

CONSTRUCTION NOTES

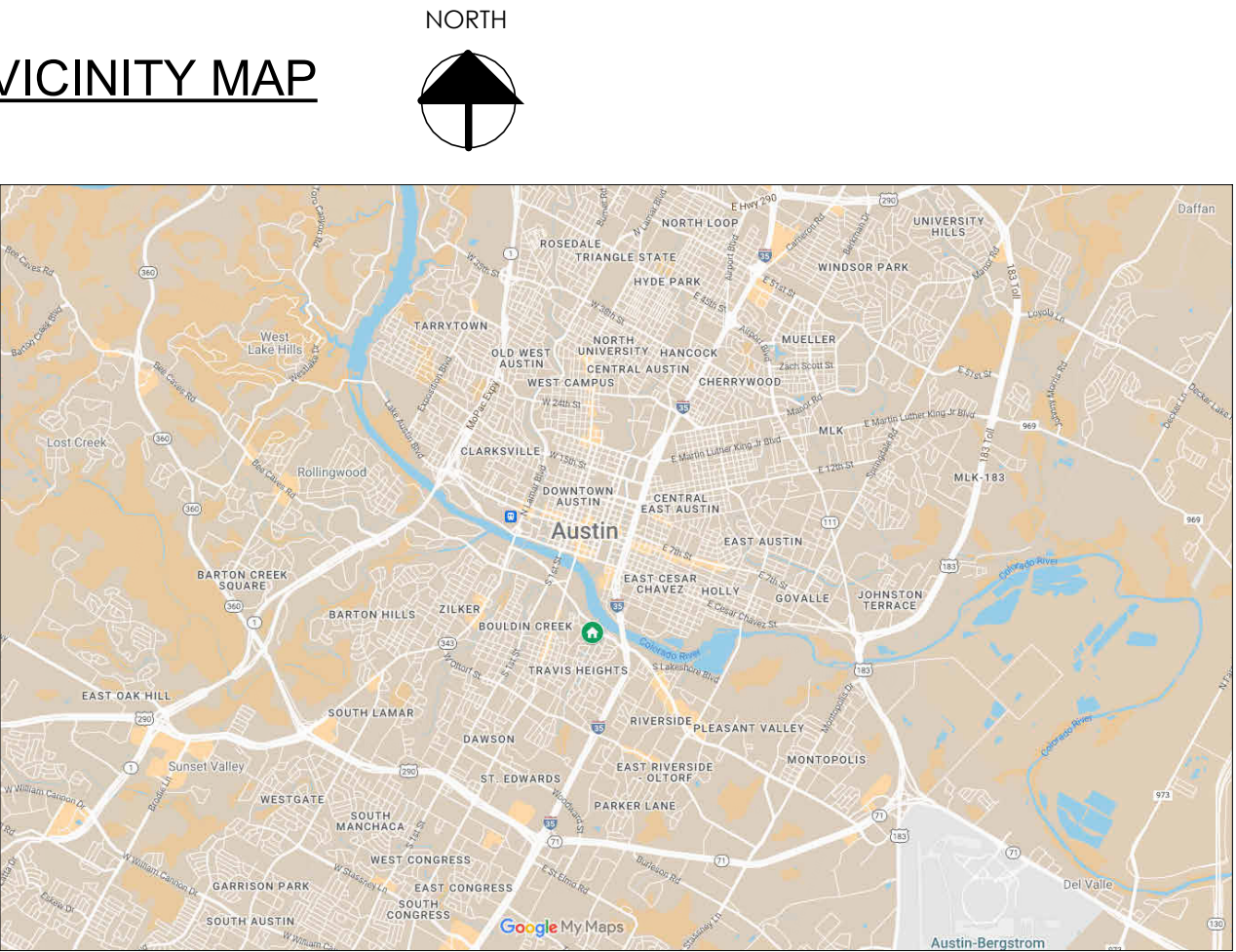
1. REFER TO SHEET S1 FOR GENERAL NOTES REGARDING FRAMING REQUIREMENTS.
2. ALL WOOD USED FOR STRUCTURAL ELEMENTS SHALL BE IDENTIFIED AS TO GRADE MARK AND SHALL BE OF AN IDENTIFYING MARK OF AN APPROVED GRADING BUREAU OR AGENCY, AFFIXED PRIOR TO DELIVERY.
3. ALL EXTERIOR WOOD MEMBERS SHALL BE PRESSURE-TREATED.
4. ADJUST ALL FRAMING CONNECTORS AND THE MEMBERS THEY CONNECT, TO PROVIDE LEVEL, TRUE, PLUMB, ALIGNED, SMOOTH AND OTHERWISE UNIFORM SUBSTRATE SURFACES TO WHICH TO APPLY AND FASTEN THE GYPSUM WALL BOARD ON WALLS, PARTITIONS, CEILINGS, FASCIAS, SOFFITS, COVES AND THE LIKE.
5. INSULATION IS TO BE OWENS-CORNING FIBERGLASS OR/AND EQUAL WITH A KRAFT FACED VAPOR BARRIER. BIO-BASED FOAM INSULATION WHERE NOTED
6. ALL VENT PIPES SHALL BE CONSOLIDATED BELOW THE ROOF. PROTRUSIONS IN ROOF AREAS ARE TO BE PROPERLY FLASHED WITH BASE AND CAP FLASHING OR EQUAL..
7. INSTALL ALL FLASHING REQUIRED TO MAKE BUILDING WATERTIGHT.
8. ALL EXTERIOR NAILS AND FASTENERS TO BE STAINLESS STEEL.
9. FIRE STOPPING, WHEN OF WOOD, SHALL BE TWO INCHES (NOMINAL) IN THICKNESS BY THE FULL WIDTH OF THE OPENING BEING BLOCKED.
10. FIRE STOP IN THE FOLLOWING SPECIFIC LOCATIONS:
A. ALL STUD BEARING AND EXTERIOR WALLS AT CEILING AND FLOOR LEVELS.
B. ALL OTHER LOCATIONS WHERE OPENING COULD AFFORD PASSAGE FOR FLAMES.
C. AS REQUIRED BY LOCAL GOVERNING AGENCIES.
11. THE CONTRACTOR SHALL PATCH AS REQUIRED FOR A FLUSH APPEARANCE OF ALL FLOORS, WALLS & CEILINGS.
12. ALL INTERIOR PARTITIONS TO BE 2X4 WOOD STUDS @16" O.C. WITH 1/2" GYPSUM WALL BOARD OR 1/2" DUROCK WHERE THERE'S TILE OR STONE FINISH. INTERIOR WALLS WITH POCKET DOORS SHALL ALSO BE OF 2X4 CONSTRUCTION (SEE DETAIL ON INTERIOR DETAIL SHEET).
13. ALL CEILINGS TO BE 1/2" GYPSUM WALL BOARD. TAPE AND SPACKLE ALL GWB JOINTS FOR PAINTING. ALL NEW SHEET ROCK SURFACES SHALL RECEIVE 3 COATS OF SPACKLE, A PRIME COAT & 2 FINISH COATS OF PAINT.
14. ALL NEW INTERIOR WALL AREAS OF CONSTRUCTION SHALL RECEIVE A WOOD BASE, UNLESS OTHERWISE NOTED IN ROOM FINISH SCHEDULE.
15. CONTRACTOR SHALL PROVIDE WALL BLOCKING AS REQUIRED FOR ALL SUSPENDED MILLWORK, ACCESSORIES AND SLIDING DOOR LATCHES.

GENERAL NOTES

- 1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 2) THESE GENERAL NOTES SHALL APPLY TO ALL WORK AND ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
- 3) ALL CONSTRUCTION SHALL CONFORM TO TYPE V CONSTRUCTION AS REQUIRED BY CODE AND SPECIFIED IN IBC.
- 4) ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATIONS OF INSPECTION AND OCCUPANCY, AND THE FILING OF ALL WORK WITH GOVERNMENT AGENCIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 5) THE CONTRACTOR SHALL VISIT AND INSPECT THE PREMISES TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE PROPOSAL SUBMISSION. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO THE PROPOSAL SUBMISSION, OTHERWISE, THE CONTRACTOR SHALL BEAR ALL COSTS TO COMPLETE THE WORK AS INTENDED ON THE DRAWINGS.
- 6) IF ANY CONDITION ARISES THAT WOULD IMPEDE THE PROGRESS OR THE INTENT OF THE WORK, THE G.C. IS TO NOTIFY THE DESIGNER IMMEDIATELY. THE G.C. WILL FULLY EXPLAIN THE PROBLEM AND ALL RELEVANT TIME CONSTRAINTS.
- 7) CONTRACTOR SHALL CLARIFY WITH DESIGNER ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS OR BETWEEN THE CONSTRUCTION DOCUMENTS THEMSELVES, PRIOR TO PROPOSAL SUBMISSION.
- 8) DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. PLEASE NOTIFY DESIGNER IMMEDIATELY FOR A RESOLUTION OF ANY DISCREPANCY THAT MAY EXIST IN THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- 9) SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE DESIGNER.
- 10) THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES; AND FOR THE COORDINATION OF ALL PORTIONS OF THE WORK.
- 11) ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS MUTUALLY AGREED UPON OR DIRECTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OTHERWISE.
- 12) ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT.
- 13) ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.

RESIDENTIAL REMODEL

VICINITY MAP



APPLICABLE CODES:

2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL ELECTRICAL CODE
2021 INTERNATIONAL ENERGY CODE
2021 INTERNATIONAL RESIDENTIAL CODE

PROJECT TEAM

OWNER
TOM BICKLER
1205 BICKLER RD
AUSTIN, TEXAS, 78704

DESIGNER
OKKEM DESIGN
3003 BURLESON RD
AUSTIN, TEXAS 78741
CONTACT: CHRISTOPHER CLIFTON
PHONE: 512-894-9222

STRUCTURAL ENGINEER
OKKEM DESIGN
3003 BURLESON RD
AUSTIN, TEXAS 78741
CONTACT: CHRISTOPHER CLIFTON
PHONE: 512-894-9222

GENERAL CONTRACTOR
TBD

SHEET LIST	
A000	PROJECT INFO
A001	SITE PLAN
A002	MCMANSSION PLAN
A003	TREE PROTECTION PLAN
A101	DEMO PLAN LEVEL 01
A102	DEMO PLAN LEVEL 02
A103	DEMO PLAN ACCESSORY BUILDING
A104	FLOOR PLAN LEVEL 01
A105	FLOOR PLAN LEVEL 02
A106	FLOOR PLAN ACCESSORY BUILDING
A107	ROOF PLAN
A108	ROOF PLAN ACCESSORY BUILDING
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS ACCESSORY BUILDING
A601	SCHEDULES
A901	3D VIEWS
A902	EXISTING HOUSE IMAGES
A903	EXISTING ACCESSORY BUILDING IMAGES

4 - AND @ - AT AC - AIR CONDITIONING ACOUS - ACOUSTICAL AD - AREA DRAIN ADA - AMERICANS WITH DISABILITIES ACT ASE - ARCHITECT AND ENGINEERS AFF - ABOVE FINISH FLOOR AFS - ABOVE FINISHED GRADE AGR - AGGREGATE AHJ - AUTHORITIES HAVING JURISDICTION AHU - AIR HANDLING UNIT ALT - ALTERNATIVE ALUM - ALUMINUM ANOD - ANODIZED APPROX - APPROXIMATE ARCH - ARCHITECTURAL ASPH - ASPHALT AVE - AVERAGE BO - BOARD BTJM - BUTYRMAJOUS BLOG - BUILDING BLDG - BLOCKING BM - BEAM BO - BOTTOM OF CAB - CABINET CSB - CEMENTITIOUS BACKER BOARD CF - CUBIC FEET CFM - CUBIC FEET PER MINUTE CG - CORNER GUARD, CEILING GRILLE C & G - CURB & GUTTER CI - CAST IRON CIP - CAST IN PLACE CJ - CONTROL JOINT CL - CENTERLINE CLD - CEILING CLR - CLEAR CMU - CONCRETE MASONRY UNITS CO - CEMENTS COL - COLUMN CONC - CONCRETE CONT - CONTINUOUS COORD - COORDINATE CT - CERAMIC TILE CTR - CENTER CUFT - CUBIC FEET DBL - DOUBLE DEG - DEGREE DEMO - DEMOLITION DEPT - DEPARTMENT DETAL - DETAIL DF - DRINKING FOUNTAIN DN - DOWN DIAG - DIAGONAL DIM - DIMENSION DISP - DISPENSER DIV - DIVISION DN - DOWN DO - DOOR OPENING DR - DOOR DS - DOWNSPOUT DW - DISHWASHER DWG - DRAWING	E - EAST IE) - EXISTING EA - EACH EF - EXHAUST FAN EIFS - EXTERIOR INSULATION AND FINISH SYSTEM EJ - EXPANSION JOINT EL - ELEVATION ELEC - ELECTRICAL ENCL - ENCLOSURE EP - ELECTRICAL PANEL EQ - EQUAL EQUIP - EQUIPMENT EWC - ELECTRIC WATER COOLER EXH - EXHAUST EXIST - EXISTING EXP - EXPANSION EXT - EXTERIOR FA - FIRE ALARM FAP - FIRE ALARM ANNUNCIATOR PANEL FACP - FIRE ALARM CONTROL PANEL FCU - FAN COIL UNIT FD - FLOOR DRAIN FND - FOUNDATION FE - FIRE EXTINGUISHER REC - FIRE EXTINGUISHER CABINET FF - FINISH FLOOR FFE - FURNITURE FIXTURES & EQUIPMENT FIN - FINISH FIXT - FIXTURE FL - FLOW LINE FLP - FLOOR FLUOR - FLUORESCENT FO - FINISH OPENING FOP - FACE OF FINISH FOS - FACE OF STUD FR - FIRE RATED FSP - FIRE STANDPIPE FT - FOOT / FEET FTG - FOOTING FURR - FURRING FV - FIELD VERIFY FVC - FIRE VALVE CABINET FVG - FABRIC WALLCOVERING GA - GAUGE GALV - GALVANIZED GB - GRAB BAR GC - GENERAL CONTRACTOR GD - GARAGE DISPOSAL GF - GYM GROUND FLOOR CMU GFO - GROUND FAULT CIRCUIT INTERRUPTER GI - GALVANIZED IRON GL - GLASS GND - GROUND GYBD - GYPSUM BOARD HAZ - HAZARDOUS MATERIALS HB - RESILIENT BASE HCP - REFLECTED CEILING PLAN HOR - HEADER HOW - HARDWARE HOWD - HARDWOOD HST - HEIGHT HM - HOLLOW METAL HORIZ - HORIZONTAL	HR - HOUR HANDRAIL HT - HEIGHT HVAC - HEATING, VENTILATING & AIR CONDITIONING IB - INTERNATIONAL BUILDING CODE ID - INSIDE DIAMETER IG - INSULATING GLASS IN - INCH INFO - INFORMATION INSUL - INSULATION INT - INTERIOR INV - INVERT ITG - INSULATED TEMPERED GLASS JAN - JANITOR JBOK - JUNCTION BOX JT - JOINT KIT - KITCHEN KO - KNOCK OUT KW - KILOWATT KWH - KILOWATT HOUR LAV - LAVATORY LBDI - 4 POUND LF - LINEAL FEET LT - LIGHT LVR - LOUVER MAINT - MAINTENANCE MAT - MATERIAL MAX - MAXIMUM MB - MARKER BOARD MECH - MECHANICAL MEFP - MECHANICAL ELECTRICAL PLUMBING, FIRE PROTECTION (CONDUIT) METL - METAL MFR - MANUFACTURER MK - MARKER MN - MINIMUM MRR - MIRROR MISC - MISCELLANEOUS MO - MASONRY OPENING MTD - MOUNTING MTL - METAL V - FIELD VERIFY NA - NOT APPLICABLE NOC - NOT IN CONTRACT NO - NUMBER NOM - NOMINAL NTS - NOT TO SCALE OC - ON CENTER OD - OUTSIDE DIAMETER, OVERFLOW DRAIN OFC - OWNER FURNISHED CONTRACTOR INSTALLED OFO - GROUND FAULT CIRCUIT INTERRUPTER OI - OPPOSITE HAND OPN - OPENING OPRO - OPPOSITE ORD - OVERFLOW ROOF DRAIN RAD - RADIUS RB - RESILIENT BASE HCP - REFLECTED CEILING PLAN RO - ROOF DRAIN RE - REFERENCE REC - RECESSED RECP - RECEPTACLE REF - REFRIGERATOR REG - REGISTER	REIN - REINFORCE REQD - REQUIRED REV - REVISION RM - ROOM RO - ROUGH OPENING S - SOUTH SCHED - SCHEDULE SCP - SCUPPER SD - SOUP DISPENSER SEAL - SEALER SECT - SECTION SF - SQUARE FOOT SHWR - SHOWER SHT - SHEET SHTG - SHEATHING SIM - SIMILAR SL - SLOPE SPEC - SPECIFICATION SQ - SQUARE SS - STAINLESS STEEL STC - SOUND TRANSMISSION CLASS STD - STANDARD STL - STEEL STOR - STORAGE STRUC - STRUCTURAL SUSP - SUSPENDED SYM - SYMMETRICAL TAB - TONGUE AND GROOVE TBD - TO BE DETERMINED TEMP - TEMPERATURE TO - TEMPERED GLASS, TONGUE & GROOVE THK - THICK THSH - THRESHOLD THRU - THROUGH TO - TOP OF TS - TUBE STEEL TV - TELEVISION TYP - TYPICAL UNO - UNDERGROUND UL - UNDERWRITERS LABORATORY UNFIN - UNFINISHED UNO - UNLESS NOTED OTHERWISE VB - VINYL BASE VCT - VINYL COMPOSITION TILE VERT - VERTICAL VFR - VERIFY IN FIELD VTR - VENT THROUGH ROOF W - WEST W - WITH WO - WITHOUT WC - WATER CLOSET WD - WOOD WF - WIRE FLANGE WH - WATER HEATER WT - WEIGHT Y - CURB YARD YO - YARD YR - YEAR
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











