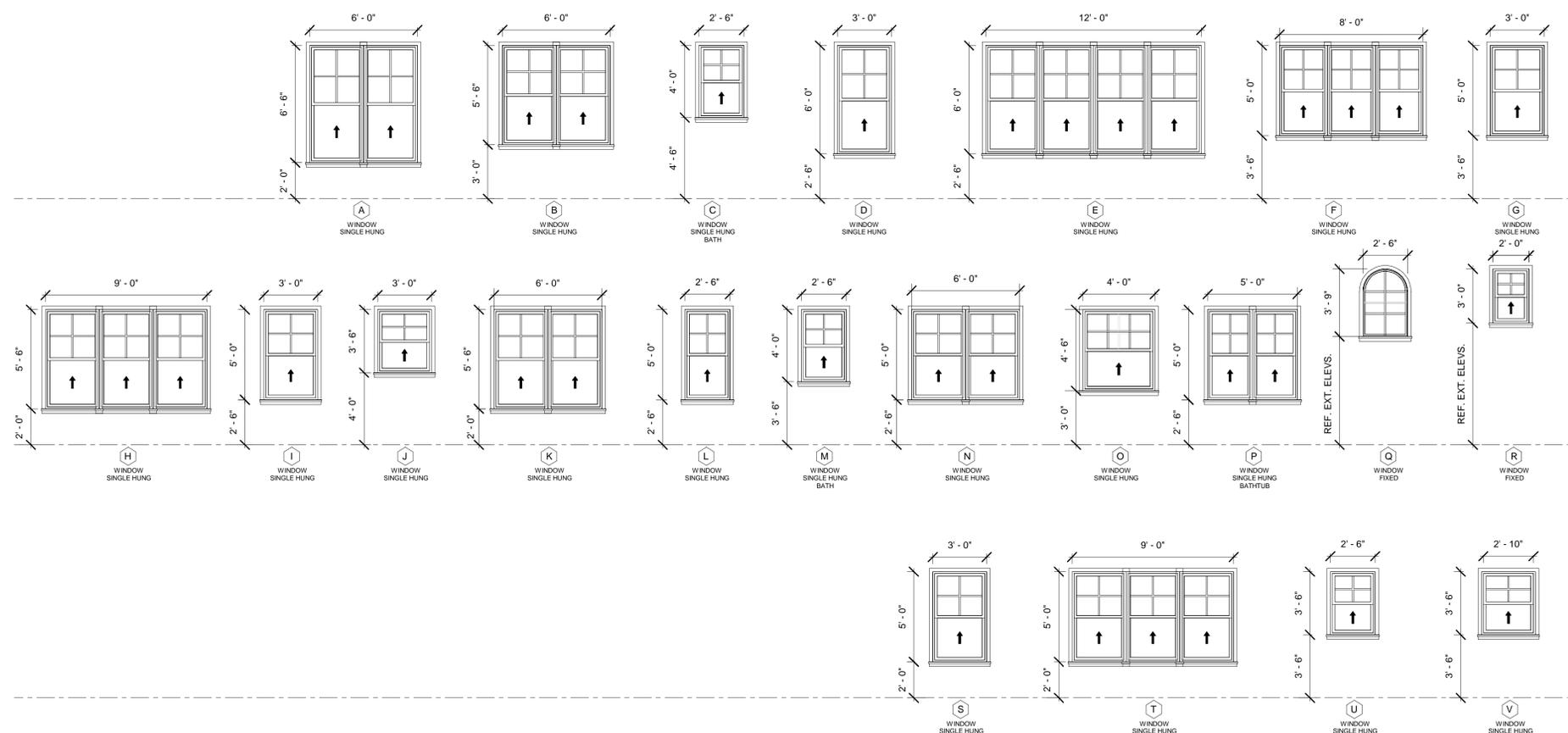
### WINDOW NOTES

- Glazing within 24\"/>

### WINDOW LEGEND

SEE COVER SHEET FOR COMPLETE SYMBOLS LEGEND

- 1 A101 — DETAIL REFERENCE
- T — TEMPERED



## 1 WINDOW TYPES

1/4\"/>

REVISIONS		
NUMBER	DATE	DESCRIPTION

**MCCALLUM RESIDENCE**  
 NEW CONSTRUCTION  
 2607 McCallum Drive, Austin, TX 78703

Window Types  
 CONSTRUCTION DOCUMENTS  
 DATE: 6/14/2022  
 JOB: 2204

SHEET:  
**A0.21**

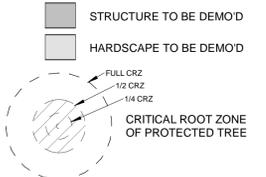
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**GENERAL SITE DEMO NOTES:**

- Existing house and garage have been demolished under permits 2020-144516 & 2020-144517.
- Coordinate all demolition activities with the appropriate trade, agency, utility company, etc., as required.
- Protect all existing utility service lines, indicated or not, and repair and replace any damaged utility service lines.
- Locate, identify, stub off, and disconnect utility services that are not indicated to remain.

