

SUBDIVISION REVIEW SHEET

CASE NO.: C8J-2021-0141

ZAP DATE: September 13, 2022

SUBDIVISION NAME: Gullahorn, Phase 1A Preliminary Plan

AREA: 16.40 acres

LOT(S): 98

OWNER/APPLICANT: Blackburn Homes (Rick Hanna)

AGENT: Atwell, LLC (David Fusilier)

ADDRESS OF SUBDIVISION: 5300 Gregg Lane

GRIDS: Q32

COUNTY: Travis

WATERSHED: Gilleland Watershed

JURISDICTION: 2-mile ETJ

EXISTING ZONING: N/A

MUD PLAN: N/A

PROPOSED LAND USE: Residential – single family lots, open space/drainage easement lots, public utility easements (PUEs) lots, and public ROW

VARIANCES: None

SIDEWALKS: Sidewalks will be provided along all internal streets and the boundary street.

DEPARTMENT COMMENTS: The request is for the approval of the Gullahorn, Phase 1A Preliminary Plan. The plan is comprised of 98 total lots on approximately 16.40 acres including 90 single family lots, 4 open space/drainage easement lots, 4 public utility easement lots, and 3,562 linear feet of streets. The property connects to Gregg Lane. Parkland will be in compliance with the Single Office/Title 30. Water and wastewater will be provided by will be provided by the City of Austin.

Staff recommends approval of the preliminary plan, subject to the conditions listed in the attached comment report. After the conditions are met, the plan will comply with LDC 30-2-84. The conditions include remove or update notes, define easements, update engineer's report and drainage information, environmental, etc. These are administrative actions that require no discretionary review. An application that has been approved with conditions may be updated to address those conditions until the application expires and the plan does not need to be heard before the Commission again.

STAFF RECOMMENDATION: Staff recommends approval of the preliminary plan, subject to the conditions listed in the comment report dated September 7, 2022 and attached as Exhibit C.

CASE MANAGER: Paul Scoggins, Travis County Single Office **PHONE:** 512-854-7619
Email address: Paul.Scoggins@traviscountytx.gov

Exhibit A: Gullahorn, Phase 1A Preliminary Plan

Exhibit B: Gullahorn, Phase 1A Location Map

Exhibit C: Gullahorn, Phase 1A Preliminary Plan Comment Report

**CITY OF AUSTIN – TRAVIS COUNTY – SINGLE SUBDIVISION OFFICE
SUBDIVISION APPLICATION – MASTER COMMENT REPORT**



CASE NUMBER: C8J-2022-0141
REVISION #: 00
CASE MANAGER: Paul J. Scoggins
UPDATE: U0
PHONE #: (512)854-7619

PROJECT NAME: Gullahorn Subdivision, Phase 1A
LOCATION: 5300 GREGG LN



SUBMITTAL DATE: August 15, 2022
REPORT DUE DATE: September 13, 2022
FINAL REPORT DATE: September 7, 2022

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent subdivision application submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated submittal. The subdivision application will be approved when all requirements from each review discipline have been addressed.

If you have any questions, concerns or if you require additional information about this report, please contact your case manager at the phone number listed above or by using the contact information listed for each reviewer in this report.

Any change to the plan/plat shall not cause noncompliance with any applicable code or criteria. In addition, any change to the plat may trigger new comments.

UPDATE DEADLINE (LDC 30-2-56; 30-2-82):

All comments must be addressed by filing an updated submittal prior to the update deadline of (90 days from submittal) **November 14, 2022**. Otherwise, the application will expire. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

Extension of Review Period, Extension of Update Deadline and Tolling of Application Period do not apply to applications for preliminary plan, plat or subdivision construction plans (LDC).

UPDATE SUBMITTAL INSTRUCTIONS (LDC 30-1-113):

1. Applicants must contact Intake Staff (974-1770) in order to submit an update.
2. Your update must include the following items:
 - a. The revised plat/plan in pdf format
 - b. A letter that addresses each comment in the master comment report
3. Updates must be submitted on an approved submittal date. Refer to the submittal calendar for a list of approved submittal dates.

A formal update submittal is required.

REVIEWERS:

Planner 1: Chima Onyia
Site Plan Plumbing: Juan Beltran
Electric Review: Betty Nguyen
Environmental Review: Enrique Maiz-Torres
AW Utility Development Services: Bradley Barron

Wetlands Biologist Review: Hank Marley
Travis Co. Subdivision Review: Paul J. Scoggins
Travis Co. Drainage Review: Manny Duarte
911 Addressing Review: Janny Phung

- EL 1.** Fifteen (15) foot electric distribution, electric telecommunications, and electric fiber easement (15' E.T.E.) is required adjacent to Gregg Lane R.O.W. Show the easement on the face of the plat.

LDC § 30-2-132 EASEMENTS AND ALLEYS.

(A) Easements for public utilities and drainage ways shall be retained in all subdivisions in the widths and locations determined necessary by the single office. All easements shall be dedicated to public use for the named purpose and shall be aligned to minimize construction and future maintenance costs.

Source: City Code § 25-4-132; County Code § 82.202(p); Ord. 031211-11; Ord. 031211-42; Ord. 20131017-046

- EL 2.** Please revise 10' AE easement as shown in all inside streets as 10' electric distribution, electric telecommunications, and electric fiber easement (10' E.T.E.)

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Source: City Code § 25-4-132; County Code § 82.202(p); Ord. 031211-11; Ord. 031211-42; Ord. 20131017-046

- EL 3.** Please add/include P.U.E. to all lots being dedicated as Open Space/D.E. (e.g. Lot 1A, Block F, Lot 1A, Block E.)

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Source: City Code § 25-4-132; County Code § 82.202(p); Ord. 031211-11; Ord. 031211-42; Ord. 20131017-046

- EL 4.** Please add the following note to Notes section on page 2:
Any relocation of electric facilities shall be at landowner's/developer's expense.

§ 30-1-113 - APPLICATION REQUIREMENTS

- EL 5.** Please replace note no. 18 of the Notes section on page 2 with the following notes:
Austin Energy has the right to prune and/or remove trees, shrubbery and other obstructions to the extent necessary to keep the easements clear. Austin Energy will perform all tree work in compliance with Chapter 30-5, Subchapter B of the Austin/Travis County Subdivision Regulations.

§ 30-1-113 - APPLICATION REQUIREMENTS

- EL 6.** Please replace note no. 19 of the Notes section on page 2 with the following notes:
The owner/developer of this subdivision/lot shall provide Austin Energy with any easement and/or access required, in addition to those indicated, for the installation and ongoing maintenance of overhead and underground electric facilities. These easements and/or access are required to provide electric service to the building and will not be located so as to cause the site to be out of compliance with Chapter 30-2 of the Austin/Travis County Subdivision Regulations. **§ 30-1-113 - APPLICATION REQUIREMENTS**

Update 1 9/7/2022

EV 1 – Comment Cleared.

EV 2 – Provide an exhibit showing:

- Proposed lot lines;
- Proposed ROW lines;
- Proposed pond location(s) and pond driveway(s)
- Slopes from 15 to 25%; and
- Slopes over 25%.

LDC 30-5 / 25-8-301 & 302

Update 1 Comment Pending. This subdivision plan proposes single-family residential lot(s) on a slope with a gradient in excess of 15%. Provide a note stating: *“Slopes in excess of 15 percent exist on [insert Block __, Lot __]. Construction on slopes is limited per the Land Development Code and Environmental Criteria Manual.”*

[LDC 25-8, Subchapter A, Article 7; ECM 1.8.0, 1.11.0]

EV 3 – Provide an exhibit showing:

- Proposed lot lines;
- Proposed ROW lines;
- Proposed pond location(s) and pond driveway(s)
- Grading from 4 to 8 feet; and
- Grading over 8 feet.

LDC 30-5 / 25-8-341 & 342

Update 1 Comment Pending. Grading over than 8 feet will requires commission variance.

AW Utility Development Services - Bradley Barron - 512-972-0078

AW1. Per Utility Criteria Manual Section 2, §15-9, §30-2, §25-5, §25-9, and the Uniform Plumbing Code:

The landowner intends to serve each lot with City of Austin water and wastewater utilities. Each lot must have a separate water and wastewater utility connection and no existing or proposed plumbing may cross lot lines. The landowner, at own expense, will be responsible for providing the water and wastewater utility improvements, offsite main extensions, system upgrades, utility relocations and or abandonments to serve each lot.

AW2. Per City Ordinance 20120524-139, §25-4-175:

Flag lot is proposed in Lot 1 Block F as well as a public wastewater main. A driveway and utility plan are required with plan submittal for plans utilizing flag lots with proposed main extensions greater than 100'. Written approval from a representative of the AW Pipeline Engineering Review team and the AW Site Plan Plumbing Review team will be required prior to plan submittal.

Submit a copy of the utility plan to Jason Inge at Jason.Inge@austintexas.gov to obtain approval from the AW Pipeline Engineering Review team.

Also submit a copy to assigned Site Plan Plumbing Review reviewer and obtain approval.

AW3. Per Utility Criteria Manual Section 2, §15-9, §30-2, §25-5, §25-9, and the Uniform Plumbing Code:

Add the following note to the plan:
WATER METERS AND CLEANOUTS SHALL NOT BE LOCATED IN DRIVEWAYS OR
SIDEWALKS.

AW4. Per Utility Criteria Manual Section 2, §15-9, §30-2, §25-5, §25-9, and the Uniform Plumbing Code:

Add the following note to the plan:

EACH LOT SHALL HAVE INDEPENDENT WATER METERS AND CLEANOUTS AND PRIVATE PLUMBING SHALL NOT CROSS LOT LINES. PRIVATE LINES MAY CROSS PERPENDICULARLY BUT OTHERWISE SHALL NOT BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT.

FYI. The landowner must pay the tap and impact fee once the landowner makes an application for a City of Austin water and wastewater utility tap permit.

Wetlands Biologist Review - Hank Marley - hank.marley@austintexas.gov

Update 0 8/30/2022

Please be advised that additional comments may be generated as update information is reviewed. If an update has been rejected, reviewers are not able to clear comments based on phone calls, emails, or meetings but must receive formal updates in order to confirm positive plan set changes. CEFs and their buffers must be shown on all site plan sheets.

- WB 1 Pursuant to LDC 25-8-281(C)(2)(a) please add a note to the coversheet stating that: "All activities within the CEF and CEF buffer must comply with the City of Austin Code and Criteria. The natural vegetative cover must be retained to the maximum extent practicable; construction is prohibited; and wastewater disposal or irrigation is prohibited."
- WB 2 Please include a preliminary note indicating "A CEF mitigation plan is required. The details for the mitigation plan will be reviewed, approved, and executed during the Subdivision Construction Plans. No certificate of occupancy will be issued until mitigation plan has been completed and released."
- WB 3 Clearly show the boundary of all wetland CEFs and clearly label the features: "WETLAND CEF". Reference the Environmental Resource Inventory provided with this submittal.
- WB 4 Clearly show and label "WETLAND CEF SETBACK" the standard 150 ft CEF setback on all plan sheets. Reference the Environmental Resource Inventory provided with this submittal.
- WB 5 Remove proposed grading of CEF Wetland 1 & Wetland 2. A water quality pond has not been approved to be placed over a wetland CEF.

Travis Co. Subdivision Review - Paul J. Scoggins - (512)854-7619

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

All comment pursuant to LDC § 30-1-113

1. For Travis County Transportation Review, Drainage Engineering Review, and Subdivision Review, provide a complete application as described in the Completeness Checklist, including the following documents.

All elements listed below are required for intake into the Completeness Check process:

<https://www.traviscountytexas.gov/tnr/permits/subdivisions>

- o Cover letter sealed by Texas Licensed Professional Engineer, describing the major elements of the project, all jurisdictions affecting the project, all approvals that are required for the project, identifying any pre-requisite requirements for subdivision application submittal, and identifying all documents submitted as part of the completed subdivision application, including all documents required under each code compliance summary, with all required information found listed in the Completeness Checklist;

- o A completed Travis County Subdivision Application Completeness Checklist sealed by a Texas Licensed Professional Engineer;

- o All documentation addressing completed Prerequisites;

- o Reports must be finalized instead of drafts.

- o Completed Code Compliance Summaries sealed by a Texas Licensed Professional Engineer;

- o All application documents required by code, listed in the Completeness Checklist and Code Compliance summaries, or required in a completeness or compliance review.

<https://www.traviscountytexas.gov/images/tnr/Docs/Drainage-Criteria-Manual-08302019.pdf>

<https://www.traviscountytexas.gov/images/tnr/Docs/Transportation-Criteria-Manual-08302019.pdf>

<https://www.traviscountytexas.gov/images/tnr/Docs/Title-30-Code-Compliance-Summary-04092020.pdf>

- a. Please confirm that all of the above documents have been provided.
- b. Cleared for CC. Will be required for formal submittal.
- c. If not previously uploaded, please upload these reports.

3. FYI: Please include a response report to the comments that were issued stating how the comment was addressed.

7. Please show sidewalks along streets as a dotted line and reference them in the legend. Add this as a plat note AND list the streets in the note.

- a. Sidewalks not shown as a dotted line in the legend.

Public sidewalks are required along the streets as shown by a dotted line on the face of the plat.

The sidewalks are required to be constructed by the property owner after the abutting roadway is improved and concrete curbs are in place. Failure to construct the required sidewalks may result in the withholding of certificates of occupancy, building permits, or utility connections by the governing body or utility company.

- b. Please verify if sidewalks need to be shown along Gregg Lane. If so, please show as a dotted line.

- d. Title 30 does not have a fee in lieu. Sidewalks should be shown AND the City's sidewalk deferral note can be used for Gregg Lane IF sidewalks won't be constructed at this time.
- e. Sidewalks need to be shown as a dotted line along the ROWs and shown in the legend. Example: Sheet 4 – Overall layout page.
- 17. Provide the letter from E-911 addressing verifying the proposed street names have been approved for this subdivision. COA Addressing also wants to be informed of all new streets and any street realignments, and vacations/abandonments (including dedications by separate instrument, by deed, etc.). They need to be contacted during the review process. The contact for this portion is Cathy Winfrey at 974-2398 or cathy.winfrey@austintexas.gov
 - a. Will be required with formal submittal.
- 20. Show a survey tie across all existing streets bordering or traversing this subdivision to verify right-of-way width.
 - a. Pending. Survey ties not found.
 - b. A survey tie completely across showing the other side of Gregg Lane's boundary should be shown. Example: Sheet 4 – Overall layout.
- 21. Please include Travis County's approval block in the blank space.
- 22. Please show the temporary turnaround easements on all pages. Example: Sheet 4 – Overall layout.

911 Addressing Review - Janny Phung -

Please make sure all streets names have been reserved and approved by E-911 Addressing. Contact Janny.Phung@austintexas.gov prior to the resubmittal of the update. 30-1-113

Travis Co. Transportation Review - Manny Duarte - 512-854-7581

All transportation comments cleared.

Travis Co. Drainage Construction Review - Manny Duarte - 512-854-7581

36. Indicate the status of easements for the offsite ww line.
Comment still pending. Provide status of easements with AWU.
UPDATE: Comment still pending on permanent ww easements and temporary construction easements.

UPDATE: Comment still pending.

Additional comments may be generated upon receipt of new information. Please provide on the next submittal a summary letter describing in detail how the comments were addressed. Also include in the letter if any sheets are deleted, combined or new sheets added in the submittal.