SITE GENERAL NOTES

1. UTILITY INFORMATION ARE SHOWN FOR INFORMATION ONLY, NO UTILITY INFORMATION WAS PROVIDED.
2. CONTRACTOR PROVIDE AND MAINTAIN A PORTABLE TOILET.
3. CONTRACTOR SHALL NOT STORE ANY MATERIALS WITHIN THE DRIP EDGE OF TREES TO REMAIN.
4. CONTRACTOR SHALL CALL UTILITY LOCATING SERVICE PRIOR TO EXCAVATION

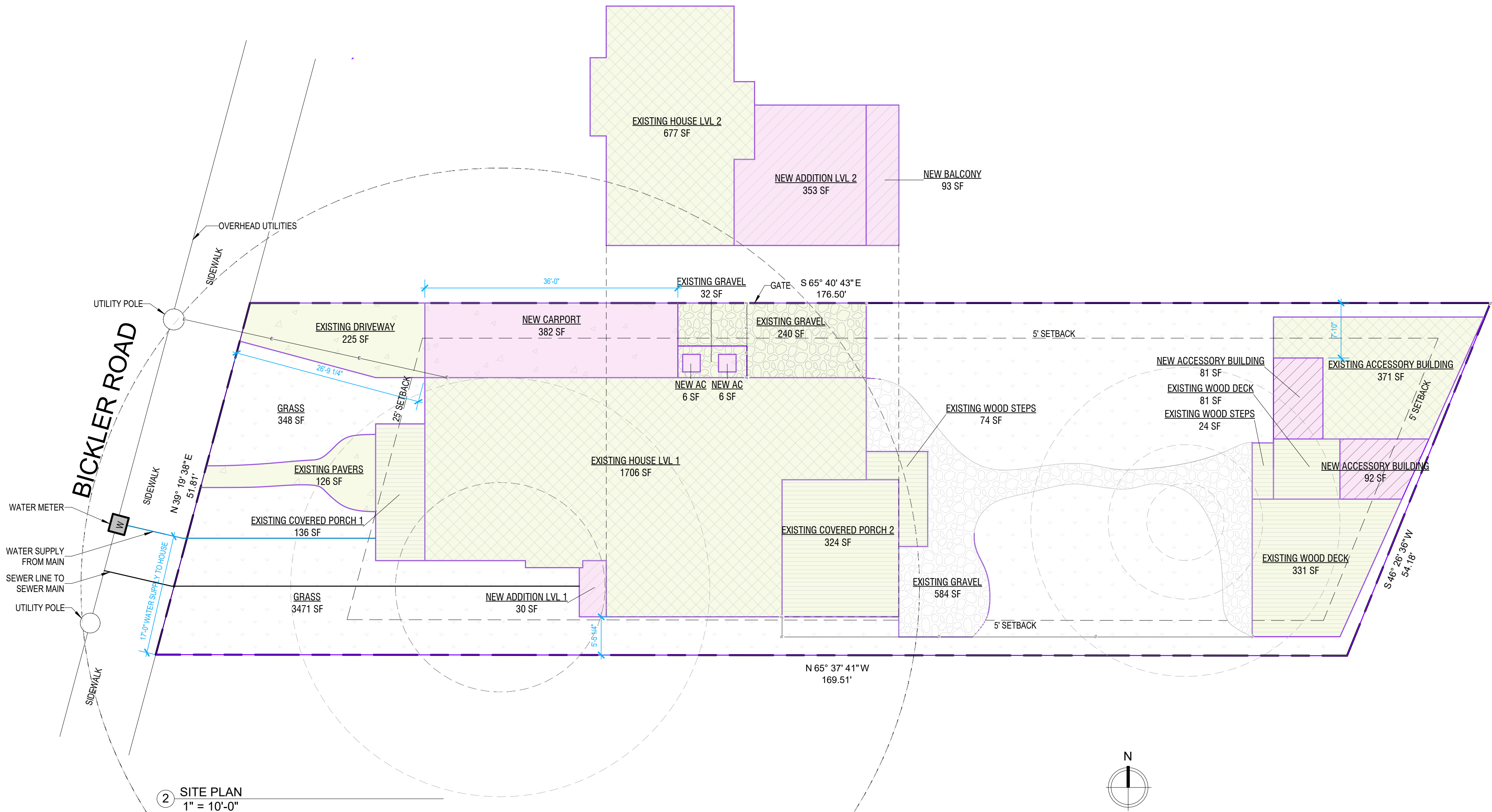
ZONING INFORMATION

LEGAL DESCRIPTION:	AUSTIN FULL PURPOSE
PROPERTY ID:	497888
ZONING:	SF-3-NCCD-NP
LOT SIZE:	8672 SF
DEVELOPMENT LIMITS:	
IMPERVIOUS COVER:	45%
BUILDING COVER:	40%
FLOOR TO AREA RATIO:	0.4 (40%)

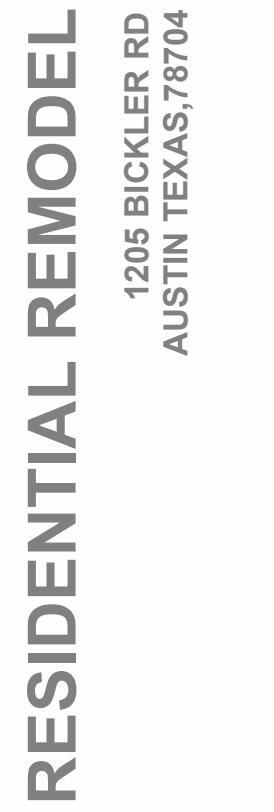
SITE LEGEND

- | | |
|---|-------------------------------|
|  | ELECTRICAL MAIN SERVICE LINE |
|  | WATER MAIN SERVICE LINE |
|  | SANITARY MAIN SERVICE LINE |
|  | NATURAL GAS MAIN SERVICE LINE |
|  | WOOD FENCE |
|  | PROPERTY LINE |
|  | ADDITION / NEW CONSTRUCTION |
|  | EXISTING HOUSE |
|  | CONCRETE |
|  | GRAVEL |
|  | GRASS |
|  | WOOD |

THIS SITE INFORMATION IS DIAGRAMMATIC ONLY. CONTRACTOR TO
VERIFY SITE UTILITIES IF NECESSARY.



NAME	DESCRIPTION	PHASE	AREA	IMP FACTOR	BLDG FACTOR	LIV FACTOR	LIV EXEMPTION	IMP AREA	BLDG AREA	LIV AREA	% IMP	% BLDG	% LIV	COMMENTS
EXISTING ACCESSORY BUILDING	CONDITIONED	EXISTING	371 SF	1	1	1	0 SF	371 SF	371 SF	371 SF	4.3%	4.3%	4.3%	
EXISTING COVERED PORCH 1	UNCONDITIONED	EXISTING	136 SF	1	1	0	0 SF	136 SF	136 SF	0 SF	1.6%	1.6%	0.0%	
EXISTING COVERED PORCH 2	UNCONDITIONED	EXISTING	324 SF	1	1	0	0 SF	324 SF	324 SF	0 SF	3.7%	3.7%	0.0%	
EXISTING DRIVEWAY	FLATWORK	EXISTING	225 SF	1	0	0	0 SF	225 SF	0 SF	0 SF	2.6%	0.0%	0.0%	
EXISTING GRAVEL	GRAVEL	EXISTING	856 SF	0	0	0	0 SF	0 SF	0 SF	0 SF	0.0%	0.0%	0.0%	
EXISTING HOUSE LVL 1	CONDITIONED	EXISTING	1706 SF	1	1	1	0 SF	1706 SF	1706 SF	1706 SF	19.7%	19.7%	19.7%	
EXISTING HOUSE LVL 2	CONDITIONED	EXISTING	677 SF	0	0	1	0 SF	0 SF	677 SF	677 SF	0.0%	0.0%	7.8%	
EXISTING PAVERS	FLATWORK	EXISTING	126 SF	1	0	0	0 SF	126 SF	0 SF	0 SF	1.4%	0.0%	0.0%	
EXISTING WOOD DECK	UNCONDITIONED	EXISTING	412 SF	0.5	0	0	0 SF	206 SF	0 SF	0 SF	2.4%	0.0%	0.0%	
EXISTING WOOD STEPS	STAIRCASE	EXISTING	98 SF	0.5	0	0	0 SF	49 SF	0 SF	0 SF	0.6%	0.0%	0.0%	
GRASS	GRASS	EXISTING	3819 SF	0	0	0	0 SF	0 SF	0 SF	0 SF	0.0%	0.0%	0.0%	
NEW AC	FLATWORK	NEW	13 SF	1	0	0	0 SF	13 SF	0 SF	0 SF	0.1%	0.0%	0.0%	
NEW ACCESSORY BUILDING	CONDITIONED	NEW	173 SF	1	1	1	0 SF	173 SF	173 SF	173 SF	2.0%	2.0%	2.0%	
NEW ADDITION LVL 1	CONDITIONED	NEW	30 SF	1	1	1	0 SF	30 SF	30 SF	30 SF	0.3%	0.3%	0.3%	
NEW ADDITION LVL 2	CONDITIONED	NEW	353 SF	0	0	1	0 SF	0 SF	0 SF	353 SF	0.0%	0.0%	4.1%	
NEW BALCONY	UNCONDITIONED	NEW	93 SF	0	1	0	0 SF	0 SF	93 SF	0 SF	0.0%	1.1%	0.0%	
NEW CARPORT	FLATWORK	NEW	382 SF	1	1	0	0 SF	382 SF	382 SF	0 SF	4.4%	4.4%	0.0%	
TOTAL IMPERVIOUS COVER AREA			9795 SF					3742 SF	3216 SF	3311 SF	43.1%	37.1%	38.2%	

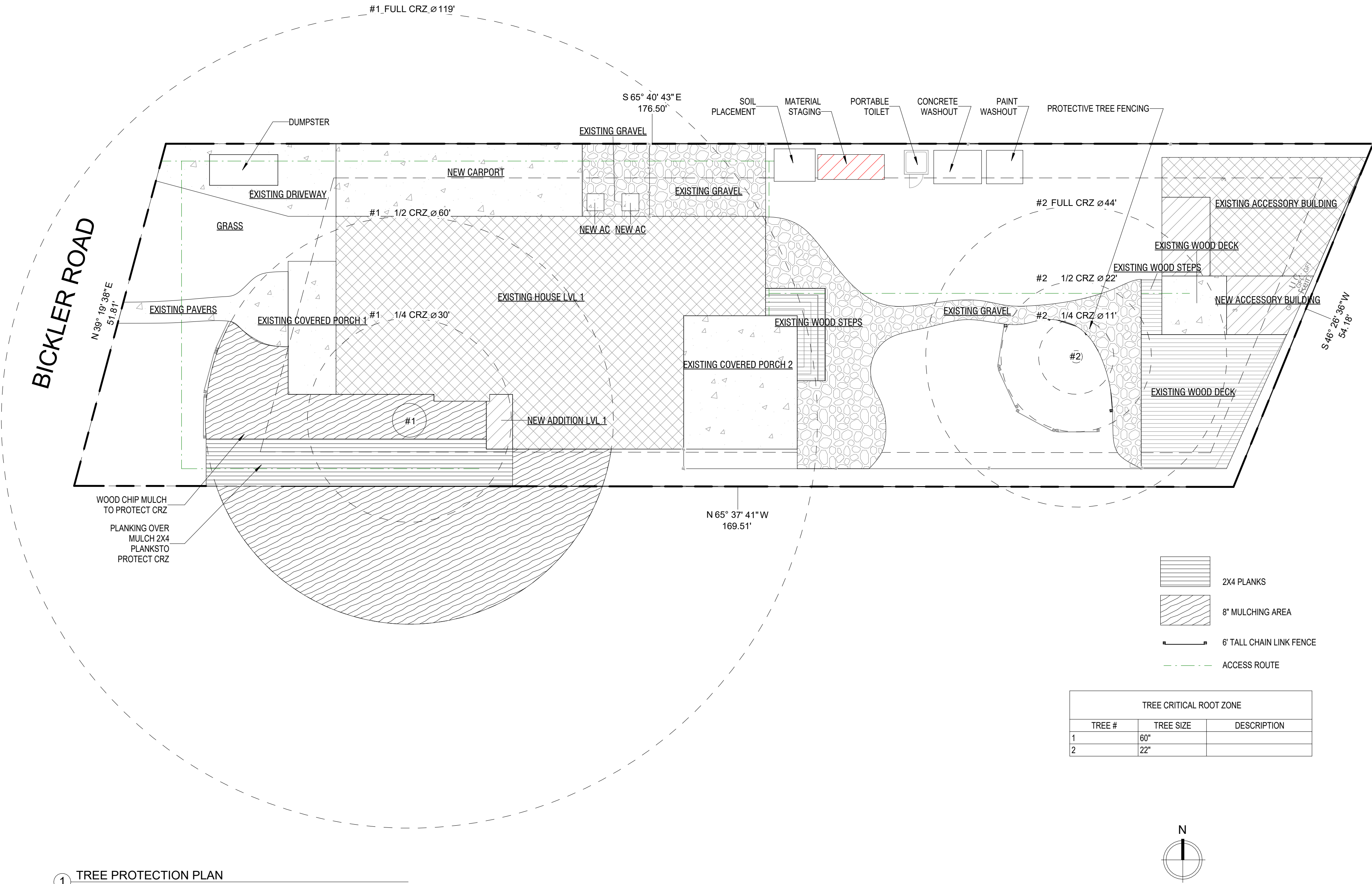


CERTIFIED PROFESSIONAL BUILDING
NATIONAL COUNCIL
BUILDING
44-754
Christopher L. Clifton