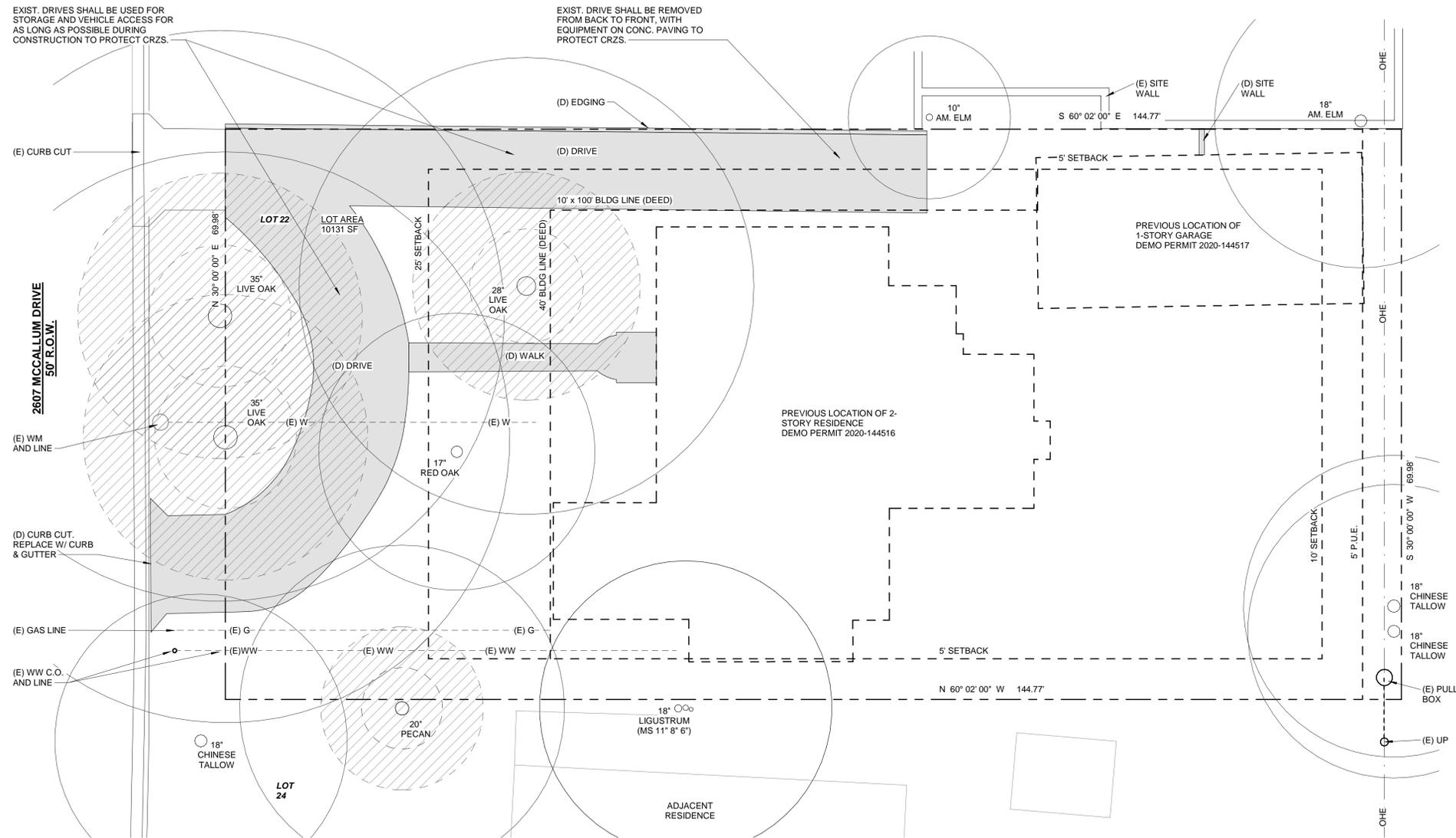
**LEGEND**



6/14/2022

**ABBREVIATIONS**

- (E) EXISTING
- (R) RELOCATED
- (D) DEMOLISH
- CJ CONTROL JOINT
- CRZ CRITICAL ROOT ZONE
- CU CONDENSING UNIT
- EM ELEC METER
- OHE OVERHEAD ELEC
- UGE UNDERGROUND ELEC
- UP UTILITY POLE
- GM GAS METER
- WM WATER METER
- WW WASTE WATER
- IC IMPERVIOUS COVER
- D.S. DOWNSPOUT



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**1 SITE DEMO PLAN**  
 1/8" = 1'-0"

**MCCALLUM RESIDENCE**  
 NEW CONSTRUCTION  
 2607 McCallum Drive, Austin, TX 78703

REVISIONS	
NUMBER	DATE DESCRIPTION

Site Demo Plan  
 CONSTRUCTION DOCUMENTS  
 DATE: 6/14/2022  
 JOB: 2204

SHEET:  
**A0.91**



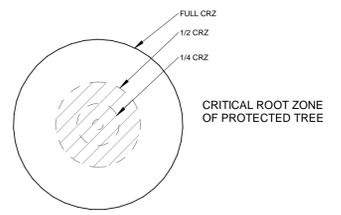
6/14/2022

**GENERAL SITE NOTES**

- Any work that involves cutting or damage to existing conditions shall be repaired to match existing.
- Locate and mark all utilities prior to construction notify underground utility companies 48 hours prior to any excavation. Repair any damaged utility lines at contractor's expense.
- Construction materials shall be delivered via path and site entrance determined in pre-construction meeting.
- Coordinate with owner for special permits required for any temporary blockage of driveways, streets, or parking areas as required during construction.
- Remove all existing construction and landscaping within the footprint of the new construction.
- Contractor shall construct all new grades as indicated. Assume a constant slope between new relative spot elevations.
- Slope grade away from new building a minimum of 4% for 6 feet. Slope new impervious surfaces away from building at 2% (1/4" per foot) for 6 feet minimum.
- Provide a rough broom finish on all new exterior concrete walks.
- Restore existing landscape areas and lawns damaged by construction with sod.
- Provide reinforced HVAC unit, transformer, and generator pads as required by mechanical and electrical. Pad sizes shown are approximate sizes. Concrete pads shall be sized to accommodate manufacturer's recommendations.
- The limits of construction shall include, but not be limited to 12 feet outside of any constructed or renovated area and not to extend beyond the property line.
- Stockpiling of excavated or fill material shall be limited to an area as defined by the Architect / Owner.
- Trim all trees within 4 feet of new building. Coordinate any tree removal or pruning with the city tree permit. Provide city required tree protection.
- Indicated (100.0) finish floor elevation is a reference elevations. Actual finish floor elevation above sea level differs. All elevations are relative to F.F. (100.0) unless noted without parenthesis as 792.2'
- Site information provided by owner. Architect is not responsible for inaccurate site information or problems caused by inaccurate site information.
- Provide one pre-cast concrete splash block at each downspout extending 4 feet from building, unless downspout is tied into storm drain or drains on to concrete surface.

