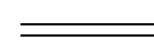
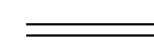




Analysis of Existing Building at
1403 EAST CESAR CHAVEZ STREET
Historic Landmark Commission Hearing



MAY 04, 2022



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1. THE SIGNIFICANCE OF THE CONNECTION TO THE BALAGIA FAMILY IS TENUOUS AT BEST.

- a. Granting Historic Designation to the actual building that housed their produce company would be very understandable.
 - i. However, that actual produce building was torn down by the City of Austin to make way for Convention Center and Convention Center Hilton (both owned by the city).
 - ii. The 1983 article about the renovation even states that the projects were “not necessarily historic.” **(See page 3)**
- b. Extending the historic significance to their home (which has substantially modified over the years), we believe, is not consistent with the intent or scope of typical Historic preservation guidelines.
 - i. Because... if it was consistent, then the houses of **every person** who was a business owner within city of Austin could then be considered a historic landmark.
 - ii. The guidelines essentially look for the following;
 - 1. Historically significant person lived or stayed there.
 - 2. Historic event occurred there.
 - 3. Critical or unusual example of architectural style. (However, this is typically applied to the original style, not later alterations).
- c. The connection to the Balagia family was not deemed significant on another house (3303 Southill Circle) that was recently demolished here in the City of Austin. **(See pages 4-5)**

2. CHARACTERIZATION THAT BUILDING HAS HIGH INTEGRITY OF ORIGINAL FABRIC IS NOT CORRECT.

- a. The house was originally built circa 1900 and has had numerous additions and renovations that have altered the character and removed original building fabric. **(See current floor plan on page 7)**
- b. **The additions are illustrated on the Sanborn Maps** from 1900, 1935, and 1962 respective to building location and increased size of footprint. **(See page 6)**
 - i. **The house was not originally built in a craftsman-like style.** The original porch width was only the width of the original 1900 structure. **(See pages 8-10)**
 - ii. The original structure was a typical wood frame, wood siding with single gable roof. **(See pages 11-15)**
 - iii. Concrete versus wood porch deck (concrete was often used as the replacement for the first porch because it is more durable than wood). A depression era house generally would have been built of the least expensive materials. **(See pages 32-38)**
- c. The entire current roof is sheathed with modern plywood and has been reframed with new and old lumber. A house of this vintage would have had been decked with shiplap. **(See pages 39-45)**
- d. To our knowledge, there are not pictures of the structure showing its appearance before 1983. The 1983 article references a remodel. **Thus, they could have changed or enhanced the “craftsman” appearance in 1983. (See page 3)**

3. EXTREMELY POOR CURRENT CONDITION OF THE BUILDING.

- a. As evidenced by two separate independent structural engineering reports and a third-party building inspection report **(See pages 46-47)**, the property is in exceedingly poor condition due to:
 - i. Water damage and rot. **(See pages 46-47)**
 - ii. Mold / mildew. **(See page 47)**
 - iii. Termite damage to the foundation. **(See page 46)**
 - iv. Fragility of the original shiplap wall sheathing. **(See page 46)**
 - v. Multiple poorly constructed additions and modifications. **(See pages 46-47)**
 - vi. Non-code-compliant conditions to the structure and it's foundations. **(See pages 46-47)**
- b. In order to repair, renovate, or be made code compliant, the building would need to be lifted. Lifting the building would require removal of the front porch and fireplace and would likely cause irreversible damage to the building. **(See page 47)**

4. ECONOMICALLY AND TECHNICALLY INFEASIBLE.

- a. **US Department of the Interior Standards for Preservation or Rehabilitation** state that The Standards will be applied taking into consideration the **economic and technical feasibility** of each project.
 - i. **Renovation or Rehabilitation of this structure will be cost prohibitive due to the poor conditions.**
- b. The Owner's Bank will not grant a loan for the renovation of this house due to the poor condition.
- c. The Owner's Insurance companies will not insure the structure due to the poor condition.

5. THE OWNER OFFERS TO CREATE HABS DRAWINGS AT OWNER'S EXPENSE AND PROVIDE PHOTOGRAPHY TO DONATE TO THE AUSTIN HISTORY CENTER.

Sunday, November 6, 1983Austin American-Statesman

Realtors committee to honor

By PAMELA JOHNSON
American-Statesman Staff

The people responsible for three restoration projects will be honored Tuesday evening by the Austin Board of Realtors Community Revitalization Committee.

"Community revitalization is effective when you combine private and public sectors," said Martin Gonzalez, committee chairman. "We chose a structure that was a catalyst in the neighborhood in bringing the rest of the neighborhood up to standard, or would in the near future have that effect. Also, we tried not to let the amount of money spent influence our decision."

The committee did not necessarily select historic buildings because the members believe several other organizations adequately recognize those projects.

This year's winners are a single-family home at 1403 E. First St. in the residential category; the Child and Family Service Center at 2001 Chicon St. in the small commercial division; and the Faulkner House at Martin Luther King Boulevard and Rio Grande Avenue in the large commercial category.

Gonzalez said more than 30 buildings were nominated for the awards.

The home on East First was remodeled under the direction of the city's Office of Neighborhood Revitalization for Frances and Salvador Rodriguez. Their home, built in the 1930s, had deteriorated to the point that several rooms could not be used because of rain damage. The renovation project was a cooperative effort, with \$20,000 supplied by the city and \$1,500 by the Board of Realtors.

In addition to reroofing the home, new insulation and drywall were installed, the home was painted inside and out and rotted boards were replaced. The kitchen was completely redone with new ceiling, floor, countertops, cabinets and sink. Contractors for the project were Texas Western & Associates.

J.B. Brannen, executive director of Child and Family Service, said renovation and addition for the community service organization's new location cost \$375,000. Much of the exterior work was done by board and staff volunteers who spent weekends replacing rotted boards, repairing screens, scraping and painting and working on landscaping.

"We had some initial apprehension from the neighborhood because we are right across the street from the UT expansion," Brannen said.



The single-family home at 1403 E. First St. is the award recipient in the residential category. The remodeled Child and Family Center, right, is being honored in the small commercial

1983 PHOTO DOES NOT NECESSARILY REFLECT 1935 APPEARANCE. NO 1935 PHOTOS EXIST.

StatesmanSection F

Austin restoration projects



"But they love us to death now because they feel East Austin is finally getting some of the United Way money."

The property, known as the old Franzetti family home, was purchased with a \$100,000 contribution from the Trammell Crow Co. Brannen said individuals along with the Austin Community Foundation, the Meadows Foundation in Dallas and the Lola Wright Foundation in Austin have donated \$164,778 to Child and Family Service's capital fund drive to help pay for the project.

The 52-year-old house had 2,000 square feet. Another 5,500 square feet, built to complement the house, were added under the direction of general contractor Tommy Kozlowski.

The Faulkner House restoration was inspired by DeLois Faulkner who discovered the dilapidated house while looking for a site for an alcoholism rehabilitation and counseling center.

"I hadn't planned to move to Austin," she said. "I was looking for a place in Dallas. But when I drove by I knew this was the right place."

The home was built in 1898 by Dr. Goodall Wooten for his bride. It was a typical square two-story structure with rooms on both sides of a central hall.

Also added in 1910 are rooms on the west side housing a library, a sitting room adjacent to the daughter's room, and a master sitting room and bath. In approximately 1930 a small elevator was added because Dr. Wooten had emphysema. A large porch was enclosed and was possibly used as a sun or garden room. Mrs. Wooten was an avid gardener and is credited with bringing the first azaleas to Austin. Crepe myrtle trees she planted are now taller than the three-story house.

Jim Amis, president of Faulkner Interests and an architect, directed much of the work. He said Nieman-Marcus redecorated the house in the 1920s, and the house may have been the first in Austin with wall-to-wall carpeting.

The original ground floor plan remains virtually intact, and only minor changes were made on the second floor. The third floor attic was partitioned for small counseling rooms, which now are being used as offices by the rapidly expanding foundation staff.

Restoration of the home, which is on the National Register of Historic Places, took almost a year and cost approximately \$1 million, including landscaping and furniture. The interior decorating was directed by Lennie Lawler of Dallas. Bell, Klein and Hoffman were the restoration architects.

D.2 - 1

HISTORIC LANDMARK COMMISSION
NOVEMBER 18, 2019
DEMOLITION AND RELOCATION PERMITS
HDP-2019-0534
3303 SOUTHILL CIRCLE

PROPOSAL

Demolish a ca. 1963 house.

ARCHITECTURE

Split-level brick veneer house with symmetrical configuration, side-gabled roof, a full-width columned porch, and front-facing garage. Decorative bars cover the street-facing windows, and the first-floor windows sit at ground level. A decorative pediment adorns the front door. A rear addition and deck have been added.

RESEARCH

3303 Southill Circle was built in 1963 by the Carret Corporation. Its first known owner-occupants were John Coyle White and his wife Mary. White's long career in Texas politics spanned the latter half of the twentieth century. During this time, he served as Texas Commissioner of Agriculture (and retains the status of longest-serving Commissioner), U.S. Deputy Secretary of Agriculture, and chairman of Democratic National Committee.

At the time of his election to office in 1950, White was the youngest candidate ever elected to statewide office and the youngest Commissioner of Agriculture in the United States. That year, *Life* magazine named him one of the top ten "outstanding young men" in the nation because of this, and the state Democratic chairman dubbed him a "giant-killer." White's humble roots as the son of a North Texas sharecropper during the Great Depression fueled his passion for advocating for Texas farmers through legislation. He was elected to the position 12 more times throughout his career, resigning only to accept a position as the U.S. Deputy Secretary of Agriculture in 1977.

White was a conservationist and supporter of the Civil Rights movement, integrating the Texas Department of Agriculture for the first time in the 1960s. During White's ownership of the house, he served President John F. Kennedy as an adviser on international agricultural issues. White also became a delegate to the Democratic National Convention, later chairing the Democratic National Committee under President Carter (1978-1981).

After Mary J. White sold the home in 1970, it was purchased by the Balagia family. S. Jack Balagia was a World War II veteran, and, after leaving the family produce business, became one of Austin's leading insurance salesmen and real estate brokers. Balagia served as president of many charitable organizations, vice-president of the Austin Club and Austin Country Club, and vice-chairman of the Austin Urban Renewal Agency. In the late 1960s and early 1970s, he served on the Texas Judicial Qualifications Commission and the Texas Film Commission.

Sophia Koury Balagia was as active as her husband, serving on the boards of the Austin Public Library and the Austin Mental Health Association and helping to establish the KLRU annual fundraising auction. The Balagia family were devoted leaders in the Catholic Church, and actively supported the University of Texas. In 2003, the S. Jack and Sophia K. Balagia Presidential Scholarship was established in their honor.

STAFF COMMENTS

The applicant has indicated that the porch posts were changed after the Balagia family purchased the property. No permits for this alteration are available.

Designation Criteria—Historic Landmark

- 1) The building is more than 50 years old.