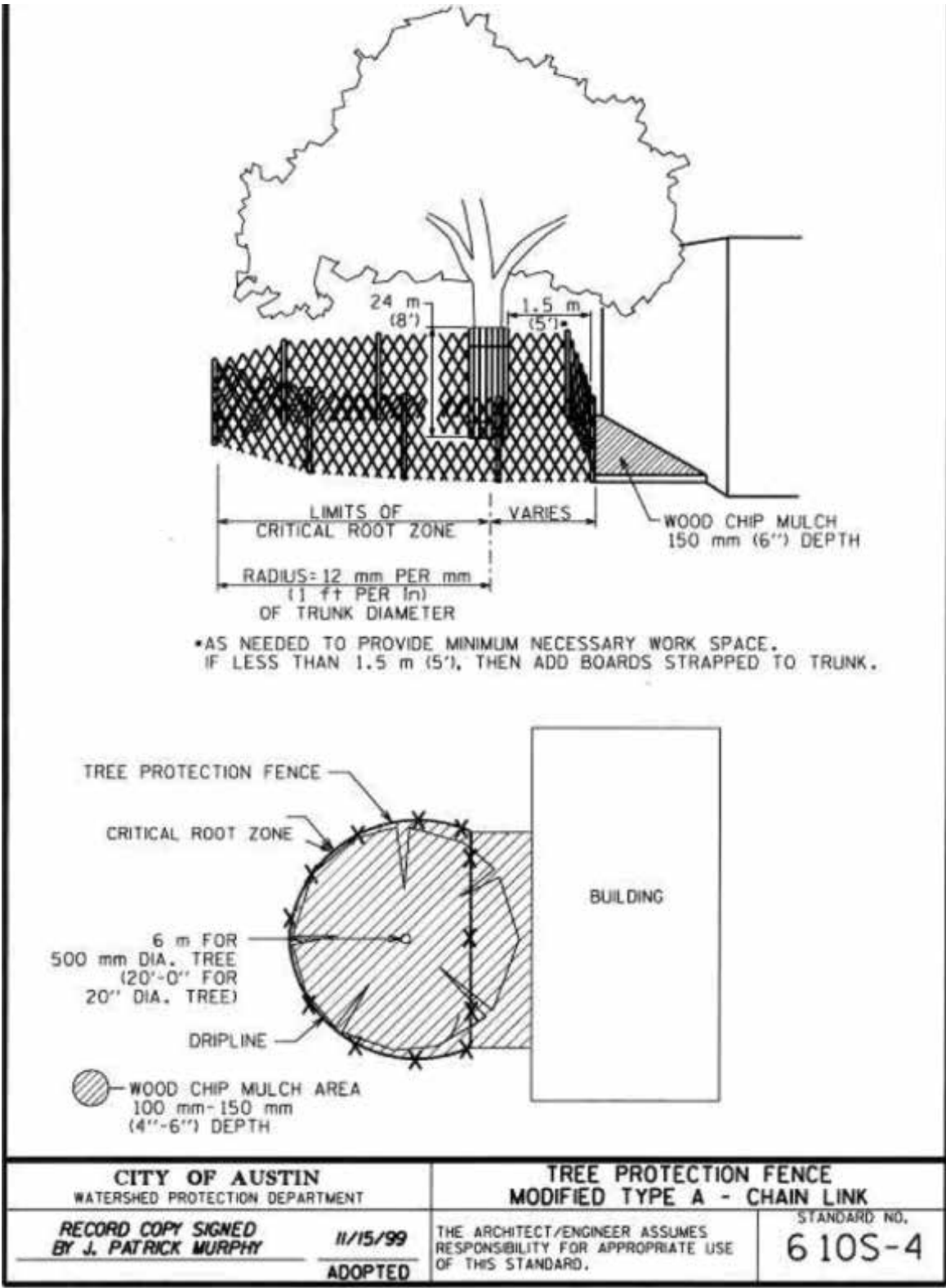
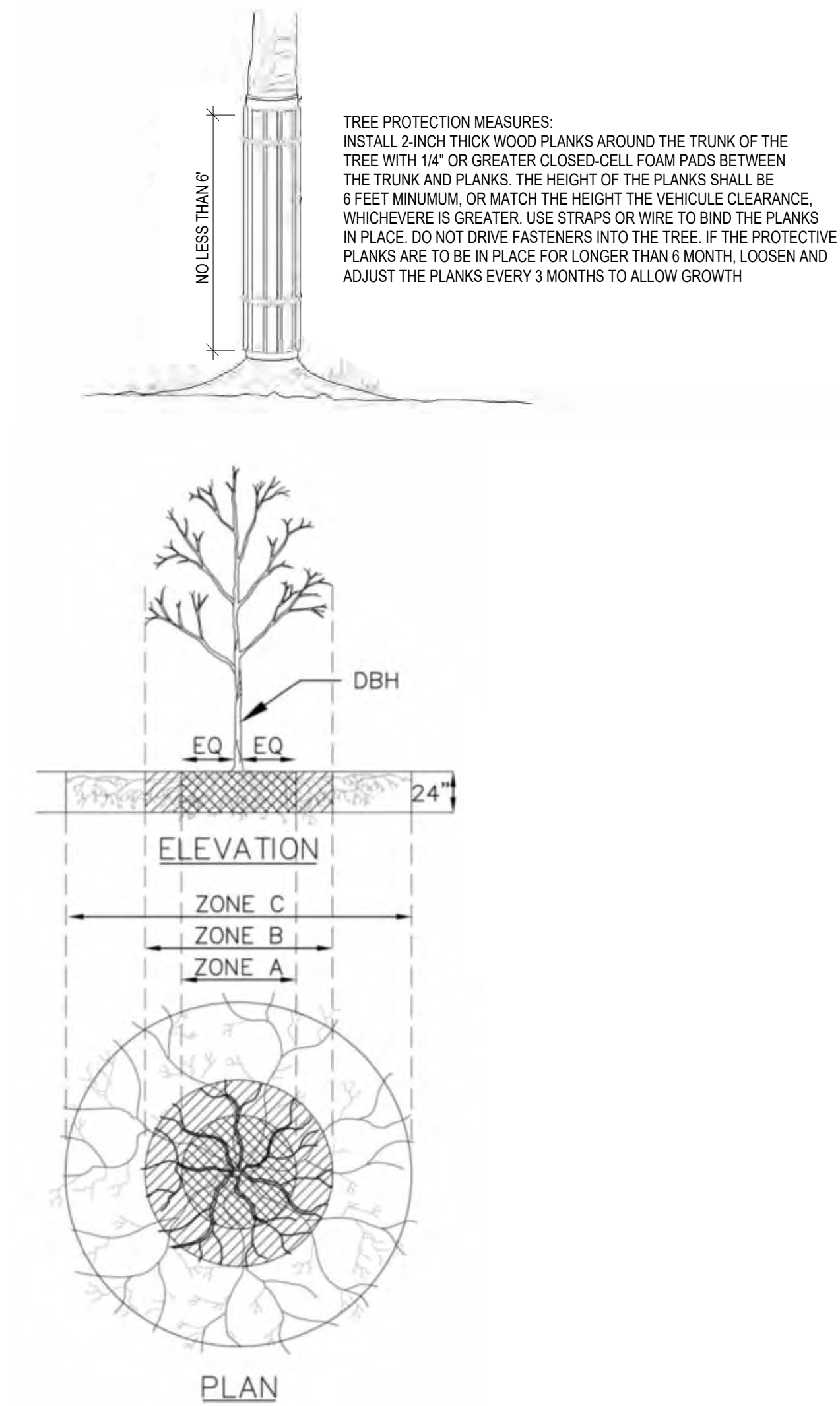
MCMANSION PLAN

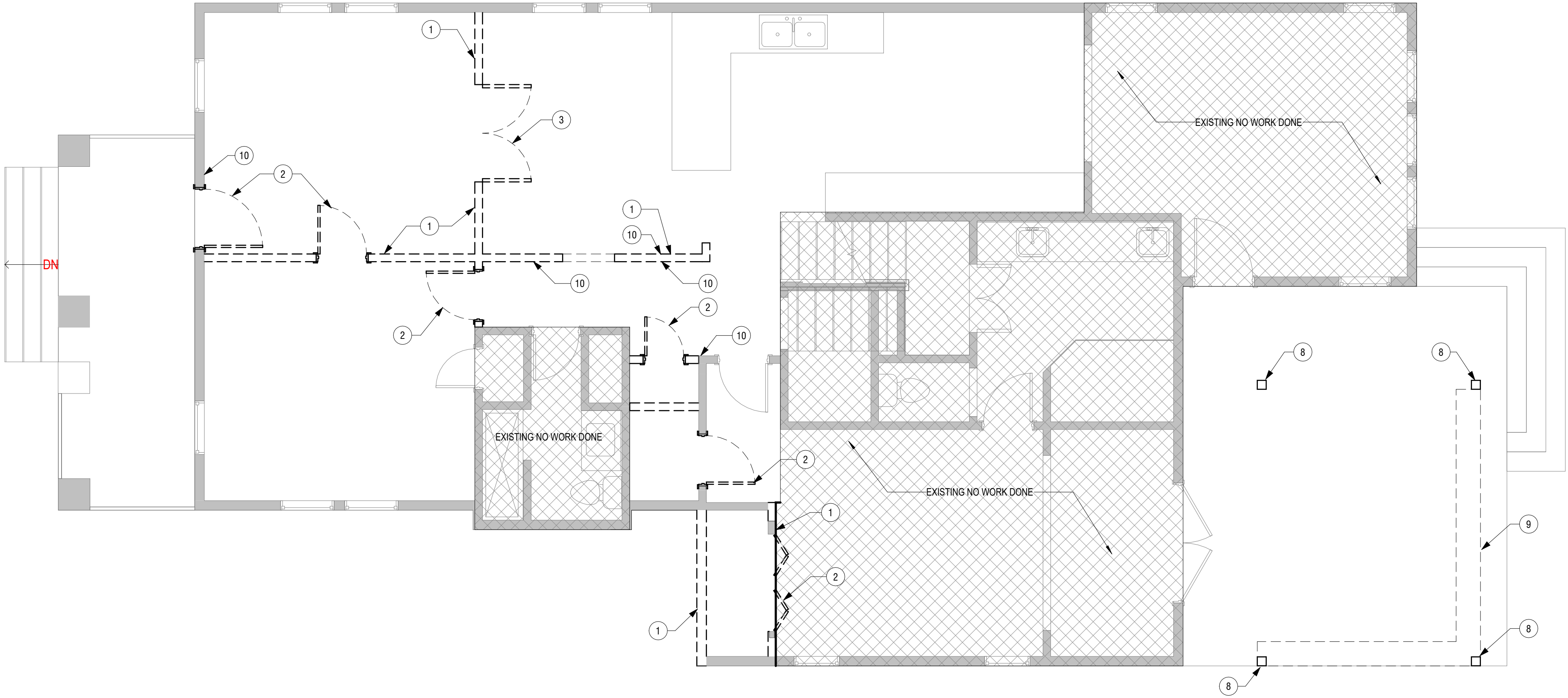
A002





1 TREE PROTECTION PLAN
1" = 10'-0"





1. DEMO PLAN
1/4" = 1'-0"

GENERAL DEMOLITION NOTES

EXISTING WALLS AND ITEMS TO BE DEMOLISHED ARE INDICATED WITH HEAVY DASH LINES.

DISCONNECT AND REMOVE ALL ITEMS IN WALLS TO BE REMOVED (UNO).

REMOVE DOORS AND FRAMES WHERE INDICATED BY HEAVY DASHED LINES. RETAIN DOORS AND FRAMES DESIGNATED BY OWNER AND STORE IN SECURE LOCATION.

ALL ITEMS TO BE DEMOLISHED SHALL BE REMOVED COMPLETELY, INCLUDING FASTENERS, BRACKETS, BRACES, TIES, HANGERS, SHIMS, PIPES, CONDUITS, ETC, UNLESS OTHERWISE INDICATED TO BE ABANDONED IN PLACE.

WHERE WALLS THAT ARE TO REMAIN ARE DISTURBED BY DEMOLITION, PATCH/REPAIR ADJACENT SURFACES TO A LIKE-NEW CONDITION.

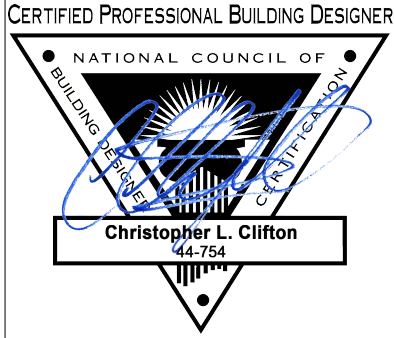
ANY BARRICADES OR TEMPORARY PARTITIONS CONSTRUCTED WITHIN THE BUILDINGS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.

DEMOLITION PLAN LEGEND

- WALLS, WINDOWS, DOORS, AND ROOF TO BE DEMOLISHED
- WALLS, WINDOWS, DOORS, TO REMAIN

DEMO PLAN NOTES	
NO.	DESCRIPTION
1	REMOVE WALL
2	REMOVE DOOR
3	REMOVE DOOR & RELOCATE
4	REMOVE WALL & BATH TOP
5	REMOVE VANITY
6	REMOVE WINDOW
7	REMOVE RAILING
8	REMOVE COLUMN
9	REMOVE BENCH
10	REMOVE & RELOCATE ELECTRICAL FIXTURES. SEE ELECTRICAL PLAN
11	REMOVE STEPS
12	REMOVE & PRESERVE PLUMBING FIXTURES VERIFY W/ OWNER
13	REPAIR WOOD STEPS