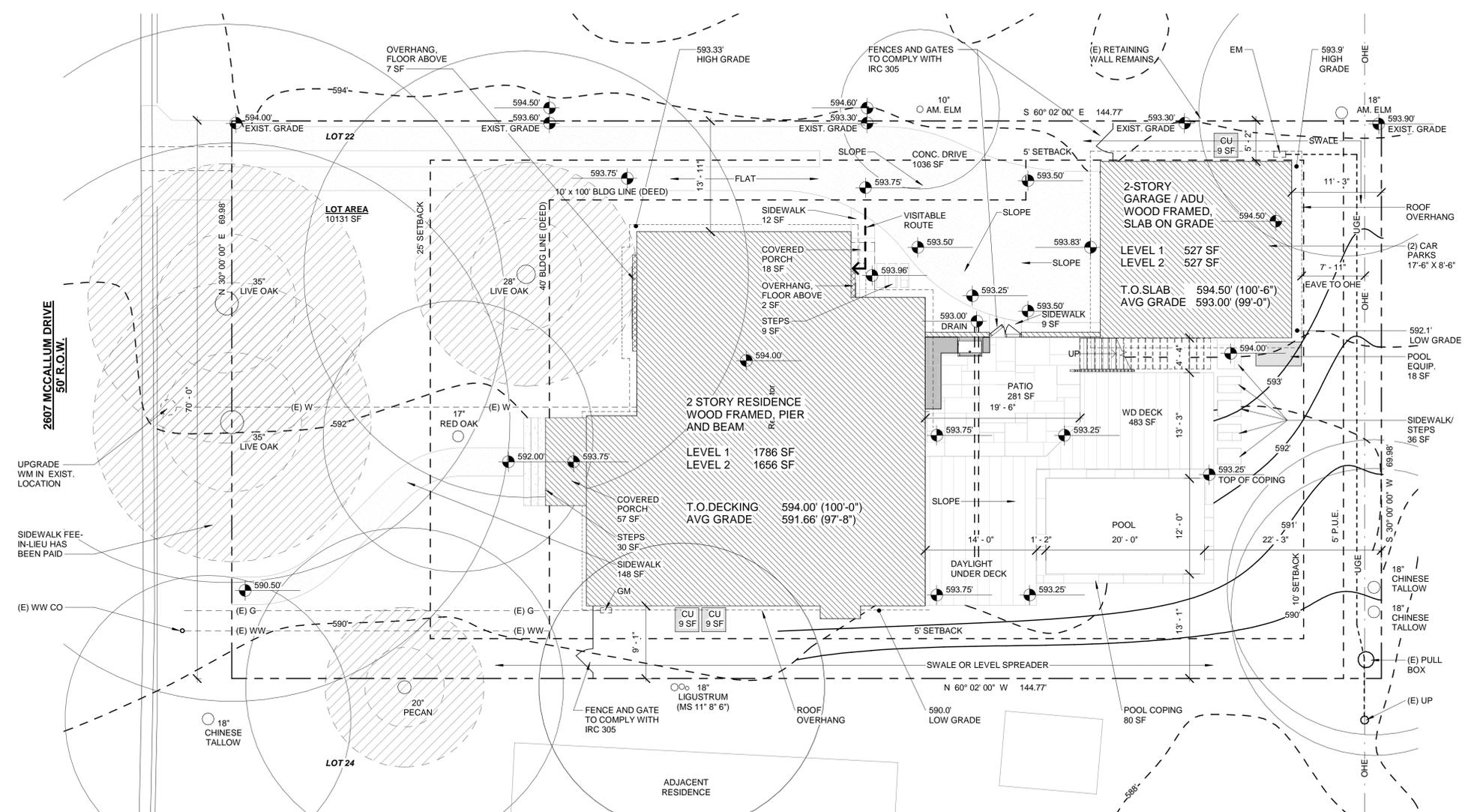
**SITE LEGEND**

- EXISTING CONTOUR
- NEW CONTOUR
- FENCE
- BUILDING ENTRANCE
- SPOT ELEVATION
- NEW STRUCTURE
- IMPERVIOUS COVER
- PORTION OF CANTILEVERED SLAB OVER 1/2 CRZ



**ABBREVIATIONS**

- (E) EXISTING
- (R) RELOCATED
- (D) DEMOLISH
- CJ CONTROL JOINT
- CRZ CRITICAL ROOT ZONE
- CU CONDENSING UNIT
- EM ELEC METER
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- IC IMPERVIOUS COVER
- D.S. DOWNSPOUT



**1 SITE PLAN**  
 1/8" = 1'-0"

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 NEW CONSTRUCTION  
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REVISIONS

NUMBER	DATE	DESCRIPTION

Site Plan  
 CONSTRUCTION DOCUMENTS  
 DATE: 6/14/2022  
 JOB: 2204

SHEET:

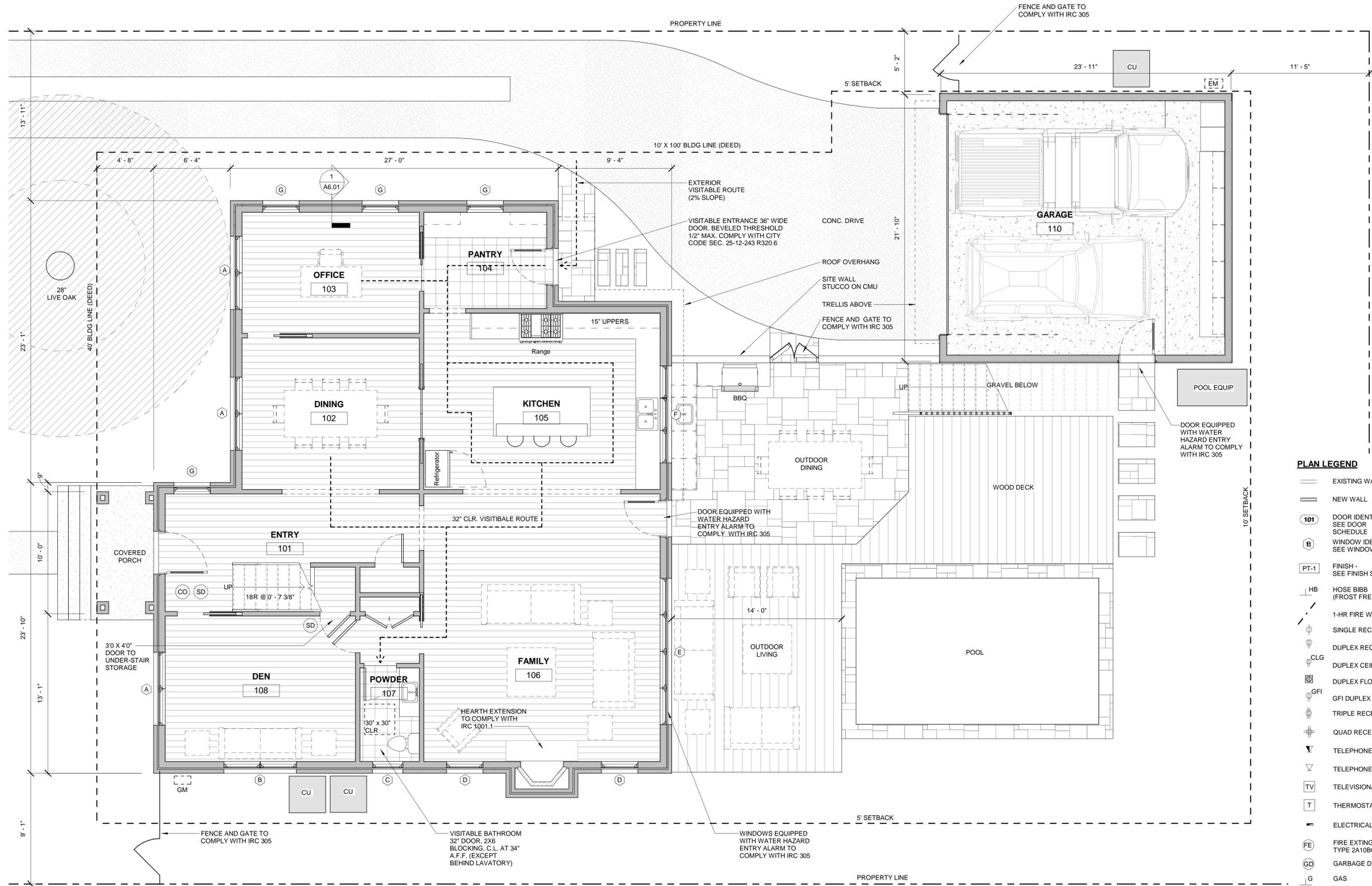
**A1.01**







6/14/2022



**PLAN LEGEND**

- EXISTING WALL
- NEW WALL
- 101 DOOR IDENTITY - SEE DOOR SCHEDULE
- E WINDOW IDENTITY - SEE WINDOW TYPES
- PT-1 FINISH - SEE FINISH SCHEDULE
- HB HOSE BIBB (FROST FREE)
- 1-HR FIRE WALL
- SINGLE RECEPTACLE
- CLG DUPLEX RECEPTACLE
- DUPLEX CEILING RECEPTACLE
- GFI DUPLEX RECEPTACLE
- TRIPLE RECEPTACLE
- QUAD RECEPTACLE
- ⊏ TELEPHONE/DATA COMBO OUTLET
- ▽ TELEPHONE OUTLET
- TV TELEVISION/CABLE JACK
- T THERMOSTAT
- ELECTRICAL PANEL
- FE FIRE EXTINGUISHER TYPE 2A10BC
- GD GARBAGE DISPOSAL
- G GAS
- W WATER

