

KEY TO SURVEY MARKS

In the following list "Standard Spike and Washer" denotes a Punchmark on a 3/8 in. Spike with a 2 in. Aluminum Washer stamped "KENT MCMILLAN, SURVEYOR, RPLS 4341" and numbered as noted, set in a Hole Drilled in a Concrete Curb or Pavement

No. Description

- 1-5 Set Standard Spike and washer (in 2015)
 23 Set Standard Spike and washer SE Cor E 3rd & Comal
 24 Set Standard Spike and washer NE Cor E 2nd & Comal
 25 Set Standard Spike and washer SW Cor E 2nd & Comal
 27 Set Standard Spike and washer in Sidewalk at 1408 E 1st
 28 Set Standard Spike and washer in Curb Laydown NW Cor E 1st & Navasota
 29 Set Standard Spike and washer on E side Driveway at 1208 E 1st
 30 Set Standard Spike and washer NE Cor E 1st & Waller
 31 Set Standard Spike and washer NW Cor E 2nd & Waller (N side of Inlet on Waller)
 32 Set Standard Spike and washer SE Cor E 3rd & Waller
 34 Set Standard Spike and washer NW Cor E 3rd & Attayac
 35 Set Standard Spike and washer SE Cor E 3rd & Navasota
 36 Set Standard Spike and washer NW Cor E 3rd & Navasota
 41 Set Standard Spike and washer in Gutter E side of Navasota at Alley
 42 Set Standard Spike and washer NW Cor E 2nd & Navasota
 100 Found (in 2015) 1/4 in. Copper Pin in Concrete in Iron Casting on Established Centerline of Chicon St
 101 Found (in 2015) 1/4 in. Copper Pin in Concrete in Iron Casting on Established Centerline of Chicon St from which Copper Pin:
 - Spike and Washer No. 1 bears S02-50-25E, 52.25 ft.
 102 Found (in 2015) 1/4 in. Copper Pin in Concrete in Iron Casting on Established Centerline of Chicon St from which Copper Pin:
 - Spike and Washer No.4 bears S14-15-49E, 34.40 ft.
 200 Reconstructed Position of Intersection of Established Centerlines of Chicon Street and East 1st St from which Point:
 - Spike and Washer No.5 bears N11-19-10W, 34.32 ft.
 201 Reconstructed Position of Concrete Monument on Established Centerline of Chicon Street at Intersection of Monument Line Offset 10 ft. South of Established Centerline of East 1st Street from which Point:
 - Spike and Washer No.5 bears N04-18-04W, 43.14 ft.
 301 Reconstructed Position of City Engineer's Monument on 10 ft. Offset Baseline in E 1st St
 302 Reconstructed Position of City Engineer's Monument on 10 ft. Offset Baseline in E 1st St at Intersection of Established Centerline of Comal St
 304 Reconstructed Position of City Engineer's Monument on Established Centerline of Comal St at Intersection of City Engineer's Baseline for E 3rd between Navasota and Comal from which Point:
 - Spike and Washer No.23 bears S35-17-33E, 26.07 ft.

COORDINATE LIST

Coordinates in the following list are in units of US Survey Feet and refer to the Texas Coordinate System of 1983 (Central Zone); NAD83 (2011 Epoch 2010.0 as derived by connection to the local segment of the National CORS network and estimated from analysis of variance to have uncertainties (standard errors) less than +/-0.02 ft.in N and E components.

No.	N (ft.)	E (ft.)
1	10068171.144	3120635.097
2	10067920.384	3120491.174
3	10067569.023	3120362.525
4	10067203.782	3120272.452
5	10066940.541	3120133.846
23	10068028.847	3119123.573
24	10067731.120	3119012.308
25	10067695.477	3118950.118
27	10067557.810	3118471.095
28	10067650.281	3118223.767
29	10067786.835	3117852.139
30	10067871.449	3117629.804
31	10068234.032	3117718.055
32	10068485.770	3117855.934
34	10068427.923	3118156.965
35	10068258.126	3118483.871
36	10068310.147	3118473.083
41	10068107.415	3118426.192
42	10067981.695	3118351.945
46	10068179.684	3118454.243
100	10067897.260	3120510.679
101	10068223.327	3120632.508
102	10067237.115	3120263.978
200	10066906.895	3120140.581
201	10066897.528	3120137.081
301	10067138.702	3119496.046
302	10067379.826	3118854.889
304	10068050.127	3119108.510
305	10068052.920	3119109.564
306	10067815.509	3119750.552
308	10067603.321	3118253.689
309	10067728.189	3117917.847
310	10067848.181	3117595.110
311	10068189.020	3117722.859
313	10068517.589	3117846.136
324	10067650.461	3118237.370
328	10068283.251	3118478.961
329	10067614.494	3118223.638
330	10068066.930	3118046.224
333	10068240.080	3118516.934
334	10068252.538	3118483.291
335	10068122.663	3118433.706
336	10068110.215	3118467.006
337	10067951.384	3118352.258
401	10067713.887	3118981.288
402	10068492.344	3117836.565
423	10068108.686	3118466.418
432	10068239.666	3118516.775
441	10068263.091	3118452.544
455	10068065.951	3118523.717
456	10068101.572	3118429.842
471	10068110.907	3118467.255

LINE DATA TABLE

Bearings refer to Grid North of the Texas Coordinate System of 1983 (Central Zone).