NO. REVISION DATE



ISSUE DATE: 08/03/2022

DEMO PLAN LEVEL
01

A101

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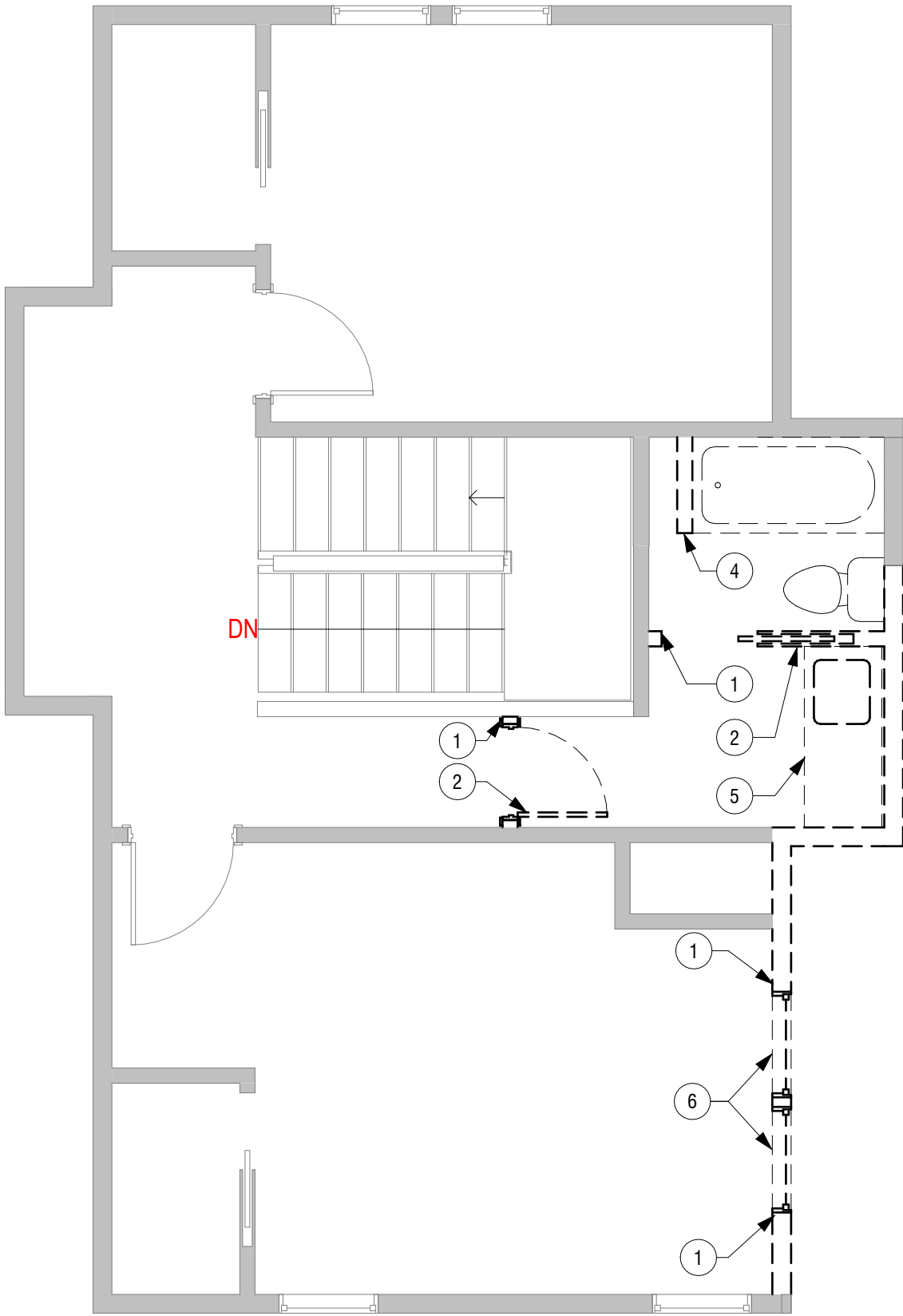
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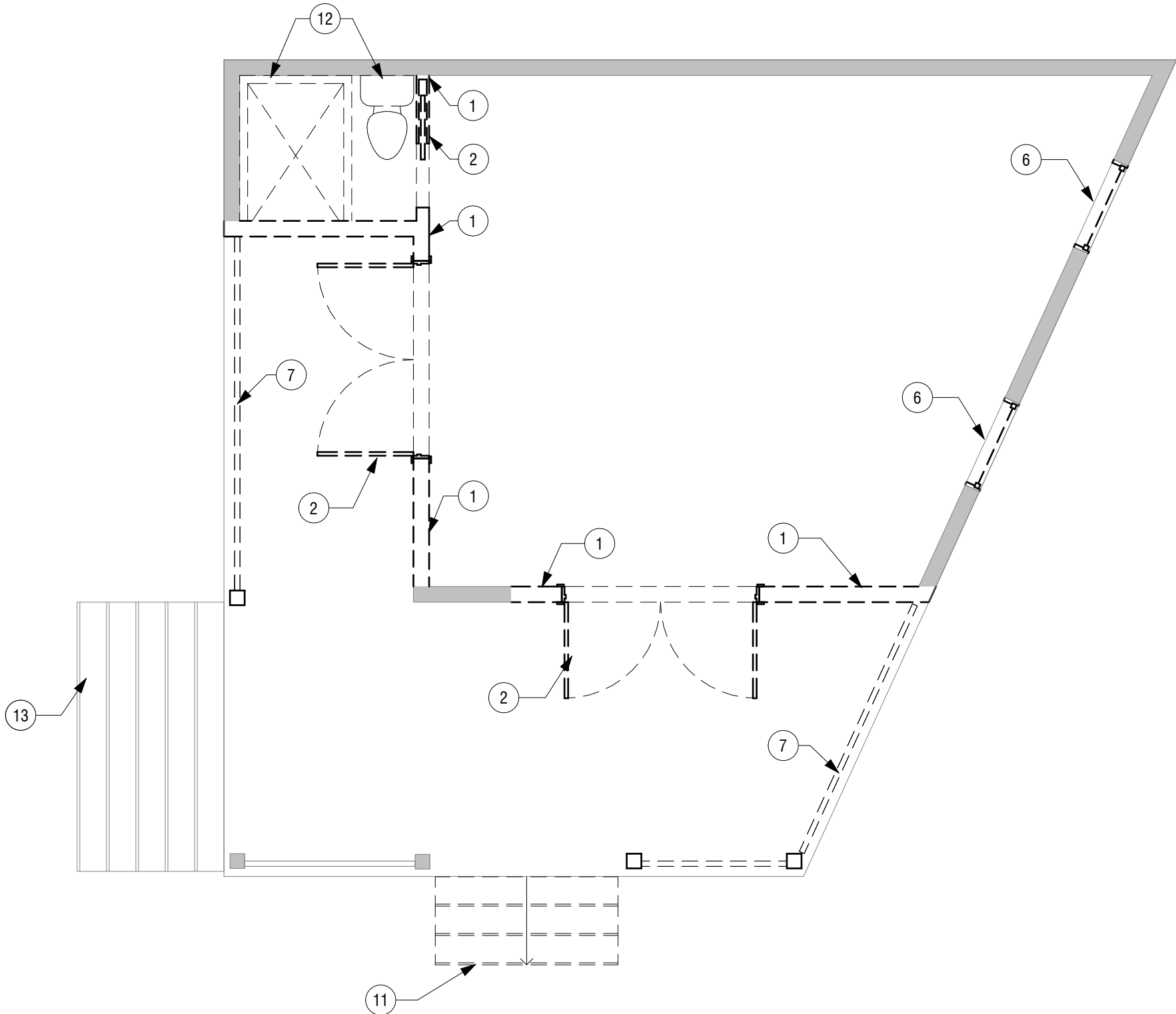
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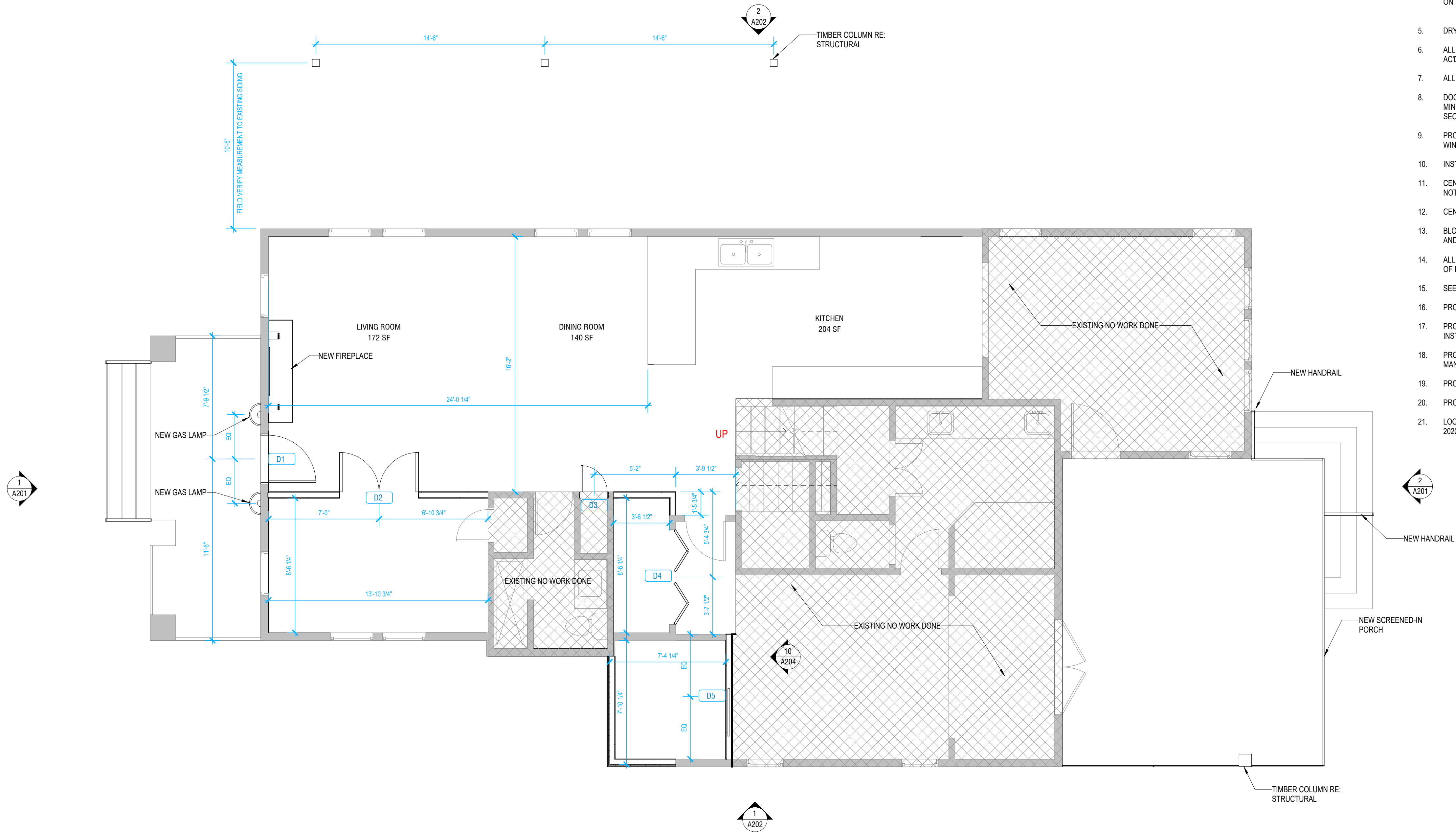
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10	REMOVE & RELOCATE ELECTRICAL FIXTURES. SEE ELECTRICAL PLAN
11	REMOVE STEPS
12	REMOVE & PRESERVE PLUMBING FIXTURES VERIFY W/ OWNER
13	REPAIR WOOD STEPS



