

HISTORIC LANDMARK COMMISSION
DEMOLITION AND RELOCATION PERMITS
OCTOBER 5, 2022
PR-2022-123716
BUILDING OR DISTRICT NAME
608 E. 3RD ST.

PROPOSAL

Demolition of a circa 1880 single-family residential structure.

ARCHITECTURE

608 E. 3rd Street is a National folk style, hall-and-parlor family house. Hall-and-Parlor family houses are a British form that is traditionally associated with heavy timber or hewn log construction but were adapted to masonry and other types of construction as the style moved into timber-scarce areas. After the expansion of the railroad, the form was executed with light-framed walls and remained the dominant form of folk housing over much of the rural Southeast well into the 20th century. Hall-and-Parlor houses are typically one or one-and-one half stories in height and have side-gabled roofs; porches are either inset and covered by the main roof or are shed-roofed extensions. Shed-roofed rear extensions are common. The design was popular as many people could not afford a large house; however, putting up a wall in the only room created a smaller area in the rear of the house called a parlor. This was a private room and usually contained a bed.

The East 3rd Street dwelling is a well-preserved example of late nineteenth-century National folk housing of the hall-and-parlor family with rear shed addition. It is a single-story dwelling with a full front porch with an “x” cross-stick railing design and a metal roof that was likely rehabilitation of previous designs. It has a side-gabled roof and wood exterior sheathing with a balanced, symmetrical front façade composed of a single-entry wooden door flanked by 4:4 windows.

RESEARCH

The property was previously approved for relocation across the street only in 2019. Such a relocation would have helped retain the structure’s original neighborhood context. There do not appear to be any specific historical figures associated with the structure, but rather this dwelling is a rare surviving in situ example of a middle-lower income historic housing from the nineteenth century in Austin. It provides insight into the changing patterns of Austin’s history as an example of the living location and conditions of lower to middle-income Austinites.

PROPERTY EVALUATION

The Waller Creek Survey lists the property as eligible for NRHP listing.