Site Plan Plumbing - Juan Beltran - 512-972-2095

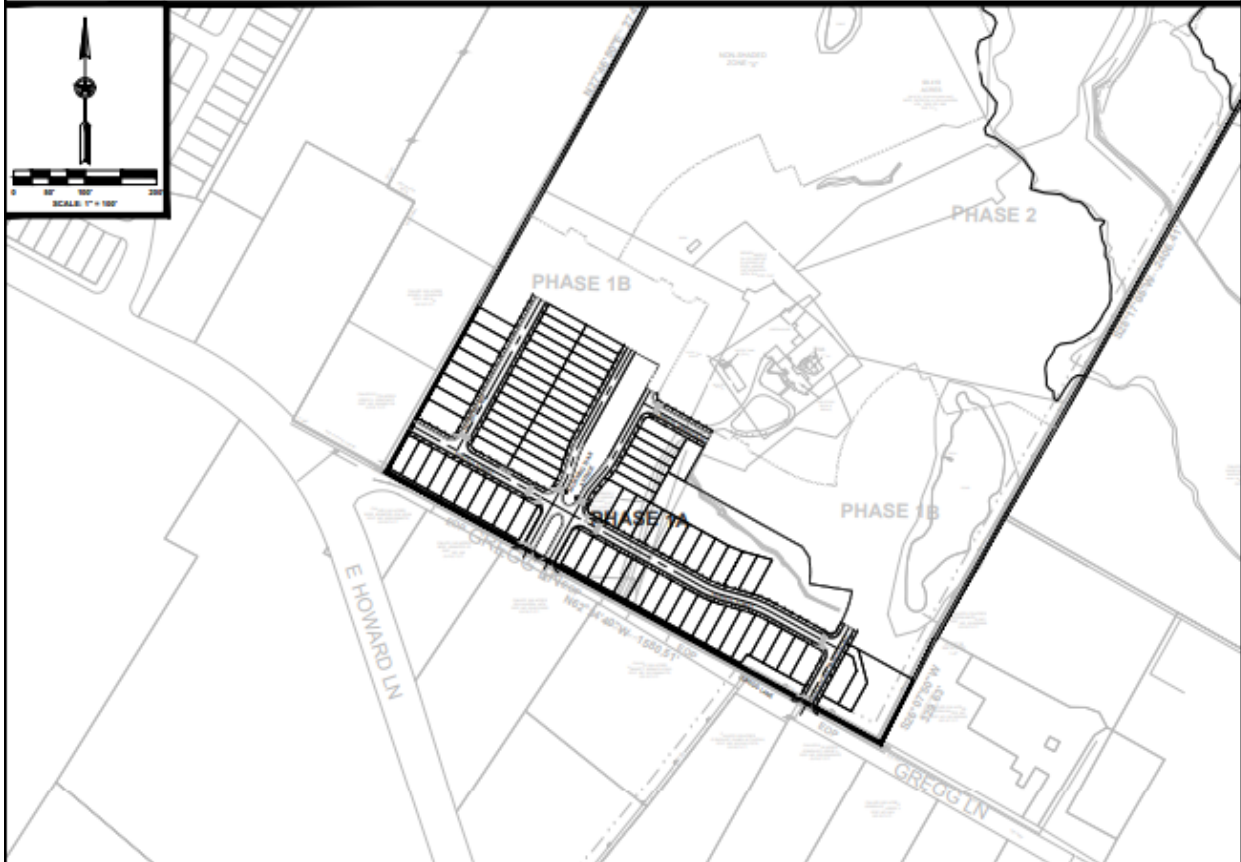
Pursuant to compliance with Sections 307.1, 609.6, and 721.1 of the 2021 Uniform plumbing code, add note that conveys the following: **Each Lot within this subdivision shall have separate sewer taps, separate water meters, and their respective private water and sewer service lines shall be positioned or located in a manner that will not cross lot lines.**

End of Master Comment Report

Location Map

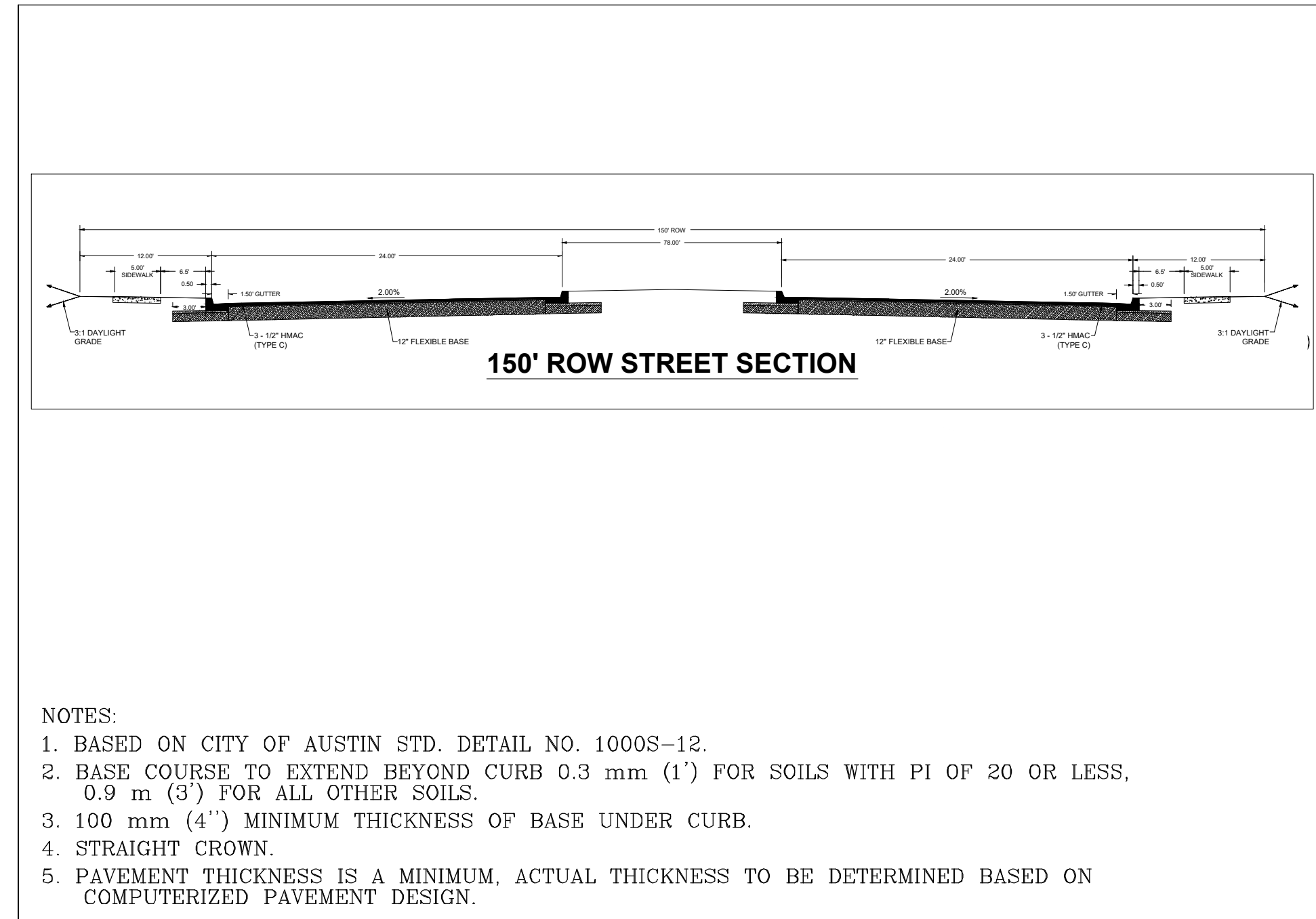
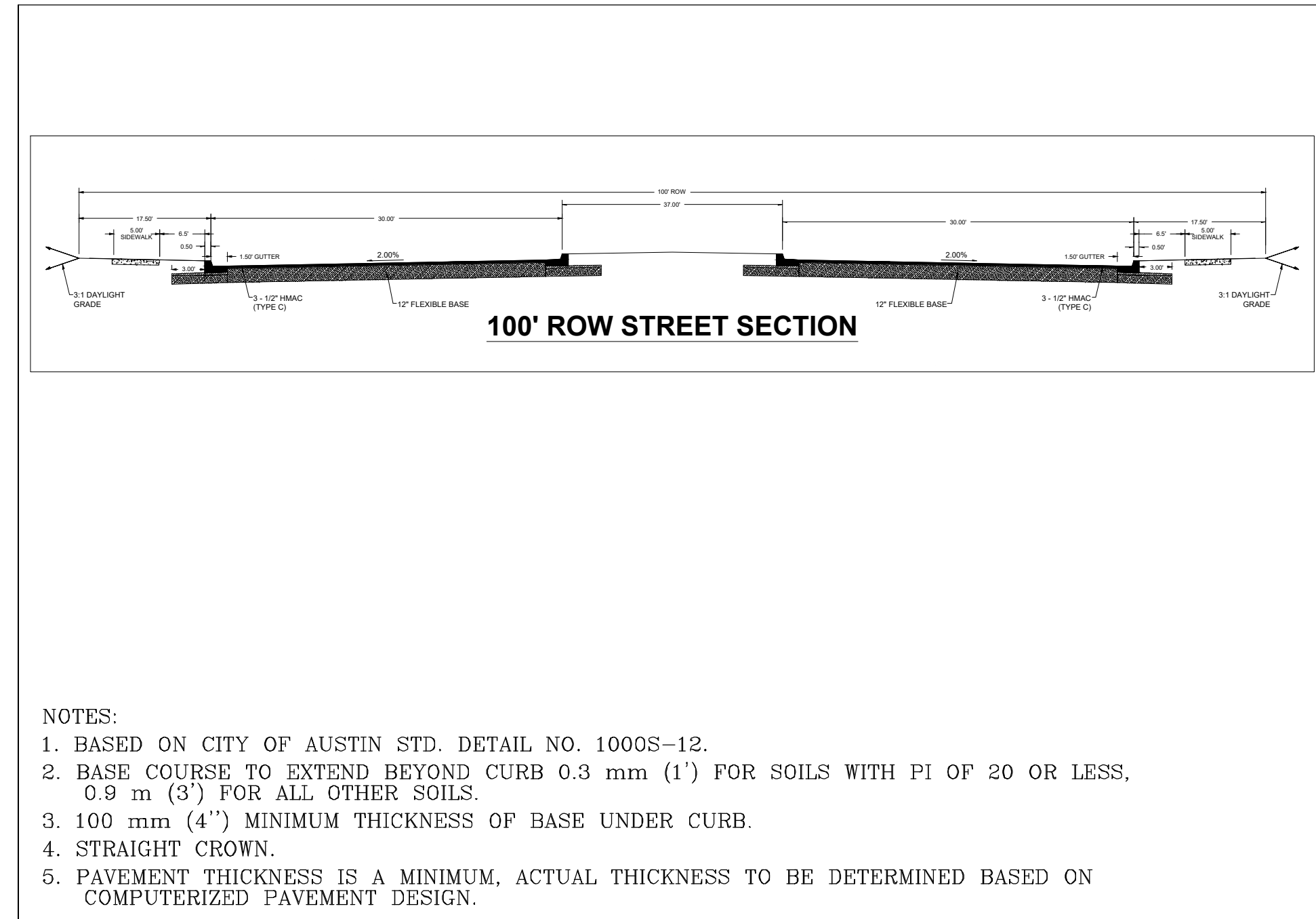
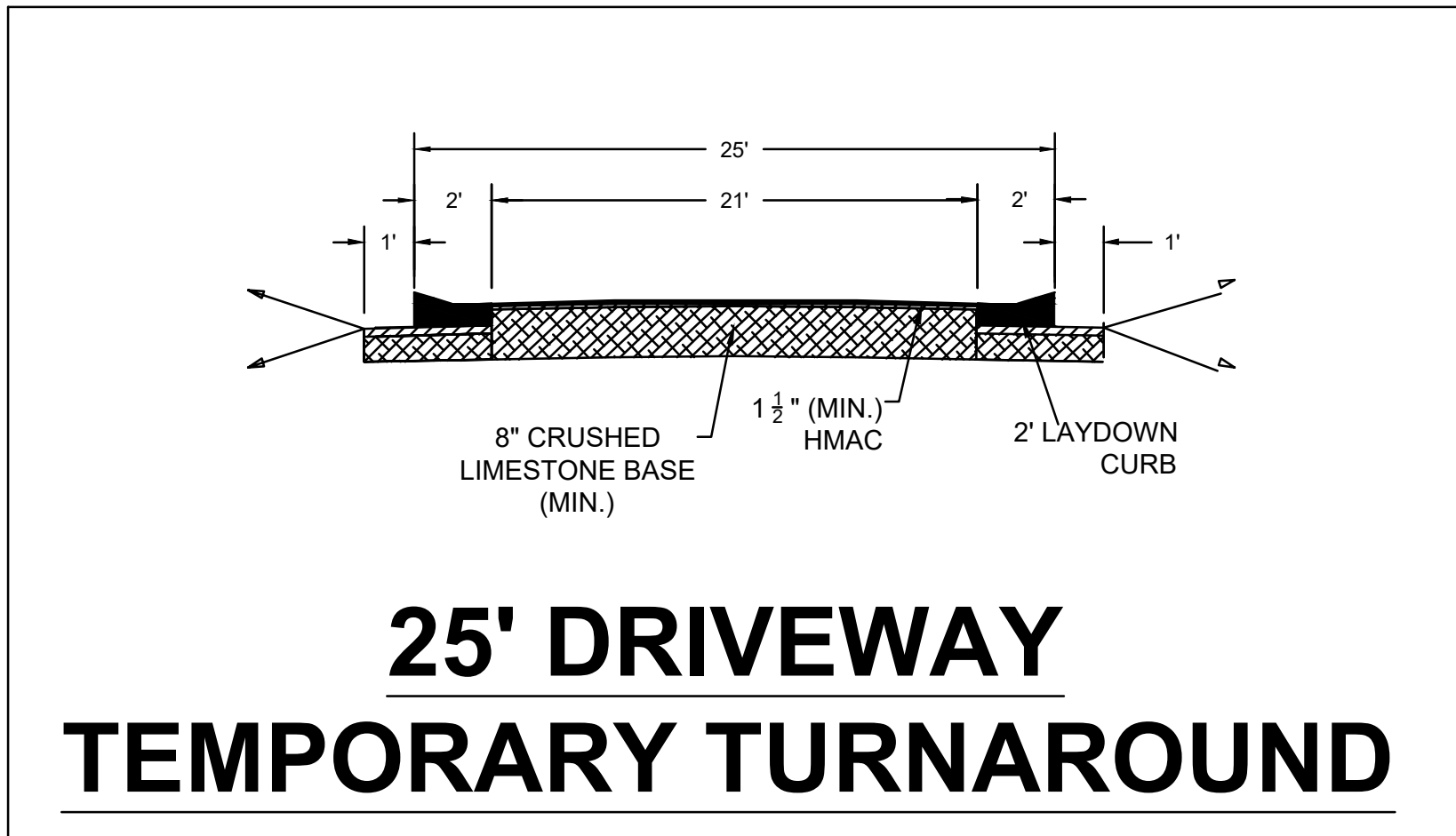
Precinct Two