D. 2- 2

- 2) The building appears to retain high to moderate integrity. If the existing porch posts were changed less than 50 years ago, it may render the building ineligible under this criterion.
- 3) Properties must meet two criteria for landmark designation (Land Development Code §25-2-352). 3303 Southill Circle may meet two criteria for designation.
- a) *Architecture*. The house displays Colonial Revival influences, predominant in this era of residential building in Austin, with a split-level plan. The split-level, while common in other parts of the country, is a rare midcentury form in Austin.
 - b) *Historical association*. The house is associated with State Agricultural Commissioner John Coyle White.
 - c) *Archaeology*. The house was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - d) *Community value*. The house does not possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
 - e) *Landscape feature*. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

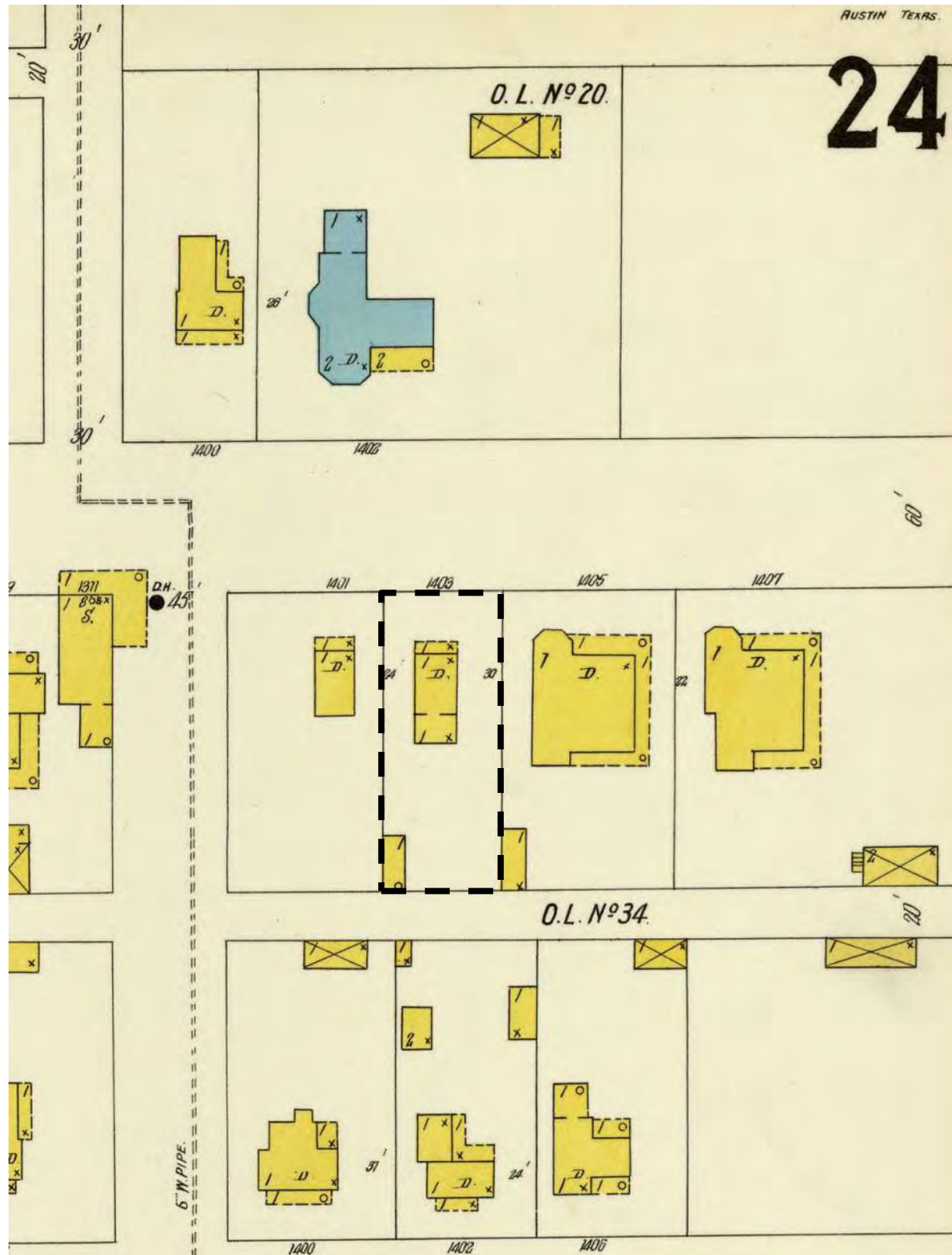
STAFF RECOMMENDATION

Consider initiation of historic zoning based on architecture and historical association with John Coyle White. Should the Commission choose to release the demolition permit, encourage rehabilitation and adaptive re-use or relocation, and require completion of a City of Austin Documentation Package, consisting of photographs of all elevations, a dimensioned sketch plan, and a narrative history, for archiving at the Austin History Center.

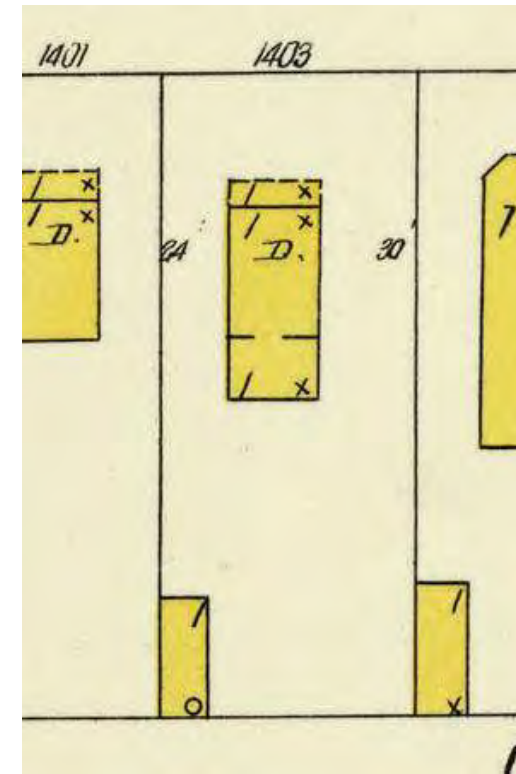


FOLDER DETAILS

Permit/Case:	2019-195569 PR
Reference File Name:	2019-195569 PR
Description:	Total demo of an sfr circa 1963 approx. 3700 sf
Sub Type:	R- 645 Demolition One Family Homes
Work Type:	Demolition
Project Name:	3303 SOUTHILL CIR
Status:	Approved
Application Date:	Oct 2, 2019
Issued:	Nov 22, 2019
Expiration Date:	Mar 2, 2022
Related Folder:	Yes



1900 SANBORN MAP (CONTEXT)



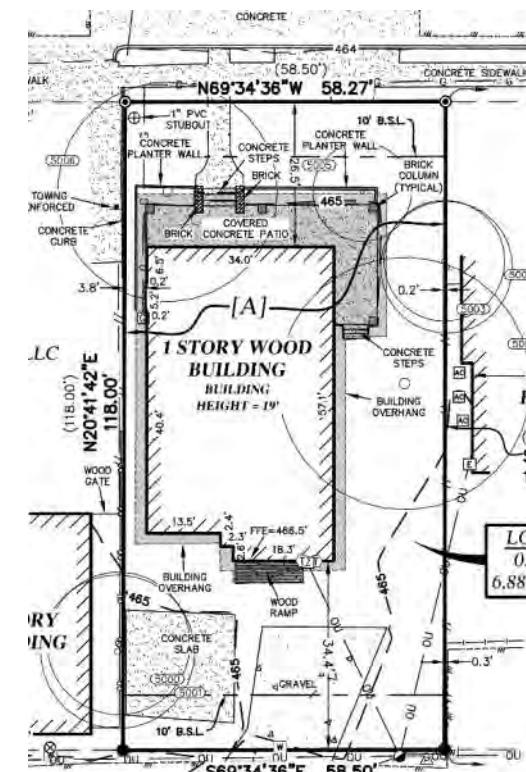
1900 SANBORN MAP



1935 SANBORN MAP

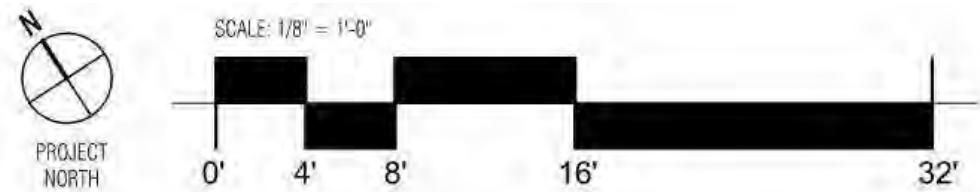
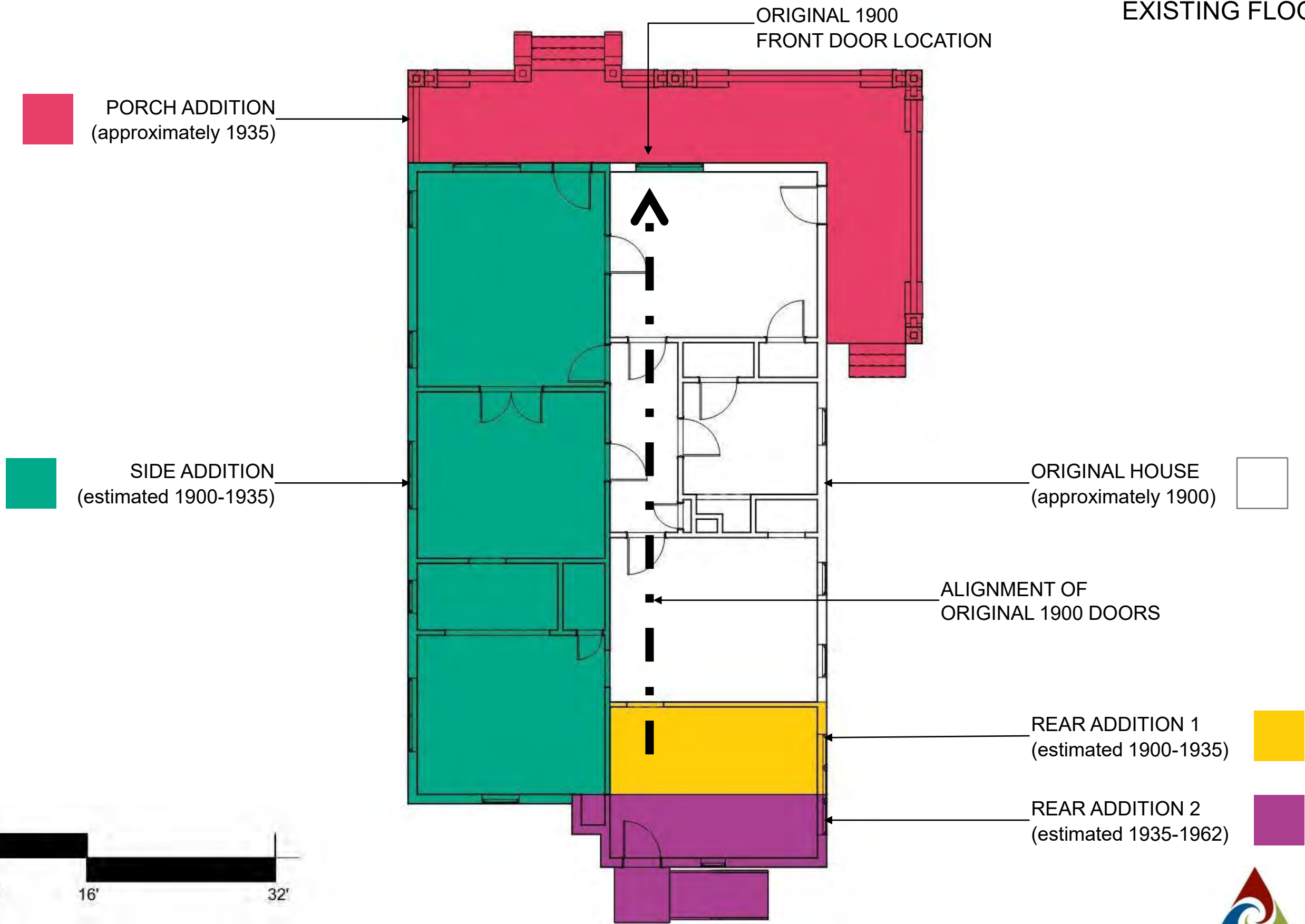