1 DEMO PLAN ACCESSORY BUILDING
1/4" = 1'-0"





3 FLOOR PLAN LEVEL 01
1/4" = 1'-0"

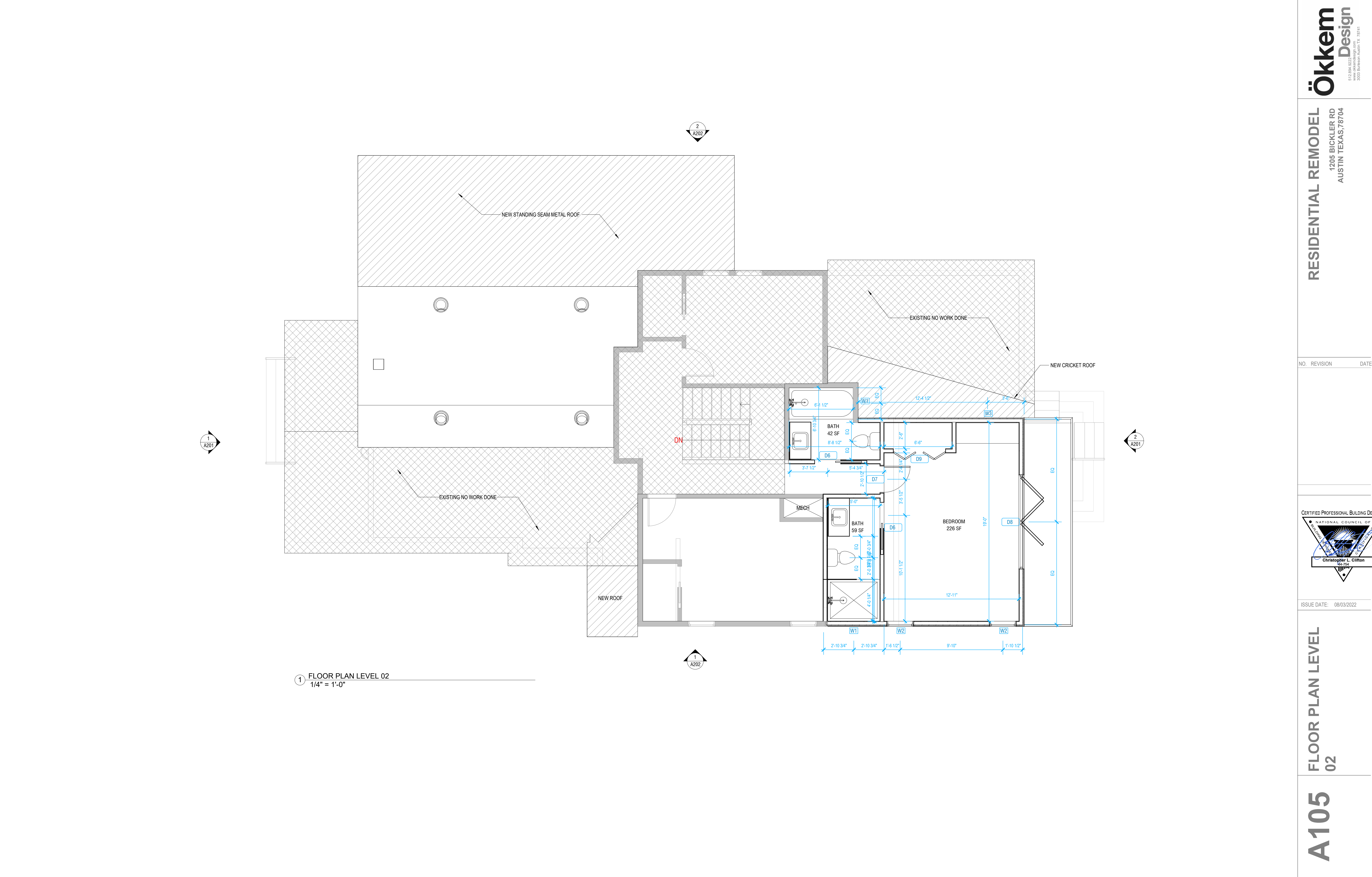
FLOOR PLAN NOTES

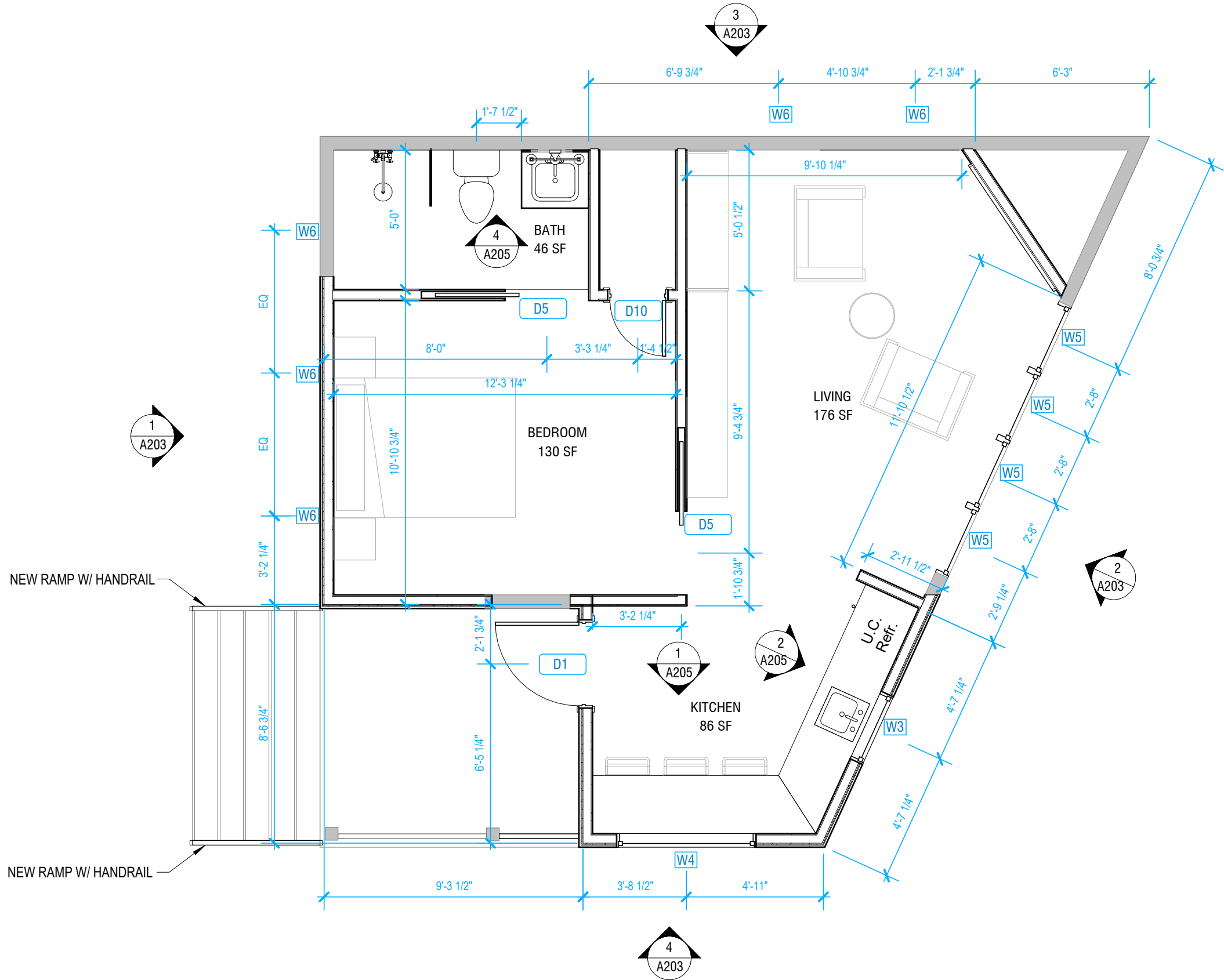
NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AND CITY OF AUSTIN AMENDMENTS
2. SEE STRUCTURAL DRAWING SHEETS FOR HEADER SIZES AND LOCATIONS
3. PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, WITH BATTERY BACKUP, AT EACH SLEEPING ROOM, IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS, AND, IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH 2021 IRC SEC R314
4. PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH 2021 IRC SEC R315 DENOTED ON THE PLANS BY THE SYMBOL ☒
5. DRYER VENT NOT TO EXCEED 35', MINUS ELBOWS PER 2021 IRC M1502.4.6.1
6. ALL GYPSUM WALL BOARD SHALL BE 5/8" THICK TYPE "X" @ GARAGE WALL SEPARATING ACD SPACE FROM THE GARAGE.
7. ALL GYPSUM WALL BOARD SHALL BE 5/8" THICK TYPE "X" @ GARAGE CEILING.
8. DOOR BETWEEN THE GARAGE AND RESIDENCE TO BE EQUIPPED WITH A GASKETED 20-MINUTE FIRE-RATED DOORS EQUIPPED WITH A SELF-CLOSING DEVICE. PER 2021 IRC SECTION R302.5.1
9. PROVIDE LOCAL EXHAUST SYSTEM FOR BATHROOM WITH NO WINDOWS OR FIXED WINDOWS. PER 2021 IRC SECTION R303.3
10. INSTALL SAFETY GLAZING IN ACCORDANCE WITH 2021 IRC SEC R308
11. CENTERLINE TO ALL LIGHT SWITCHES TO BE 48" ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED
12. CENTERLINE TO ALL OUTLETS TO BE 18" ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED
13. BLOCKING TO BE PROVIDED AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT, FIXTURES, AND FURNISHINGS.
14. ALL DIMENSIONS ORIGINATE AT OUTSIDE FACE OF EXTERIOR WALL STUDS OR FINISH FACE OF INTERIOR WALLS AND CENTERLINE OF OPENINGS, UNLESS NOTED OTHERWISE.
15. SEE SHEET A102 FOR WALL TYPES.
16. PROVIDE AFCI BREAKERS AS REQUIRED PER 2020 NEC.
17. PROVIDE GROMMETS AT ALL HOLE CAVITIES IN METAL STUDS WHERE WIRING IS BEING INSTALLED.
18. PROVIDE SUPPORTS FOR PIPING AND HVAC SYSTEMS AS REQUIRED PER CODE AND MANUFACTURER REQUIREMENTS.
19. PROVIDE GFCI DEVICES FOR GFCI PROTECTION WHERE REQUIRED PER 2020 NEC.
20. PROVIDE DEDICATED CIRCUIT FOR THE REFRIGERATOR.
21. LOCATE OUTLETS AS REQUIRED TO COMPLY WITH OUTLET SPACING REQUIREMENTS OF 2020 NEC.

FOUNDATION LEGEND

- INDICATES TOP OF SLAB ELEVATION.
- INDICATES STEP IN SLAB ELEVATION.





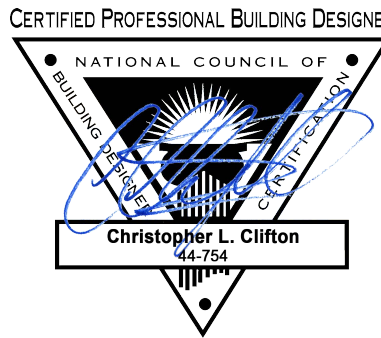
1 FLOOR PLAN ACCESSORY BUILDING
1/4" = 1'-0"

FLOOR PLAN NOTES

NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AND CITY OF AUSTIN AMENDMENTS
- SEE STRUCTURAL DRAWING SHEETS FOR HEADER SIZES AND LOCATIONS
- PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, WITH BATTERY BACKUP, AT EACH SLEEPING ROOM, IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS, AND, IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH 2021 IRC SEC R314
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- ALL DIMENSIONS ORIGINATE AT OUTSIDE FACE OF EXTERIOR WALL STUDS OR FINISH FACE OF INTERIOR WALLS AND CENTERLINE OF OPENINGS, UNLESS NOTED OTHERWISE.
- SEE SHEET A102 FOR WALL TYPES.
- PROVIDE AFCI BREAKERS AS REQUIRED PER 2020 NEC.
- PROVIDE GROMMETS AT ALL HOLE CAVITIES IN METAL STUDS WHERE WIRING IS BEING INSTALLED.
- PROVIDE SUPPORTS FOR PIPING AND HVAC SYSTEMS AS REQUIRED PER CODE AND MANUFACTURER REQUIREMENTS.
- PROVIDE GFCI DEVICES FOR GFCI PROTECTION WHERE REQUIRED PER 2020 NEC.
- PROVIDE DEDICATED CIRCUIT FOR THE REFRIGERATOR.
- LOCATE OUTLETS AS REQUIRED TO COMPLY WITH OUTLET SPACING REQUIREMENTS OF 2020 NEC.

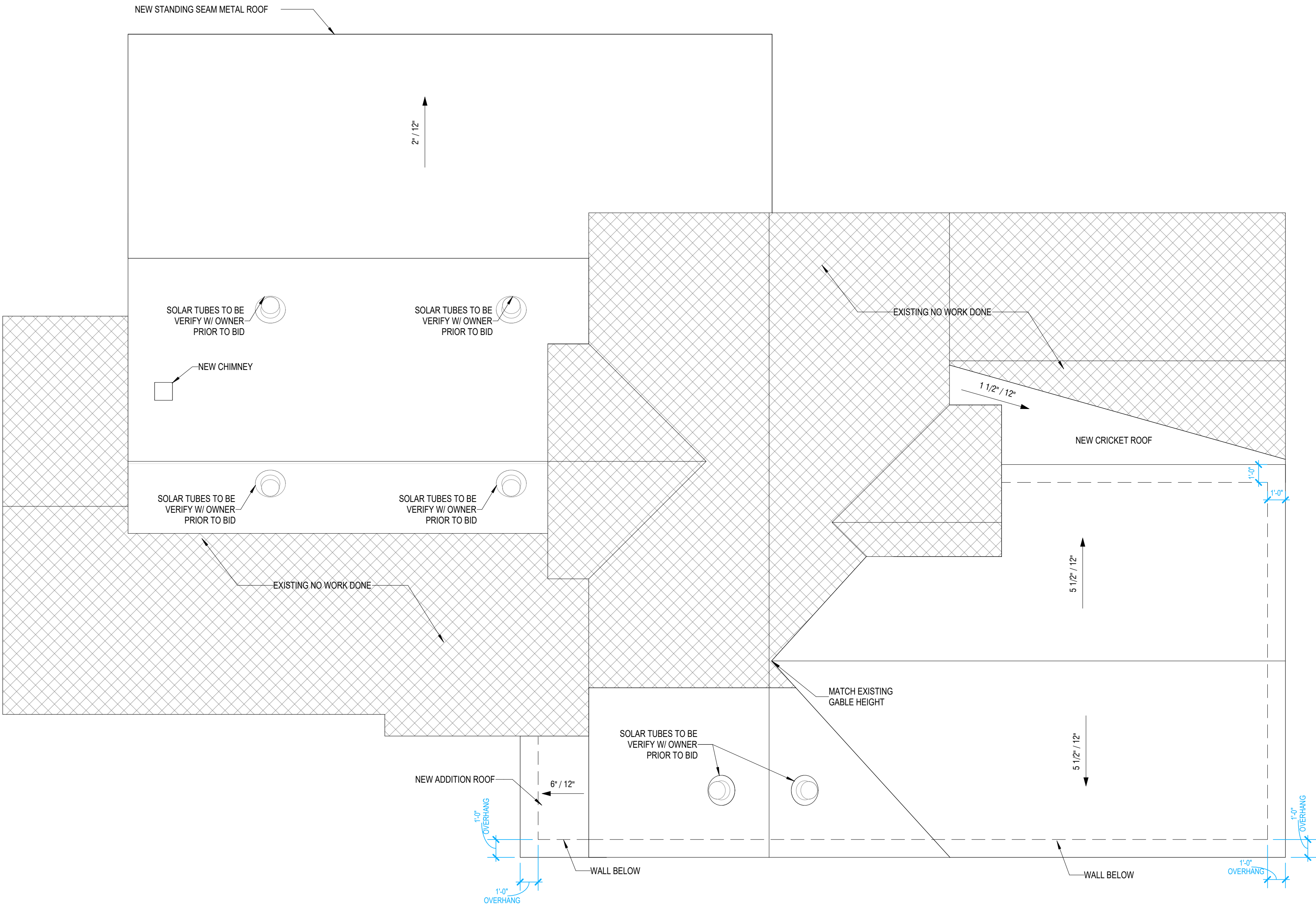
NO.	REVISION	DATE
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ISSUE DATE: 08/03/2022

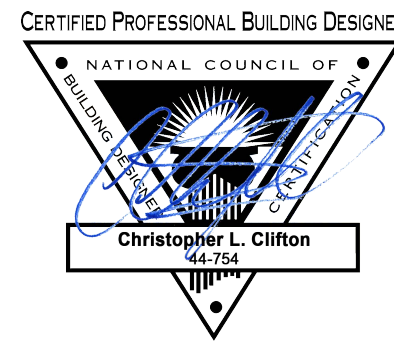
FLOOR PLAN
ACCESSORY
BUILDING

A106



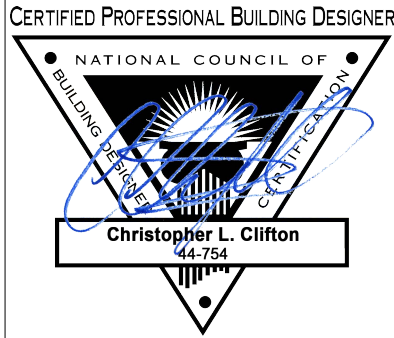
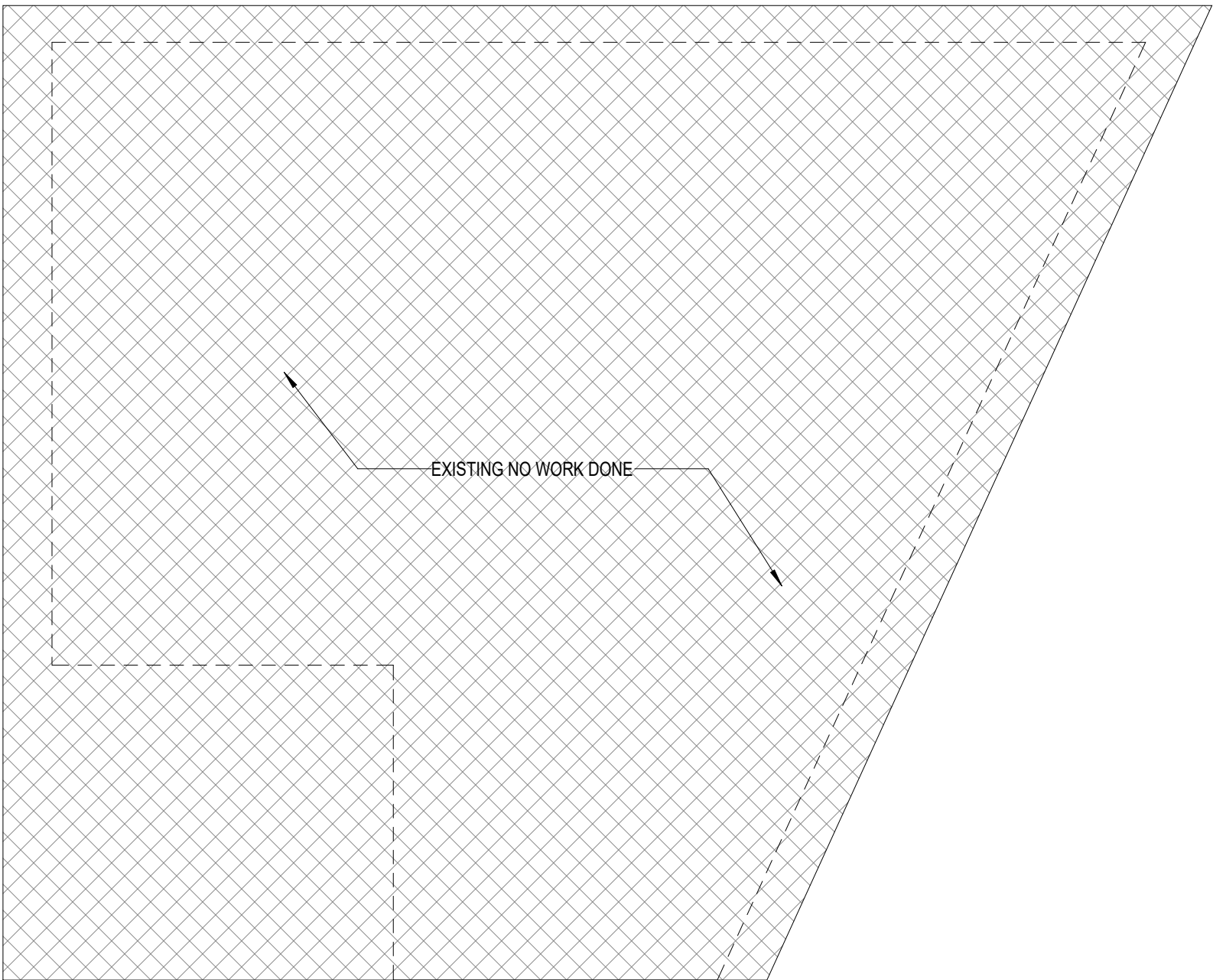
① ROOF PLAN
1/4" = 1'-0"