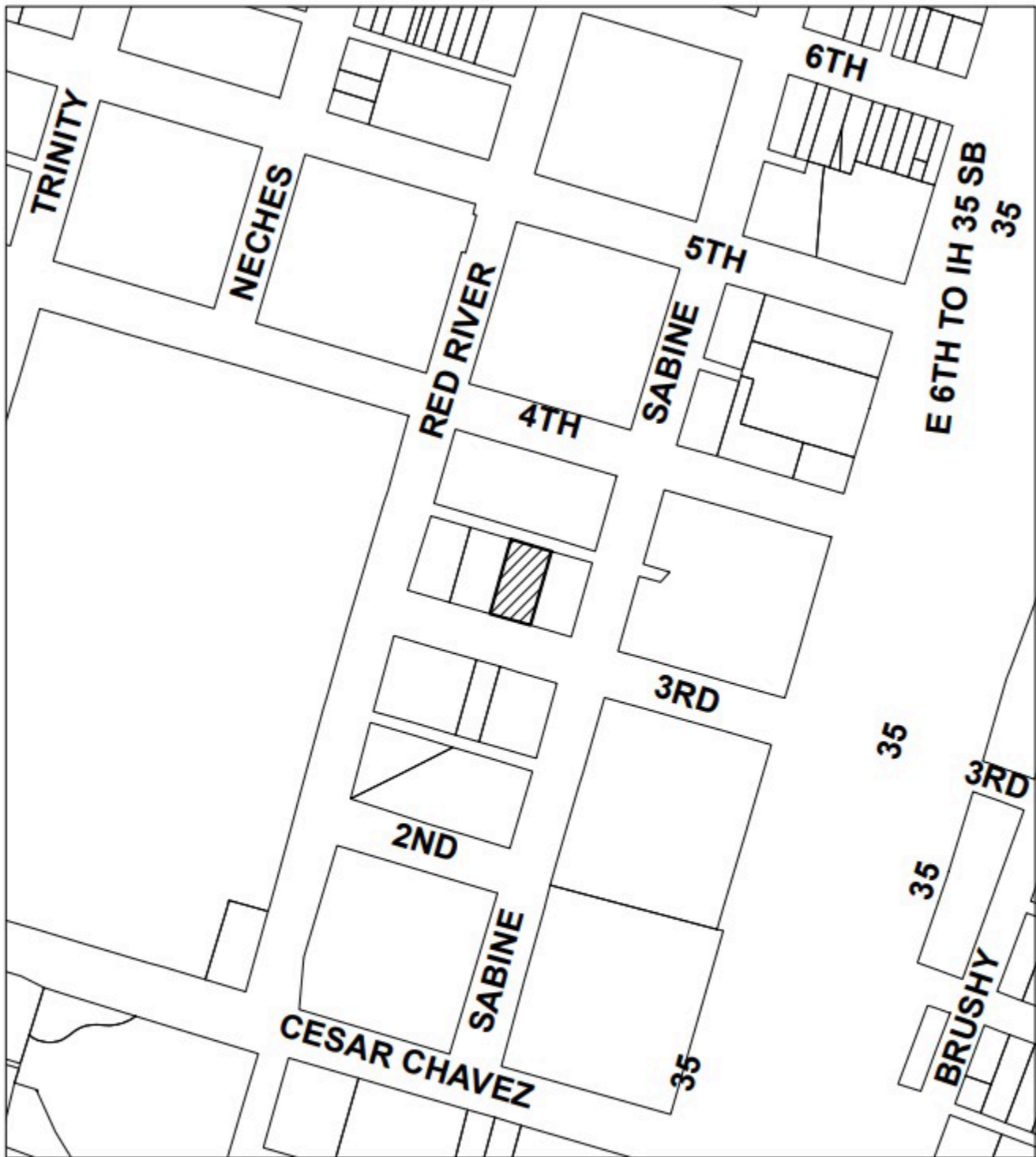
Designation Criteria—Historic Landmark




- 1) The building is more than 50 years old.
- 2) The building appears to retain high integrity.
- 3) Properties must meet two criteria for landmark designation (LDC §25-2-352). Staff has evaluated the property and determined that it does meet two criteria:
 - a. Architecture. The building is a good example of a Hall and Parlor cottage architecture and conveys architectural significance.
 - b. Historical association. The property does not appear to have significant historical associations.
 - c. Archaeology. The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - d. Community value. The property possesses a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group. The structure provides insight into the changing patterns of Austin’s history as a rare example of pre-1900 living conditions of lower to middle-income Austinites and preserved with 606 E. 3rd helps to tell a piece of Austin’s housing history.
 - e. Landscape feature. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

STAFF RECOMMENDATION

Consider initiating historic landmark zoning. If the Commission chooses not to initiate landmark zoning, encourage rehabilitation and adaptive reuse, then relocation over demolition, but release the permit upon completion of a City of Austin Documentation Package, consisting of 8 x 10" photographs of all elevations printed on photographic paper, a dimensioned sketch plan, and a narrative history for archiving at the Austin History Center.

LOCATION MAP



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

1" = 208'