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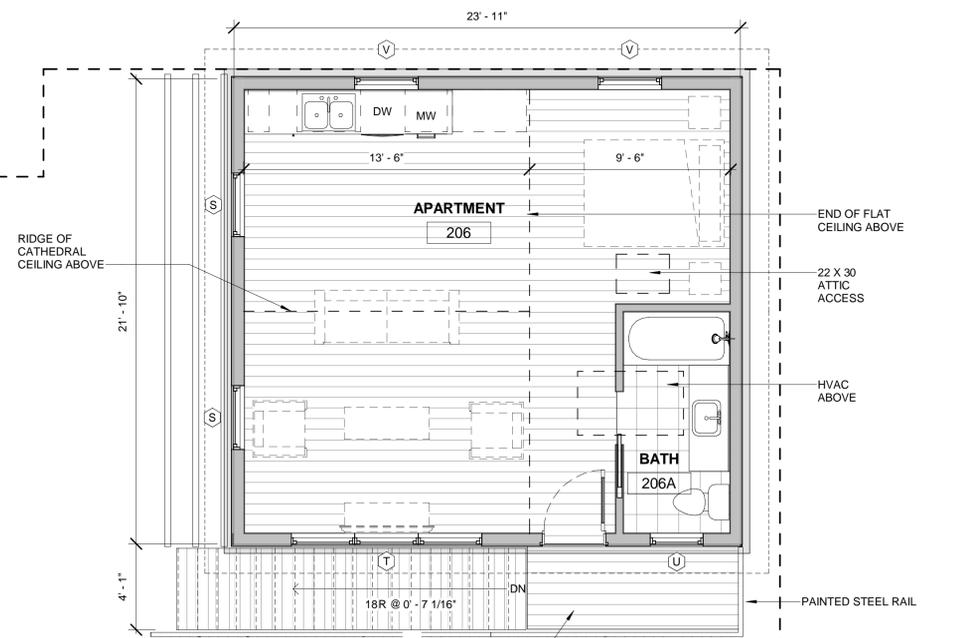
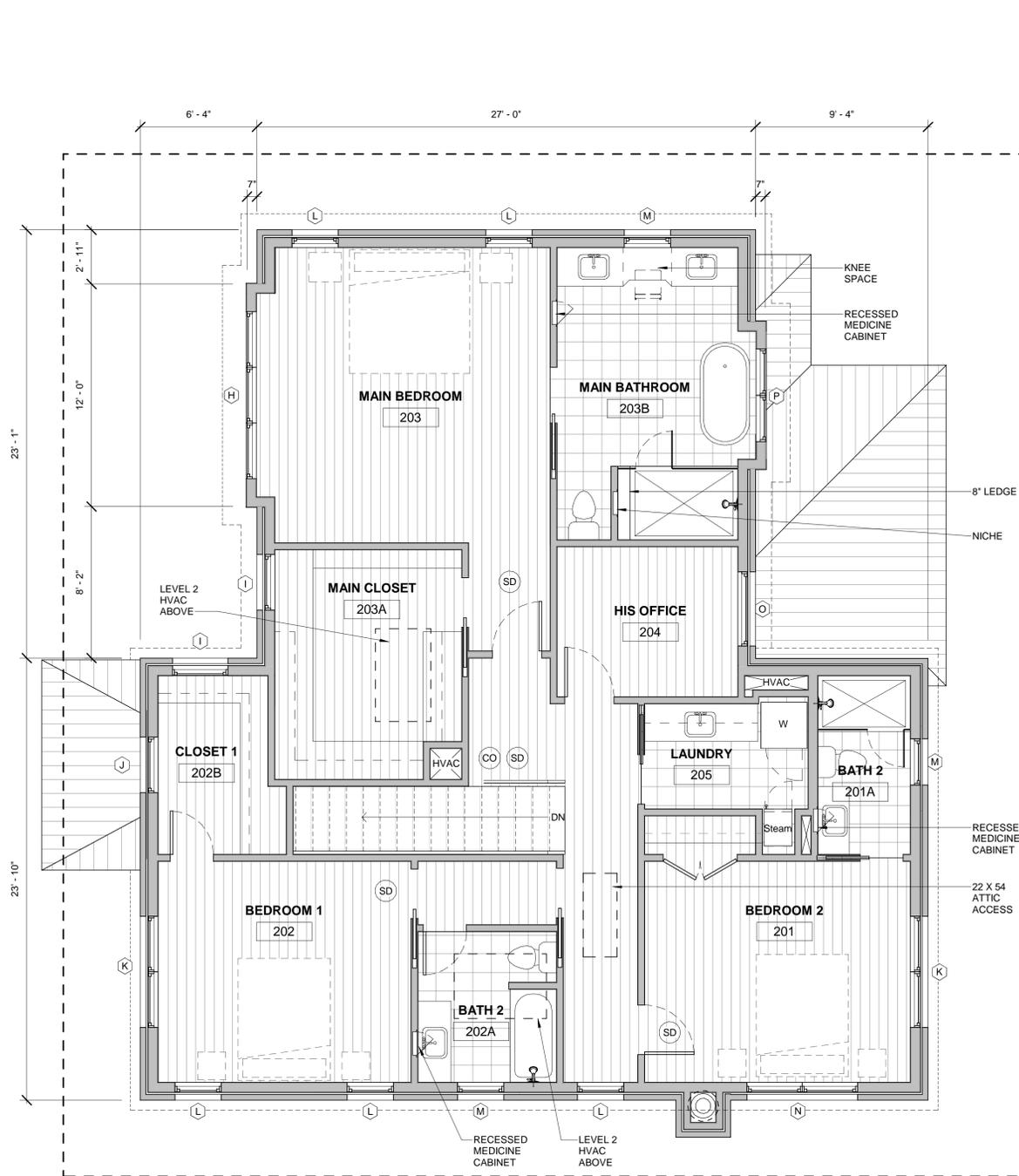
Level 1 Floor Plan  
 CONSTRUCTION DOCUMENTS  
 DATE: 6/14/2022  
 JOB: 2204

SHEET:

**A2.01**

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**1 LEVEL 1 FLOOR PLAN**  
 1/4" = 1'-0"