Distances are Horizontal Surface Distances in units of US Survey Feet, computed using an Average Combined Scale Factor of 0.999947

Surface Dist = Grid Dist/0.999947

No.	From-To	Bearing	Distance
		dd-mm-ss	
L1	101-100	S20-29-14W	348.10
L2	100-307	S20-29-29W	340.69
L3	307-102	S20-29-27W	364.09
L4	102-201	S20-29-23W	362.54
L4	102-200	S20-29-23W	352.54
L5	201-301	N69-22-57W	684.94
L6	301-302	N69-23-24W	685.03
L7	302-308	N69-36-27W	641.43
L8	308-309	N69-36-16W	358.32
L9	329-309	N69-36-16W	326.26
L10	309-310	N69-36-18W	344.34
L11	310-311	N20-32-47E	364.01
L12	311-402	N20-32-58E	323.95
L13	402-313	N20-45-41E	27.00
L14	313-328	S60-40-06E	674.86
L15	328-304	S69-40-49E	671.36

L16	302-401	N20-43-31E	357.19
L17	401-304	N20-43-30E	359.52
L18	304-305	N20-40-30E	2.99
L19	305-306	S69-40-34E	683.58
L20	306-307	S69-40-36E	683.45
L21	301-306	N20-36-30E	723.12
L22	309-330	N20-45-21E	362.27
L23	311-330	S69-18-56E	345.66
L24	330-337	S69-18-56E	327.14
L25	337-401	S69-18-56E	672.41
L26	329-337	N20-53-47E	360.63
L27	337-328	N20-53-47E	355.25
L28	308-329	N69-36-16W	32.06
L29	401-102	S69-36-36E	1368.50

The above represents the results of a comprehensive readjustment of data from surveys performed by the City Engineer and his staff from 1931 through 1962, including the data from following City records:

City FB 743	Pg 28	02/06/1932
City FB 973	Pg 49-50	02/06/1934
City FB 953	Pg 36	05/22/1931
City FB 984	Pg 18	03/18/1935
City FB 1118	Pg 788	10/30/1936
City FB 2521	Pg 48	05/23/1961
City Engineer's Map of District 15		08/20/1940

I, Kent Neal McMillan, a Registered Professional Land Surveyor, hereby certify that this Map No. 21-1009, consisting of Sheets 1, 2, and 3, taken together with my Surveyor's Report No. 21-1009 prepared to accompany them, is a true and correct representation of the results of an actual resurvey performed upon the ground under my direction for the purpose of determining the boundaries of the property known as 1401 East 3rd St. in Outlot 20, Division "O" of the City of Austin, Travis County, Texas.

Sheets 1 and 2 of this map show the reconstruction of the City Engineer's Monument lines in the vicinity of said Outlot 20 from which old boundaries and evidence thereof perpetuated by surveys made by the City Engineer and his staff at early dates in the 20th century were also reconstructed as a part of the determination of the boundaries of the Subject Property.

Sheet 3 shows the boundary of the Subject Property as determined by my resurvey and improvements in place upon it.

witness my hand and seal of registration, September 22, 2021.



Kent Neal McMillan

Kent Neal McMillan
 Registered Professional Land Surveyor
 No. 4341
 1200 Cascade Trail, San Marcos TX 78666
 Telephone (512) 667-7455

MAP FOR SURVEYOR'S REPORT No. 21-1009
Upon the Lot known locally as
1401 East 3rd Street, in Outlot 20 of
Division "O" of the City of Austin,
Travis County, Texas

Map No. 21-1009 Sheet 2 of 3

Surface Distance = Grid Distance / 0.999947

Graphic Scale

Grid North

In the following list "Standard Rod and Cap" denotes a Punchmark on a 2 in. Aluminum Cap stamped "KENT MCMILLAN, SURVEYOR, RPLS 4341" and numbered as noted, affixed to a 5/8 in. Iron Rod. "Standard Spike and Washer" denotes a Punchmark on a 3/8 in. Spike with a 2 in. Aluminum Washer stamped as above and numbered as noted.

35 Set Standard Spike and Washer in Top of
concrete Curb

36 Set Standard Spike and Washer in Top of
concrete Curb

41 Set Standard Spike and Washer in Concrete
Gutter

46 Set Standard Spike and Washer in Concrete
Gutter

304 Position of City Engineer's Monument formerly
in place at Intersection of Established CL of
Comal Street and Engineer's Baseline for East
3rd St. West from Comal. Presumed obliterated.

324 Position of Rock formerly in place marking the
south common corner of Outlots 19 and 20 in
Division "O" as established by R.W. Ford in
1870. Presumed obliterated.

328 Position of Rock formerly in place marking the
North common corner of Outlots 19 and 20 in
Division "O" as established by R.W. Ford in
1870. Presumed obliterated.

333 Set Standard Rod and Cap No.333 at
intersection of South line of East 3rd St. and
N'ly prolongation of line of former Chain Link
Fence (2.1 ft. South of South edge of Concrete
Sidewalk and 0.24 ft. West of west face of 4 x
4 Wood Fence Post) and from which : Spike
No. 423 in Stub of Chain Link Fence Corner Post
bears S21-01-48W, 0.44 ft.

334 Set Standard Spike and Washer in Top of
concrete Curb on South Side of Pedestrian
Ramp, approx. 1.55 ft. East of Back of East
Curb of Navasota Street.

335 Set Standard Rod and Cap No. 335, approx. 0.83
ft. East of Back of East Curb of Navasota
Street

336 Set Standard Rod and Cap No. 336 at
intersection of North line of 20 ft. Alley and
line for former Chain Link Fence defined by
Spikes Nos. 423 and 432 set in Grount in Stubs
of Posts of former Chain Link Fence, from
which Spike No. 423 in Stub of Chain Link Post
bears S21-01-48W, 1.64 ft.