1962 SANBORN MAP



2022 ALTA SURVEY

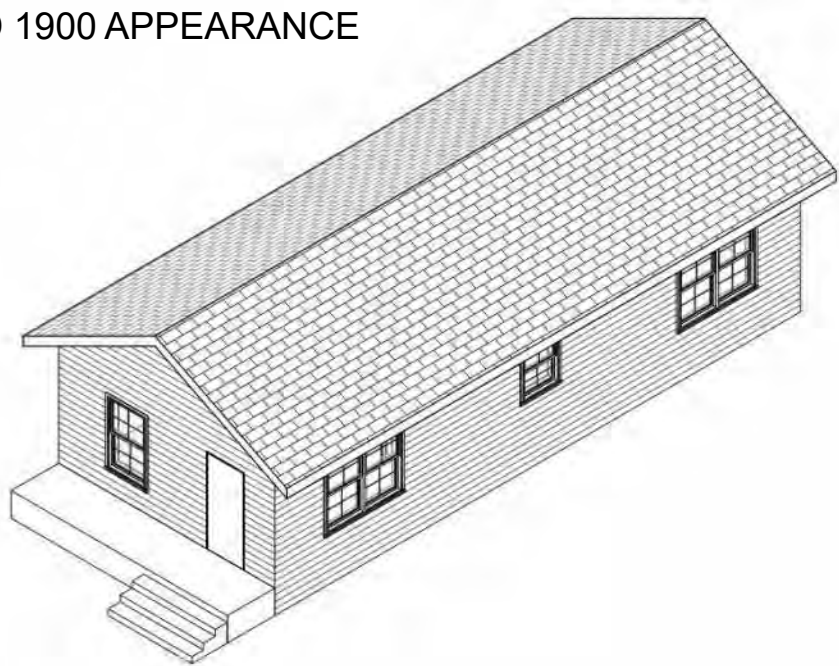
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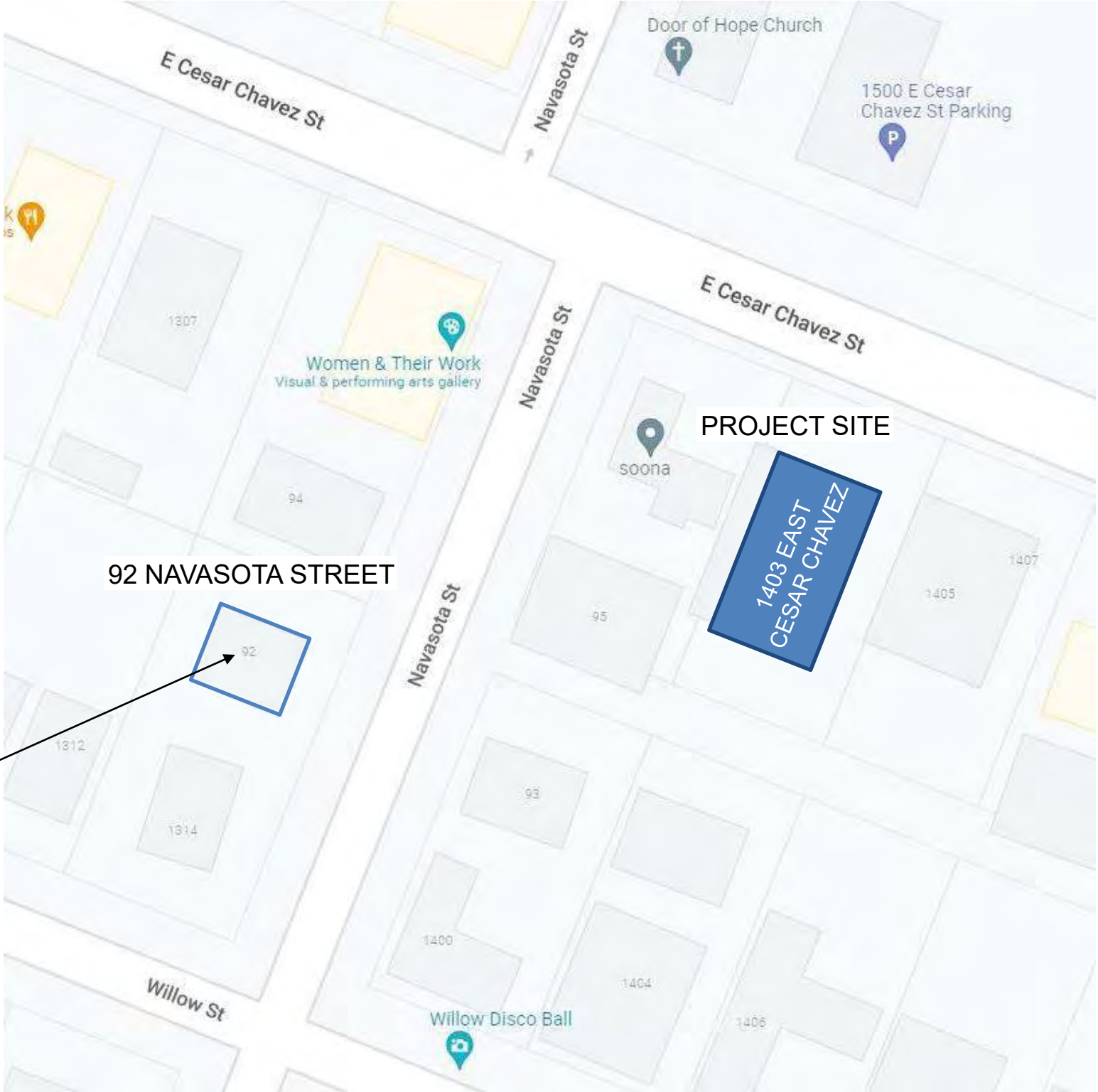
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1403 EAST CESAR CHAVEZ STREET
SIMILAR HOMES NEARBY

APPROXIMATED 1900 APPEARANCE



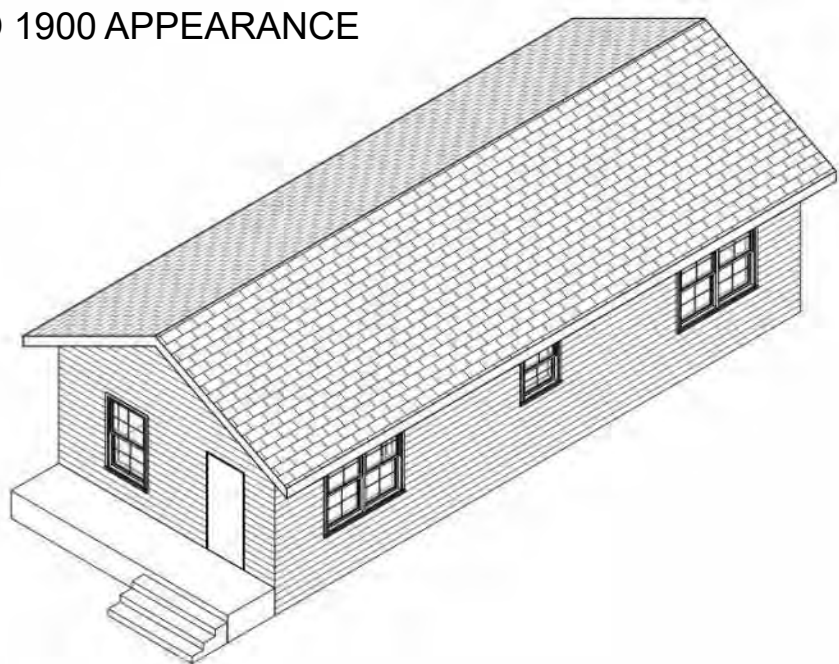
92 NAVASOTA STREET



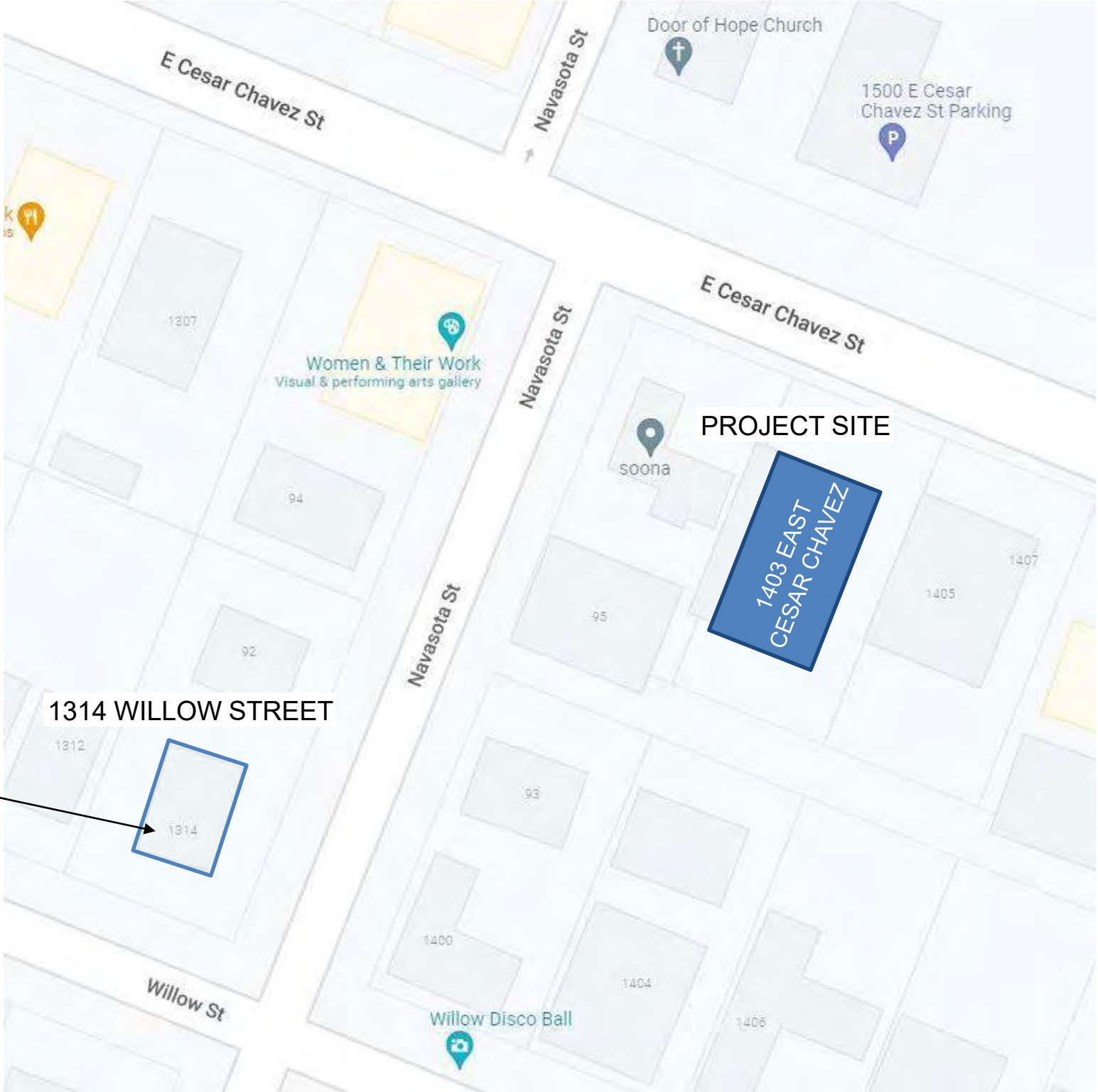
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1403 EAST CESAR CHAVEZ STREET
SIMILAR HOMES NEARBY