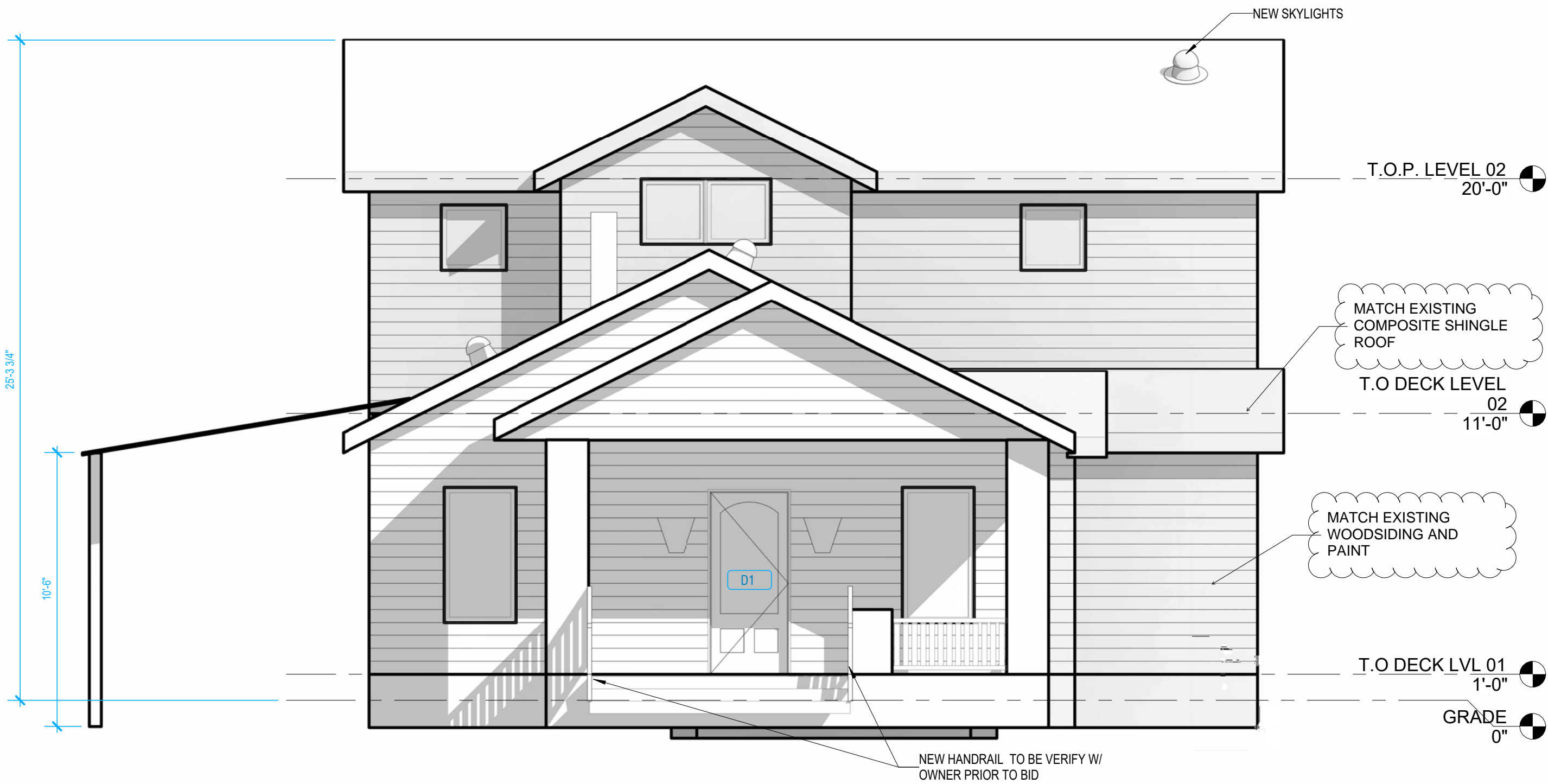
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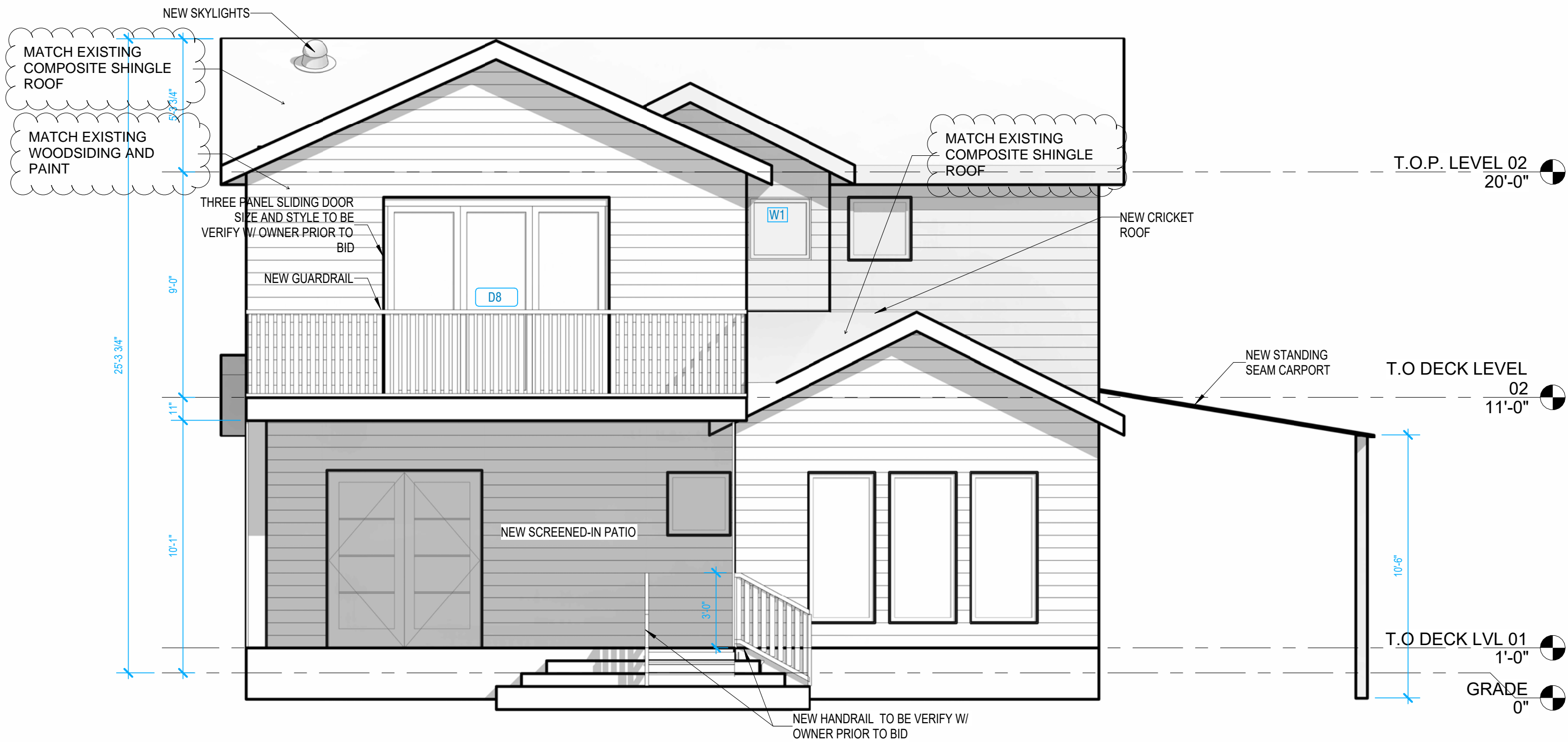
ISSUE DATE: 08/03/2022

① ACCESSORY BUILDING ROOF PLAN
1/4" = 1'-0"





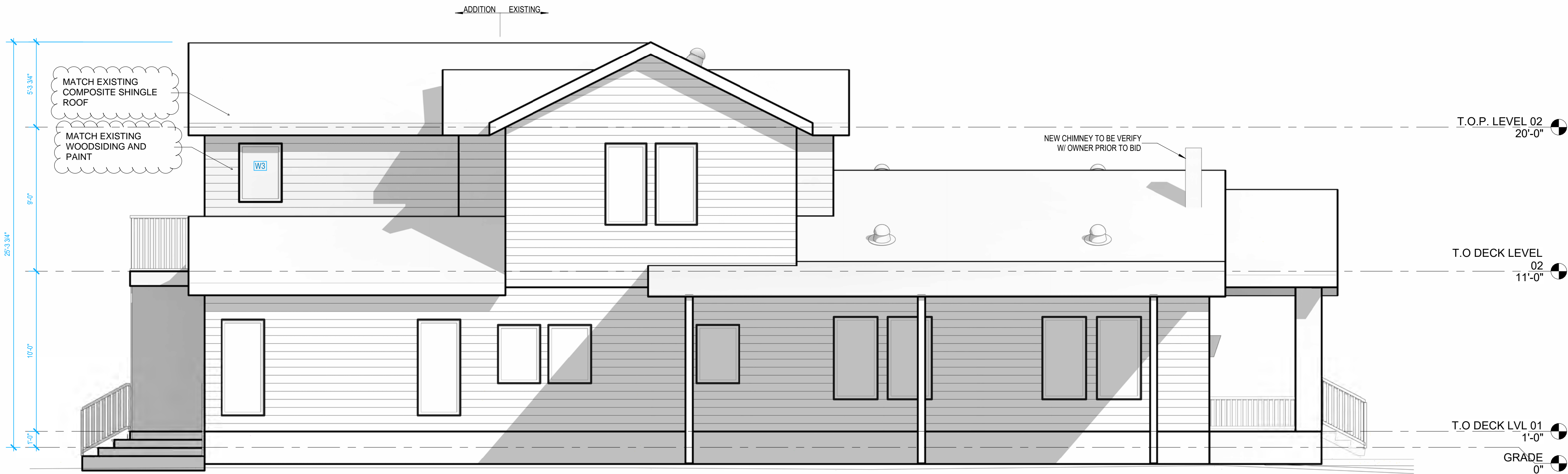
1 WEST ELEVATION
1/4" = 1'-0"



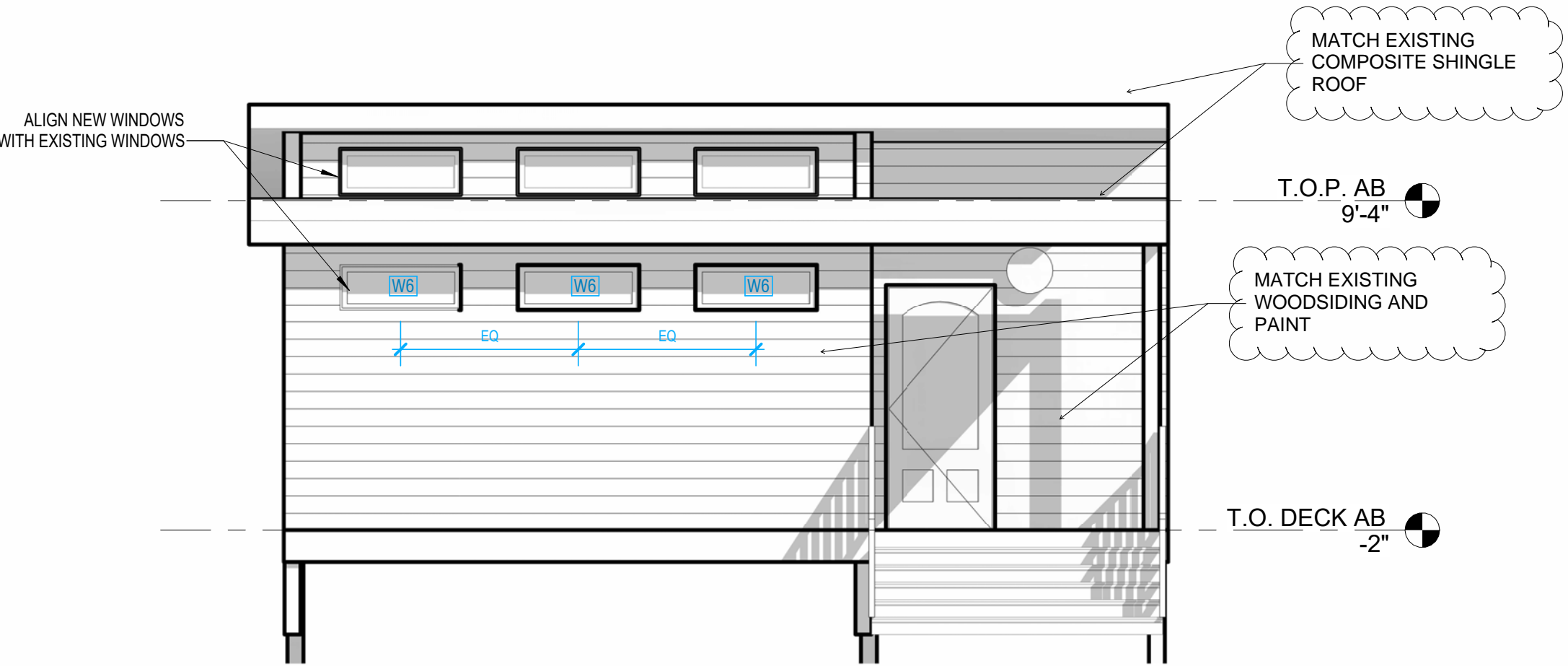
2 EAST ELEVATION
1/4" = 1'-0"



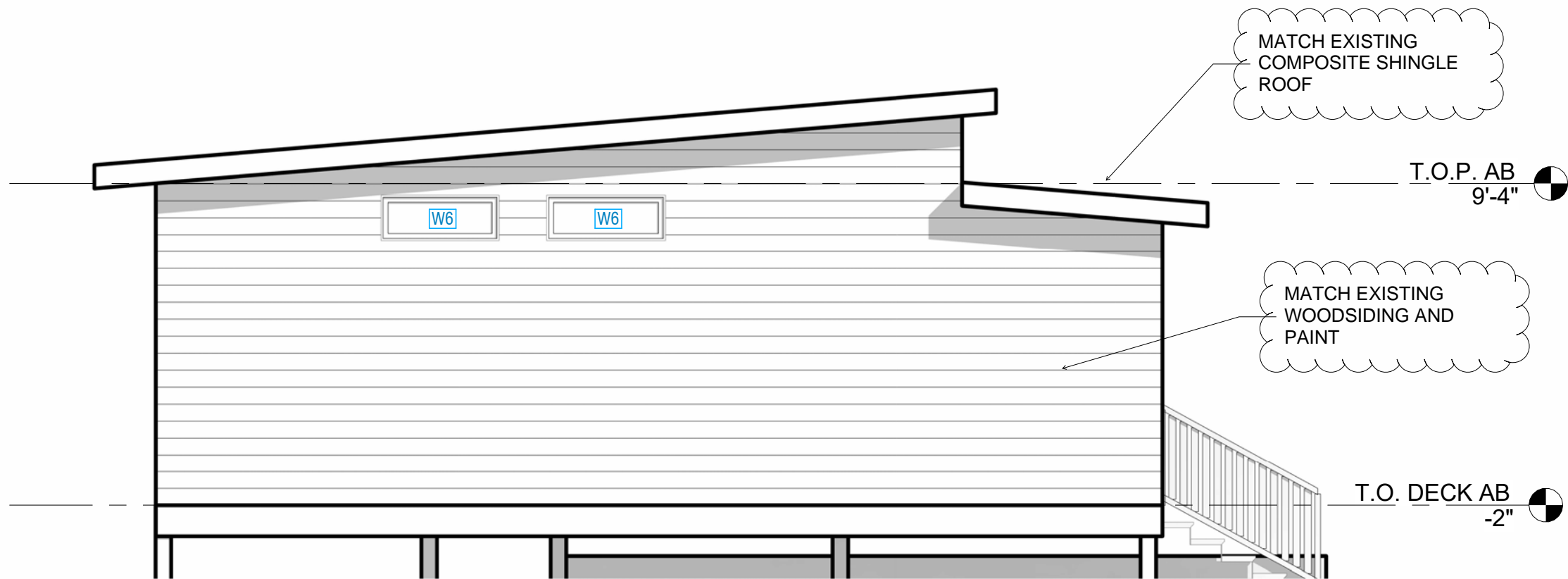
① SOUTH ELEVATION
1/4" = 1'-0"