423 Funchmark on 3/8 in. Spike set in Grount at
Center of Stub of old Chain Link Fence Corner
Post

432 Funchmark on 3/8 in. Spike set in Grount at
Center of Stub of old Chain Link Fence Corner
Post taken for the identical Post described as
marking the NE corner of the 1401 East 3rd
Street Lot in 1981 per Vol.7415 Pg.302 TCDR
and all subsequent conveyances

441 Found 1/2 in. Iron Rod at NE corner of Stone
Pillar at corner of Yard Fence built after
April, 2013

455 Found 1/2 in. Iron Rod 0.4 ft. South of Corner
Post of Chain Link Fence

456 Found 1/2 in. Iron Rod with Yellow Plastic Cap
imprinted "LANDMARK SURVEYING"

471 Found old 1/2 in Iron Rod leaning and slightly
loose. Plumbed it 0.06 ft. East to line of
former Chain Link Fence marked by Spikes Nos.
423 and 432 grouted in Stubs of Corner Posts

Line Midway between Established South
Line of E 3rd St. and Established
North line of E 2nd St. for Centerline
of 20 ft. Alley (See Surveyor's Report)

Map No. 21-1009 Sheet 3 of 3



Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas

Oct 14, 2020 03:10 PM Fee: \$58.00

2020193657

Electronically Recorded

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

TRUSTEE'S DEED

DATE: October 14, 2020

NOTE: Real Estate Lien Note described as follows:

Date: September 6, 2018

Maker: Durham Trading Partners XII, LLC
A Texas Limited Liability Company

Payee: Nexus Series B, LLC, a Delaware Limited Liability Company

Original Principal Amount: \$625,000.00

DEED OF TRUST: Deed of Trust described as follows:

Date: September 6, 2018

Grantor: Durham Trading Partners XII, LLC
A Texas Limited Liability Company

Trustee: John M. Taylor of Taylor & Coughlin, PLLC

Beneficiary: Nexus Series B, LLC,
A Delaware Limited Liability Company

Recorded: Document Number 2018142531, as modified by Document Numbers 2019168009 and 2020059217 in the real property records of Travis County, Texas, as modified and amended.

LENDER: Nexus Series B, LLC, a Delaware Limited Liability Company

BORROWER: Durham Trading Partners XII, LLC
A Texas Limited Liability Company

PROPERTY: The real property is described in Exhibit A.

TRUSTEE: John M. Taylor of Taylor & Coughlin, PLLC

NOTICE OF TRUSTEE'S SALE: The Notice of Trustee's Sale dated **September 4, 2020**, filed with the County Clerk of Travis County, Texas on **September 9, 2020**, in compliance with Texas Property Code section 51.002 and with the Deed of Trust.

DATE AND TIME OF TRUSTEE'S SALE OF PROPERTY:

October 6, 2020, the first Tuesday of the month, the sale was completed at **12:21 P.M.** The Trustee's sale commenced within three (3) hours of **10:00 A.M.**, which was specified in the Notice of Trustee's Sale as the earliest time when the sale would commence.

PLACE OF TRUSTEE'S SALE OF PROPERTY:

THE REAR "SALLYPORT" OF THE TRAVIS COUNTY COURTHOUSE LOCATED AT 1000 GUADALUPE STREET, AUSTIN, TEXAS 78701, OR THE PLACE DESIGNATED BY THE COUNTY COMMISSIONERS COURT OR AS DESIGNATED BY THE COUNTY COMMISSIONERS

GRANTEE: Nexus Series B, LLC, A Delaware Limited Liability Company

GRANTEE'S MAILING ADDRESS: 809 S. Lamar Boulevard, Suite D, Austin, Texas 78704

TRUSTEE'S SALE BID AMOUNT: \$770,369.38

RECITALS

Grantor, owner of fee-simple interest in the Property, conveyed the Property to Trustee, in trust, to secure payment of the Note. Lender is the owner of the indebtedness evidenced by the Note, and the holder of the Note and the Deed of Trust lien under Texas Property Code section 51.002.

Default occurred in the payment of the Note and in the performance of the obligations under the Deed of Trust that secures the Note. Lender appointed Trustee and requested that Trustee enforce the trust, as evidenced by the Appointment of Trustee filed with the County Clerk in the county where the Property is located.

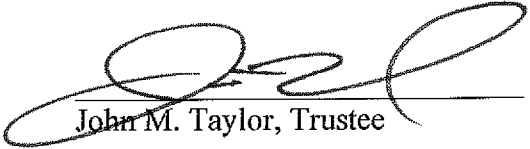
Trustee, either personally or by agent, served all notices required by statute in compliance with Texas Property Code section 51.002 and with the Deed of Trust to proceed with the sale.

Copies of the Notice of Trustee's Sale stating the time, place, and terms of sale of the Property were posted and filed according to the requirements of the Deed of Trust and Texas Property Code section 51.002.

Lender and Trustee have satisfied all requirements of the Deed of Trust and applicable law for

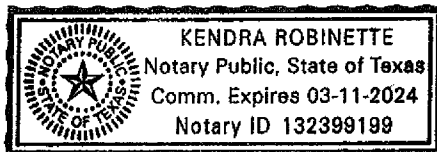
enforcement of the power of sale contained in the Deed of Trust and for the sale of the Property, and Trustee sold the Property ("Sale") to Grantee, who was the highest bidder at the public auction, for the Trustee's Sale Bid Amount.


Therefore, I, as Trustee, by the authority conferred by Lender and by the Deed of Trust, for the consideration of the Trustee's Sale Bid Amount paid by Grantee, do hereby grant, sell, and convey the Property, together with all rights and appurtenances attached to it, to have and to hold, to Grantee and Grantee's heirs, executors, administrators, successors, or assigns forever. Trustee binds Grantor and Grantor's heirs, executors, administrators, successors, and assigns to warrant and forever defend the Property against any person lawfully claiming or to claim the Property or any part of it, subject to any permitted exceptions to title described in the Deed of Trust. Except as expressly provided in this deed, Trustee has not made and does not make any covenants, representations, or warranties concerning the Property. The Property is sold and conveyed **AS IS, WHERE IS, AND WITH ALL FAULTS.**


John M. Taylor, Trustee

STATE OF TEXAS §
COUNTY OF TRAVIS §

Subscribed and sworn to before me this 14th day of **October, 2020**, by John M. Taylor, Trustee.