APPROXIMATED 1900 APPEARANCE

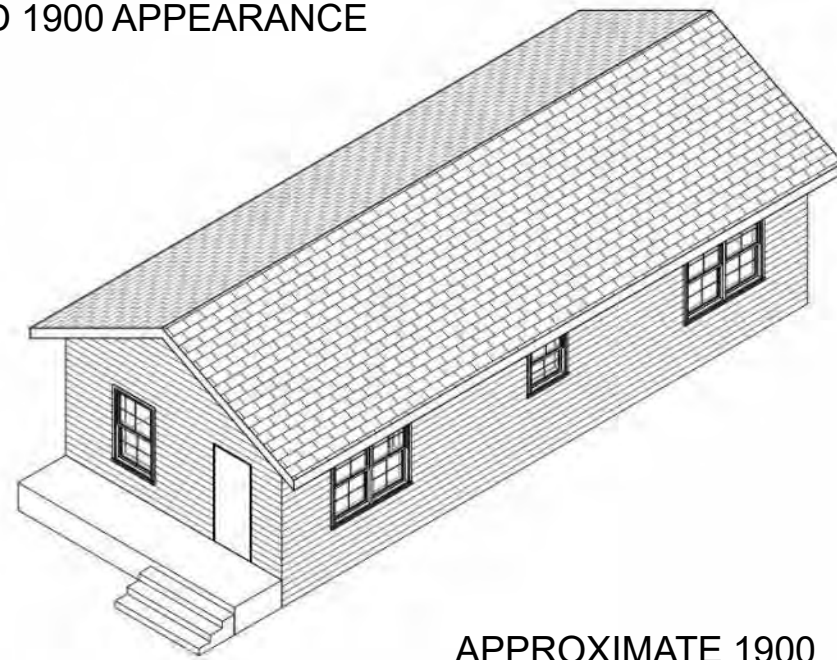


1314 WILLOW STREET



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APPROXIMATED 1900 APPEARANCE



APPROXIMATE 1900
ORIGINAL HOUSE



1403 EAST CESAR CHAVEZ STREET

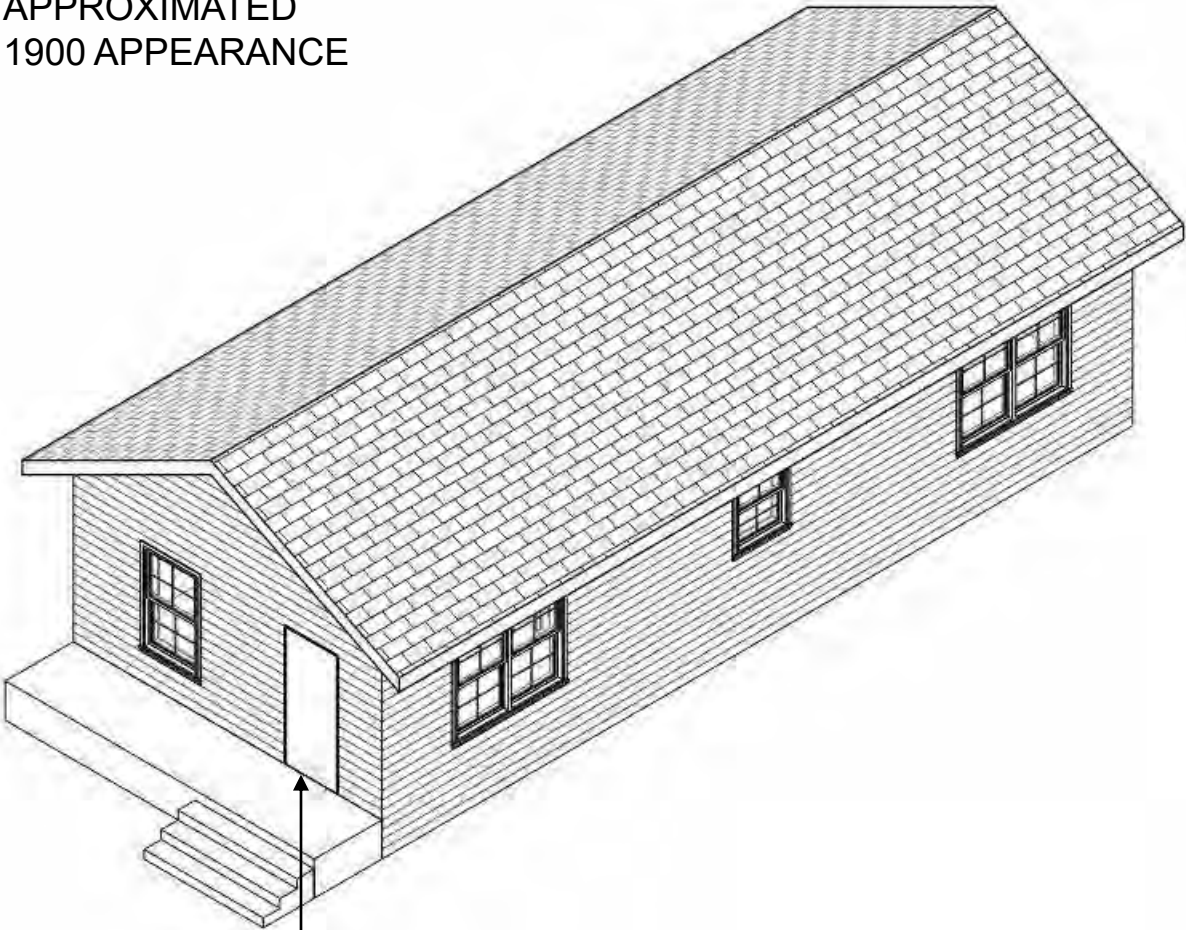


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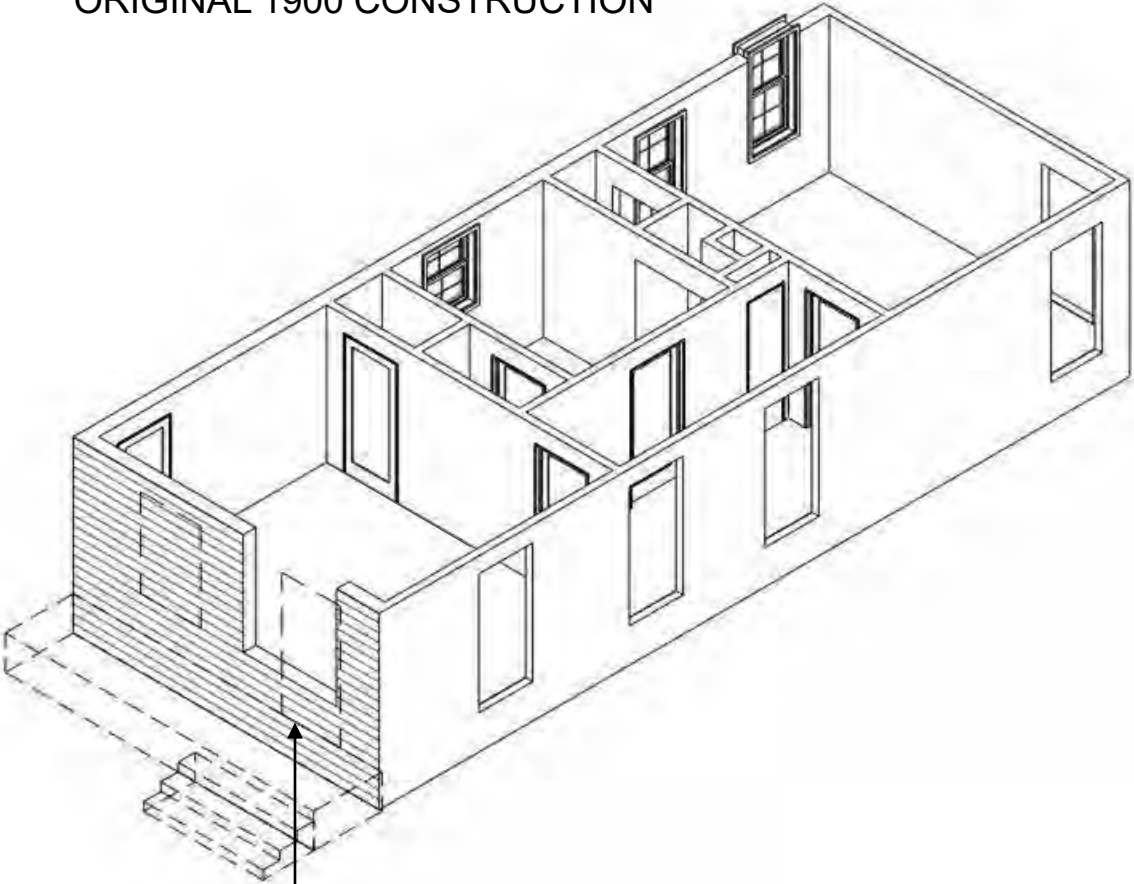
1314 WILLOW STREET

APPROXIMATED
1900 APPEARANCE



ORIGINAL 1900
FRONT DOOR LOCATION

REMAINING FABRIC FROM
ORIGINAL 1900 CONSTRUCTION



ORIGINAL 1900
FRONT DOOR LOCATION

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ALIGNMENT OF ORIGINAL 1900 DOORWAYS



ORIGINAL FRONT ROOM FLOOR AND CLOSET

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ORIGINAL 1900 EXTERIOR
WINDOW LOCATION