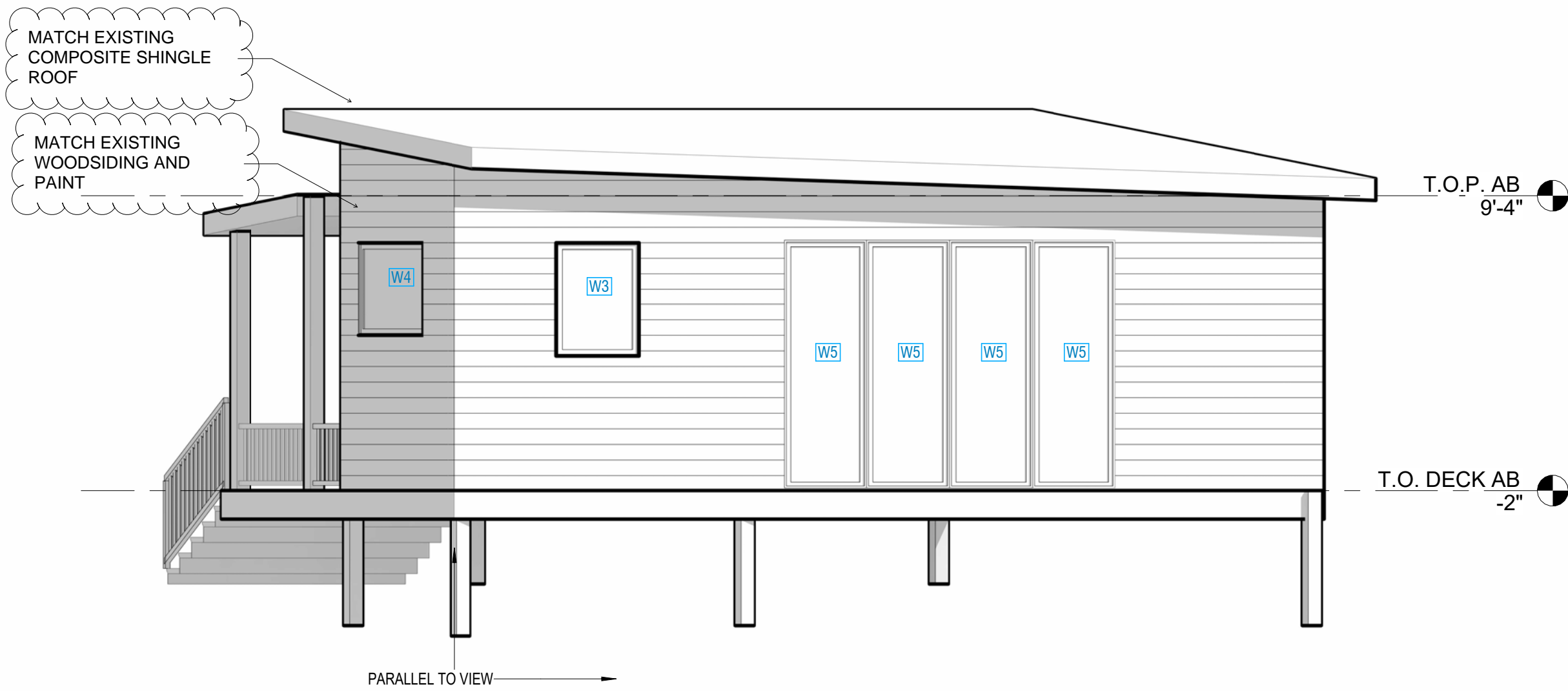
② NORTH ELEVATION
1/4" = 1'-0"



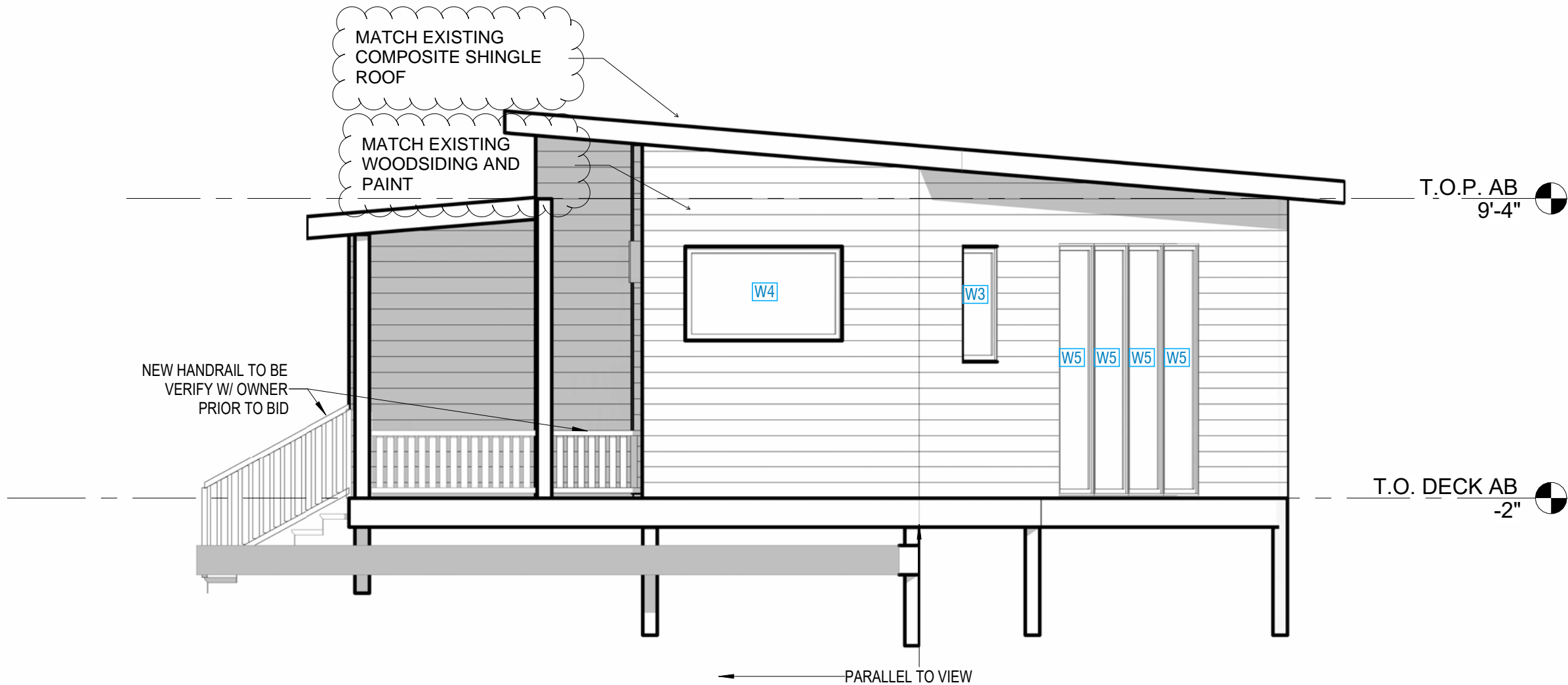
1 WEST ELEVATION ACCESSORY BUILDING
1/4" = 1'-0"



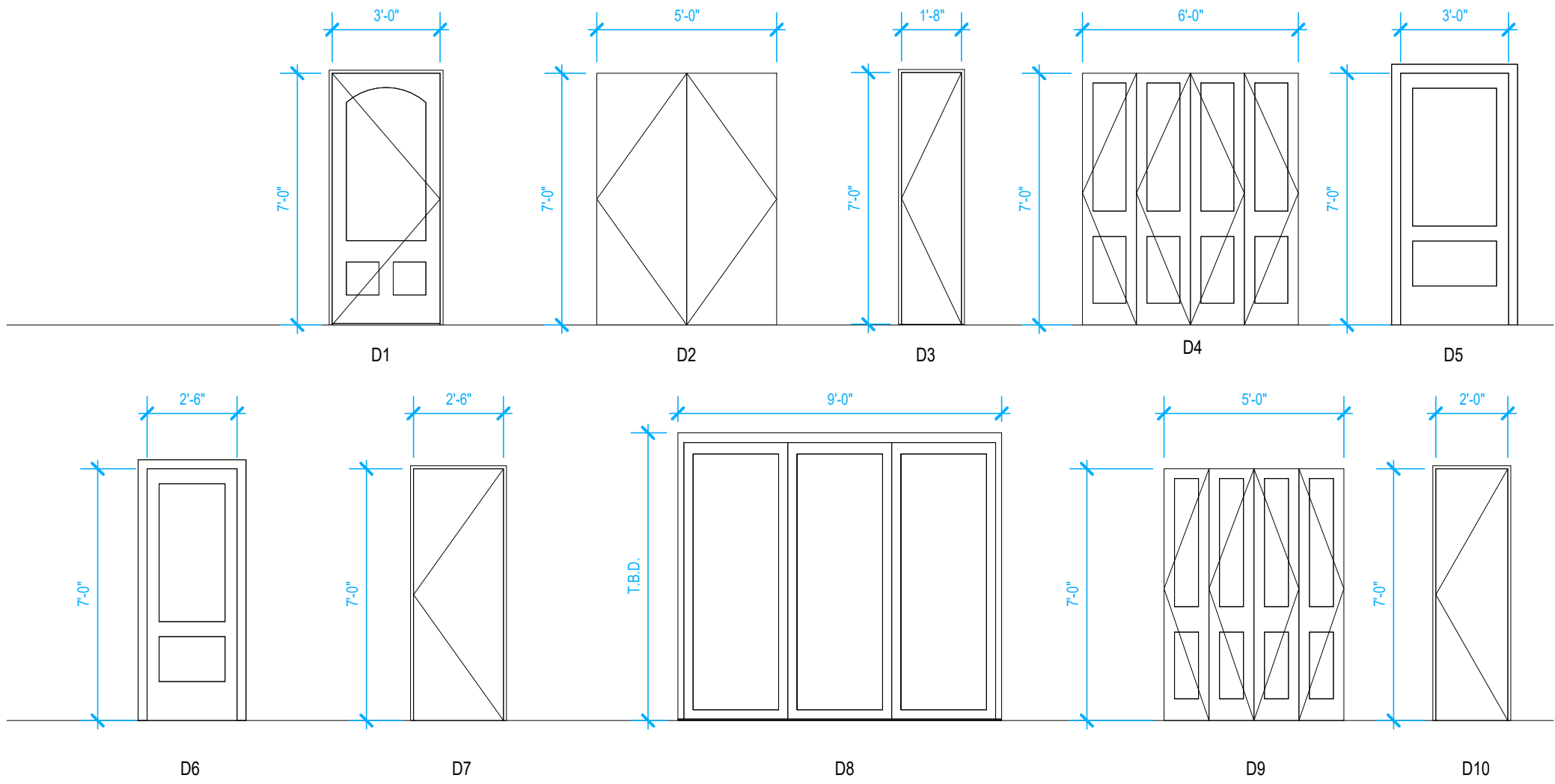
3 NORTH ELEVATION ACCESSORY BUILDING
1/4" = 1'-0"



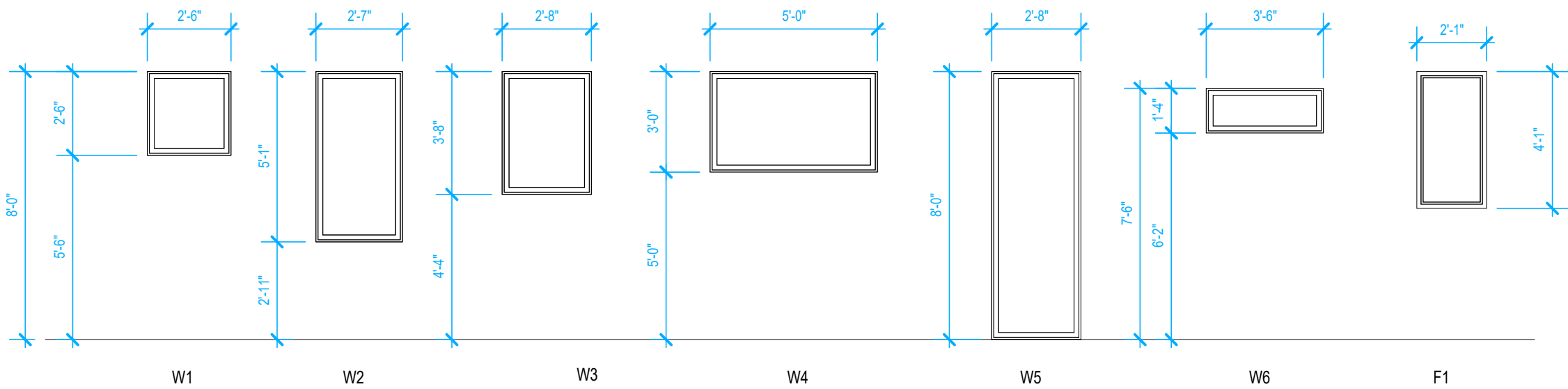
2 SOUTH EAST ELEVATION ACCESSORY BUILDING
1/4" = 1'-0"



4 SOUTH ELEVATION ACCESSORY BUILDING
1/4" = 1'-0"



DOOR TYPES
1/4" = 1'-0"



WINDOW TYPES
1/4" = 1'-0"

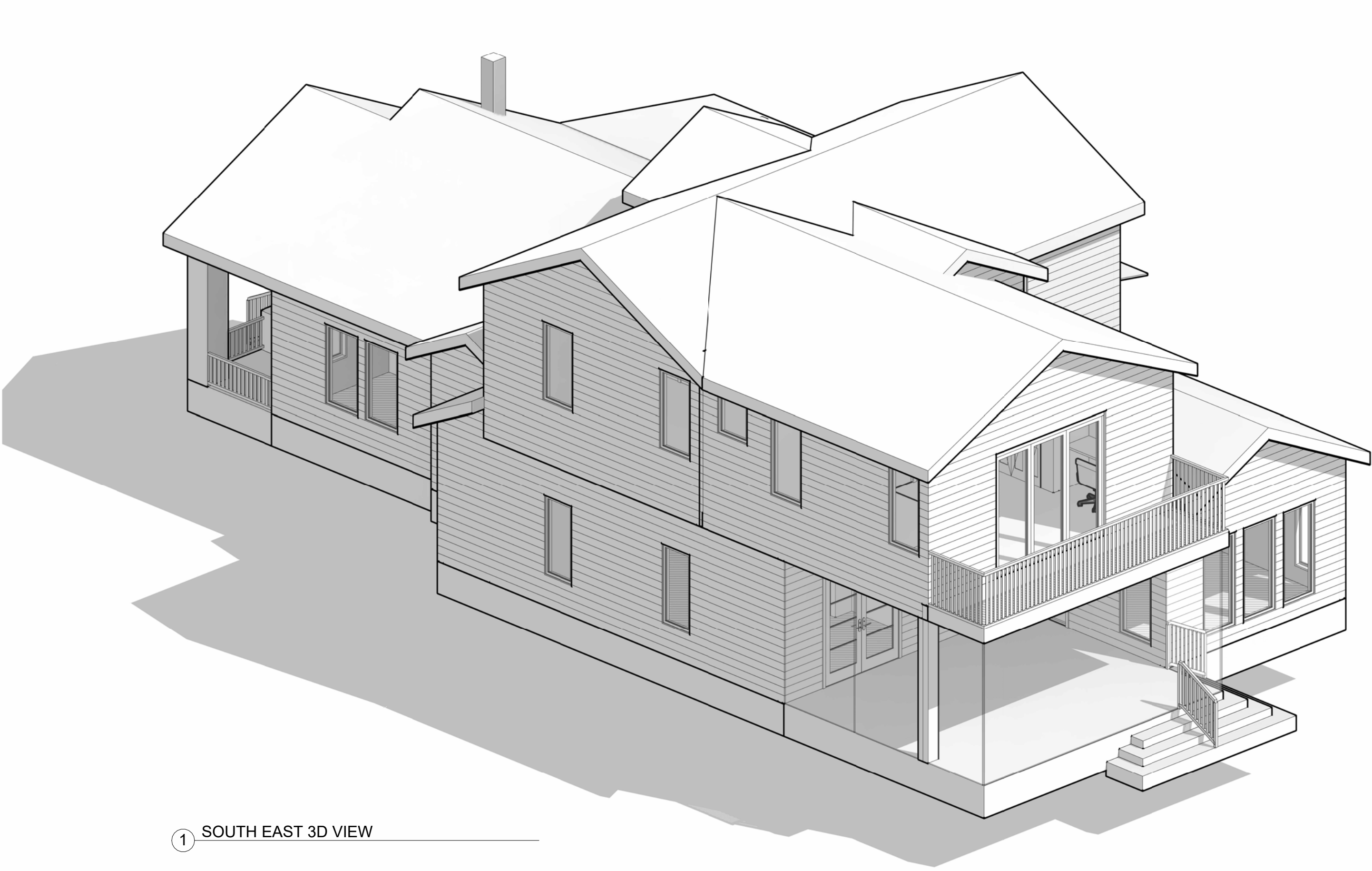
NOTE:
DIMENSIONS ON SCHEDULE ARE MEANT TO DESCRIBE THE PROPOSED SIZE OF THE WINDOW OR DOOR ELEMENTS.