PRELIMINARY PLAN FOR GULLAHORN SUBDIVISION PHASE 1A

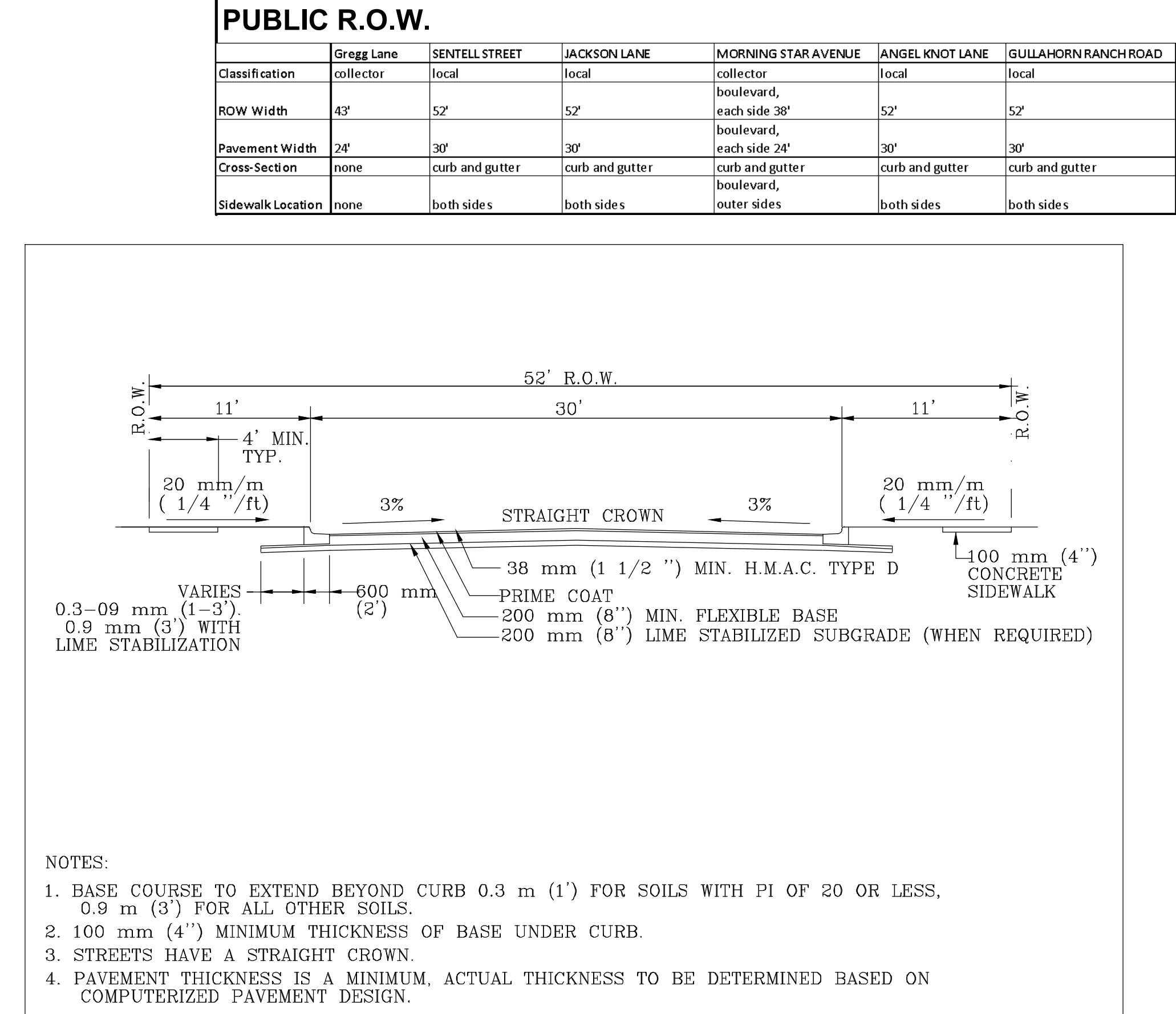


COA CASE NUMBER: C8J-2022-0141

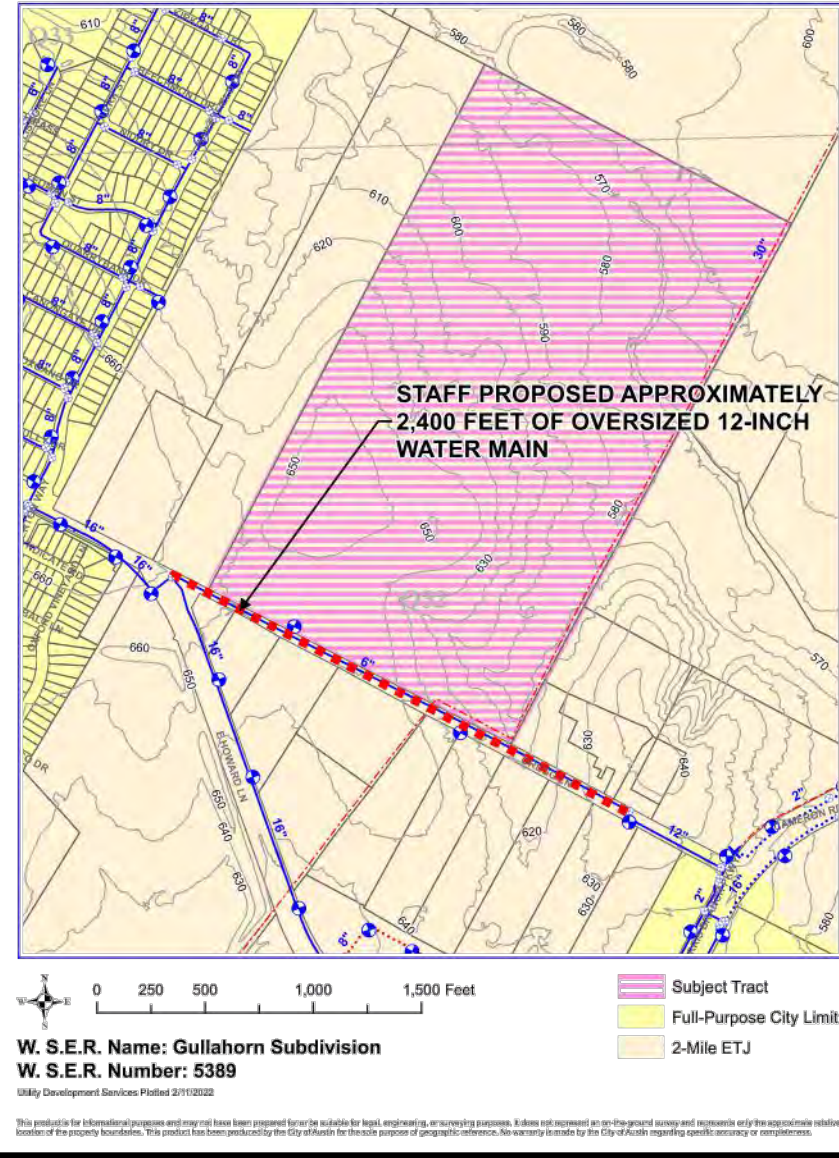
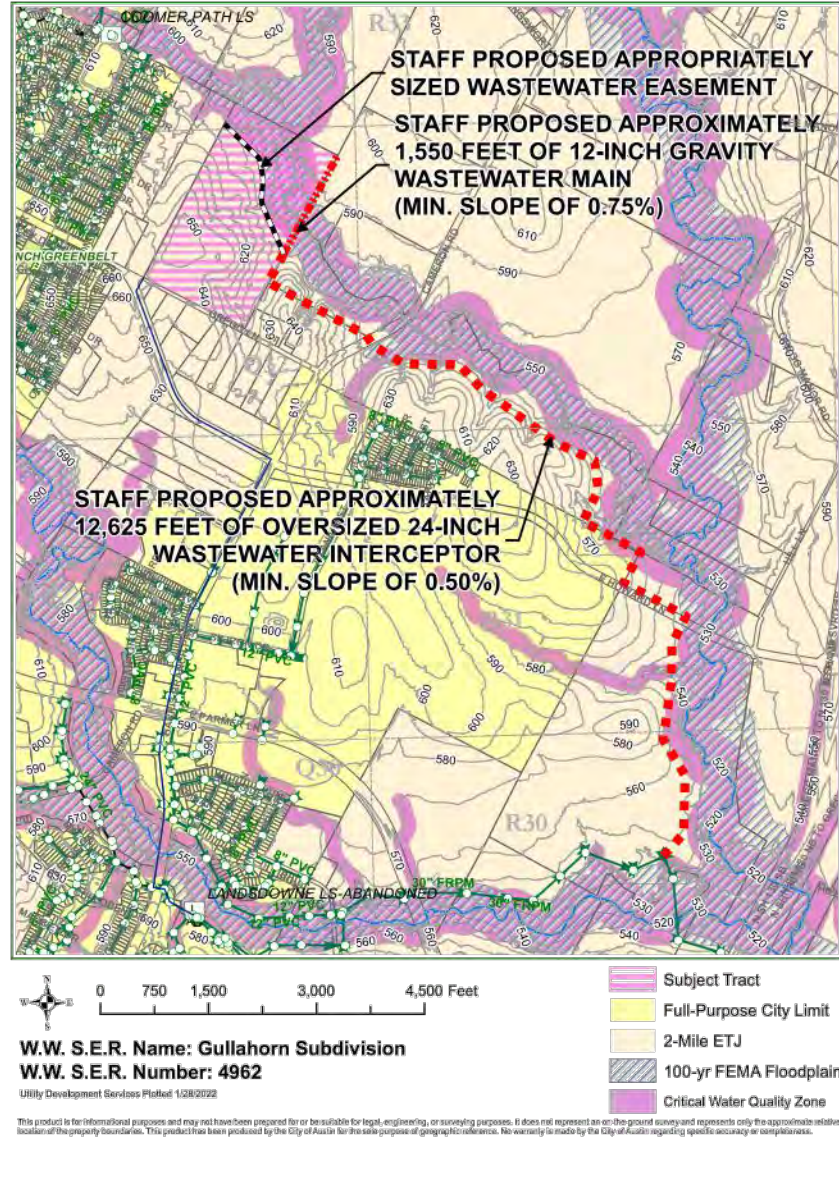
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NOTE: ABOVE STREET CROSS-SECTIONS ARE MODIFICATIONS OF CITY OF AUSTIN STANDARD DETAILS.



WATER AND WASTEWATER SERVICE EXTENSION REQUEST FOR CONSIDERATION	
Nearest Gullhorn Subdivision	Service Requested: Wastewater
NR-4962	House Service Request Number: 804546 Date Received: 11/19/2020
Location: 5300 GREGG LN AUSTIN TX 78749 Gullhorn Subdivision	
Acres: 96.40	Land Use: SINGLE FAMILY
Alt. Utility Service or S.E.R. Number: City of Austin Water SR-4961	
Quality: Q21 Q23	Estimated Process Time: 0000 YES
Drainage Basin: GULLAHORN	Process Zone: NORTH
Flow (Estimated Peak Wet Weather): 242 GPM	Flow (Flow): 1,000 GPM
Cost Participation: 90	% Within City Limits: 0 % Within Limited Purpose: 0
Description of Improvements: Applicant shall construct approximately 12,625 feet of oversized 24-inch wastewater interceptor (minimum 0.50% slope) from the existing 16-inch wastewater interceptor (Project no. 2011-0016, W.P. SR 24719 located near the confluence of Gullhorn Creek and North Branch Creek and extend south along the west side of Gullhorn Creek and extend along the east side of the tributary of Gullhorn Creek to the point located south of the subject tract as shown on the attached map. Applicant shall also construct approximately 1,250 feet of 12-inch gravity wastewater main (minimum 0.75% slope) along the proposed 24-inch wastewater interceptor described above and extend south to the tributary of Gullhorn Creek to the tributary of Gullhorn Creek.	
Agreement of the Service Extension Request is subject to completion and acceptance of the improvements described above and the conditions set forth herein: 1) Construction of all service extensions shall be subject to the completion and acceptance of the improvements described above and the conditions set forth herein. 2) Service Extensions are subject to the guidelines established in the Land Development Code, Chapter 25-6, Water and Wastewater Utility Service. 3) An approved Service Extension is not a reservation of capacity in the system, but is an acknowledgment of the intent to serve. Available capacity shall be confirmed at the time a development application is submitted. 4) The level of service approved by this document does not imply endorsement for land use. 5) Public utility service must meet City of Austin Design and Construction Criteria and must be approved by Austin Water Engineering Review. 6) Proposed public water improvements shall be subject to the City of Austin for design, construction, operation, and maintenance. 7) Proposed public wastewater improvements shall be subject to the public utility or approved utility wastewater. Utility easements shall be provided to the City of Austin for design, construction, operation, and maintenance. 8) Engineering Report submitted to Public Engineering detailing the proposed wastewater improvements which will address the dedication of easements. 9) The approved Service Extension will automatically expire 180 days after date of approval unless a development application has been accepted by the Development Services Department. The Service Extension expires on the date the development expires or, if approved, on the date the City Council approves the development. 10) Approved by the City Council will be required should the applicant seek participation for requested wastewater improvements.	
Agreement of the Service Extension Request is subject to completion and acceptance of the improvements described above and the conditions set forth herein: 1) Construction of all service extensions shall be subject to the completion and acceptance of the improvements described above and the conditions set forth herein. 2) Service Extensions are subject to the guidelines established in the Land Development Code, Chapter 25-6, Water and Wastewater Utility Service. 3) An approved Service Extension is not a reservation of capacity in the system, but is an acknowledgment of the intent to serve. Available capacity shall be confirmed at the time a development application is submitted. 4) The level of service approved by this document does not imply endorsement for land use. 5) Public utility service must meet City of Austin Design and Construction Criteria and must be approved by Austin Water Engineering Review. 6) Proposed public water improvements shall be subject to the City of Austin for design, construction, operation, and maintenance. 7) Proposed public wastewater improvements shall be subject to the public utility or approved utility wastewater. Utility easements shall be provided to the City of Austin for design, construction, operation, and maintenance. 8) Engineering Report submitted to Public Engineering detailing the proposed wastewater improvements which will address the dedication of easements. 9) The approved Service Extension will automatically expire 180 days after date of approval unless a development application has been accepted by the Development Services Department. The Service Extension expires on the date the development expires or, if approved, on the date the City Council approves the development. 10) Approved by the City Council will be required should the applicant seek participation for requested wastewater improvements.	




Single-Family	A	21
Single-Family	B	10
Single-Family	C	8
Single-Family	D	32
Single-Family	E	19
Total Single-Family		90
Drainage/Open Space	E	1
Drainage/Open Space	F	1
Drainage/Open Space		2
Total Drainage/Open Space		4
PUE	E	1
PUE		3
Total PUE		4
TOTAL LOTS		98


TOTAL SITE AREA: 16.4 ac

- ### NOTES
1. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY CITY OF AUSTIN OR TRAVIS COUNTY.
 2. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
 3. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ASSIGNS.
 4. THIS SUBDIVISION IS IN THE 2-MILE EXTRA-TERRITORIAL JURISDICTION OF THE CITY OF AUSTIN.
 5. WATER & WASTEWATER SERVICE WILL BE SERVED BY THE CITY OF AUSTIN, ELECTRIC SERVICE WILL BE PROVIDED BY AUSTIN ENERGY.
 6. THE OWNER OF THIS SUBDIVISION, AND HIS/HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
 7. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN FOR REVIEW. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY ON-SITE FLOODING OR OTHER METHODS.
 8. THE 100 YEAR FLOODPLAIN IS CONTAINED WITHIN THE DRAINAGE EASEMENT(S) SHOWN HEREON. A PORTION OF THE TRACT IS WITHIN THE 100 YEAR FLOOD PLAIN, OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM PANEL #48453C02904, DATED AUGUST 18, 2014 FOR TRAVIS COUNTY, TEXAS.
 9. OPEN SPACE LOTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION AND/OR HIS/HER ASSIGNS. PUBLIC UTILITY EASEMENTS WILL BE FURTHER DEFINED ON THE FINAL PLAT. THESE LOTS ARE RESTRICTED AGAINST FURTHER DEVELOPMENT.
 10. EROSION AND SEDIMENTATION CONTROLS FOR SINGLE FAMILY CONSTRUCTION: IT SHALL BE THE RESPONSIBILITY OF THE LOT OWNER/ BUILDER TO INSTALL AND MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROLS DOWNHILL OF THE DISTURBED AREAS DURING THE PERIOD OF HOUSE CONSTRUCTION.
 11. UTILITY SYSTEM: NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL THE BUILDING IS CONNECTED TO CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
 12. THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THE SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN UTILITY DESIGN CRITERIA INCLUDING APPROVED WAIVERS. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. THE WATER AND WASTEWATER UTILITY CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
 13. THE PROPOSED WATER AND WASTEWATER ALIGNMENTS AND SIZING SHOWN ON THE PRELIMINARY PLAN HAVE NOT BEEN APPROVED BY AUSTIN WATER. FINAL EASEMENTS, IF NECESSARY, MUST BE APPROVED BY AUSTIN WATER AS TO FORM, TYPE, AND WIDTH.
 14. EROSION/SEDIMENTATION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, PURSUANT TO CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL ACCORDING TO THE CITY OF AUSTIN.
 15. THIS PROJECT IS NOT OVER THE EDWARDS AQUIFER RECHARGE ZONE ACCORDING TO THE CITY OF AUSTIN.
 16. WATER QUALITY CONTROLS ARE REQUIRED FOR ALL DEVELOPMENT PURSUANT TO THE LAND DEVELOPMENT CODE.
 17. APPROVAL OF THIS PRELIMINARY PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATION FROM THE CITY'S LAND DEVELOPMENT REGULATIONS IN THE FINAL PLAT, CONSTRUCTION PLAN OR SITE PLAN STAGE, UNLESS SUCH DEVIATIONS HAVE BEEN SPECIFICALLY REQUESTED IN WRITING AND SUBSEQUENTLY APPROVED IN WRITING BY THE CITY. SUCH APPROVALS DO NOT RELIEVE THE ENGINEER OF THE OBLIGATION TO MODIFY THE DESIGN OF THE PROJECT IF IT DOES NOT MEET ALL OTHER CITY LAND DEVELOPMENT REGULATIONS OR IF IT IS SUBSEQUENTLY DETERMINED THAT THE DESIGN WOULD ADVERSELY IMPACT THE PUBLIC'S SAFETY, HEALTH, WELFARE OR PROPERTY.
 18. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
 19. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE. ANY RELOCATION OF ELECTRIC FACILITIES SHALL BE AT THE LANDOWNER'S EXPENSE.
 20. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, VEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRIC FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
 21. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
 22. ROADWAYS STANDARDS
ALL STREETS WITHIN THE SUBDIVISION WILL BE CONSTRUCTED TO CITY OF AUSTIN STANDARDS AND DEDICATED AS PUBLIC RIGHT-OF-WAY WITH THE FINAL PLAT.
 23. PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS AND AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: GULLAHORN RANCH ROAD, SENTELL STREET, MORNING STAR AVENUE, JACKSON LANE, ANGEL KNOT LANE. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHDRAWAL OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
 24. A TRAVIS COUNTY DRIVEWAY PERMIT WILL BE REQUIRED FOR ALL SINGLE-FAMILY LOTS.
 25. A TRAVIS COUNTY DEVELOPMENT PERMIT IS REQUIRED FOR THE PROPOSED PROJECT.