**LANDING**  
 1X6 LEVEL DECK BOARDS  
 TAPERED PT SLEEPERS  
 DECKING ON SLOPED JOISTS,  
 REF. STR.

**PLAN LEGEND**

- EXISTING WALL
- == NEW WALL
- 101 DOOR IDENTITY - SEE DOOR SCHEDULE
- B WINDOW IDENTITY - SEE WINDOW TYPES
- PT-1 FINISH - SEE FINISH SCHEDULE
- HB HOSE BIBB (FROST FREE)
- 1-HR FIRE WALL
- ⊕ SINGLE RECEPTACLE
- ⊕ DUPLEX RECEPTACLE
- CLG DUPLEX CEILING RECEPTACLE
- ⊕ DUPLEX FLOOR RECEPTACLE
- GFI GFI DUPLEX RECEPTACLE
- ⊕ TRIPLE RECEPTACLE
- ⊕ QUAD RECEPTACLE
- TV TELEPHONE/DATA COMBO OUTLET
- ∇ TELEPHONE OUTLET
- TV TELEVISION/CABLE JACK
- T THERMOSTAT
- ELECTRICAL PANEL
- FE FIRE EXTINGUISHER TYPE 2A10BC
- GD GARBAGE DISPOSAL
- G GAS
- W WATER

**MCCALLUM RESIDENCE**  
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REVISIONS

NUMBER	DATE	DESCRIPTION

Level 2 Floor Plan  
 CONSTRUCTION DOCUMENTS  
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 JOB: 2204

SHEET:

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SOLAR READY NOTES

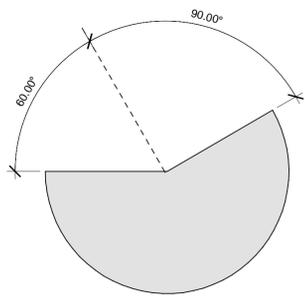
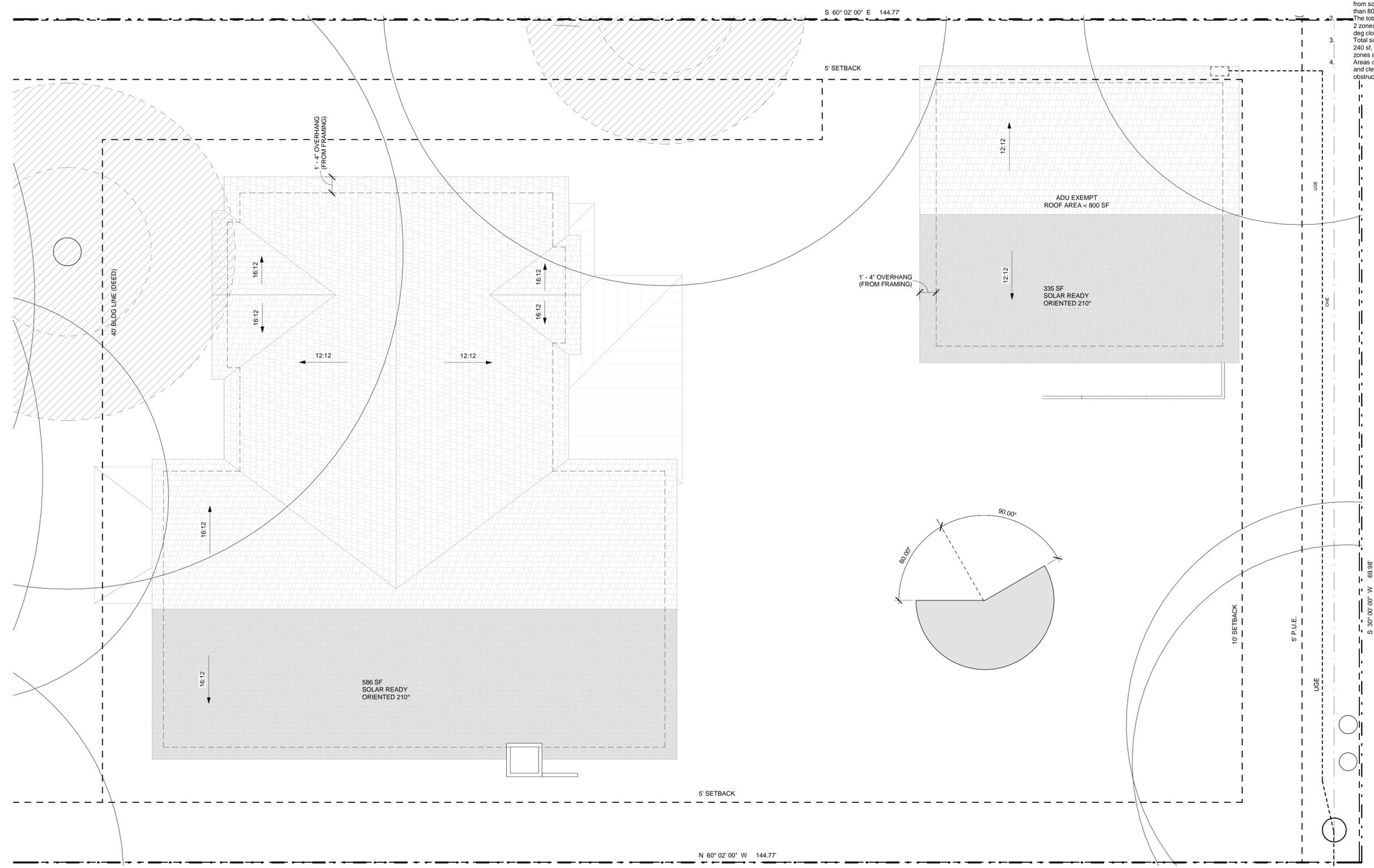
1. Areas of roof covered by tree canopies more than 50% of annual daylight hours are exempt from solar ready, as are dwelling units less than 800 sf.
2. The total solar area may be comprised of 1 or 2 zones, both having orientation between 300 deg clockwise to 90 deg of true north.
3. Total solar ready zones shall not be less than 240 sf, with one at least 100 sf. No solar ready zones are to be less than 6'-0" on a side.
4. Areas designated as solar ready are to be free and clear of any and all roof penetrations or obstructions.