Notary Public, State of Texas

After recording, please return original to:
Nexus Series B, LLC,
A Delaware Limited Liability Company
809 S. Lamar Boulevard, Suite D
Austin, Texas 78704

Exhibit "A"

Being all of that certain tract or parcel of land containing 0.112 of an acre of land, more or less, situated in Outlot(s) 20, Division "O" of the Government Outlots adjoining the Original City of Austin, Travis County, Texas, according to the Plat on file at the General Land Office of the State of Texas, said tract being more particularly described by metes and bounds shown on Exhibit "A" attached hereto and made a part hereof.

FORECLOSURE AFFIDAVIT

AFFIANT: John M. Taylor of Taylor & Coughlin, PLLC in my capacity as Trustee

DEED OF TRUST: Deed of Trust described as follows:

Date: September 6, 2018

Grantor: Durham Trading Partners XII, LLC
A Texas Limited Liability Company

Trustee: John M. Taylor of Taylor & Coughlin, PLLC

Beneficiary: Nexus Series B, LLC,
A Delaware Limited Liability Company

Recorded: Document Number 2018142531, as modified by Document Numbers 2019168009 and 2020059217 in the real property records of Travis County, Texas, as modified and amended.

LENDER: Nexus Series B, LLC, A Delaware Limited Liability Company

BORROWER: Durham Trading Partners XII, LLC
A Texas Limited Liability Company

PROPERTY: The real property is described in Exhibit A.

NOTICE OF TRUSTEE'S SALE:

The Notice of Trustee's Sale dated **September 4, 2020**, filed with the County Clerk of **Travis County, Texas** on **September 9, 2020**, in compliance with Texas Property Code section 51.002 and with the Deed of Trust.

BEFORE ME, the undersigned authority, on this day personally appeared **John M. Taylor** in his capacity as Trustee, who being by me first duly sworn, stated the following under oath:

"I certify that the following information regarding the nonjudicial foreclosure sale of the Property conducted according to the Notice of Trustee's Sale is true and correct:

1. Date of Sale: **October 6, 2020**

2. Time sale commenced: 12:17 P.M.

3. Amount of highest bid: \$770,369.38

4. Type of bid: Lender Credit Bid

5. Highest bidder: Nexus Series B, LLC, A Delaware Limited Liability Company

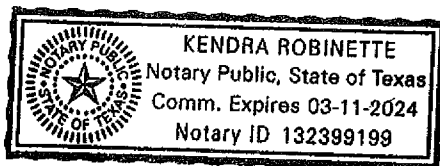
6. Time sale concluded: 12:21 P.M.

7. Borrower was not protected from foreclosure by the Servicemembers Civil Relief Act, 50 U.S.C. § 3901 et seq., because (i) Borrower is an entity and (ii) an SCRA status report showed no service for the entity's principal."


John M. Taylor, as Trustee

STATE OF TEXAS §
COUNTY OF TRAVIS §

Subscribed and sworn to before me this 14th day of October, 2020, by John M. Taylor, as Trustee.



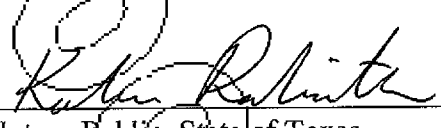

Notary Public, State of Texas

Exhibit "A"

Being all of that certain tract or parcel of land containing 0.112 of an acre of land, more or less, situated in Outlot(s) 20, Division "O" of the Government Outlots adjoining the Original City of Austin, Travis County, Texas, according to the Plat on file at the General Land Office of the State of Texas, said tract being more particularly described by metes and bounds shown on Exhibit "A" attached hereto and made a part hereof.

AFFIDAVIT OF POSTING AND FILING**AFFIANT:** John M. Taylor**DEED OF TRUST:** Deed of Trust described as follows:

Date: September 6, 2018

Grantor: Durham Trading Partners XII, LLC
A Texas Limited Liability Company

Trustee: John M. Taylor of Taylor & Coughlin, PLLC

Beneficiary: Nexus Series B, LLC,
A Delaware Limited Liability Company


Recorded: Document Number 2018142531, as modified by Document Numbers 2019168009 and 2020059217, in the real property records of Travis County, Texas, as modified and amended.

LENDER: Nexus Series B, LLC, a Delaware Limited Liability Company**BORROWER:** Durham Trading Partners XII, LLC
A Texas Limited Liability Company**TRUSTEE:** John M. Taylor of Taylor & Coughlin, PLLC**NOTICES OF SUBSTITUTE TRUSTEE'S SALE:**

The Notice of Substitute Trustee's Sale dated **September 4, 2020**, filed with the County Clerk of **Travis County, Texas** on **September 9, 2020**, in compliance with Texas Property Code section 51.002 and with the Deed of Trust.

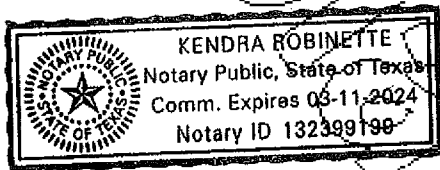
BEFORE ME, the undersigned authority, on this day personally appeared Affiant, a person known to me, who being by me first duly sworn, stated the following under oath:

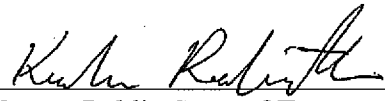
"I am an agent of Substitute Trustee. On **September 9, 2020**, I posted a copy of the Notice of Substitute Trustee's Sale at the regular place for posting those notices at the county courthouse in the county where the Property is located. On **September 9, 2020**, I filed a Notice of Substitute Trustee's Sale with the County Clerk in the county where the Property is located, in strict compliance with the requirements of Texas Property Code section 51.002 and the Deed of Trust."


John M. Taylor, Affiant

STATE OF TEXAS
COUNTY OF TRAVIS

Subscribed and sworn to before me this 14 day of October, 2020, by John M. Taylor, as
Substitute Trustee.