CITY APPROVAL	
Sheet 2 of 13	
FILE NUMBER:	EXPIRATION DATE:
CASE MANAGER:	APPLICATION DATE:
APPROVED ADMINISTRATIVELY ON: _____	
APPROVED BY PLANNING COMMISSION ON: _____	
APPROVED BY CITY COUNCIL ON: _____	
Under Section 112 of Chapter 25-5 Of The Austin City Code	
Director, Department of Planning and Development	
DATE OF RELEASE: _____	Zoning: _____
Rev 1 _____	Correction 1 _____
Rev 2 _____	Correction 2 _____
Rev 3 _____	Correction 3 _____



8/15/2022




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GULLAHORN SUBDIVISION
PHASE 1A
AUSTIN, TEXAS

BLACKBURN HOMES
5000 GREGG LANE
AUSTIN, TEXAS

CLIENT
DATE
April 26, 2021

REVISIONS

NO.	DESCRIPTION

SCALE
0 1 2 3 4 5 6 7 8 9 10
DR. CM. CH. XG.

P.M. CJO

BOOK -

JOB 20004096

SHEET NO.
2 OF 13

COA CASE NUMBER: C8J-2022-0141



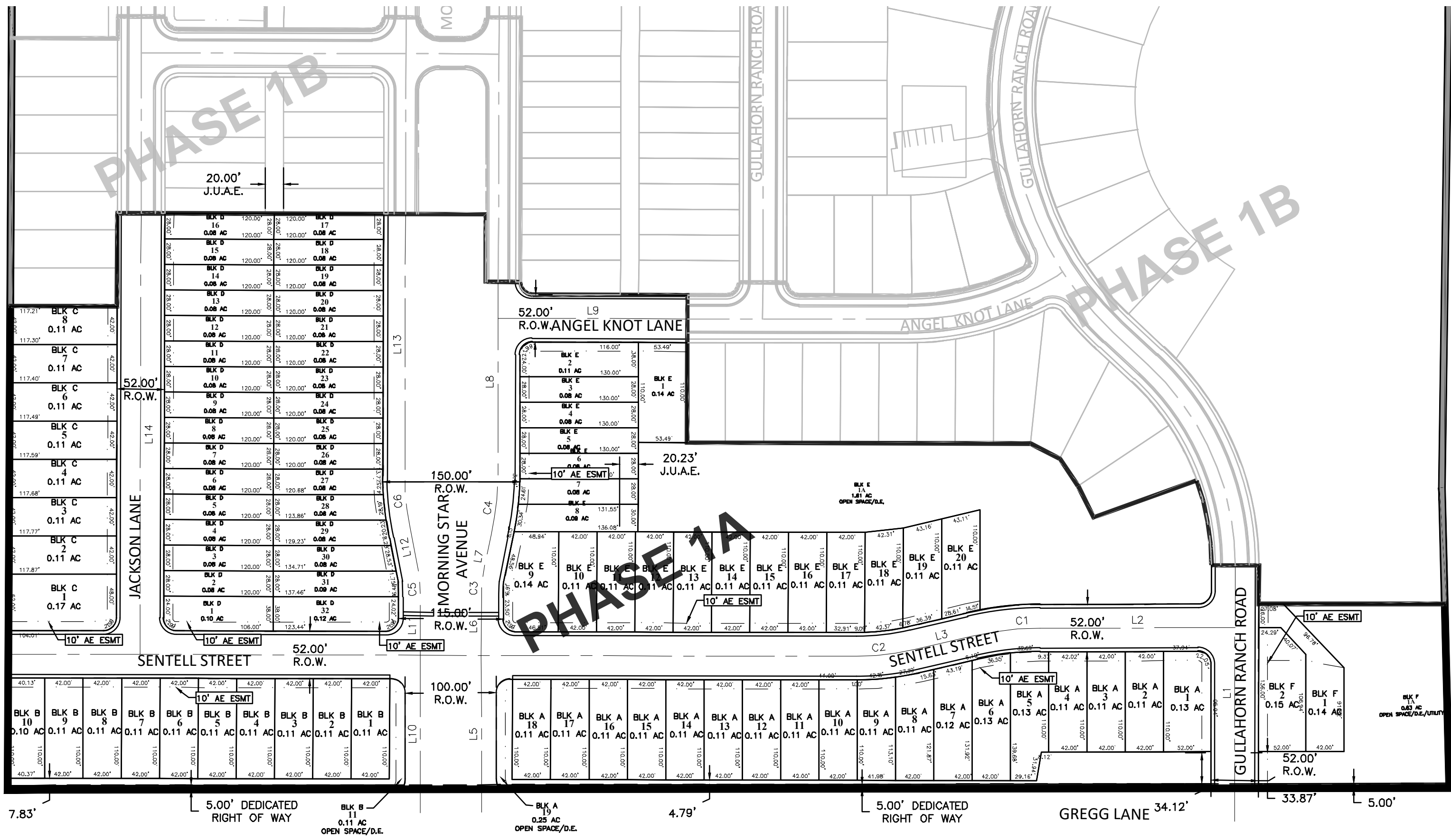
T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGNS\PRELIMINARY\PHASE 1A\DWG 8/15/2022 11:43 AM CONRADO MARTINEZ

- NOTES:
1. ALL CURB RETURNS ARE MIN. 15' RADIUS MEASURED AT FACE OF CURB, UNLESS OTHERWISE NOTED ON DRAWING.
 2. ACCESS FOR CERTAIN SINGLE-FAMILY LOTS (BLOCK D, LOTS 1-32 AND BLOCK E, LOTS 2-5) WILL BE PROVIDED BY ALLEYS/JOINT USE ACCESS EASEMENTS. MAINTENANCE FOR THE ALLEYS/JOINT USE ACCESS EASEMENTS WILL BE PROVIDED BY THE HOMEOWNER'S ASSOCIATION.

LINE & CURVE TABLES:		ABBREVIATIONS	LEGEND	NORTH ARROW & SCALE	KEYMAP																																																									
<table><tr><th colspan="2">LINE TABLE</th></tr><tr><th>LINE #</th><th>LENGTH</th></tr><tr><td>L1</td><td>281.08</td></tr><tr><td>L2</td><td>213.49</td></tr><tr><td>L3</td><td>65.00</td></tr><tr><td>L4</td><td>929.95</td></tr><tr><td>L5</td><td>172.37</td></tr><tr><td>L6</td><td>63.50</td></tr><tr><td>L7</td><td>50.44</td></tr><tr><td>L8</td><td>218.79</td></tr><tr><td>L9</td><td>207.49</td></tr><tr><td>L10</td><td>172.75</td></tr><tr><td>L11</td><td>63.50</td></tr><tr><td>L12</td><td>58.44</td></tr><tr><td>L13</td><td>285.46</td></tr><tr><td>L14</td><td>484.00</td></tr></table>		LINE TABLE		LINE #	LENGTH	L1	281.08	L2	213.49	L3	65.00	L4	929.95	L5	172.37	L6	63.50	L7	50.44	L8	218.79	L9	207.49	L10	172.75	L11	63.50	L12	58.44	L13	285.46	L14	484.00	<table><tr><th colspan="3">CURVE TABLE</th></tr><tr><th>CURVE #</th><th>LENGTH</th><th>RADIUS</th></tr><tr><td>C1</td><td>75.24</td><td>326.00</td></tr><tr><td>C2</td><td>64.34</td><td>274.00</td></tr><tr><td>C3</td><td>20.01</td><td>300.00</td></tr><tr><td>C4</td><td>58.25</td><td>300.00</td></tr><tr><td>C5</td><td>20.01</td><td>300.00</td></tr><tr><td>C6</td><td>58.00</td><td>300.00</td></tr></table>	CURVE TABLE			CURVE #	LENGTH	RADIUS	C1	75.24	326.00	C2	64.34	274.00	C3	20.01	300.00	C4	58.25	300.00	C5	20.01	300.00	C6	58.00	300.00	<p>BLK = BLOCK DE = DRAINAGE EASEMENT PUE = PUBLIC UTILITY EASEMENT AC = ACRES AE = AUSTIN ENERGY ESMT = EASEMENT EOP = EDGE OF PAVEMENT JUE = JOINT USE ACCESS EASEMENT ROW = RIGHT OF WAY</p>	<p>— — — — — PROPERTY BOUNDARY — — — — — RIGHT OF WAY — — — — — STREET CENTERLINE - - - - - SIDEWALK - - - - - CURB AND GUTTER 755 PROPOSED CONTOURS 750 EXISTING CONTOURS - - - - - EXISTING EASEMENT</p>	<p> SCALE: 1" = 100'</p>	
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CITY APPROVAL	
SITE PLAN RELEASE Sheet 4 Of 13	
FILE NUMBER: _____	EXPIRATION DATE: _____
CASE MANAGER: _____	APPLICATION DATE: _____
APPROVED ADMINISTRATIVELY ON: _____	
APPROVED BY PLANNING COMMISSION ON: _____	
APPROVED BY CITY COUNCIL ON: _____	
Under Section 112 of Chapter 25-5 Of The Austin City Code	
Director, Department of Planning and Development	
DATE OF RELEASE: _____	Zoning: _____
Rev 1 _____	Correction 1 _____
Rev 2 _____	Correction 2 _____
Rev 3 _____	Correction 3 _____

REVISIONS	
SCALE	0
DR.	CM. CH. XG.
P.M.	CJO
BOOK	-
JOB	2004/095
SHEET NO.	4 OF 13



STATE OF TEXAS

DAVID B. FUSILIER

87710

LICENSED PROFESSIONAL ENGINEER

8/15/2022

811

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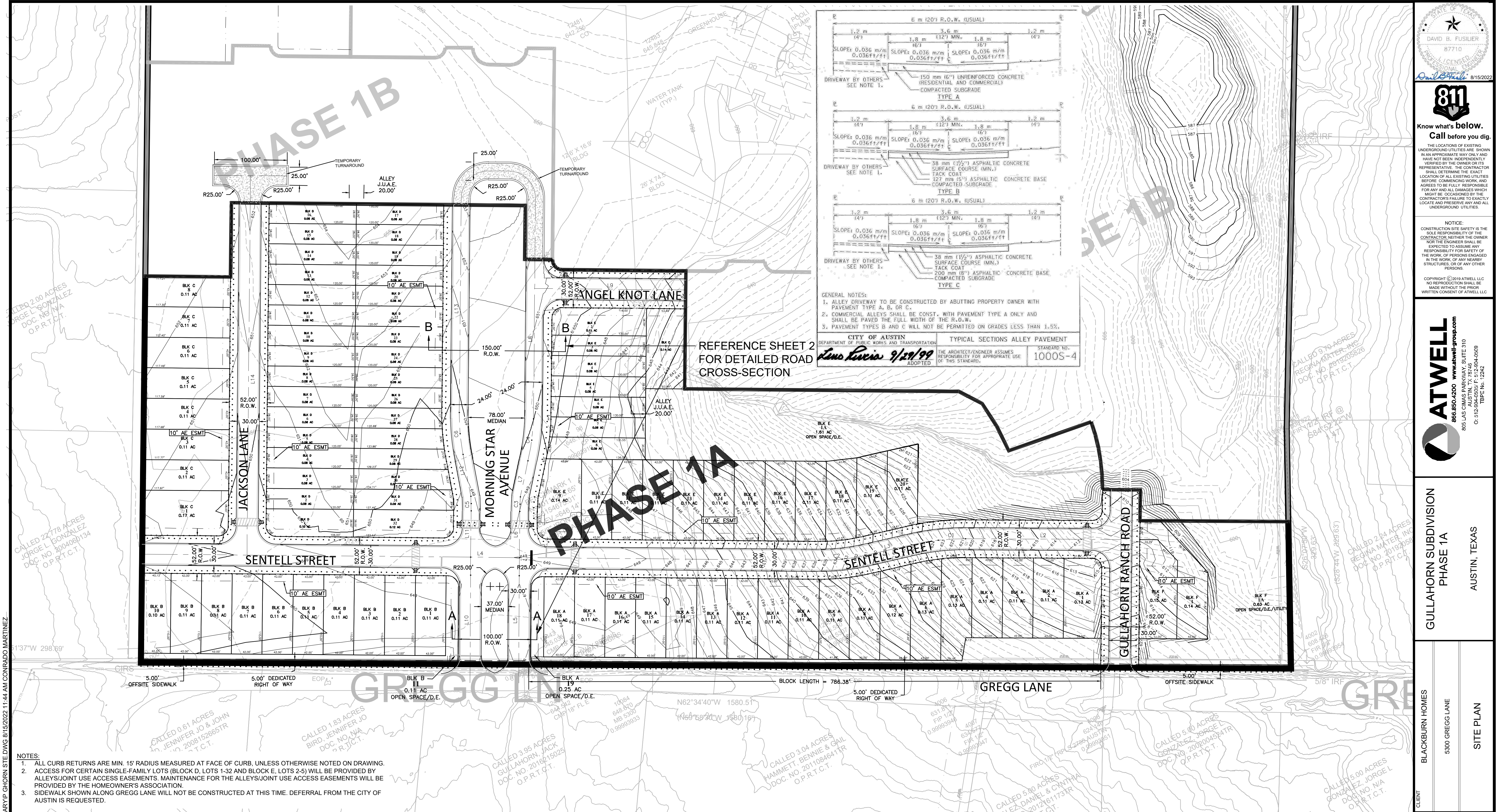
C-5-52404-0001 F-523604-0009

TYPE NO. 1224

GULLAHORN SUBDIVISION
PHASE 1A
AUSTIN, TEXAS

CLIENT
BLACKBURN HOMES
5500 GREGG LANE
OVERALL SITE PLAN

DATE
April 26, 2021



LINE & CURVE TABLES:

LINE #	LENGTH
L1	281.08
L2	213.49
L3	65.00
L4	929.95
L5	172.37
L6	63.50
L7	50.44
L8	218.79
L9	207.49
L10	172.75
L11	63.50
L12	56.44
L13	285.46

CURVE TABLE		
CURVE #	LENGTH	RADIUS
C1	75.24	326.00
C2	64.34	274.00
C3	20.01	300.00
C4	58.25	300.00
C5	20.01	300.00
C6	58.00	300.00

ABBREVIATIONS

BLK = BLOCK
DE = DRAINAGE EASEMENT
PUE = PUBLIC UTILITY EASEMENT
AC = ACRES
AE = AUSTIN ENERGY
ESMT = EASEMENT
EOP = EDGE OF PAVEMENT
JUA.E. = JOINT USE ACCESS EASEMENT
ROW = RIGHT OF WAY

LEGEND

PROPERTY BOUNDARY
RIGHT OF WAY
STREET CENTERLINE
SIDEWALK
CURB AND GUTTER
PROPOSED CONTOURS
EXISTING CONTOURS
EXISTING EASEMENT

NORTH ARROW & SCALE

0 30' 60' 120'

SCALE: 1" = 60'

KEYMAP

CITY APPROVAL

SITE PLAN RELEASE

Sheet 5 Of 13

FILE NUMBER: _____ EXPIRATION DATE: _____

CASE MANAGER: _____ APPLICATION DATE: _____

APPROVED ADMINISTRATIVELY ON: _____

APPROVED BY PLANNING COMMISSION ON: _____

APPROVED BY CITY COUNCIL ON: _____

Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development

DATE OF RELEASE: _____ Zoning: _____

Rev 1 _____ Correction 1 _____

Rev 2 _____ Correction 2 _____

Rev 3 _____ Correction 3 _____

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

SCALE

0 10' 20' 30' 40' 50' 60' 70' 80' 90' 100'

DR. CM CH. XG

P.M. CJO

BOOK _____

JOB 20004096

SHEET NO. 5 OF 13

CLIENT

BLACKBURN HOMES

5300 GREGG LANE

AUSTIN, TEXAS

DATE

April 26, 2021

REVISIONS

SCALE

DR. CM CH. XG

P.M. CJO

BOOK _____

JOB 20004096

SHEET NO. 5 OF 13

NOTES:

1. ALL CURB RETURNS ARE MIN. 15' RADIUS MEASURED AT FACE OF CURB, UNLESS OTHERWISE NOTED ON DRAWING.

2. ACCESS FOR CERTAIN SINGLE-FAMILY LOTS (BLOCK D, LOTS 1-32 AND BLOCK E, LOTS 2-5) WILL BE PROVIDED BY ALLEYS/JOINT USE ACCESS EASEMENTS. MAINTENANCE FOR THE ALLEYS/JOINT USE ACCESS EASEMENTS WILL BE PROVIDED BY THE HOMEOWNER'S ASSOCIATION.