BACK ROOM – VIEW FACING EAST

ORIGINAL 1900 EXTERIOR
WINDOW LOCATION

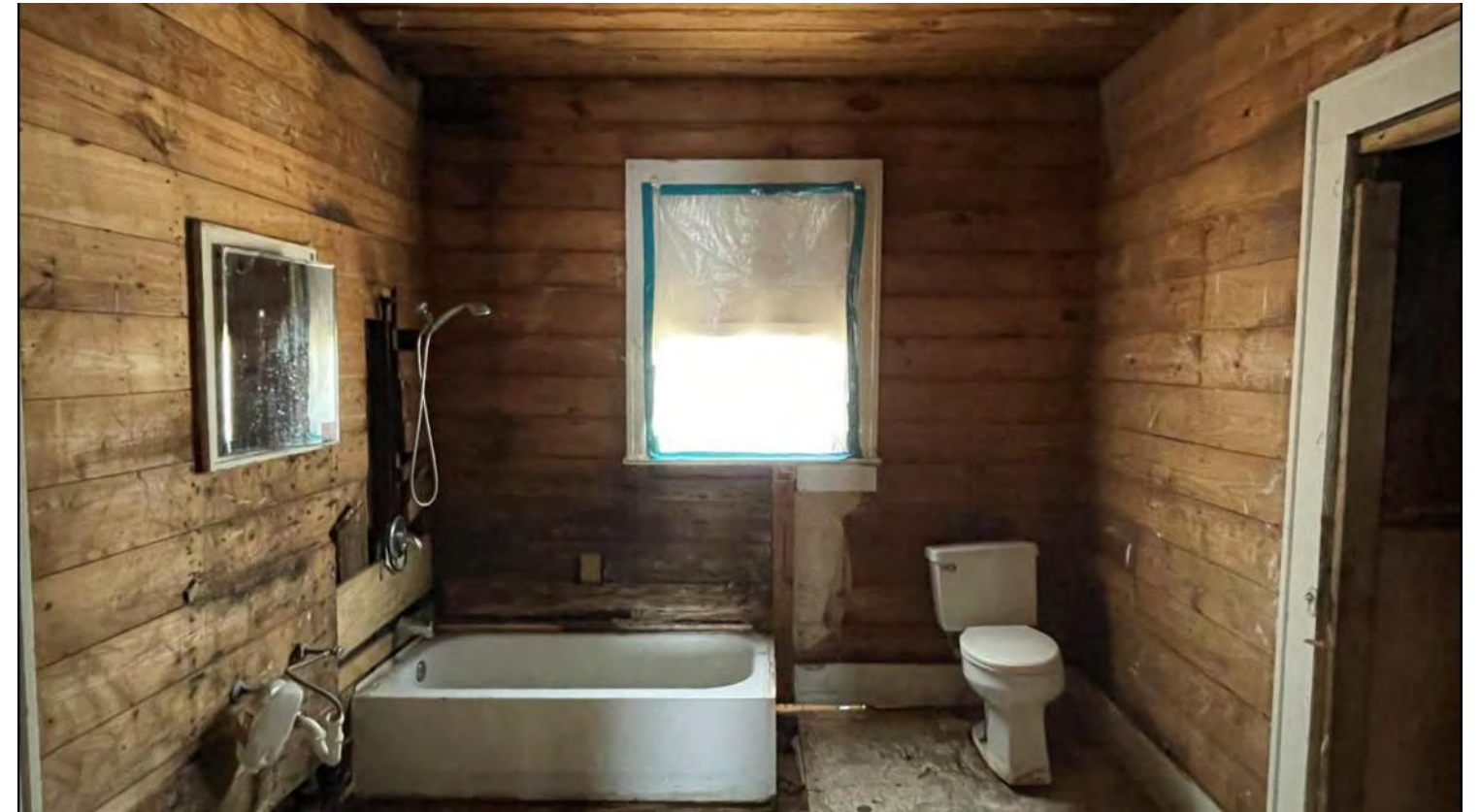


BACK ROOM – VIEW FACING WEST

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HALLWAY – VIEW FACING NORTH



BATHROOM – VIEW FACING EAST

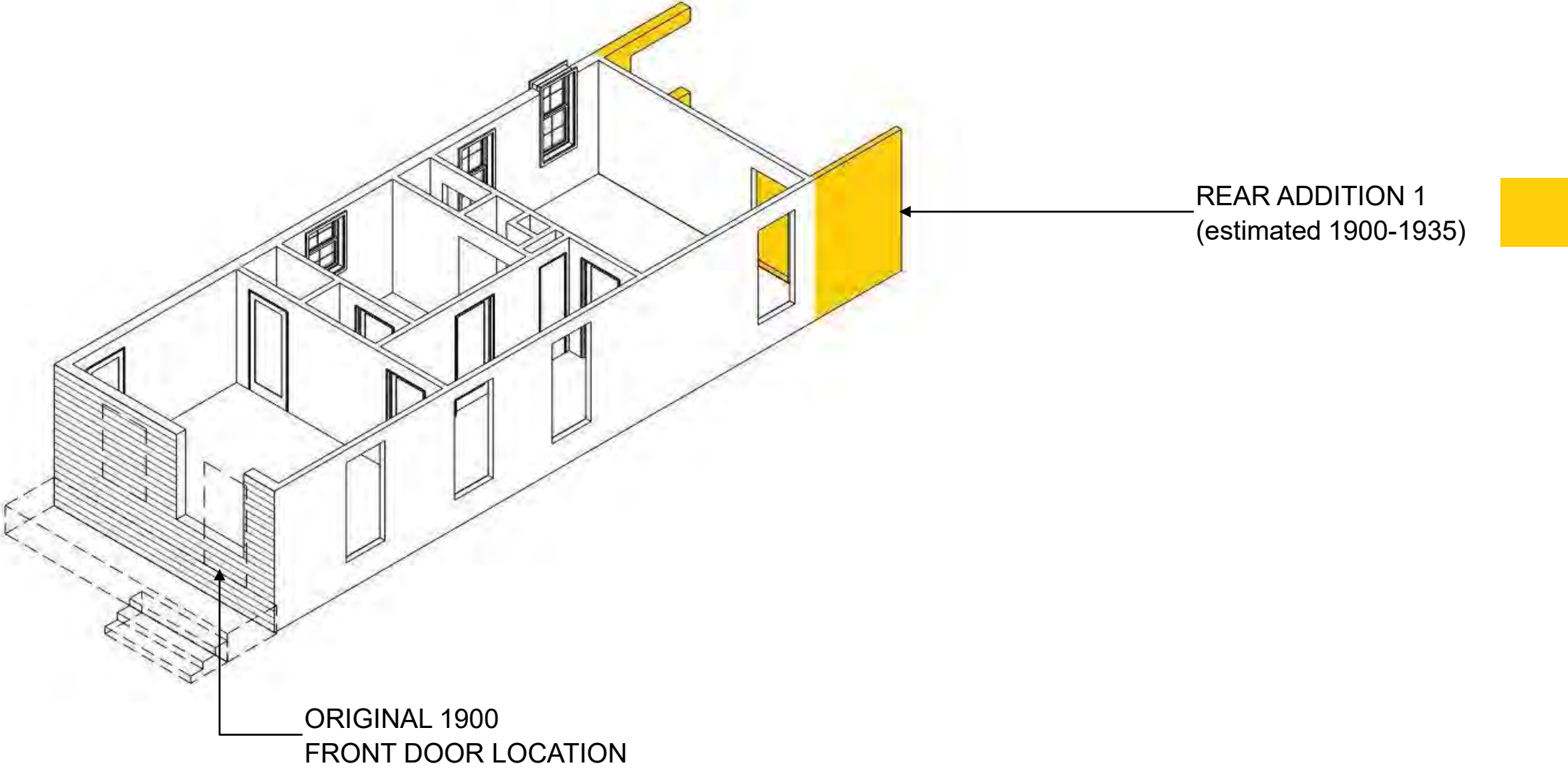
1935 WINDOW LOCATIONS
COVERED DURING RENOVATION
WITH CONTEMPORARY
FRAMING AND SHEATHING



FRONT ROOM – VIEW FACING EAST



FRONT ROOM – VIEW FACING WEST



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REAR ADDITIONS – VIEW FACING WEST

EXTERIOR SIDING
MISALIGNED ON
EITHER SIDE OF SEAM



ENLARGED VIEW OF SEAM

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ORIGINAL 1900 EXTERIOR
WINDOW LOCATION



ORIGINAL BACK PORCH ABSORBED INTO HOME (ESTIMATED 1900-1935)