Notary Public State of Texas



June 24, 2022

The Board of Adjustment
c/o Elaine Ramirez
Planner Senior and Board of Adjustment Liaison
City of Austin Development Services Department
6310 Wilhelmina Delco Dr
Austin, Texas 78752

Re. Request for Sideyard Setback Variance to Preserve Existing Single-Family
Home with Accessory Apartment at 1401 E. 3rd Street, Austin, 78702,
District 2

On behalf of the owner of the above referenced Property, please accept the enclosed request for a variance to reduce a side-yard setback from 5 feet to 2.77 feet to preserve the existing single family home and accessory apartment.

This site was reviewed by the Board in 2020, but although the existing hardship existed at the time the case was considered, the applicant failed to present proper evidence to explain what the hardship was and the reasons it was not in any way caused by the property owner. The property now has a new owner, and we, on behalf of that new owner, wish to ask for the Board's review.

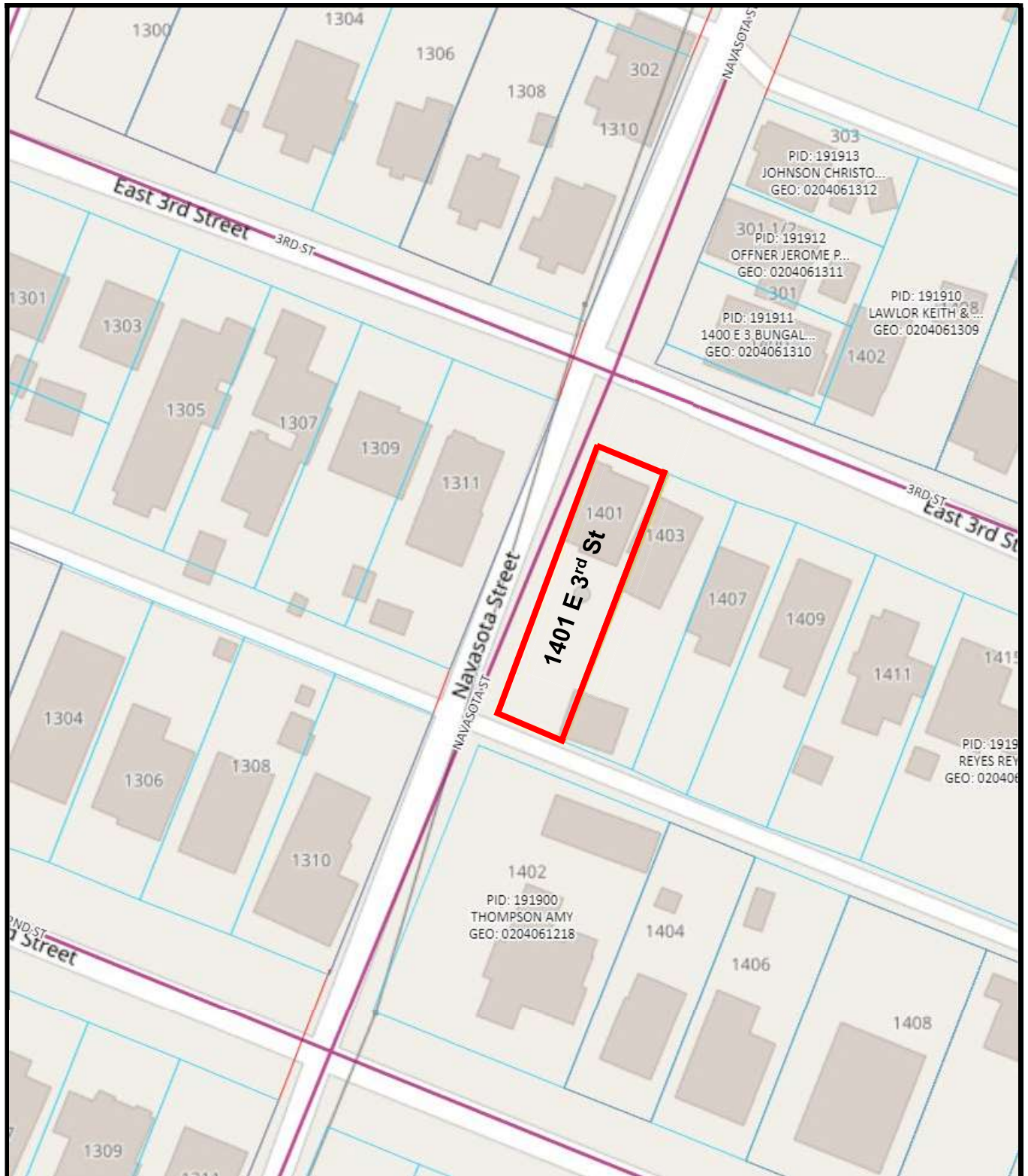
Sincerely,

A handwritten signature in black ink that reads "Nikelle Meade".