3. SIDEWALK SHOWN ALONG GREGG LANE WILL NOT BE CONSTRUCTED AT THIS TIME. DEFERRAL FROM THE CITY OF AUSTIN IS REQUESTED.



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TBE No. 2242

**GULLAHORN SUBDIVISION
PHASE 1A**

AUSTIN, TEXAS

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\PHASE 1A\PRELIMINARY\PHASE 1A PRELIMINARY SITE PLAN.DWG 8/15/2022 11:44 AM CONRADO MARTINEZ

CAD FILE: P-GHORN SITE.DWG

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\GULLAHORN\PHASE 1A\DWG\8/15/2022 11:44 AM CONRADO MARTINEZ

APPENDIX Q-2
IMPERVIOUS COVER
SUBURBAN WATERSHEDS
GULLAHORN TRACT, PHASE 1A

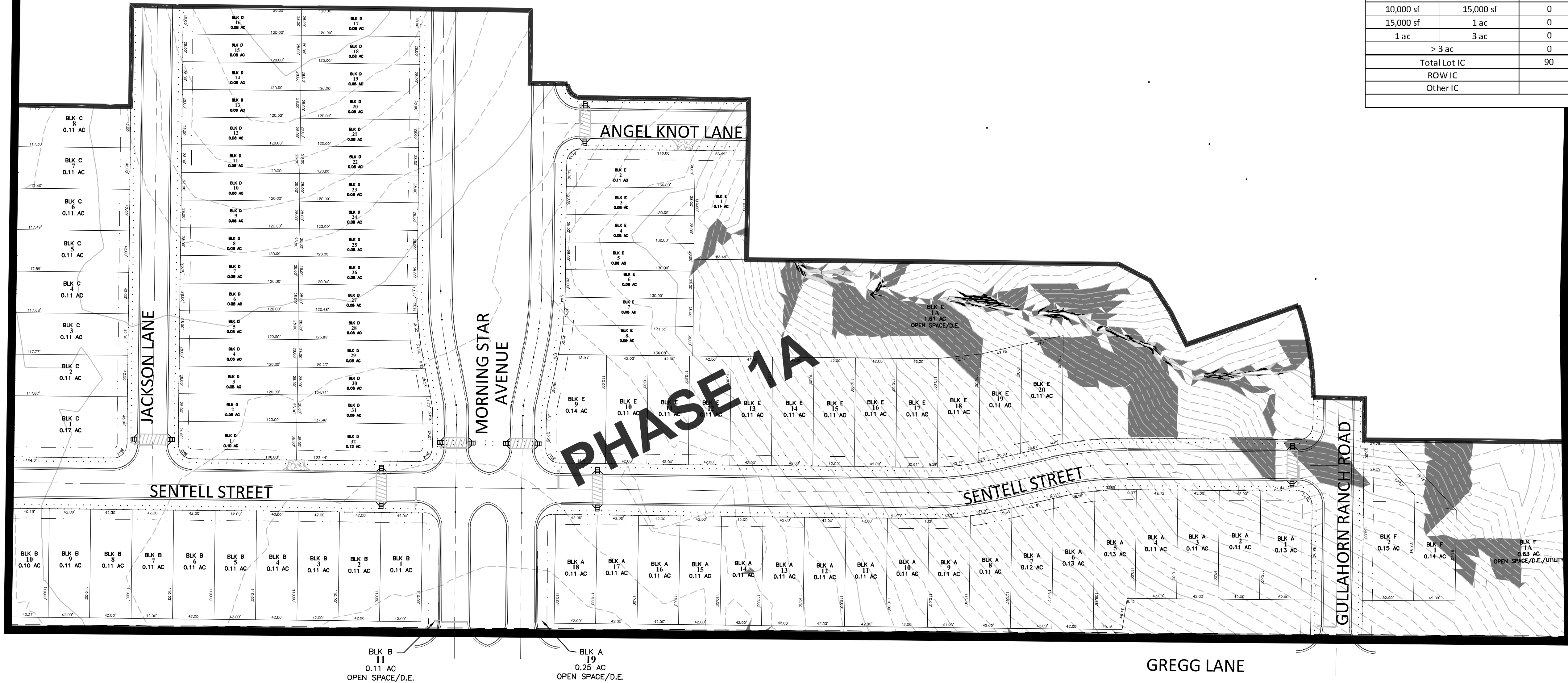
IMPERVIOUS COVER ALLOWED AT 65 % X GROSS SITE AREA = 10.65 ACRES

ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY
TOTAL ACREAGE 15-25% = 0.74 ACRES X 10% = 0.074 ACRES

PROPOSED TOTAL IMPERVIOUS COVER
TOTAL PROPOSED IMPERVIOUS COVER = 8.30 ACRES = 50.7 %

SLOPE CATEGORIES	TOTAL ACRES	IMPERVIOUS COVER		
		BUILDING/ OTHER ACRES	% OF CATEGORY	DRIVEWAYS/ ROADWAYS ACRES
0-15%	15.575	5.150	33.07	2.984
15-25%	0.742	0.015	2.02	0.086
25-35%	0.030	0.000	0.00	0.000
OVER 35%	0.033	0.000	0.00	0.000
TOTAL SITE AREA	16.380			

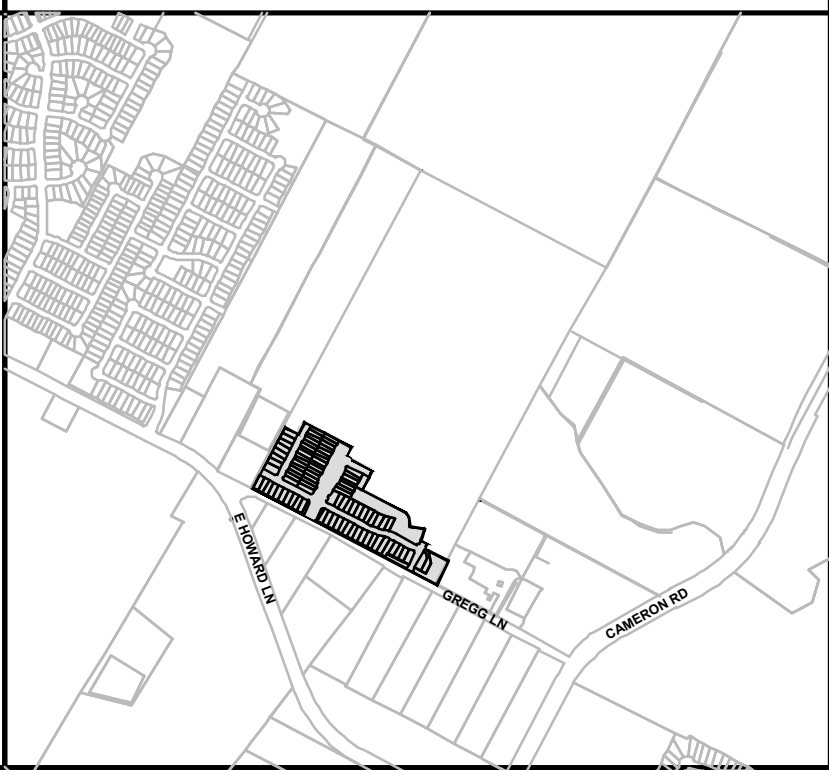
Impervious Cover Table				
Lot Size		Number of	Assumed IC	Proposed IC
Min.	Max.	Lots	(sf)	(sf)
< 10,000 sf		90	2,500	225,000
10,000 sf	15,000 sf	0	3,500	0
15,000 sf	1 ac	0	5,000	0
1 ac	3 ac	0	7,000	0
> 3 ac		0	10,000	0
Total Lot IC		90		225,000
ROW IC				136,538
Other IC				0
			Total:	361,538



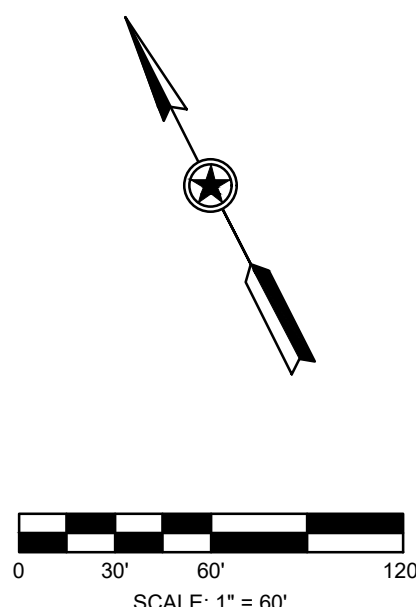
SLOPES TABLE

Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	ACRES
1	0.00%	15.00%		15.26
2	15.00%	25.00%		0.75
3	25.00%	35.00%		0.03
4	35.00%	100.00%		0.03

KEYMAP



NORTH ARROW & SCALE

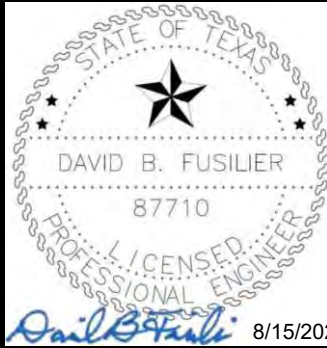


CITY APPROVAL

SITE PLAN RELEASE Sheet 6 Of 13
FILE NUMBER: _____ EXPIRATION DATE: _____
CASE MANAGER: _____ APPLICATION DATE: _____
APPROVED ADMINISTRATIVELY ON: _____
APPROVED BY PLANNING COMMISSION ON: _____
APPROVED BY CITY COUNCIL ON: _____
Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development
DATE OF RELEASE: _____ Zoning: _____

Rev 1 _____ Correction 1 _____
Rev 2 _____ Correction 2 _____
Rev 3 _____ Correction 3 _____



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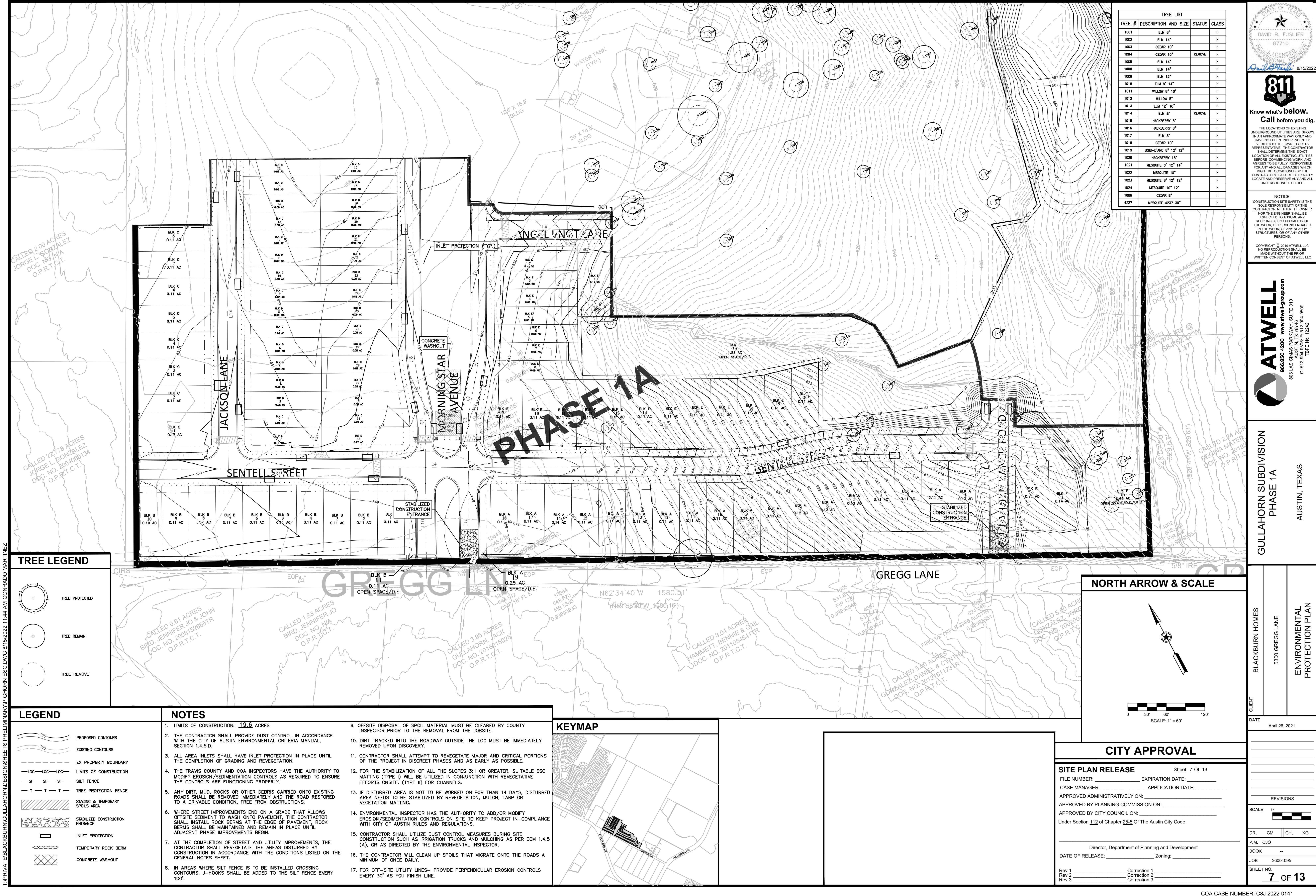


GULLAHORN SUBDIVISION
PHASE 1A
AUSTIN, TEXAS

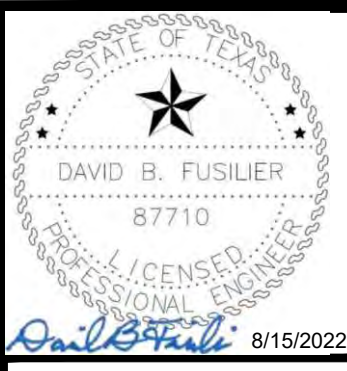
CLIENT
BLACKBURN HOMES
5300 GREGG LANE
SLOPE MAP

DATE
April 26, 2021

REVISIONS
SCALE 0
DR. CM CH. XG
P.M. CJO
BOOK
JOB 20004096
SHEET NO.
6 OF 13



TREE LIST				
TREE #	DESCRIPTION AND SIZE	STATUS	CLASS	
1001	ELM 8"		H	
1002	ELM 14"		H	
1003	CEDAR 10"		H	
1004	CEDAR 10"	REMOVE	H	
1005	ELM 14"		H	
1006	ELM 14"		H	
1009	ELM 12"		H	
1010	ELM 8" 14"		H	
1011	WILLOW 8" 10"		H	
1012	WILLOW 8"		H	
1013	ELM 12" 18"		H	
1014	ELM 8"	REMOVE	H	
1015	HACKBERRY 8"		H	
1016	HACKBERRY 8"		H	
1017	ELM 8"		H	
1018	CEDAR 10"		H	
1019	BOIS-D'ARC 8" 12" 12"		H	
1020	HACKBERRY 18"		H	
1021	MESQUITE 8" 12" 14"		H	
1022	MESQUITE 10"		H	
1023	MESQUITE 8" 12" 12"		H	
1024	MESQUITE 10" 12"		H	
1086	CEDAR 8"		H	
4237	MESQUITE 4237 30"		H	



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GULLAHORN SUBDIVISION
PHASE 1A
AUSTIN, TEXAS

CLIENT
BLACKBURN HOMES
5300 GREGG LANE
AUSTIN, TEXAS 78746

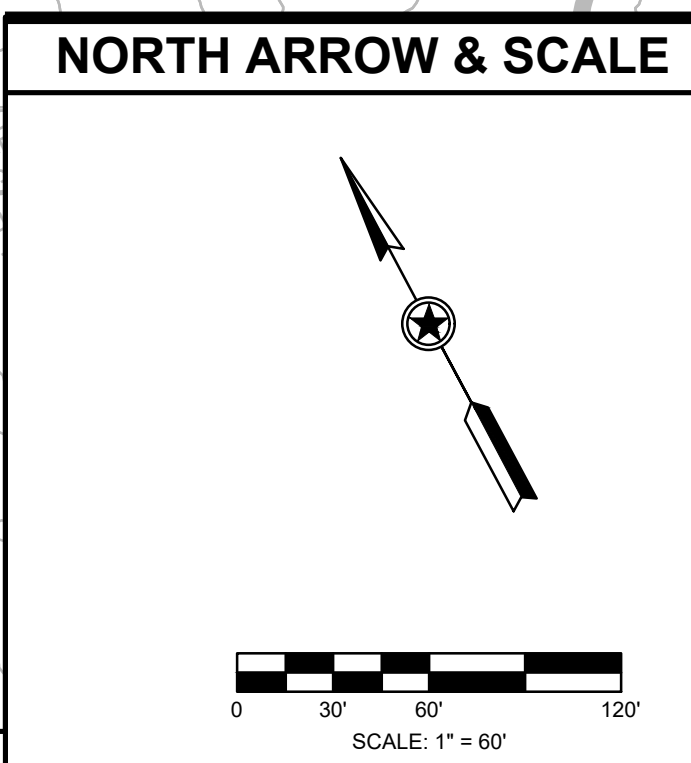
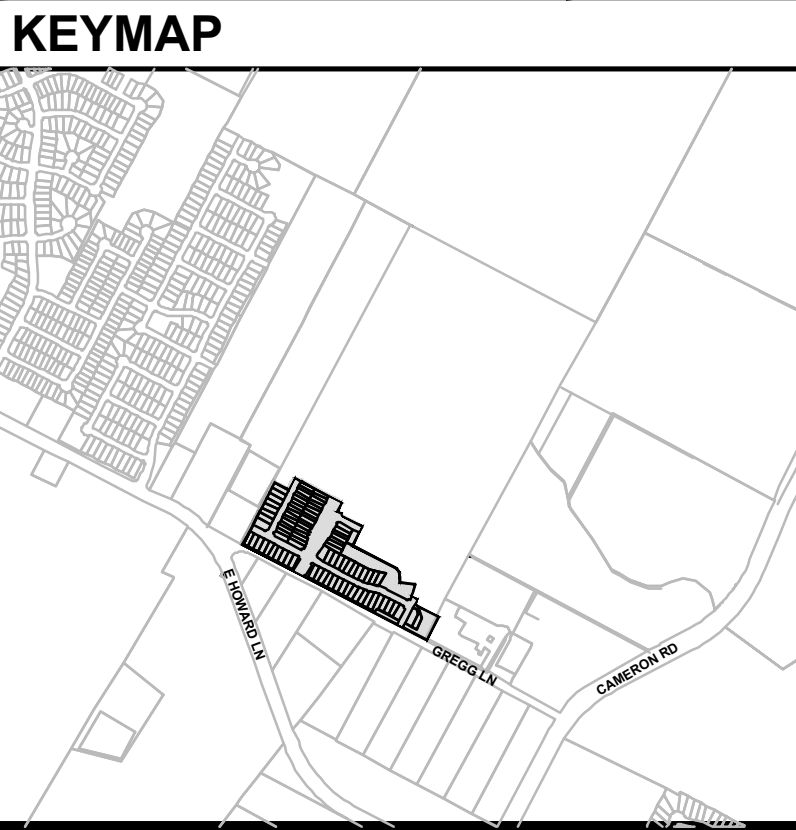
DATE
April 26, 2021