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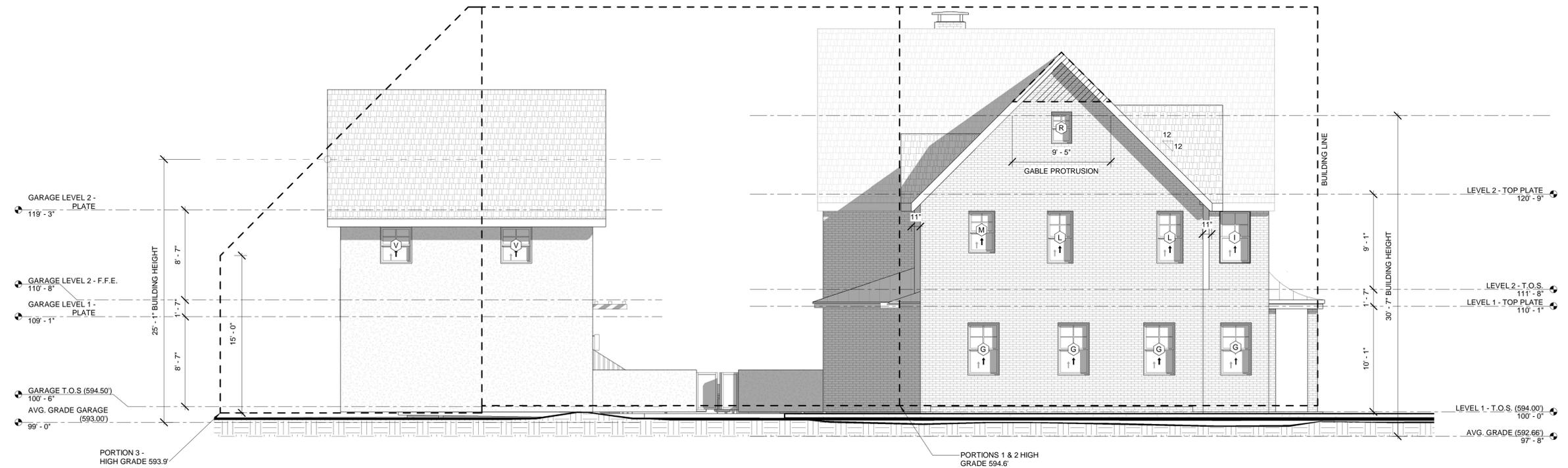
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NUMBER	DATE	DESCRIPTION

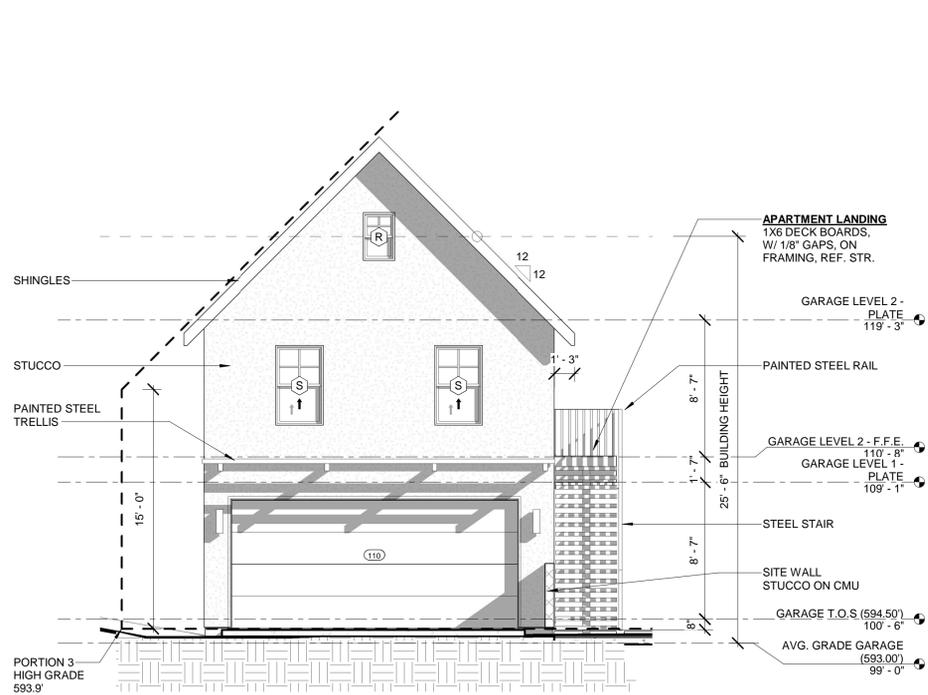
Roof Plan - Solar  
 CONSTRUCTION DOCUMENTS  
 DATE: 6/14/2022  
 JOB: 2204

SHEET:  
**A2.03**

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**2 NORTH ELEVATION**  
3/16" = 1'-0"



**3 GARAGE WEST ELEVATION**  
3/16" = 1'-0"



**1 WEST ELEVATION**  
3/16" = 1'-0"

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REVISIONS	
NUMBER	DATE DESCRIPTION