Nikelle S. Meade

NSM/sm
Enclosure

Location Map



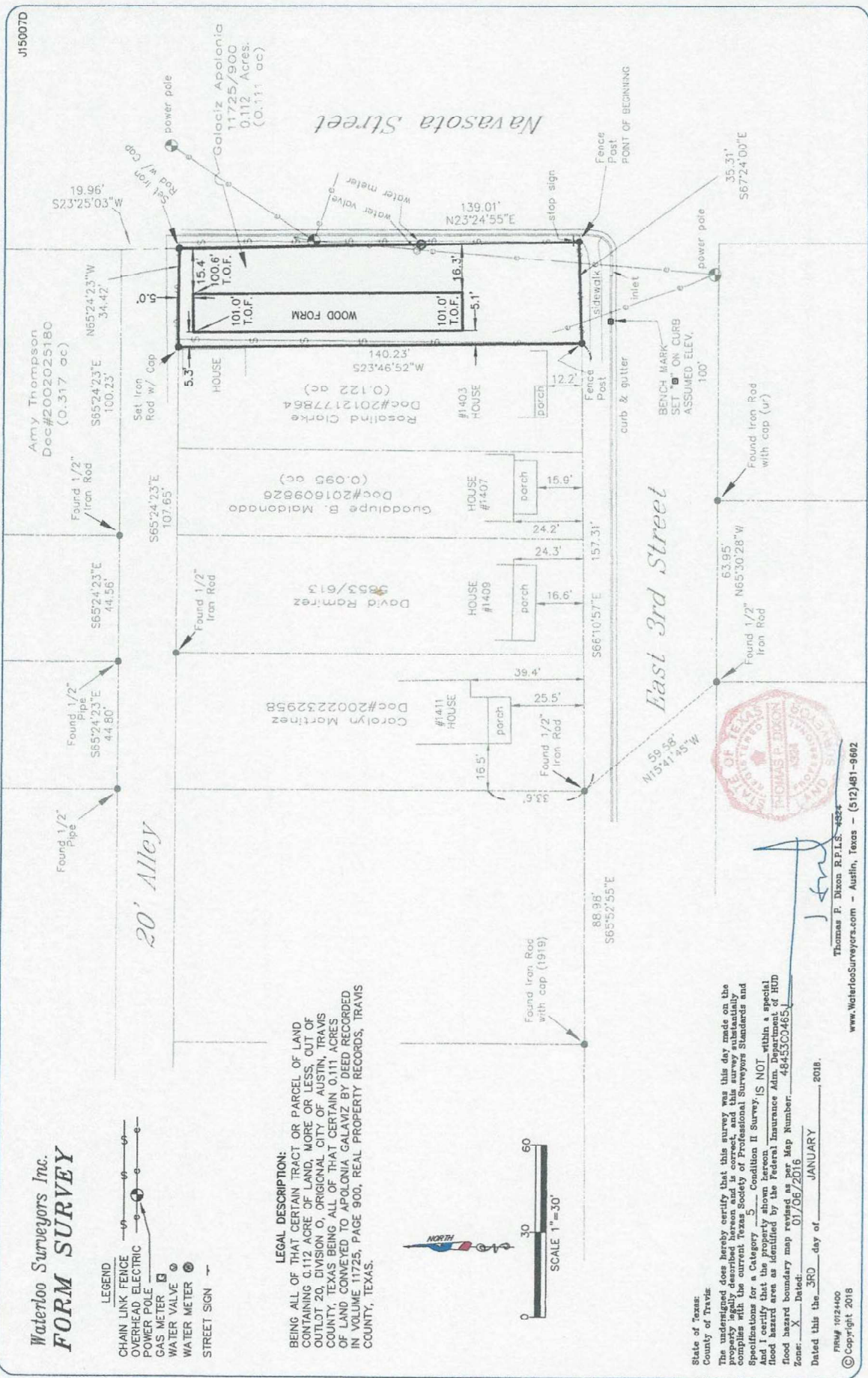
Waterloo Surveyors Inc. FORM SURVEY

LEGEND
CHAIN LINK FENCE
OVERHEAD ELECTRIC
POWER POLE
GAS METER
WATER VALVE
WATER METER
STREET SIGN

LEGAL DESCRIPTION:
BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND CONTAINING 0.112 ACRE OF LAND, MORE OR LESS, OUT OF OUTLOT 20, DIVISION 0, ORIGINAL CITY OF AUSTIN, TRAVIS COUNTY, TEXAS BEING ALL OF THAT CERTAIN 0.111 ACRES OF LAND CONVEYED TO APOLONIA GALAVIZ BY DEED RECORDED IN VOLUME 11725, PAGE 900, REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS.



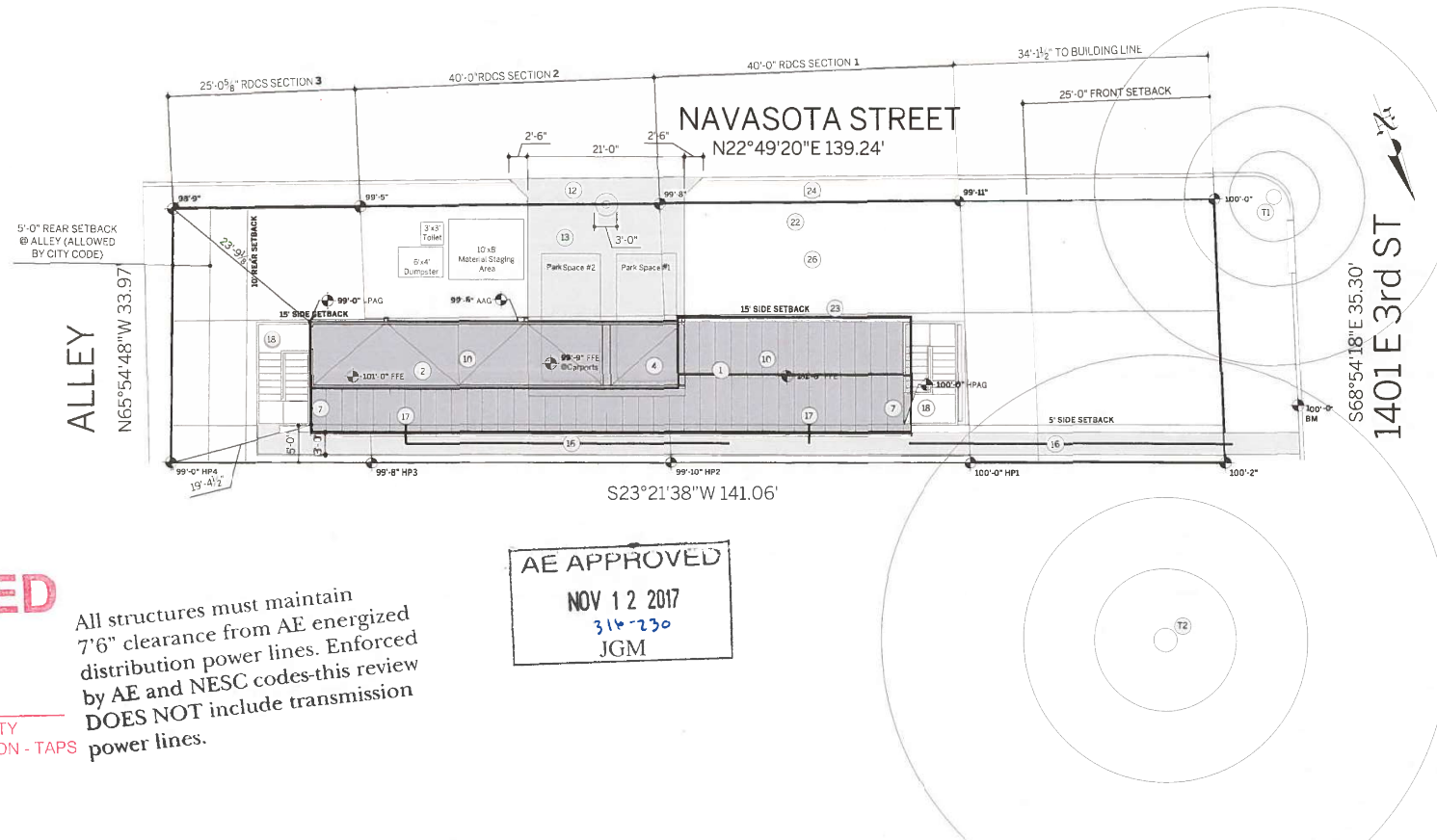
SCALE 1"=30'