ROUGH OPENINGS FOR WINDOWS SHOULD INCLUDE +1/2" TOLERANCE IN WIDTH AND HEIGHT.

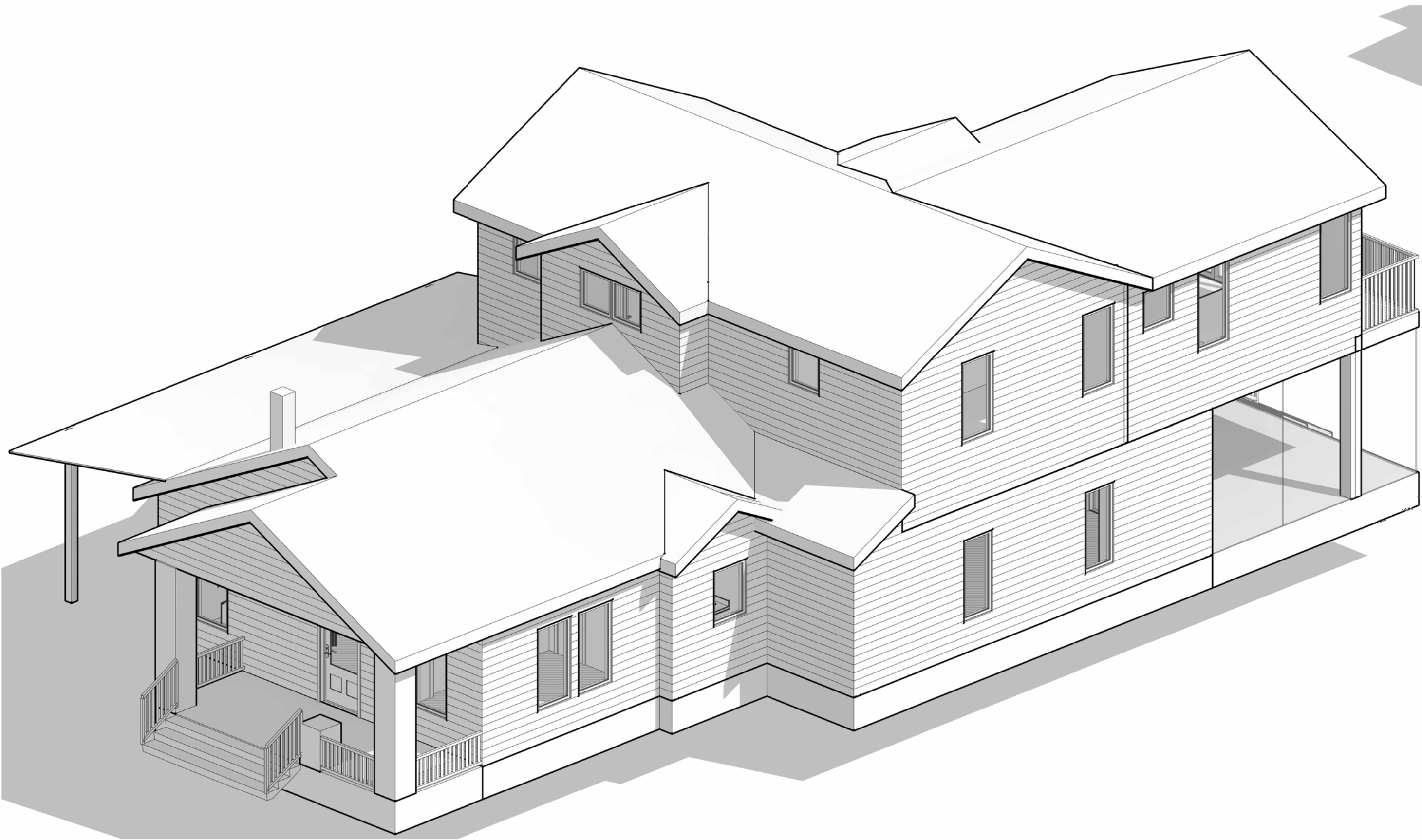
ROUGH OPENINGS FOR DOORS SHOULD INCLUDE +1/2" TOLERANCE IN WIDTH AND +1/4" TOLERANCE IN HEIGHT.

DOOR SCHEDULE						
Type Mark	Width	Height	Count	Comments	Level	Phase Created
D1	3'-0"	7'-0"	2	ACCESSORY BUILDING & MAIN HOUSE	<varies>	New Construction
D2	5'-0"	7'-0"	1		T.O DECK LVL 01	New Construction
D3	1'-8"	7'-0"	1		T.O DECK LVL 01	New Construction
D4	6'-0"	7'-0"	1		T.O DECK LVL 01	New Construction
D5	3'-0"	7'-0"	3	ACCESSORY BUILDING & MAIN HOUSE	<varies>	New Construction
D6	2'-6"	7'-0"	2		T.O DECK LEVEL 02	New Construction
D7	2'-6"	7'-0"	1		T.O DECK LEVEL 02	New Construction
D8	9'-0"	8'-0"	1		T.O DECK LEVEL 02	New Construction
D9	5'-0"	7'-0"	1		T.O DECK LEVEL 02	New Construction
D10	2'-0"	7'-0"	1		T.O. DECK AU	New Construction

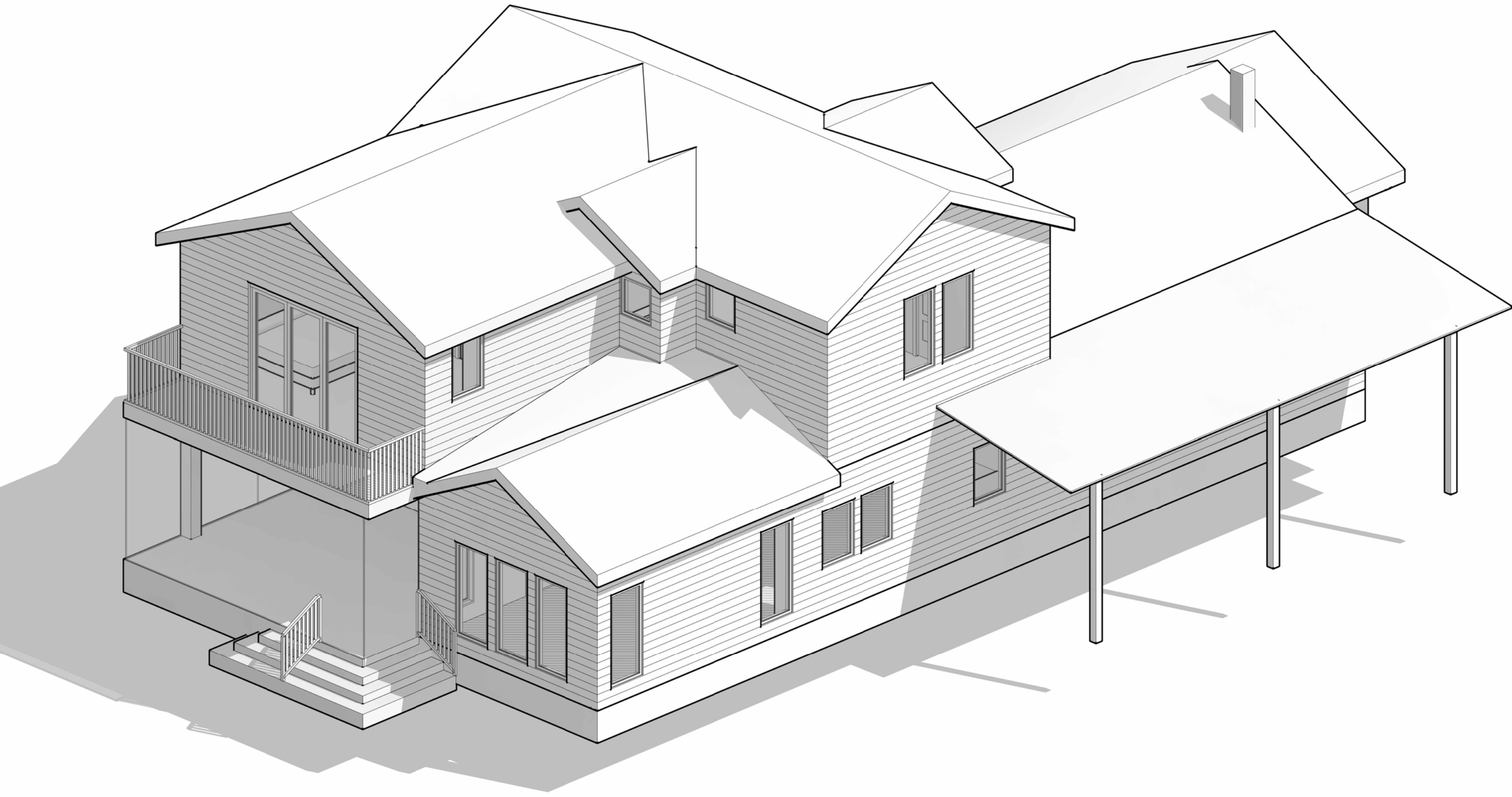
WINDOW SCHEDULE								
Type Mark	Width	Height	Count	Head Height	Sill Height	Level	Comments	Phase Created
W1	2'-6"	2'-6"	2	8'-0"	5'-6"	T.O DECK LEVEL 02		New Construction
W2	2'-7"	5'-1"	2	8'-0"	2'-11"	T.O DECK LEVEL 02		New Construction
W3	2'-8"	3'-8"	2	8'-0"	4'-4"	<varies>	ACCESSORY BUILDING & MAINHOUSE	New Construction
W4	5'-0"	3'-0"	1	8'-0"	5'-0"	T.O. DECK AU		New Construction
W5	2'-8"	8'-0"	4	8'-1"	1"	T.O. DECK AU		New Construction
W6	3'-6"	1'-4"	5	<varies>	<varies>	T.O. DECK AU		New Construction



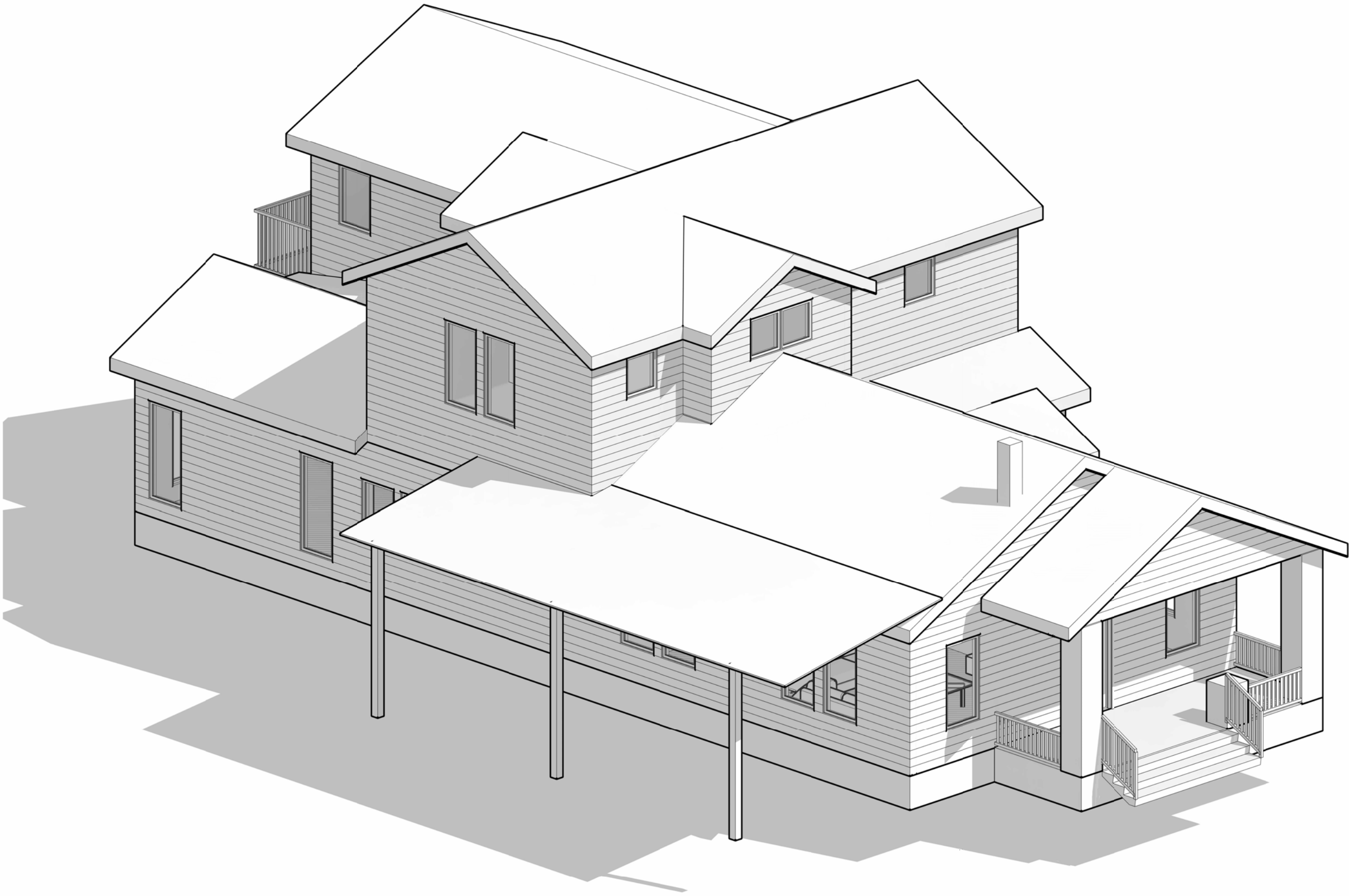
1 SOUTH EAST 3D VIEW



2 SOUTH WEST 3D VIEW



3 NORTH EAST 3D VIEW



4 NORTH WEST 3D VIEW



① FRONT VIEW
1" = 1'-0"



③ RIGHT VIEW
1" = 1'-0"



④ REAR VIEW
1" = 1'-0"



② LEFT VIEW
1" = 1'-0"



① FRONT VIEW
1" = 1'-0"



② RIGHT VIEW
1" = 1'-0"



③ REAR VIEW
1" = 1'-0"