NOTIFICATIONS

CASE#: GF 22-138207
LOCATION: 606 E 3RD STREET

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



Property Information

Photos*Application photo, 2022**Occupancy History*

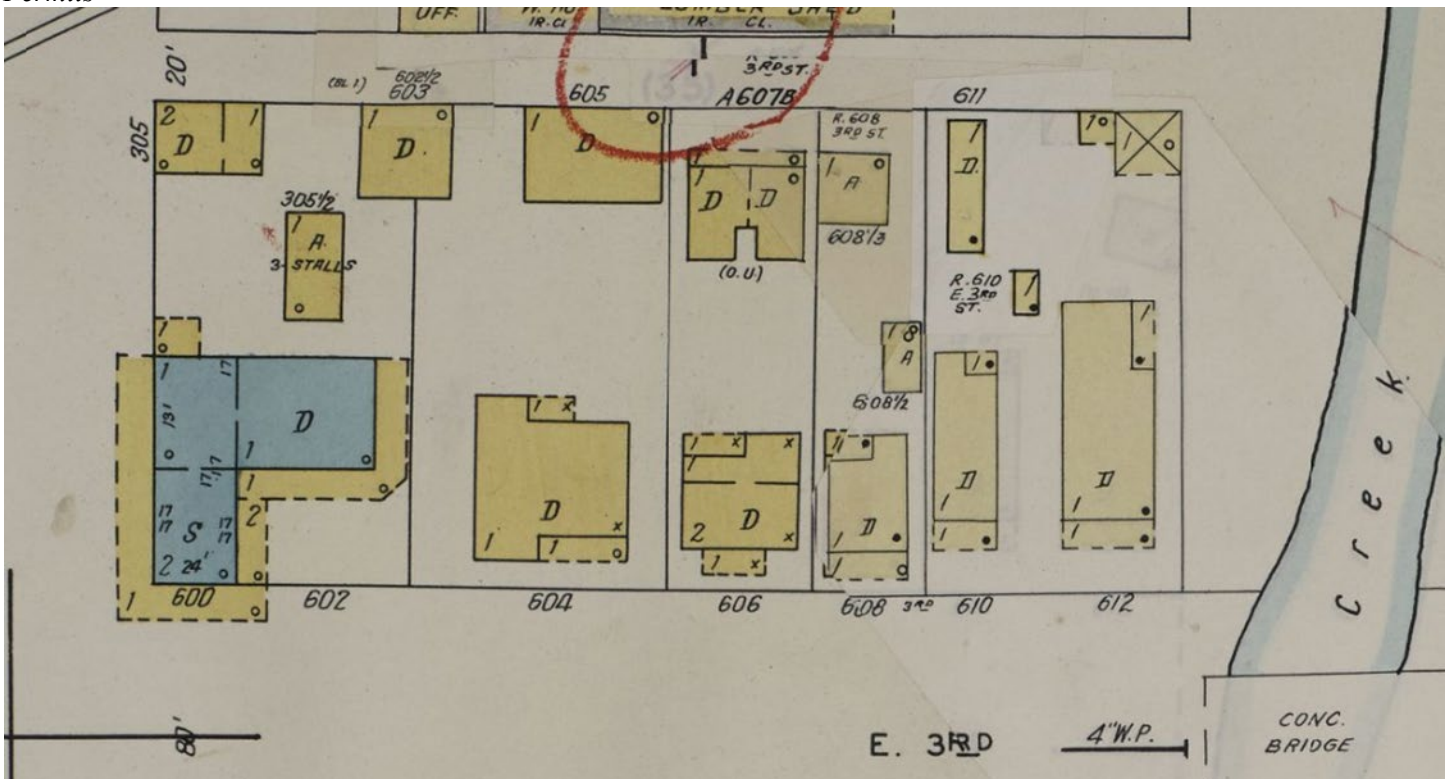
City Directory Research, September 2022

1959	*Address likely listed as 608 E 3 rd Street* June Turpin, renter (widow of Charles Turpin) Nurse at Walker Rest Home
1955	*Address likely listed as 608 E 3 rd Street* Mable L. Walker, owner Walker Rest Home
1952	Vacant
1947	Laura Goodman, renter Student at the University of Texas
1944	John L. and Ida Beaty, renters
1941	Mat M. McCown, renter
1937	Arthur E. and Effie Jenkins, renters Helper at Ragland Body Shop

Albert Jenkins, renter

- 1932 T. E. Dougherty, renter
Driver at Milwaukee Bottling Company
- 1927 Albert Dver, renter
- 1924 Neal A. and Anna B. Mills, renters
Clerk at Murchison-Lee Company
- 1920 H. E. Bedigain, renter
Taylor at E. M. Scarbrough & Sons
- 1916 A. Harvey Witter
Barber at Hunt & Rowley
- 1912 William J. Martin
Electrician at Wilson Twining
- 1909 Oscar Sussdorf
Cook at Herman Becker
- 1906 James C. Looney
Barber at Blue Front Barber Shop (202 Congress)
- 1903

Permits



1962 Sanborn Map