REMNANT OF ORIGINAL 1900 ROOF LINE AT REAR OF ORIGINAL HOME

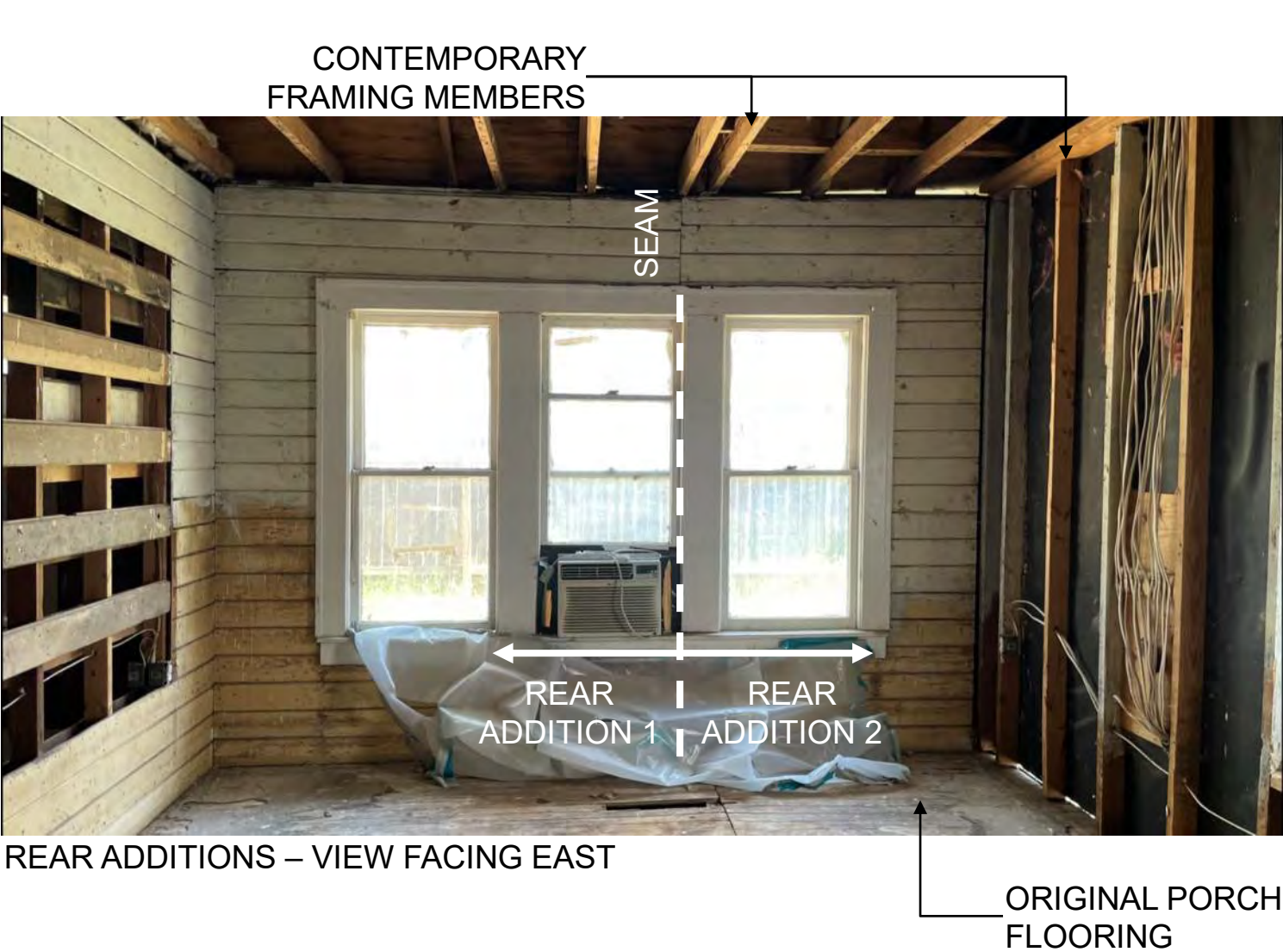


ALIGNMENT OF ORIGINAL 1900 DOORWAYS



ORIGINAL BACK PORCH ABSORBED INTO HOME

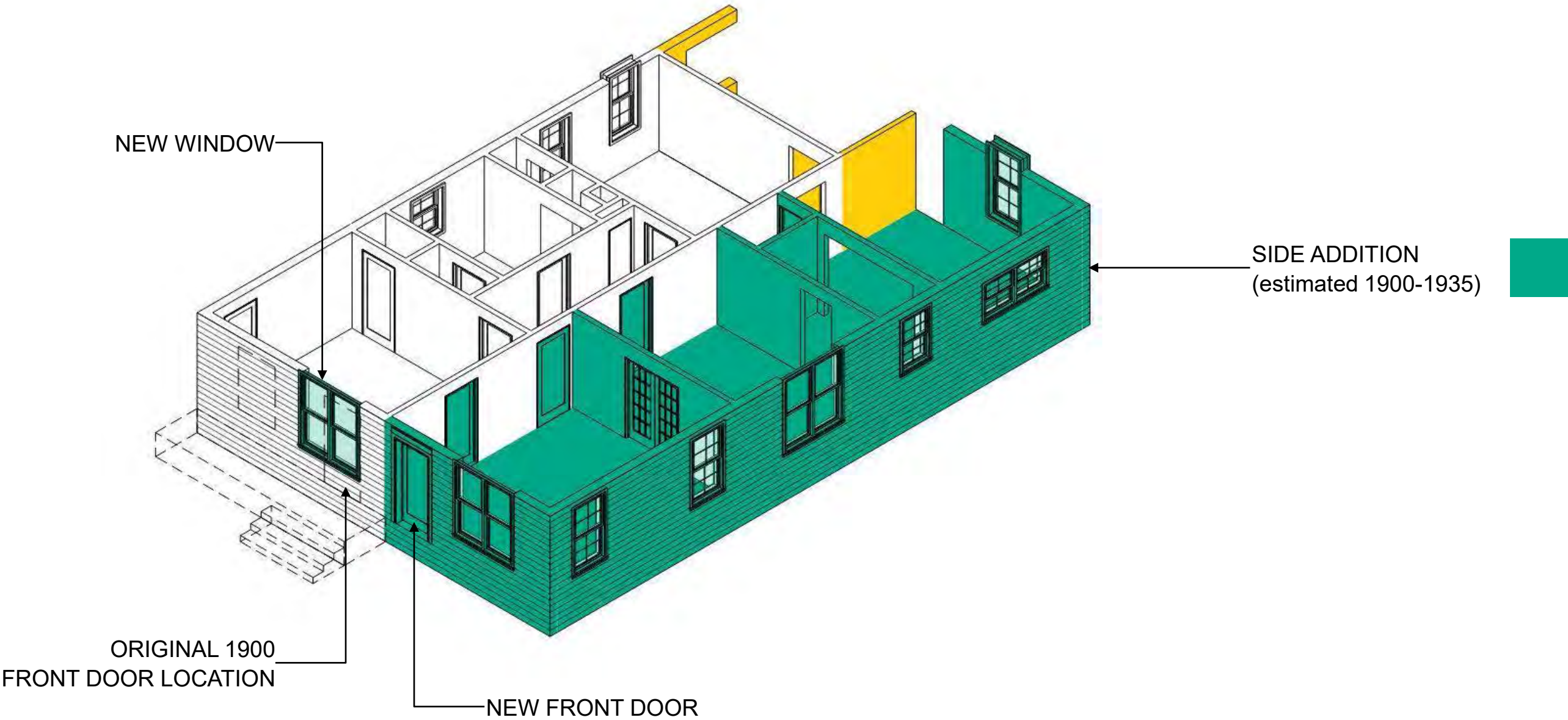
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REAR ADDITIONS – VIEW FACING EAST



REAR ADDITIONS – VIEW FACING WEST



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FRONT EXTERIOR FAÇADE – VIEW FACING SOUTH



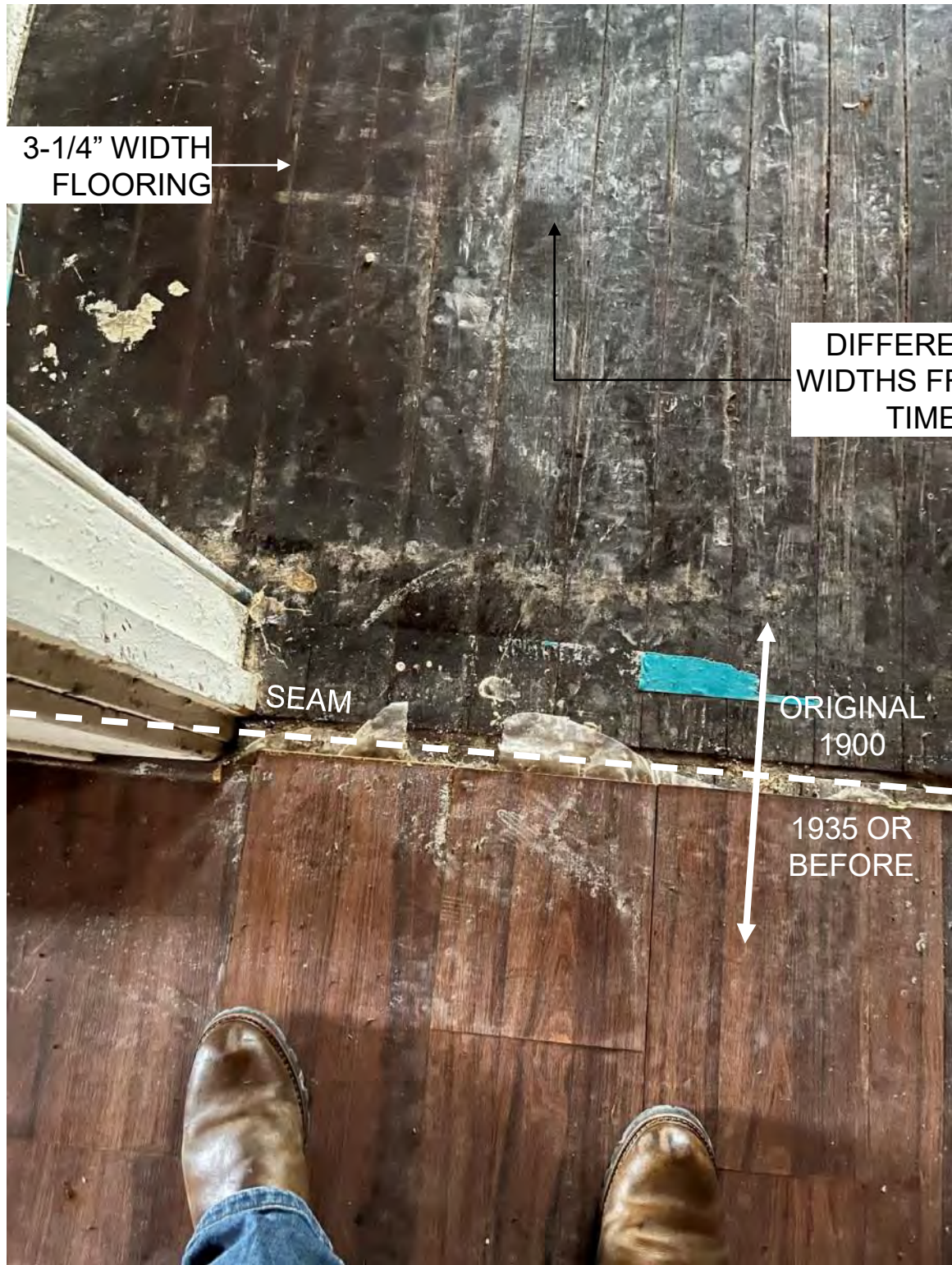
WEST EXTERIOR FAÇADE – VIEW FACING NORTHEAST



FIREPLACE FROM SIDE ADDITION



SEAM AT SIDE ADDITION



ORIGINAL FLOORING



SIDE ADDITION FLOORING

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ORIGINAL 3-1/4" WIDTH FLOORING



SIDE ADDITION 2-3/8" WIDTH FLOORING

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NEW FRONT
DOOR LOCATION



SIDE ADDITION FRONT ROOM – VIEW FACING NORTH



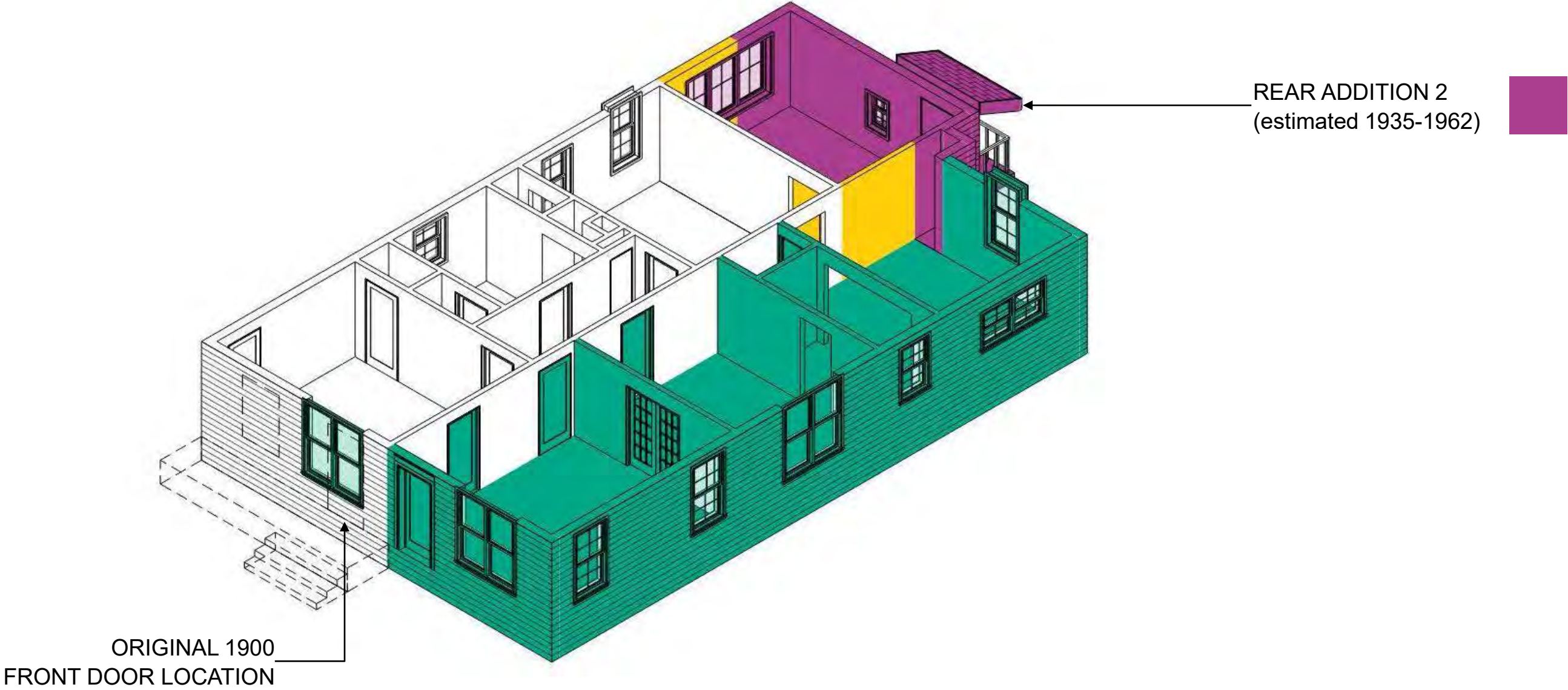
SIDE ADDITION FRONT ROOM – VIEW FACING SOUTH



SIDE ADDITION BACK ROOM / KITCHEN – VIEW FACING NORTH



SIDE ADDITION BACK ROOM / KITCHEN – VIEW FACING SOUTH



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REAR EXTERIOR FAÇADE – VIEW FACING NORTHEAST



REAR EXTERIOR FAÇADE – VIEW FACING NORTHWEST

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RAMP AT REAR EXTERIOR FAÇADE