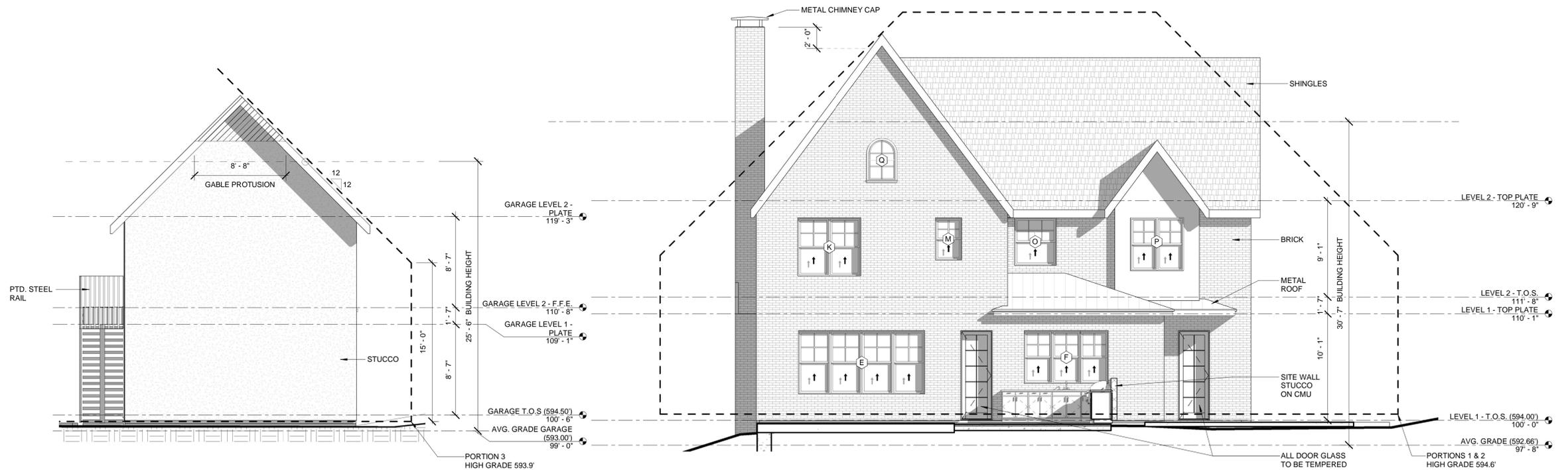
**Building Elevations**

CONSTRUCTION DOCUMENTS  
DATE: 6/14/2022  
JOB: 2204

SHEET:

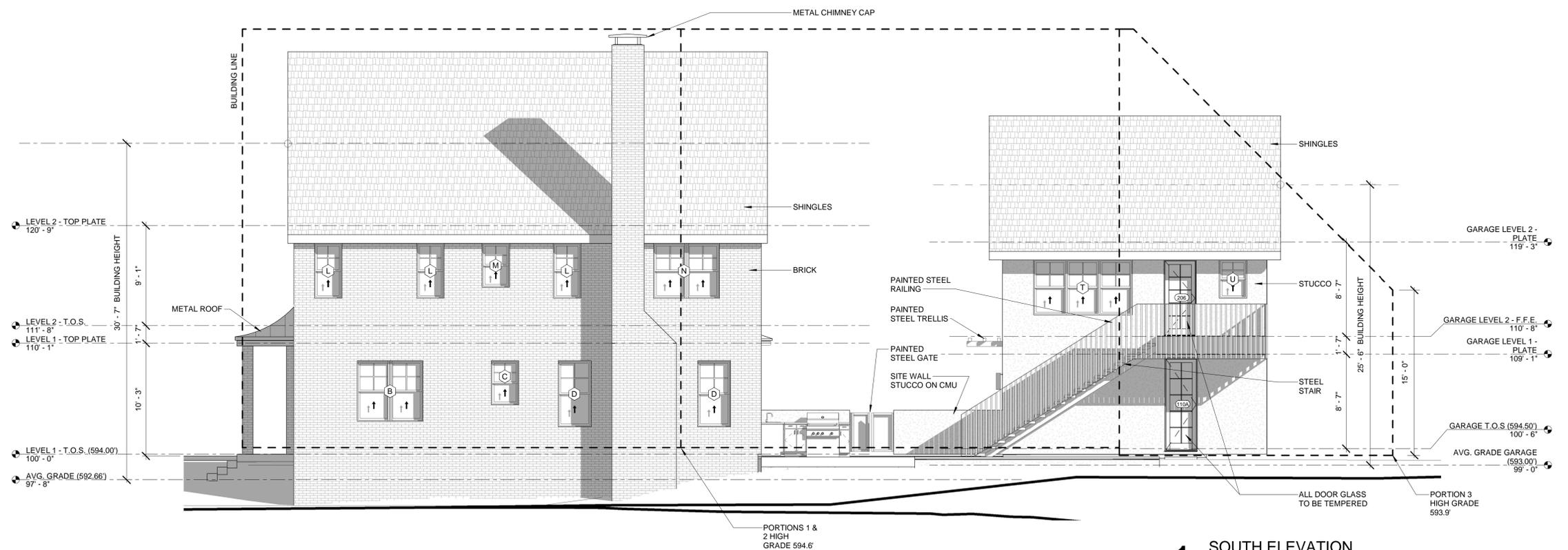
**A4.01**

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**3 GARAGE EAST ELEVATION**  
 3/16" = 1'-0"

**2 EAST ELEVATION**  
 3/16" = 1'-0"



**1 SOUTH ELEVATION**  
 3/16" = 1'-0"

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REVISIONS		
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**Building Elevations**

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SHEET:

**A4.02**