REVISIONS
SCALE 0
DR. CM CH. XG
P.M. CJO
BOOK
JOB 20204096
SHEET NO.
7 OF 13

TREE LEGEND	
	TREE PROTECTED
	TREE REMAIN
	TREE REMOVE

LEGEND	
	PROPOSED CONTOURS
	EXISTING CONTOURS
	EX PROPERTY BOUNDARY
	LIMITS OF CONSTRUCTION
	SILT FENCE
	TREE PROTECTION FENCE
	STAGING & TEMPORARY SPOILS AREA
	STABILIZED CONSTRUCTION ENTRANCE
	INLET PROTECTION
	TEMPORARY ROCK BERM
	CONCRETE WASHOUT

- ### NOTES
- LIMITS OF CONSTRUCTION: 19.6 ACRES
 - THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL, SECTION 1.4.5.D.
 - ALL AREA INLETS SHALL HAVE INLET PROTECTION IN PLACE UNTIL THE COMPLETION OF GRADING AND REVEGETATION.
 - THE TRAVIS COUNTY AND COA INSPECTORS HAVE THE AUTHORITY TO MODIFY EROSION/SEDIMENTATION CONTROLS AS REQUIRED TO ENSURE THE CONTROLS ARE FUNCTIONING PROPERLY.
 - ANY DIRT, MUD, ROCKS OR OTHER DEBRIS CARRIED ONTO EXISTING ROADS SHALL BE REMOVED IMMEDIATELY AND THE ROAD RESTORED TO A DRIVABLE CONDITION, FREE FROM OBSTRUCTIONS.
 - WHERE STREET IMPROVEMENTS END ON A GRADE THAT ALLOWS OFFSITE SEDIMENT TO WASH ONTO PAVEMENT, THE CONTRACTOR SHALL INSTALL ROCK BERMS AT THE EDGE OF PAVEMENT, ROCK BERMS SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL ADJACENT PHASE IMPROVEMENTS BEGIN.
 - AT THE COMPLETION OF STREET AND UTILITY IMPROVEMENTS, THE CONTRACTOR SHALL REVEGETATE THE AREAS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH THE CONDITIONS LISTED ON THE GENERAL NOTES SHEET.
 - IN AREAS WHERE SILT FENCE IS TO BE INSTALLED CROSSING CONTOURS, J-HOOKS SHALL BE ADDED TO THE SILT FENCE EVERY 100'.
 - OFFSITE DISPOSAL OF SPOIL MATERIAL MUST BE CLEARED BY COUNTY INSPECTOR PRIOR TO THE REMOVAL FROM THE JOBSITE.
 - DIRT TRACKED INTO THE ROADWAY OUTSIDE THE LOC MUST BE IMMEDIATELY REMOVED UPON DISCOVERY.
 - CONTRACTOR SHALL ATTEMPT TO REVEGETATE MAJOR AND CRITICAL PORTIONS OF THE PROJECT IN DISCREET PHASES AND AS EARLY AS POSSIBLE.
 - FOR THE STABILIZATION OF ALL THE SLOPES 3:1 OR GREATER, SUITABLE ESC MATTING (TYPE I) WILL BE UTILIZED IN CONJUNCTION WITH REVEGETATIVE EFFORTS ONSITE. (TYPE II) FOR CHANNELS.
 - IF DISTURBED AREA IS NOT TO BE WORKED ON FOR THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR VEGETATION MATTING.
 - ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN-COMPLIANCE WITH CITY OF AUSTIN RULES AND REGULATIONS.
 - CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5 (A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
 - THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.
 - FOR OFF-SITE UTILITY LINES- PROVIDE PERPENDICULAR EROSION CONTROLS EVERY 30' AS YOU FINISH LINE.



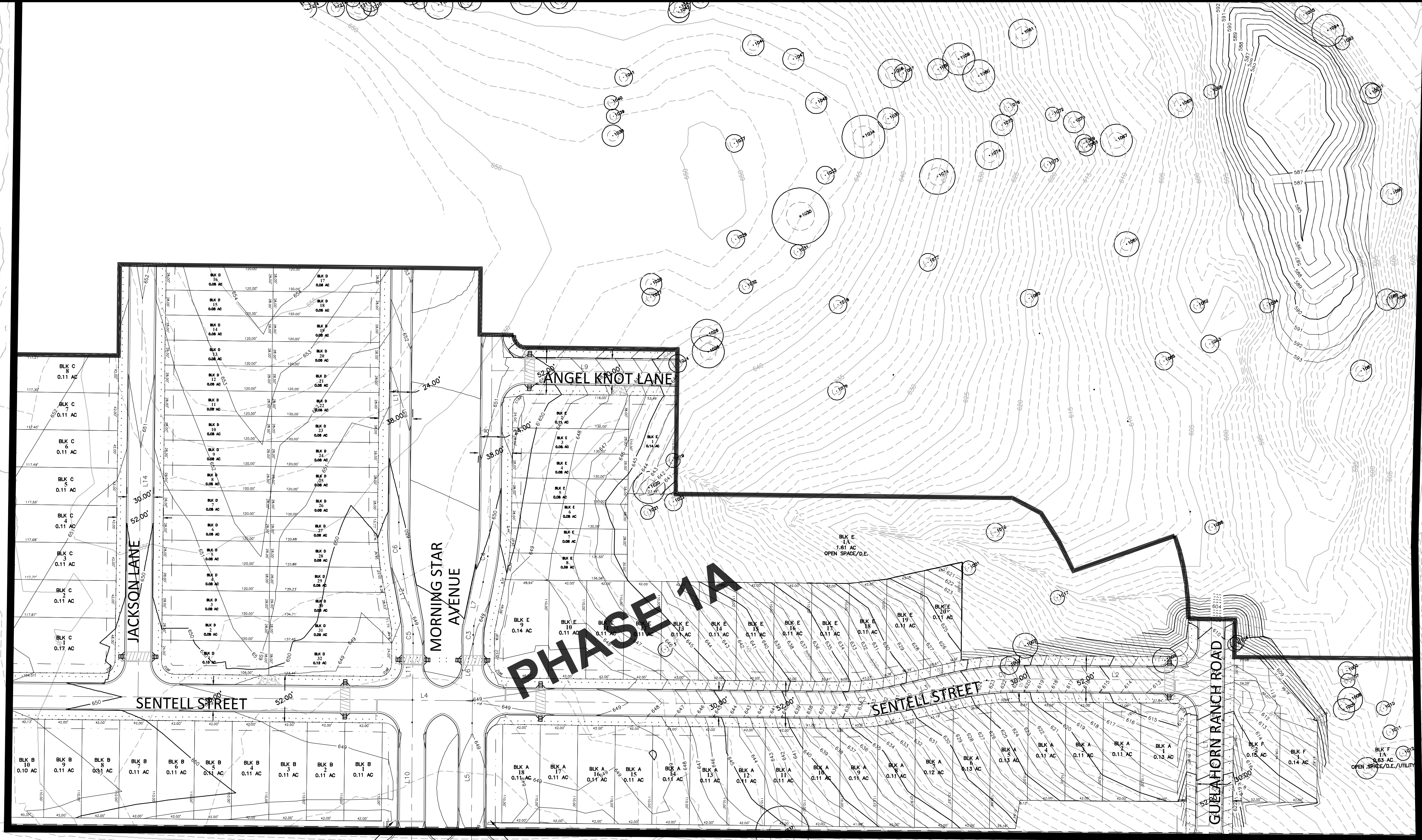
CITY APPROVAL

SITE PLAN RELEASE		Sheet 7 Of 13	
FILE NUMBER:	EXPIRATION DATE:		
CASE MANAGER:	APPLICATION DATE:		
APPROVED ADMINISTRATIVELY ON:			
APPROVED BY PLANNING COMMISSION ON:			
APPROVED BY CITY COUNCIL ON:			
Under Section 112 of Chapter 25-5 Of The Austin City Code			
Director, Department of Planning and Development			
DATE OF RELEASE:	Zoning:		
Rev 1	Correction 1		
Rev 2	Correction 2		
Rev 3	Correction 3		

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\PRELIMINARY\PHASE 1A\CONRADO MARTINEZ

CAD FILE: P-GHORN-ESC.DWG

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LINE & CURVE TABLES:

LINE #	LENGTH
L1	281.08
L2	213.49
L3	65.00
L4	929.95
L5	172.37
L6	63.50
L7	50.44
L8	218.79
L9	207.49
L10	172.75
L11	63.50
L12	58.44
L13	285.46

CURVE #	LENGTH	RADIUS
C1	75.24	326.00
C2	64.34	274.00
C3	20.01	300.00
C4	58.25	300.00
C5	20.01	300.00
C6	58.00	300.00

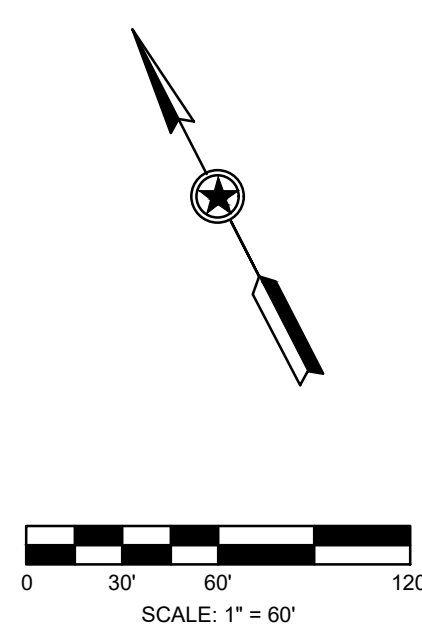
ABBREVIATIONS

BLK = BLOCK
DE = DRAINAGE EASEMENT
PUE = PUBLIC UTILITY EASEMENT
AC = ACRES
AE = AUSTIN ENERGY
ESMT = EASEMENT
EOP = EDGE OF PAVEMENT
JUAE = JOINT USE ACCESS EASEMENT
ROW = RIGHT OF WAY

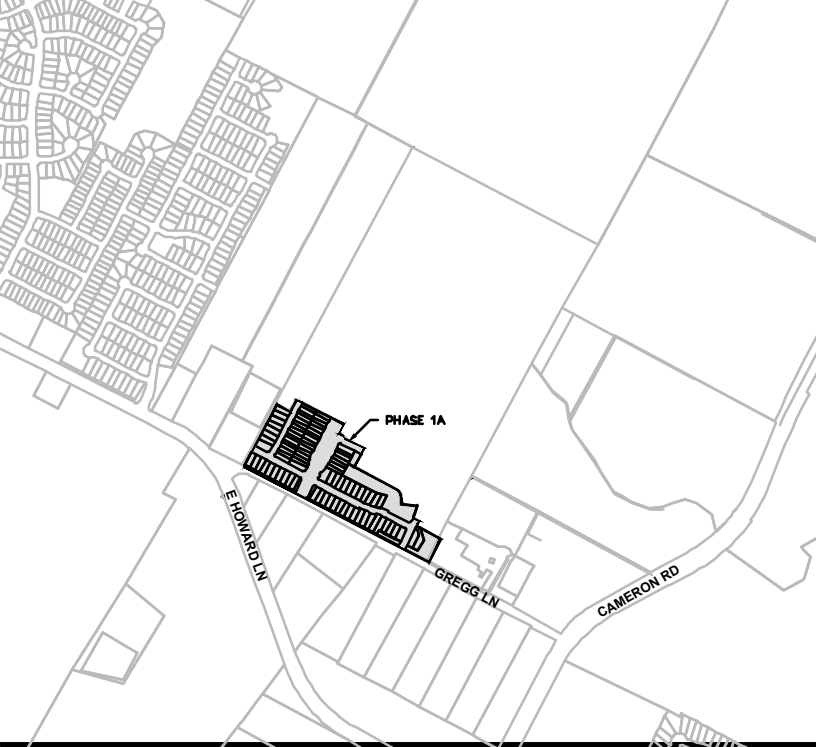
LEGEND

PROPERTY BOUNDARY
RIGHT OF WAY
STREET CENTERLINE
SIDEWALK
CURB AND GUTTER
PROPOSED CONTOURS
EXISTING CONTOURS
EXISTING EASEMENT

NORTH ARROW & SCALE



KEYMAP

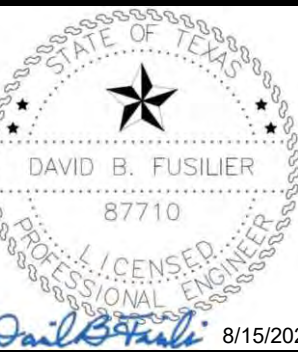


CITY APPROVAL

SITE PLAN RELEASE Sheet 8 Of 13
FILE NUMBER: _____ EXPIRATION DATE: _____
CASE MANAGER: _____ APPLICATION DATE: _____
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Director, Department of Planning and Development
DATE OF RELEASE: _____ Zoning: _____

Rev 1 _____ Correction 1 _____
Rev 2 _____ Correction 2 _____
Rev 3 _____ Correction 3 _____



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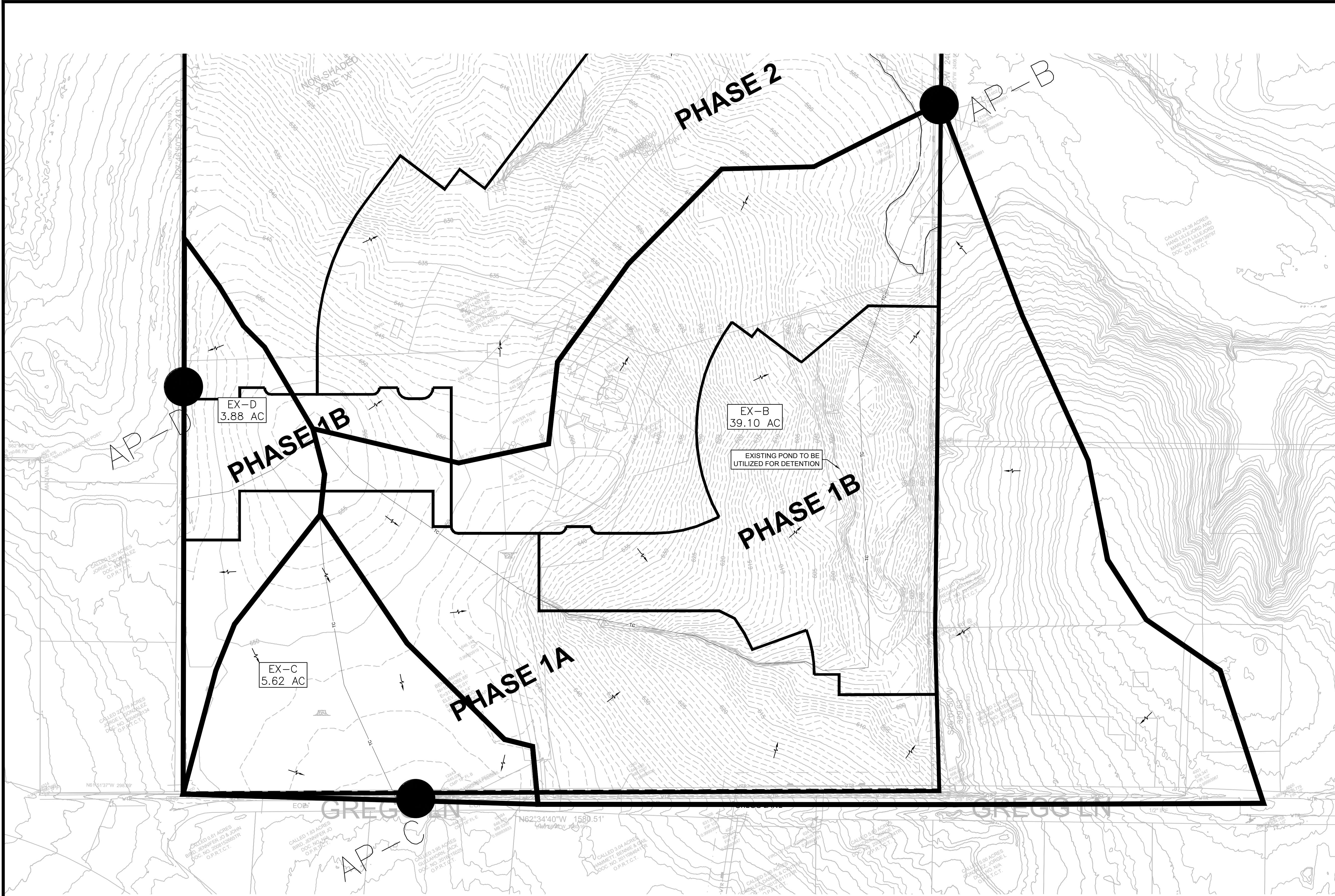
GULLAHORN SUBDIVISION
PHASE 1A
AUSTIN, TEXAS