INFILLED DOOR AT BACK ROOM / KITCHEN



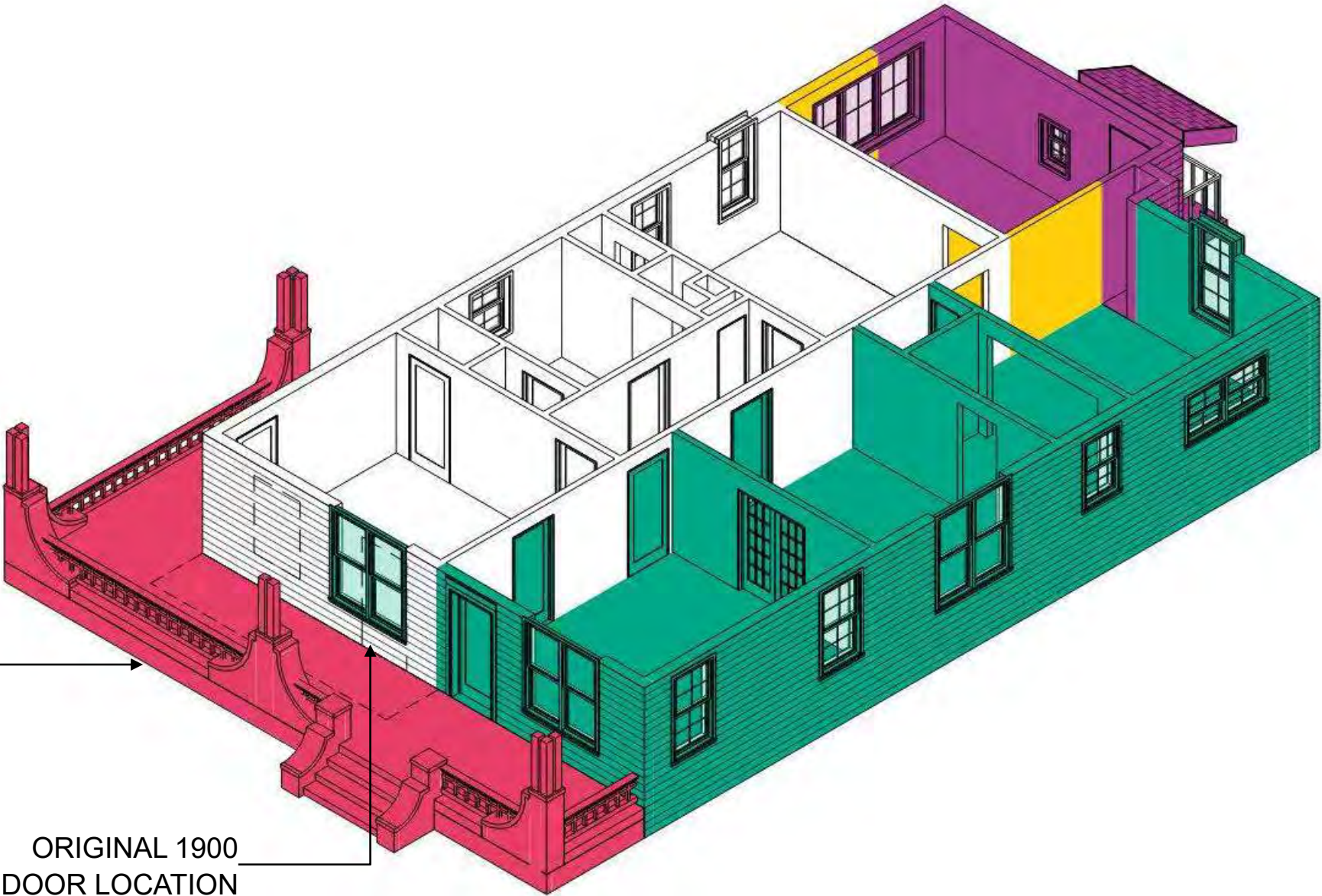
REAR ADDITIONS – VIEW FACING SOUTH

ORIGINAL PORCH FLOORING



REAR ADDITIONS – VIEW FACING WEST

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 PORCH ADDITION
(approximately 1935)

ORIGINAL 1900
FRONT DOOR LOCATION

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FRONT PORCH ADDITION – VIEW FACING SOUTHWEST



FRONT PORCH DETAIL – VIEW FACING SOUTH



FRONT PORCH STEPS – VIEW FACING SOUTHEAST



PORCH TOPPED WITH
COLORED CONCRETE REPAIR,
LIKELY CIRCA 1983

ENLARGED VIEW OF FRONT PORCH STEPS



FRONT PORCH ADDITION – VIEW FACING EAST



ENLARGED VIEW OF FRONT PORCH SEAM

ORIGINAL FOOTING

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ENLARGED VIEW OF FRONT PORCH SEAM



ENLARGED VIEW OF FRONT PORCH SEAM

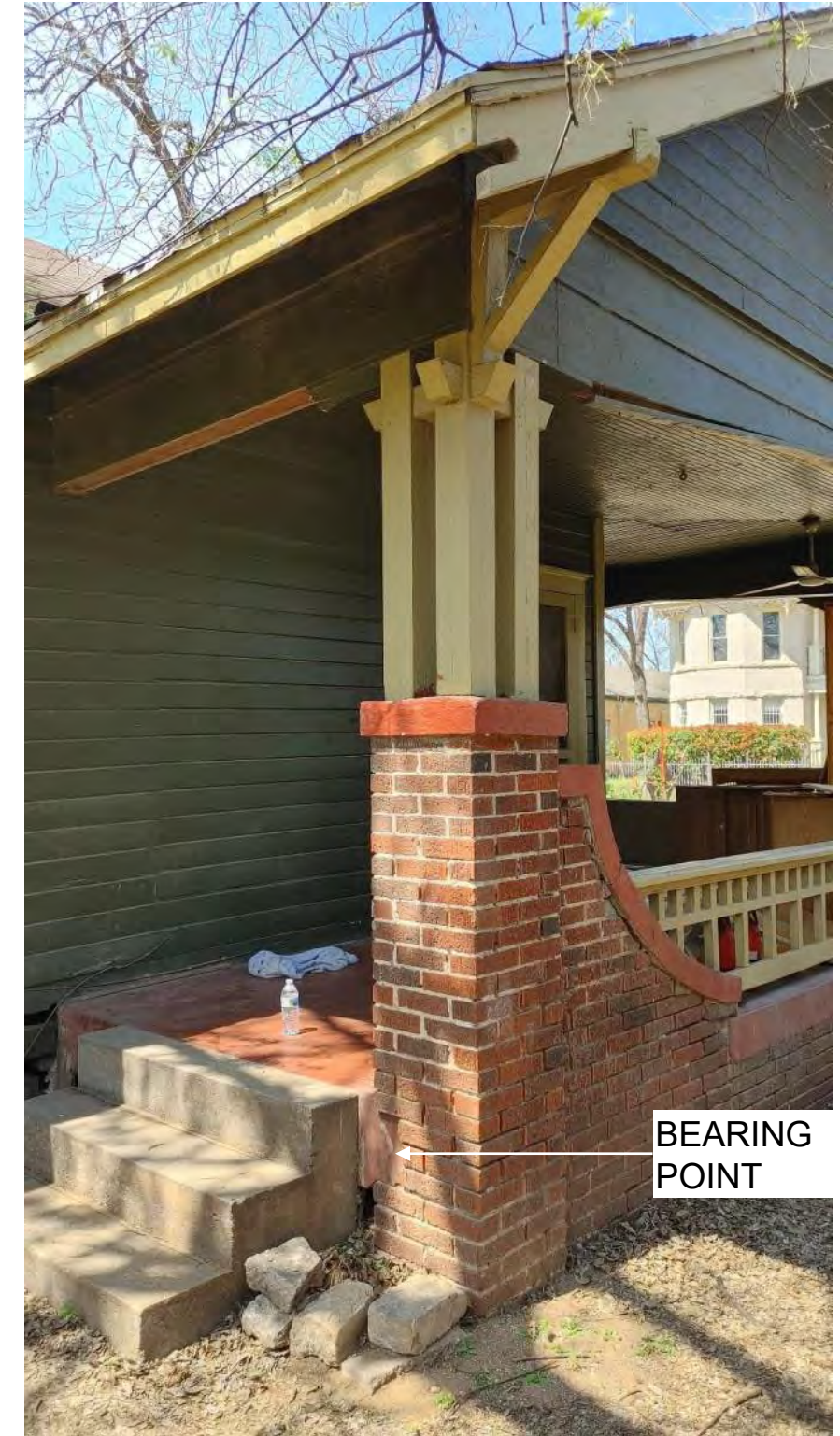
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FRONT PORCH – VIEW FACING EAST



FRONT PORCH – VIEW FACING NORTH



FRONT PORCH DETAIL

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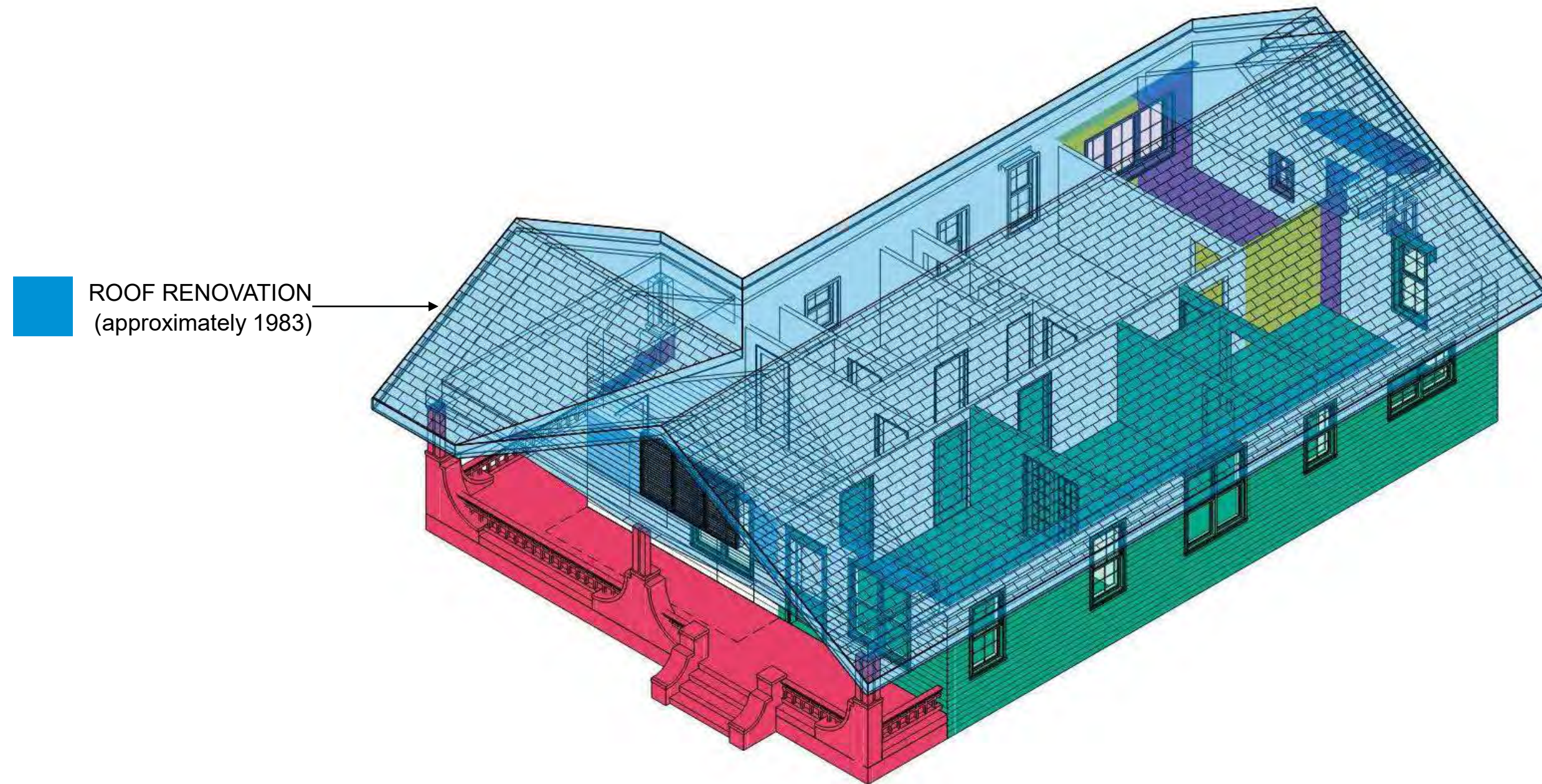