State of Texas
County of Travis
The undersigned does hereby certify that this survey was this day made on the property legally described herein and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 5 Condition II Survey, IS NOT within a special flood hazard area as identified by the Federal Insurance Administration of HUD. And I certify that the property shown herein is not within a special flood hazard area as identified by the Federal Insurance Administration of HUD. Zone: X Dated: 01/06/2016
Dated this the 3RD day of JANUARY 2018.

Thomas P. Dixon R.P.L.S. #324
www.WaterlooSurveyors.com - Austin, Texas - (512)481-9662

FIRM #0724400
© Copyright 2018



REVIEWED

NOV 13 2017

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

All structures must maintain
7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes-this review
DOES NOT include transmission
power lines.

AE APPROVED
NOV 12 2017
314-230
JGM

CITY OF AUSTIN
APPROVED FOR PERMIT
J. Rodney Gonzales
Development Services Department
Date 12-7-17
By [Signature]
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01 New primary residence.	11 New spiral stair to roof deck.	17 New step-free entry into residence. Maximum vertical rise 1/2".
02 New accessory residence.	12 New Type I driveway approach per City of Austin standards.	18 New pre-fabricated steel staircase.
03 New attached garage.	13 New concrete driveway.	19 New concrete patio, uncovered.
04 New detached garage.	14 New conc. driveway ribbon.	20 New wood deck, uncovered.
05 New detached carport.	15 New sidewalk in right-of-way per City of Austin standards.	21 New decomposed granite patio, uncovered.
06 New covered porch w/ deck or habitable space above.	16 New visible route from public way to residence. Minimum width 3'-0". Maximum cross-slope 1:50.	22 Existing overhead electric service.
07 New detached carport.		
08 New covered porch w/o deck or habitable space above.		
09 New uncovered deck.		
10 New uncovered roof deck.		

REFER TO SHEET A01 FOR CONTINUATION OF ROUTE TO INTERIOR OF UNIT.

CRITICAL ROOT ZONES AT PROTECTED TREES.

23 New electrical meter(s) for primary residence and secondary residence or additional unit, as applicable.	24 Location of existing water meter.	25 Location(s) of new water meter(s), as applicable.	26 Location of new water supply and waste water line to primary residence.	27 Location of new water supply to secondary residence or additional unit, as applicable.
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LIST OF PROTECTED TREES.

#	TRUNK Ø	SPECIES
T1	24"	CEDAR ELM
T2	38"	PECAN

DISCLAIMERS.

This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #18024. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet applies to all sheets in this set by reference. The information in GSD, through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and is invalid for construction.

SEAL OF ARCHITECT.



ISSUE DATE 02 Nov 2017.

GRAPHIC SCALE (in feet)

SEAL OF MUNICIPAL APPROVAL.