CLIENT
BLACKBURN HOMES
5300 GREGG LANE
GRADING PLAN

DATE
April 26, 2021

REVISIONS
SCALE 0
DR. CM CH. XG
P.M. CJO
BOOK
JOB 202004095
SHEET NO.
8 OF 13

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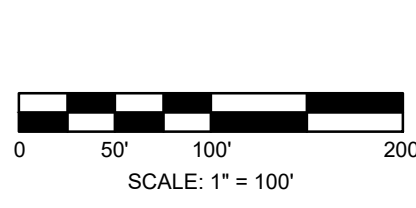
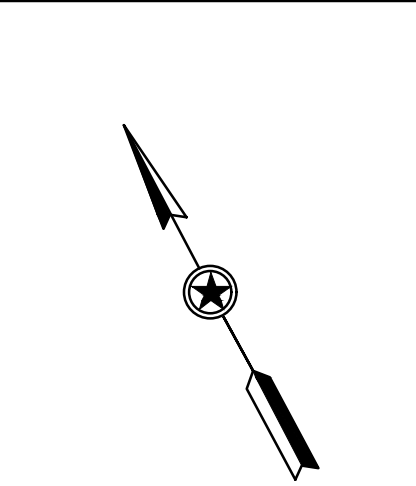


NOTE: ALL CALCULATIONS UTILIZE
ATLAS 14 PRECIPITATION DATA

LEGEND AND NOTES

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPERTY BOUNDARY
- DRAINAGE AREA BOUNDARY
- TIME OF CONCENTRATION
- STORM SEWER CULVERT
- STORM SEWER LINE
- CURB INLET
- AREA INLET
- STORM SEWER MANHOLE
- SS LEVEL SPREADER
- FLOW ARROW
- 100 YR FLOOD PLAIN
- CREEK CENTER
- DRAINAGE SWALE
- DRAINAGE AREA DESIGNATION AND ACREAGE
- EXISTING
- DEVELOPED
- WATER QUALITY

NORTH ARROW



CITY APPROVAL

SITE PLAN RELEASE Sheet 9 Of 13

FILE NUMBER: _____ EXPIRATION DATE: _____

CASE MANAGER: _____ APPLICATION DATE: _____

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APPROVED BY PLANNING COMMISSION ON: _____

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Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development

DATE OF RELEASE: _____ Zoning: _____

Rev 1 _____ Correction 1 _____

Rev 2 _____ Correction 2 _____

Rev 3 _____ Correction 3 _____

Existing Drainage Areas - Time of Concentration Calculations															
Drainage Area / Basin Name	Sheet Flow						Shallow Concentrated Flow - Unpaved					Concentrated Flow - Channel			Tc-Total (min)
	Length (ft)	Mannings n	Delta - Vertical (ft)	Slope (ft/ft)	2yr-24hr Rainfall (in)	Tc-Sheet (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Velocity (ft/sec)	Tc-Channel (min)	
EX-B	100	0.24	1.3	0.013	4.06	14.83	423	12.9	0.030	2.81	2.50	2001	5.00	6.67	24.01
EX-C	100	0.24	2.1	0.021	4.06	12.44	520	4.6	0.009	1.52	5.69		5.00	0.00	18.13
EX-D	100	0.24	2.0	0.020	4.06	12.73	200	7.0	0.035	3.02	1.10		5.00	0.00	13.83

Overall Site Drainage Calculations - Existing Basins									
Basin Area	Area (ac)	PondPack Input Summary			PondPack Output Summary				Tc-Total (min)
		Total IC (%)	SCS Weighted Curve Number	Tc-Total (min)	2 Year Peak Flow (ft ³ /s)	10 Year Peak Flow (ft ³ /s)	25 Year Peak Flow (ft ³ /s)	100 Year Peak Flow (ft ³ /s)	
EX-B	39.10	2.51	80.45	24.01	77.82	148.29	196.70	277.60	
EX-C	5.62	0.77	80.14	18.13	12.74	24.28	32.21	45.48	
EX-D	3.88	0.00	80.00	13.83	9.90	18.91	25.02	35.26	
O-B					77.82	148.29	196.70	277.60	
O-C					12.74	24.28	32.21	45.48	
O-D					9.90	18.91	25.02	35.26	

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PHASE 1A

AUSTIN, TEXAS

CLIENT

BLACKBURN HOMES

5300 GREGG LANE

PRE-DEVELOPED DRAINAGE AREA MAP

DATE

April 26, 2021

REVISIONS

SCALE 0

DR. CM CH. XG

P.M. CJO

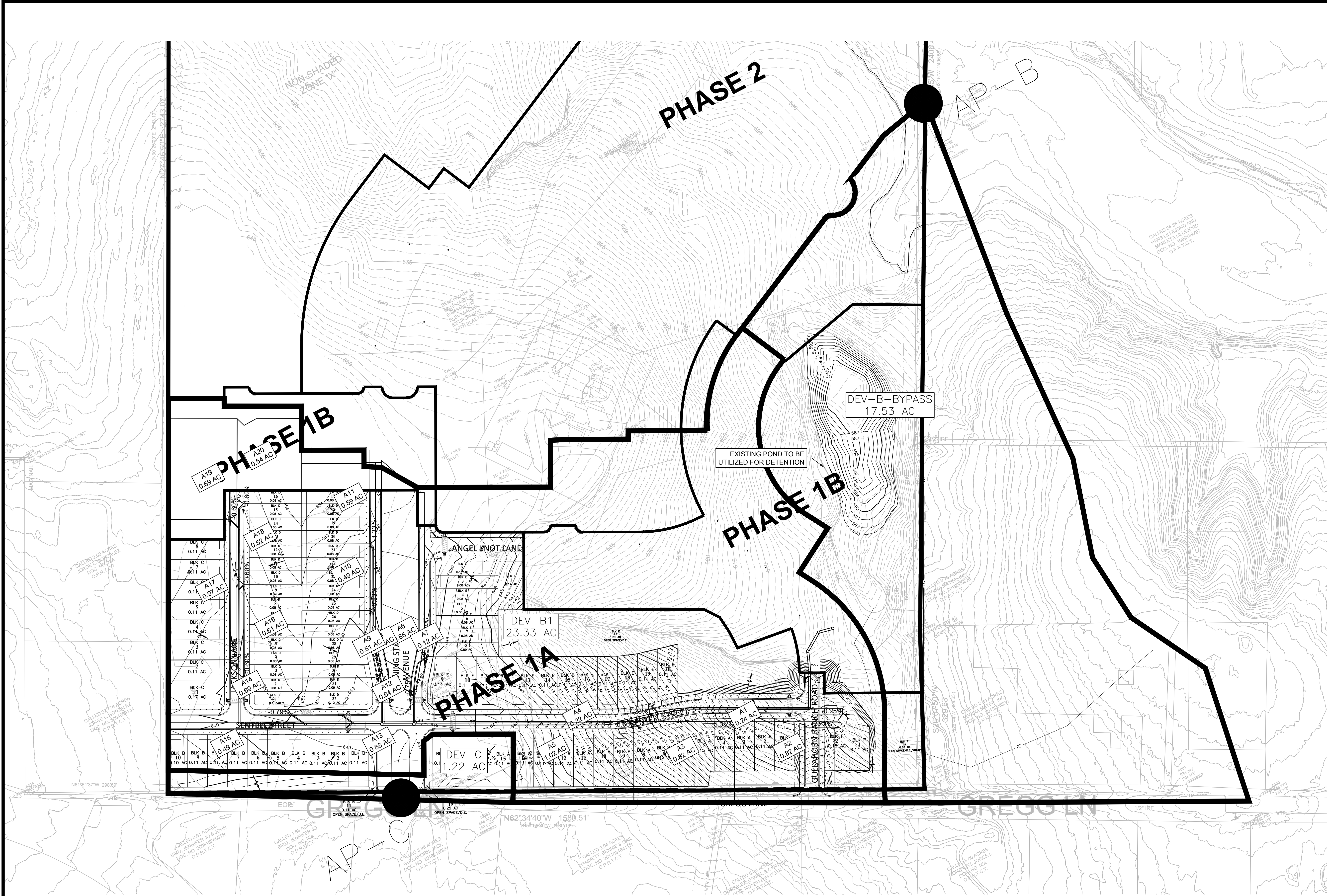
BOOK

JOB 20204096

SHEET NO. 9 OF 13

COA CASE NUMBER: C&J-2022-0141

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\PRELIMINARY\PHASE 1A\DWG 8/15/2022 11:46 AM CONRADO MARTINEZ



NOTE: ALL CALCULATIONS UTILIZE ATLAS 14 PRECIPITATION DATA

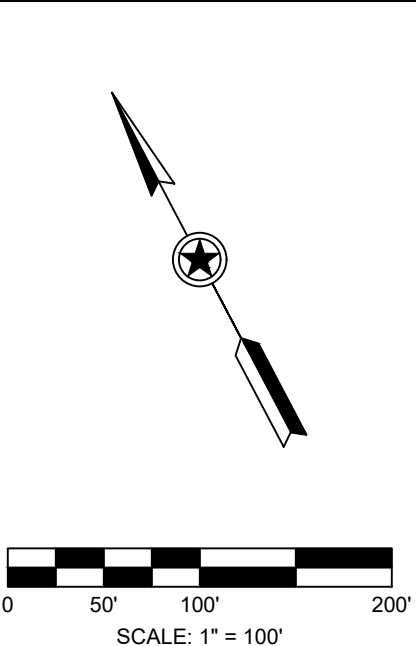
Pond B WEIR DIMENSIONS		
ORIFICE ELEVATION: 584.50'		
ORIFICE DIAMETER: 6"		
WEIR 1 ELEVATION: 590.81'		
WEIR 1 LENGTH: 15'		
WEIR 2 ELEVATION: 593.00'		
WEIR 2 LENGTH: 75'		

Pond WSE and Storage - Pond B		
Storm	WSE (ft.msl)	Pond Storage (ac)
2-Year	591.23	2.39
10-Year	591.99	3.34
25-Year	592.36	3.87
100-Year	592.84	4.57
PMP	593.37	5.41

LEGEND AND NOTES

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPERTY BOUNDARY
- DRAINAGE AREA BOUNDARY
- TIME OF CONCENTRATION
- TC
- STORM SEWER CULVERT
- STORM SEWER LINE
- CURB INLET
- AREA INLET
- STORM SEWER MANHOLE
- SS LEVEL SPREADER
- FLOW ARROW
- 100 YR FLOOD PLAIN
- CREEK CENTER
- DRAINAGE SWALE
- DRAINAGE AREA DESIGNATION AND ACREAGE DRAINED
- EX
- DEV
- WQ

NORTH ARROW



Existing Drainage Areas - Time of Concentration Calculations																					
Drainage Area / Basin Name	Sheet Flow					Shallow Concentrated Flow - Unpaved					Shallow Concentrated Flow - Paved					Concentrated Flow - Pipe			Tc-Total (min)		
	Length (ft)	Mannings n	Delta - Vertical (ft)	Slope (ft/ft)	2yr-24hr Rainfall (in)	Tc-Sheet (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Velocity (ft/sec)		Tc-Channel (min)	
DEV-B-BYPASS	100	0.24	3.3	0.033	4.06	10.37	461	36.2	0.079	4.52	1.70				-	-	0.00	1358	5.00	4.53	16.59
DEV-B1	100	0.24	2.4	0.024	4.06	11.68	21	0.6	0.031	2.83	0.12	196	1.6	0.008	1.46	1.78	1651	5.00	5.50	19.09	
DEV-C	100	0.24	2.0	0.020	4.06	12.67	23	0.6	0.026	2.61	0.15	439	5.0	0.011	1.72	3.37		5.00	0.00	16.18	

Overall Site Drainage Calculations - Developed Basins w/o Detention								
Basin Area	PondPack Input Summary				PondPack Output Summary			
	Area (ac)	Total IC (%)	SCS Weighted Curve Number	Tc-Total (min)	2 Year	10 Year	25 Year	100 Year
					Peak Flow (ft³/s)	Peak Flow (ft³/s)	Peak Flow (ft³/s)	Peak Flow (ft³/s)
DEV-B-BYPASS	17.53	0.00	80.00	16.59	41.26	78.76	104.31	147.06
DEV-B1	23.33	33.02	85.94	19.09	63.92	111.21	144.84	194.78
DEV-C	1.22	48.94	88.81	16.18	3.93	6.55	8.27	11.14
O-B					104.72	188.65	245.40	339.99
O-C					3.93	6.55	8.27	11.14

Overall Site Drainage Calculations - Developed Basins w/ Detention								
Basin Area	PondPack Input Summary				PondPack Output Summary			
	Area (ac)	Total IC (%)	SCS Weighted Curve Number	Tc-Total (min)	2 Year	10 Year	25 Year	100 Year
					Peak Flow (ft³/s)	Peak Flow (ft³/s)	Peak Flow (ft³/s)	Peak Flow (ft³/s)
DEV-B-BYPASS	17.53	0.00	80.00	16.59	41.26	78.76	104.31	147.06
DEV-B1	23.33	33.02	85.94	19.09	63.92	111.21	142.64	194.78
DEV-C	1.22	48.94	88.81	16.18	3.93	6.55	8.27	11.14
O-B					42.39	132.71	187.88	268.05
O-C					3.93	6.55	8.27	11.14
POND-B (IN)					63.92	111.21	142.64	194.78
POND-B (OUT)					23.77	74.25	104.11	147.53

CITY APPROVAL

SITE PLAN RELEASE Sheet 1001 13

FILE NUMBER: _____ EXPIRATION DATE: _____

CASE MANAGER: _____ APPLICATION DATE: _____

APPROVED ADMINISTRATIVELY ON: _____

APPROVED BY PLANNING COMMISSION ON: _____

APPROVED BY CITY COUNCIL ON: _____

Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development

DATE OF RELEASE: _____ Zoning: _____

Rev 1 _____ Correction 1 _____

Rev 2 _____ Correction 2 _____

Rev 3 _____ Correction 3 _____

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AUSTIN, TEXAS

CLIENT
BLACKBURN HOMES
5300 GREGG LANE

POST-DEVELOPED DRAINAGE
AREA MAP

DATE
April 26, 2021

REVISIONS

NO.	DATE	DESCRIPTION

SCALE 0

DR.	CM	CH.	XG
P.M.	CJO		
BOOK			
JOB	20004095		
SHEET NO.			
10 OF 13			

CAD FILE P: GULLAHORN.DWG

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Water Quality Drainage Areas - Time of Concentration Calculations																				
Drainage Area / Basin Name	Sheet Flow						Shallow Concentrated Flow - Unpaved					Shallow Concentrated Flow - Paved					Concentrated Flow - Channel			Tc-Total (min)
	Length (ft)	Mannings n	Delta - Vertical (ft)	Slope (ft/ft)	2yr-24hr Rainfall (in)	Tc-Sheet (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Velocity (ft/sec)	Tc-Channel (min)	
BMP B1	100	0.24	2.5	0.025	4.06	11.51	289	3.7	0.013	1.81	2.65	280	0.4	0.002	0.64	5.81	1004	5.00	3.35	23.32

Water Quality Drainage Areas										
Basin Name	Area (sf*2)	Area (ac)	Sidewalk Impervious Cover (sf)	ROW Impervious Cover (sf)	Lot Impervious Cover (sf)	Impervious Cover (sf)	Impervious Cover (ac)	Impervious Cover (%)	SCS Base Curve Number	SCS Weighted Curve Number
WQ-B2	576,523.45	13.24	21,197	111,794	202,500	335,490.45	7.70	58.2	80.00	90.47
WQ-C1	53,166.96	1.22	0	3,526	12,500	16025.80	0.37	30.1	80.00	85.43
Total:		14.46					8.07	55.8	80.00	90.05

APPENDIX R-4 WETPOND CALCULATIONS FOR DEVELOPMENT PERMITS

DRAINAGE AREA DATA:

Drainage Area to Control (DA)
Drainage Area Impervious Cover
Over Recharge Zone (Yes or No)
Annual Runoff-Rainfall Ratio (Rr) Table 1-9
Liner Type (Clay or Geomembrane)
Depth of Clay Liner

PND B - PHIA
13.24 ac.
62.4 %
No
Geomembrane liner
minimum 12 in.