FRONT PORCH – VIEW FACING NORTH



FRONT PORCH DETAIL

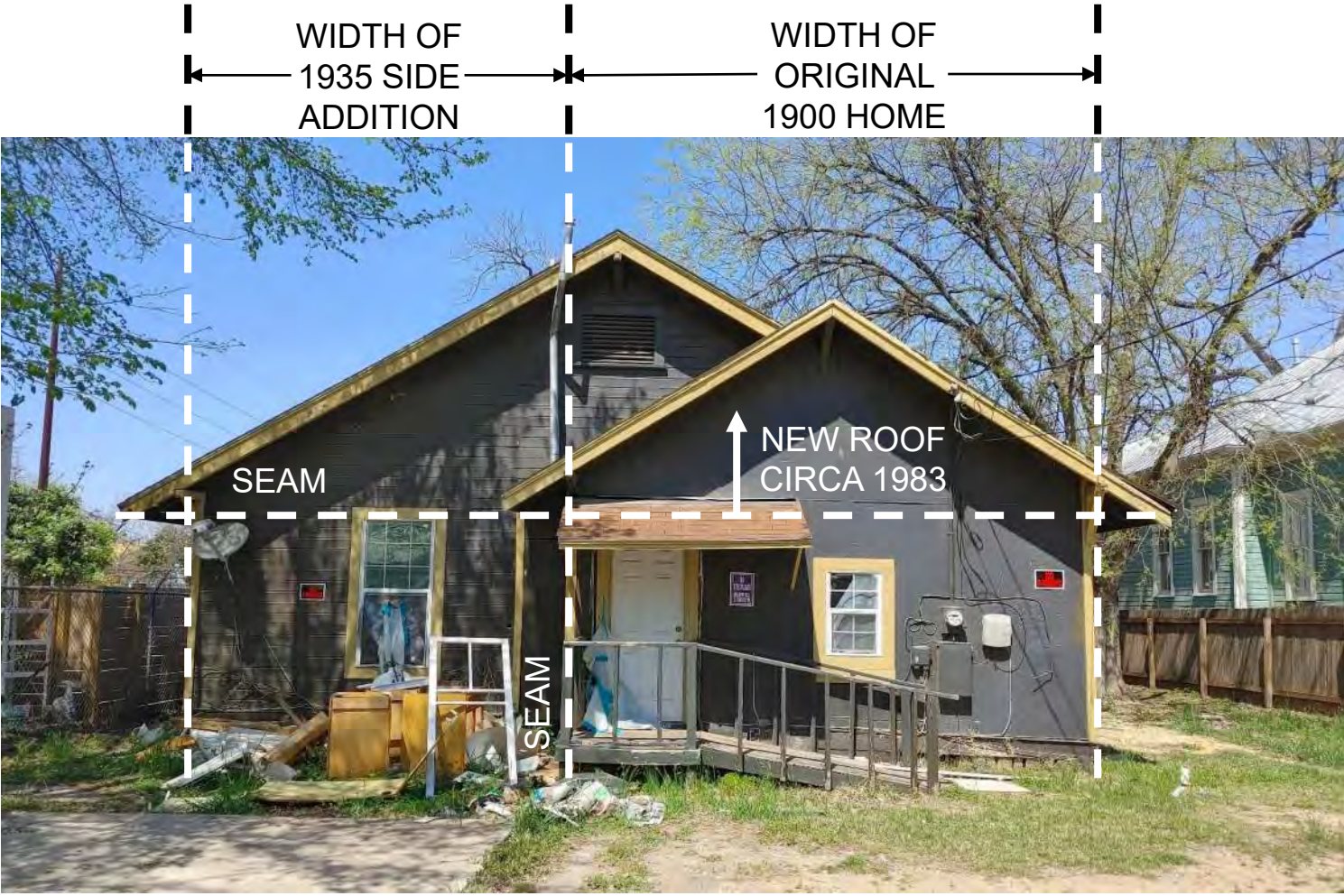
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FRONT EXTERIOR FAÇADE – VIEW FACING SOUTH



REAR EXTERIOR FAÇADE – VIEW FACING NORTH

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FRONT EXTERIOR FACE OF ROOF RENOVATION



MODERN PLYWOOD
ROOF SHEATHING

ROOF RENOVATION SOFFIT DETAIL



UNDERSIDE OF ROOF RENOVATION AT FRONT PORCH



UNDERSIDE OF ROOF RENOVATION AT FRONT PORCH

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UNDERSIDE OF ROOF RENOVATION AT REAR FAÇADE



UNDERSIDE OF ROOF RENOVATION AT FRONT FAÇADE

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CONTEMPORARY WOOD ROOF
FRAMING AND PLYWOOD
SHEATHING, CIRCA 1983 OR LATER



INTERIOR OF ROOF RENOVATION AT REAR ADDITIONS

CONTEMPORARY WOOD ROOF
FRAMING AND PLYWOOD
SHEATHING, CIRCA 1983 OR LATER



INTERIOR OF ROOF RENOVATION AT REAR ADDITIONS

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CONTEMPORARY WOOD ROOF
FRAMING AND PLYWOOD
SHEATHING THROUGHOUT,
CIRCA 1983 OR LATER



ROOF RENOVATION ATTIC SPACE

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STRUCTURAL CONDITION ASSESSMENT

for
1403 Cesar Chavez

March 14, 2022
Prepared by:

Datum Engineers, Inc.
8140 N. Mopac Expressway, Building 1, Suite 120
Austin, Texas 78759
Datum Project Number 22038
Datum Registration No. F-2819



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Conclusions

This house is in a severely deteriorated condition, most likely due to lack of repairs and maintenance over the years. The roof eave boards are rotting, have pulled apart and are sagging. The north and south plywood eaves should have been built with 2x wood outriggers. Instead, the plywood roof deck cantilevers out to the eave boards and is severely sagging in places. Plywood roof decking has rotted from roof leaks. Some wall studs are damaged due to rot from water damage. The wood floor decking has holes in it and is soft and spongy which indicates the support system below the floor is weak. Exterior and interior wall boards sag out of alignment indicating foundation movement and potential serious support problems. The crawlspace is minimal and therefore not accessible. We suspect the foundation has severe problems due to wood rot, possible termite damage, and ground movement due to the expansive clays in the area. Numerous floor boards would need to be removed to properly evaluate the condition of the support framing and the foundation.

Daylight can be seen through the wood siding of the house in the kitchen. The siding boards are nailed directly to the wall studs without DensGlass or exterior gypsum sheathing. This means you would not be able to waterproof the exterior of the house. The wall studs may continue to rot over time through gaps in the wood siding.

The front porch is concrete with brick pilasters and partial walls. We suspect this may have been added later in the life of this house. The connection of the concrete porch slab to the house appears to have integrity issue. The projecting area at the rear of the house has a more recent made plywood siding indicating that some portion of the house may have been added later. The two large trees in front and one on the east side are located too close to the house. As a result, the roots have probably spread under the brick foundation pad and has caused severe movement.

Repairs to this house would be very extensive. Due to limited access, foundation repairs could not be made unless most of the floor boards in the house were removed. Even then, the repairs would be very complicated and expensive.





April 18, 2022

Mr. Brad Harrison
1403 E. Cesar Chavez
Austin, Texas 78702

RE: 1403 E. Cesar Chavez – Initial Structural Assessment

Dear Mr. Harrison:

At your request on April 12th, I visited the above reference residence to observe and to provide a rendered opinion regarding the structural performance of the existing residence. The existing residence is a single level conventionally framed structure supported by a pier and beam foundation system. The structure has an exterior veneer that is wooden with masonry applications at the porch areas. According to tax records the original residence was constructed in 1925. Subsequent additions and remodels have occurred over the years.

A walkthrough of the residence revealed the building to be uninhabited and in an excessive state of neglect and disrepair. Floors have experienced differential movement throughout and a musty odor is quite pronounced throughout the residence.

The residence is situated very low to the ground and does not meet current code requirements for proper clearance. Proper ventilation does not meet current codes. Excessive moisture was noted in the crawl space due to internal leaks or improper site management. It must be noted that the soil conditions in this area of Austin are poor at best. Highly expansive soils are present and if a structure is not properly engineered or if site management efforts are not properly employed significant movement must be expected.

A limited observation of the crawl space revealed the foundation to be a wooden pier and beam assembly supported by cedar post piers. The existing structural floor framing installation is sub-standard and does not satisfy current design requirements. Excessive deflections were noted throughout the building.

An unaddressed history of water infiltration in the crawl space has resulted in structural compromise. To bring the foundation to an appropriate level of performance, the foundation in its entirety would need to be replaced. New piers, new beams and joists would be required. In addition, the foundation would need to be elevated no less than 18" to provide adequate clearance between the framing and the final grade. If indeed the foundation was elevated, the concrete porches would need to be removed and re-built at a proper elevation. New ventilation will be required for the entire crawl space. Existing front porch handrails do not meet code requirements for proper elevation or lateral resistance. With the raising of the foundation, the reconstruction of the porch and handrails as well as the masonry details, the original fabric of the residence is drastically compromised. The roof framing is comprised primarily of 2x4 rafters which does not meet current code standards for structural adequacy. Significant structural framing reinforcement will be required.

There is indeed evidence of neglect throughout the residence. The prominent musty odor is an indication of excessive moisture in the crawl space and perhaps in the wall cavities as well.

It is the opinion of this office that due to long standing neglect, the residence cannot be properly remediated. The residence has exceeded its life expectancy since proper maintenance efforts were never employed.

The damage addressed in this report was limited to structural systems only. However, given the age of the structure and the long history of neglect, damages most likely extend to electrical and mechanical systems as well. Mold remediation will certainly be required as well as perhaps asbestos abatement.

This report serves as a cursory overview of the structural systems observed. It is an indication that the structure is in dire disrepair. Many more structural discrepancies are anticipated to be in play. We can prepare a more elaborate investigation if you deem it valuable.

If you have any questions, please feel free to contact this office at 512-499-0919.

Sincerely,


Jerry Garcia, P.E.
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Thank you for the opportunity to present the reasoning behind our request for the demolition permit of 1403 East Cesar Chavez Street. In summary, we believe the following elements substantiate that the building does not warrant historic designation or protection.

1. The significance of the connection to the Balagia family is tenuous at best.
2. The characterization that the building has high integrity of original fabric is not correct.
3. The building is in extremely poor current condition.
4. The current poor condition makes renovation or rehabilitation economically and technically infeasible.
5. As an alternative to rehabilitation, the owner offers to create HABS drawings at Owner's expense and provide photography to donate to the Austin History Center.



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