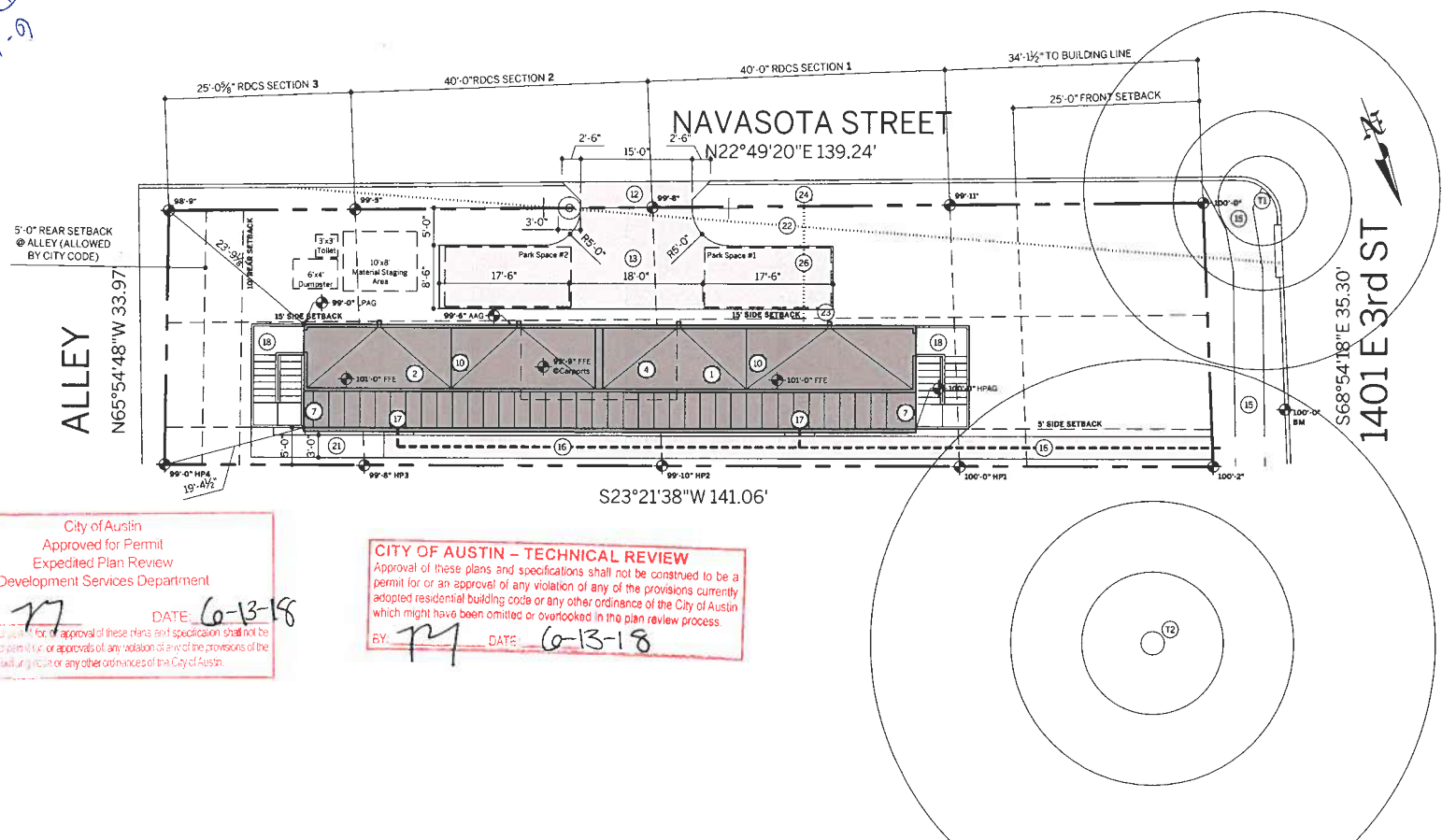
City of Austin
REVIEWED FOR CODE COMPLIANCE

1 Site Plan

Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

OCHONA
Design + Architecture
SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702
DATE 02 Nov 2017
SHEET TYPE Site Plan
A000

6-11-2018
Planning & Community
Development
City of Austin
D.C.



City of Austin
Approved for Permit
Expedited Plan Review
Development Services Department
DATE: 6-13-18

CITY OF AUSTIN - TECHNICAL REVIEW
Approval of these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions currently adopted residential building code or any other ordinance of the City of Austin which might have been omitted or overlooked in the plan review process.
DATE: 6-13-18

City of Austin
REVIEWED FOR CODE COMPLIANCE

REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)			CRITICAL ROOT ZONES AT PROTECTED TREES.		LIST OF PROTECTED TREES		DISCLAIMERS	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.					
01 New primary residence.	11 New spiral stair to roof deck.	17 New step-free entry into residence. Maximum vertical rise 1/2".	23 New electrical meter(s) for primary residence and secondary residence or additional unit, as applicable.		#	TRUNK Ø	This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas Architect #9074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.							
02 New accessory residence.	12 New Type I driveway approach per City of Austin standards.	18 New pre-fabricated steel staircase.	24 Location of existing water meter.		T1	24"				SPECIES CEDAR ELM PECAN				
03 New attached garage.	13 New concrete driveway.	19 New concrete patio, uncovered.	25 Location(s) of new water meter(s), as applicable.		T2	38"								
04 New detached carport.	14 New conc. driveway ribbon.	20 New wood deck, uncovered.	26 Location of new water supply and waste water line to primary residence.		MIDDLE (1/2) CRITICAL ROOT ZONE						INNER (1/4) CRITICAL ROOT ZONE			
05 New detached garage.	15 Existing sidewalk in right-of-way.	21 New decimipol granite walkway, uncovered.	27 Location of new water supply to secondary residence or additional unit, as applicable.											
06 New detached carport.	16 New visible route from public way to residence. Minimum width 3'-0". Maximum cross-slope 1/50.	22 Existing overhead electric service.												
07 New covered porch w/ deck or habitable space above.	17 New spiral stair to roof deck.	23 New electrical meter(s) for primary residence and secondary residence or additional unit, as applicable.	OUTER CRITICAL ROOT ZONE		MIDDLE (1/2) CRITICAL ROOT ZONE						INNER (1/4) CRITICAL ROOT ZONE			
08 New covered porch w/o deck or habitable space above.	18 New pre-fabricated steel staircase.	24 Location of existing water meter.												
09 New uncovered deck.	19 New concrete patio, uncovered.	25 Location(s) of new water meter(s), as applicable.												
10 New uncovered roof deck.	20 New wood deck, uncovered.	26 Location of new water supply and waste water line to primary residence.	MIDDLE (1/2) CRITICAL ROOT ZONE		INNER (1/4) CRITICAL ROOT ZONE						ISSUE DATE 08 Jun 2018.		SHEET TYPE SH	
	21 New decimipol granite walkway, uncovered.	27 Location of new water supply to secondary residence or additional unit, as applicable.												
	22 Existing overhead electric service.													

08 Jun 2018

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GRAPHIC SCALE (in feet)

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1 Site Plan
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Scale 1/8" = 1'-0" @ 2

OCHON
SINGLE-FAMILY RESIDENT ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702
ISSUE DATE: 08 Jun 2018
SHEET TYPE: SH
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