WATER QUALITY CONTROL CALCULATIONS:

The Water Quality Control is to be WET POND

Permanent Pool Volume (PPV = 0.162*Rr*DA)
Permanent Pool Area (PPA)
Permanent Pool Elevation (PPE)

Required
Provided
47,726 cf.
> 0.5 ac
75,374 cf.
29,606 sf.
588.64 ft. msl.

Forebay Volume (15 to 25% of PPV)
Elevation of Forebay Separation Wall (PPE - 2.0 ft.)

9,545 cf.
18,073 cf.
586.64 ft. msl.

Main Pool Volume (PPV - Forebay Volume)

38,181 cf.
57,301 cf.

BIOLOGICAL ELEMENTS CALCULATIONS:

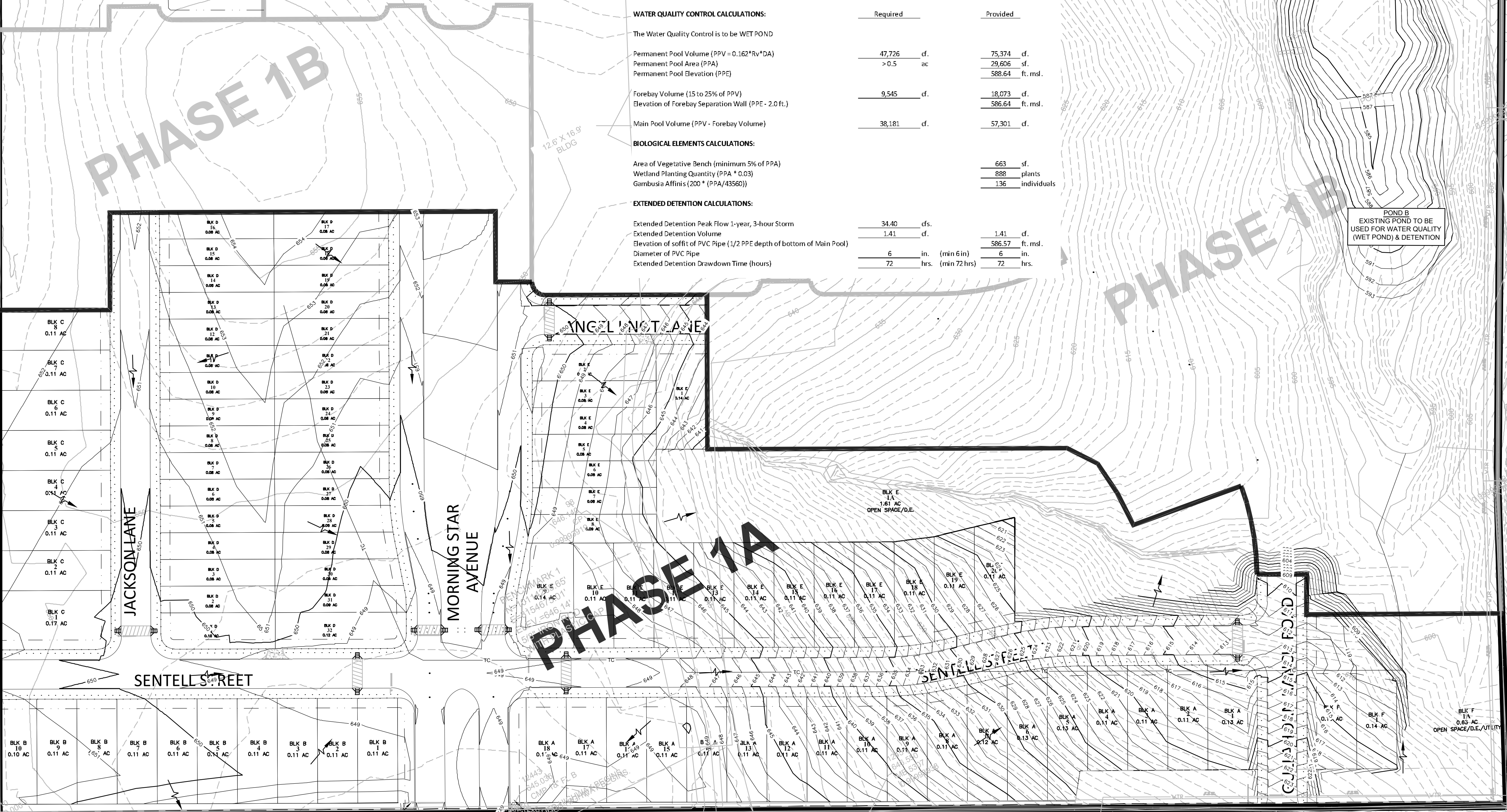
Area of Vegetative Bench (minimum 5% of PPA)
Wetland Planting Quantity (PPA * 0.03)
Gambusia Affinis (200 * (PPA/43560))

663 sf.
888 plants
136 individuals

EXTENDED DETENTION CALCULATIONS:

Extended Detention Peak Flow 1-year, 3-hour Storm
Extended Detention Volume
Elevation of soft of PVC Pipe (1/2 PPE depth of bottom of Main Pool)
Diameter of PVC Pipe
Extended Detention Drawdown Time (hours)

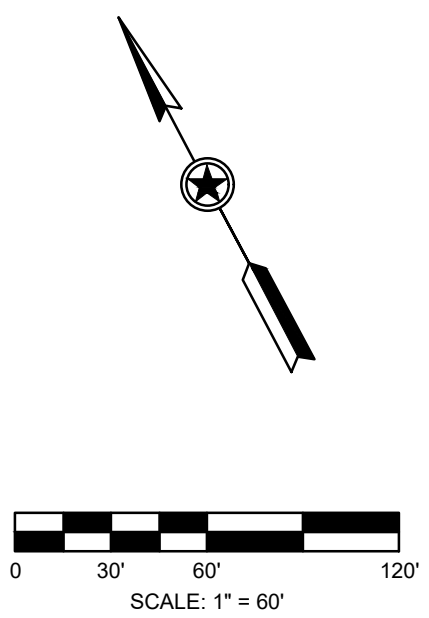
34.40 cfs.
1.41 cf.
1.41 cf.
586.57 ft. msl.
6 in. (min 6 in)
72 hrs. (min 72 hrs)



LEGEND AND NOTES

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPERTY BOUNDARY
- DRAINAGE AREA BOUNDARY
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- 100 YR FLOOD PLAN
- CREEK CENTER
- DRAINAGE SWALE
- DRAINAGE AREA DESIGNATION AND ACREAGE DRAINED
- EX EXISTING
- DEV DEVELOPED
- WQ WATER QUALITY

NORTH ARROW & SCALE




KEYMAP




CITY APPROVAL

SITE PLAN RELEASE		Sheet 11 of 13	
FILE NUMBER:	EXPIRATION DATE:		
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DATE OF RELEASE:		Zoning:	
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DAVID B. FUSLIER
LICENSED PROFESSIONAL ENGINEER
87710
8/15/2022




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TXPE No. 12242

GULLAHORN SUBDIVISION
PHASE 1A
AUSTIN, TEXAS

BLACKBURN HOMES
5300 GREGG LANE
WATER QUALITY PLAN

CLIENT
DATE
April 26, 2021

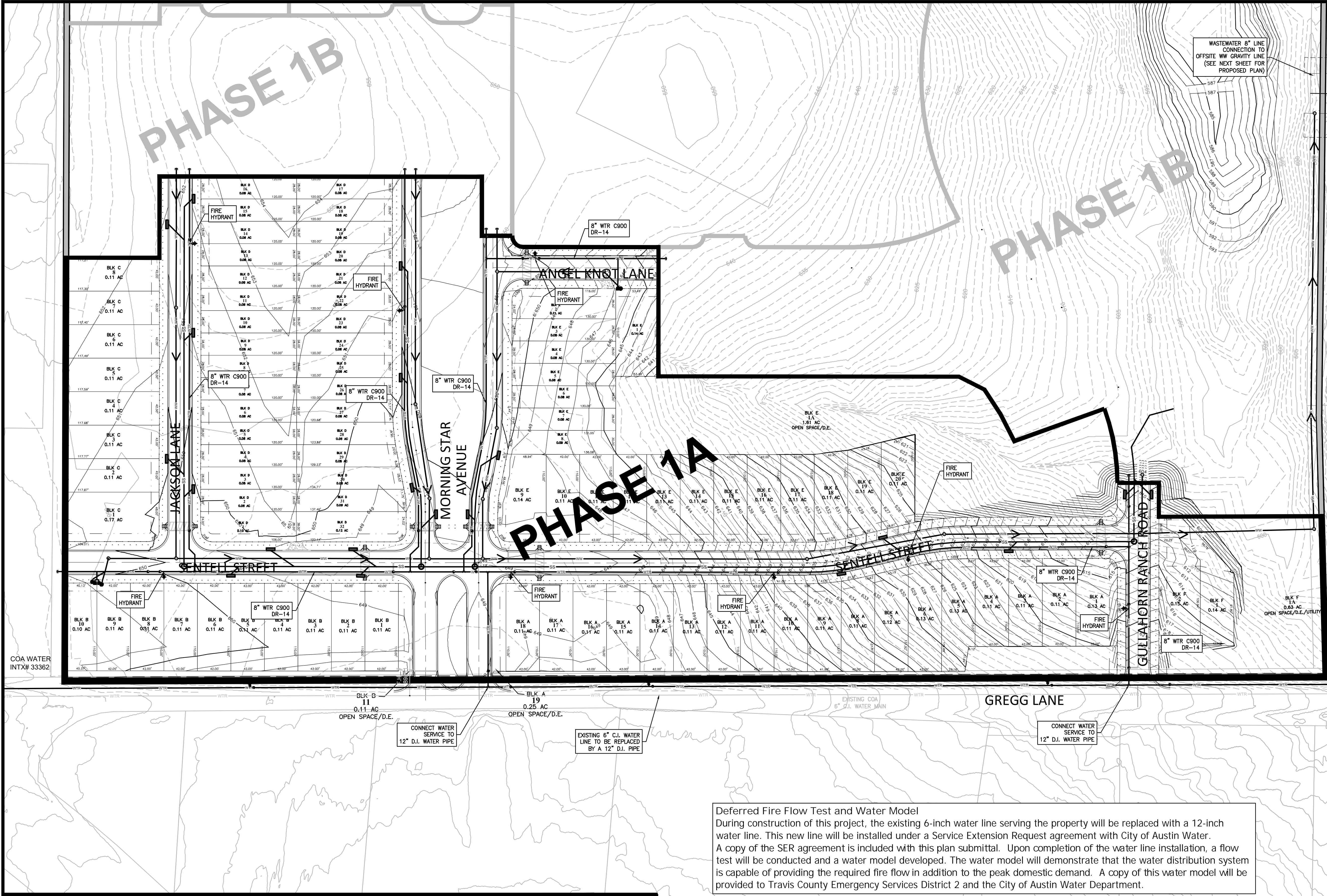
REVISIONS

SCALE 0

DR.	CM	CH.	XG
P.M.	CJO		
BOOK			
JOB	20004096		
SHEET NO.			

11 OF 13

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\PHASE 1A\DWG 8/15/2022 11:47 AM CONRADO MARTINEZ



Deferred Fire Flow Test and Water Model
During construction of this project, the existing 6-inch water line serving the property will be replaced with a 12-inch water line. This new line will be installed under a Service Extension Request agreement with City of Austin Water. A copy of the SER agreement is included with this plan submittal. Upon completion of the water line installation, a flow test will be conducted and a water model developed. The water model will demonstrate that the water distribution system is capable of providing the required fire flow in addition to the peak domestic demand. A copy of this water model will be provided to Travis County Emergency Services District 2 and the City of Austin Water Department.

LEGEND

EXISTING CONTOURS

PHASE BOUNDARY/ROW

DOUBLE WATER SERVICE

SINGLE WATER SERVICE

WTR LN AS NOTED

AUTOMATIC AIR RELEASE VALVE

WTR BLOW OFF VALVE

FIRE HYDRANT

GATE VALVE AS NOTED

EX. WATER METER

ELECTRIC TRANSFORMER

FITTINGS AS NOTED

WW FM LINE AS NOTED

WW FM CLEAN OUT

WW FLOW ARROW

WW MANHOLE AS NOTED

WW LINE AS NOTED

DOUBLE WASTEWATER SRVC

GRINDER PUMP

SINGLE WASTEWATER SRVC

SS LINE AS NOTED

STORM SEWER MANHOLE

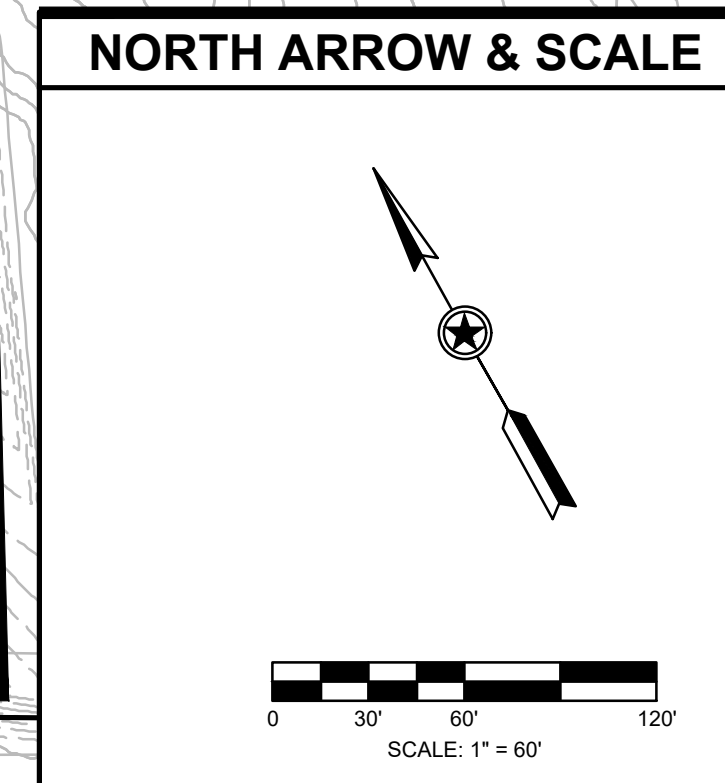
SS BOX CULVERT AS NOTED

SS LATERAL FROM CURB OR AREA INLET

- NOTES**
1. **WARNING:**
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

2. ALL 8 INCH WATER PIPES WILL BE AWWA C900 DR-14 PVC PIPES UNLESS OTHERWISE STATED.

3. ALL WASTEWATER PIPES WILL BE ASTM D3034 SDR-26 PVC PIPES UNLESS OTHERWISE STATED.



CITY APPROVAL

SITE PLAN RELEASE

Sheet 12 Of 13

FILE NUMBER: _____ EXPIRATION DATE: _____

CASE MANAGER: _____ APPLICATION DATE: _____

APPROVED ADMINISTRATIVELY ON: _____

APPROVED BY PLANNING COMMISSION ON: _____

APPROVED BY CITY COUNCIL ON: _____

Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development

DATE OF RELEASE: _____ Zoning: _____

Rev 1 _____ Correction 1 _____

Rev 2 _____ Correction 2 _____

Rev 3 _____ Correction 3 _____

811
Know what's below.
Call before you dig.

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**GULLAHORN SUBDIVISION
PHASE 1A**
AUSTIN, TEXAS

CLIENT
BLACKBURN HOMES
5300 GREGG LANE

OVERALL UTILITY PLAN

DATE
April 26, 2021

REVISIONS

SCALE
0

DR. CM CH. XG

P.M. CJO

BOOK

JOB
20004096

SHEET NO.
12 OF 13

COA CASE NUMBER: C&J-2022-0141

CAD FILE: P-GHORN.UTL.DWG