

**PLANNING COMMISSION SITE PLAN
CONDITIONAL USE PERMIT REVIEW SHEET**

CASE NUMBER: SP-2021-0143C **PC DATE:** 10/25/2022

PROJECT NAME: Easton Park Mixed Use

ADDRESS: 7310 Union Park Lane, Austin, Texas

APPLICANT:	First Hartford Corporation 149 Colonial Road Manchester, CT 06042 (860) 712-4490 Attn: Jonathan Bellock	William Cannon Associates 149 Colonial Road Manchester CT 06042 (860) 712-4490 Attn: Jonathan Bellock
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AGENT: WGI
2021 E. 5th Street, Ste. 200
Austin, Texas 78702
(512) 669-5560
Attn: Siri Soth

CASE MANAGER: Randall Rouda, (512) 974-3338 or Randall.rouda@austintexas.gov

WATERSHED: Cottonmouth Creek (Suburban)

PROJECT DESCRIPTION:

The applicant proposes to develop an 8.55acre parcel in the Pilot Knob PUD with a mixed commercial development consisting of four buildings to be used as a drive through restaurant, a car wash, a multi-tenant commercial building and a convenience retail building, with associated parking, drainage, water quality, utility, and sidewalk improvements. Within the Pilot Knob PUD, the proposed Car Was is permitted with a Conditional Use Permit.

SUMMARY STAFF RECOMMENDATION:

Staff recommends approval of the Conditional Use Permit with Conditions of Approval as needed to ensure that the Site Plan will comply with all requirements of the Land Development Code.

SUMMARY STAFF COMMENT ON SITE PLAN:

Comments pending completion of the current update review.

PROJECT INFORMATION:

SITE AREA	8.55 Acres
ZONING	PUD (Pilot Knob)
PROPOSED USE	Various Commercial
PROPOSED IMPERVIOUS COVER	4.32 acres, 51%
PROPOSED BUILDING COVERAGE	29,201 sq.ft., 7.84%
PROPOSED BUILDING HEIGHT	1 story, 30 feet
PROPOSED F.A.R	0.079-1:1
PROPOSED ACCESS	Union Park Lane, Dunant Way, William Cannon Dr.
PROPOSED PARKING	186 automobile, 25 bicycle

NEIGHBORHOOD ORGANIZATIONS:

Austin Lost and Found Pets

Austin Neighborhoods Council

Del Valle Community Coalition

Del Valle Independent School District

Dove Springs Proud

Easton Park Master Community

Friends of Austin Neighborhoods

Go Austin / Vamos Austin 78774

Homeless Neighborhood Association

Onion Creek Homeowners Assoc.,

Sierra Club, Austin Regional Group

CONDITIONAL USE PERMIT REVIEW AND EVALUATION CRITERIA

The following evaluation is included to provide staff position on each point of the conditional use permit criteria. Section 25-5-145 of the Land Development Code states: “The Commission shall determine whether the proposed development or use of a conditional use site plan complies with the requirements of this section.

Note that Staff Analysis is subject to revision pending completion of the Site Plan Review which is currently underway.

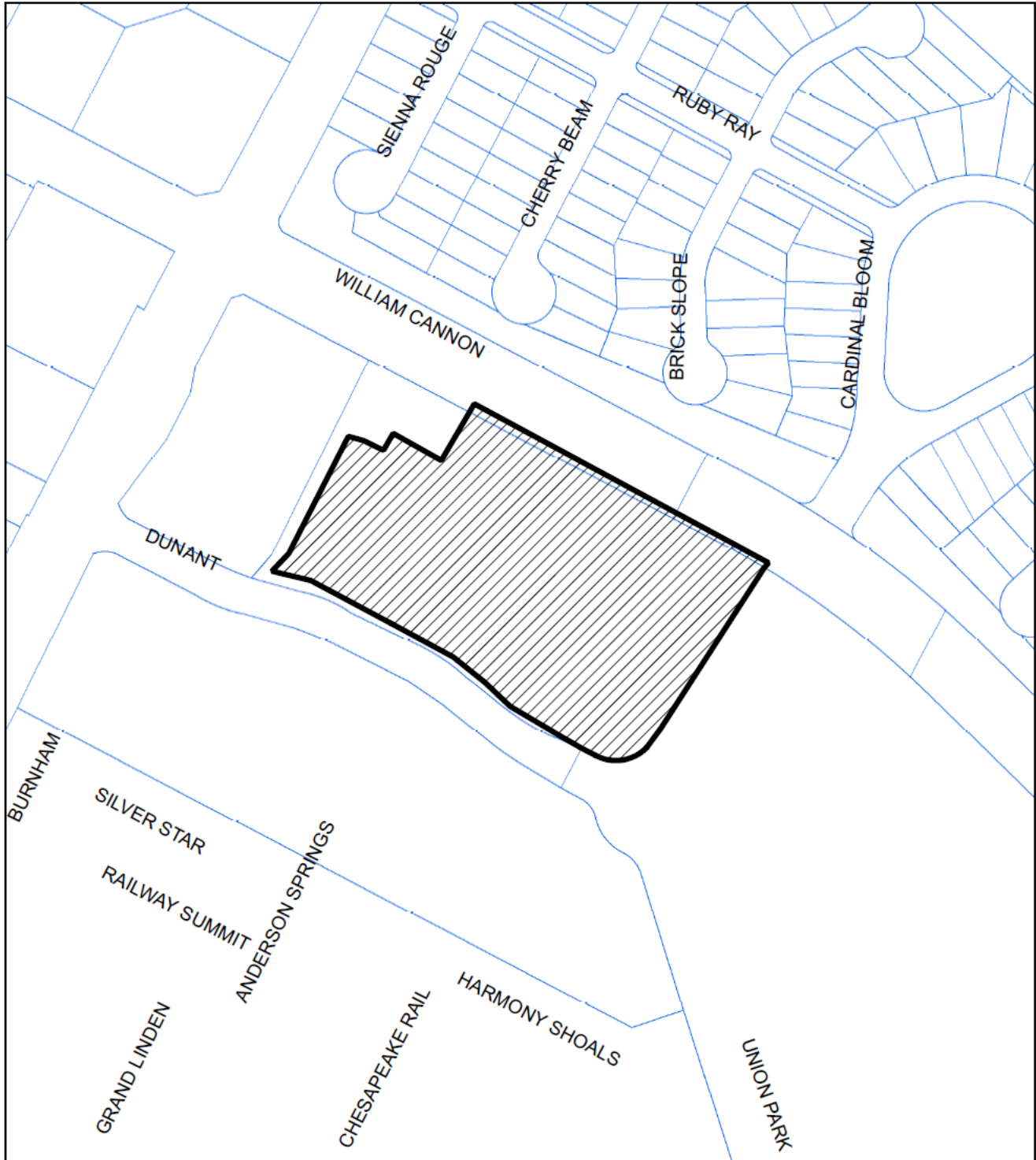
A conditional use site plan must:



- 1. Comply with the requirements of this title;** Staff response: This application complies with the requirements of this title.
- 2. Comply with the objectives and purposes of the zoning district;** Staff response: This application complies with the objectives and purposes of the zoning district. The PUD Zone is intended to provide a flexible approach permitting development of quality neighborhoods with a variety of housing, commercial, recreational, employment and educational opportunities and varying densities as appropriate for the location of the PUD. The proposed development will offer a compact commercial node with a variety of convenience commercial and related employment opportunities in close proximity to housing. The proposed car wash is one example of the convenience commercial uses proposed for the location.
- 3. Have building height, bulk, scale, setback, open space, landscaping, drainage, access, traffic circulation, and use that are compatible with the use of an abutting site;** Staff response: This application is compatible with the abutting sites. The buildings are all one story in height. The most immediately adjacent anticipated uses are a pharmacy to the west and a school site to the south with anticipated or existing single family and multifamily development to the north and west. The site plan is well integrated into the developing road network with direct access to two adjacent streets and nearby connectivity to two major roadways to the north and west. Open space and landscaping are proposed to soften the appearance of parking areas and open space is provided as required..
- 4. Provide adequate and convenient off-street parking and loading facilities;** Staff response: As this is a convenience commercial center which is expected to provide services to a relatively dense nearby residential community, parking is proposed in excess of minimum requirements. A total of 186 automobile parking spaces and 25 bicycle parking spaces are proposed.
- 5. Reasonably protect persons and property from erosion, flood, fire, noises, glare, and similar adverse effects;** Staff response: The proposed project does not contribute to any of these adverse effects. The proposed development is consistent with erosion, drainage, water quality and the site compatibility standards of Article 10 of the Land Development Code.

A conditional use site plan may not:

- 1. More adversely affect an adjoining site than would a permitted use;** Staff response: The proposed car wash use is similar in impact to other permitted commercial uses, such as the immediately adjacent proposed drive-through restaurant. The car wash is buffered by other permitted commercial development to the east and west and is separated from residential development to the north by William Cannon Drive as well as substantial drainage facilities. The anticipated school to the south would be the closest non-commercial use and is separated from the proposed car wash by Dunant Way, a drive aisle and parking.

2. **Adversely affect the safety or convenience of vehicular or pedestrian circulation, including reasonably anticipated traffic and uses in the area;** Staff response: The project is not anticipated to have any detriment to safety or convenience. The proposed car wash is well integrated into the interior and exterior circulation of the proposed convenience shopping center.
3. **Adversely affect an adjacent property or traffic control through the location, lighting, or type of signs;** Staff response: No signage or lighting is proposed that would affect adjacent properties or traffic control.



-  Subject Tract
-  Base Map

CASE#: SP-2021-0143C
 LOCATION: 7310 UNION PARK LN W/BLDGS & UNITS



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

EASTON PARK MIXED USE - SITE DATA			
ZONING:	LTD (LIMITED JURISDICTION) - PILOT KNOB PUD	EXISTING USE:	VACANT
SITE LAND USE:	RESTAURANT (LIMITED) / GENERAL RETAIL SALES	EXISTING IMPERVIOUS COVERAGE:	6.48%/24,160 SF
SITE AREA:	8.551 ACRES / 372,481.56 SF	SITE AREA MINIMUM - 2,500 SF	
ALLOWABLE:		PROPOSED:	
BUILDING HEIGHT:	60'	BUILDING HEIGHT*:	30'
# OF STORIES:	N/A	# OF STORIES:	1
F.A.R.:	7.94	F.A.R.:	0.91
BUILDING COVERAGE:	79%	BUILDING COVERAGE:	7.84% / 29,201 SF
IMPERVIOUS COVERAGE:	90%	IMPERVIOUS COVERAGE:	57.08% / 212,676 SF
OPEN SPACE:	2.5%	OPEN SPACE:	14.80% / 55,109 SF

LOT AREAS	
LOT 2B	1.90 ACRES/82,899 SF
LOT 2C	1.58 ACRES/68,682 SF
LOT 2D	3.20 ACRES/139,414 SF
LOT 2E	1.87 ACRES/81,498 SF
LOC	6.54 ACRES/285,053.09 SF

EAST WILLIAM CANNON DRIVE
R.O.W. VARIES - ASPHALT (PUBLIC)
(45 M.P.H. SPEED LIMIT)

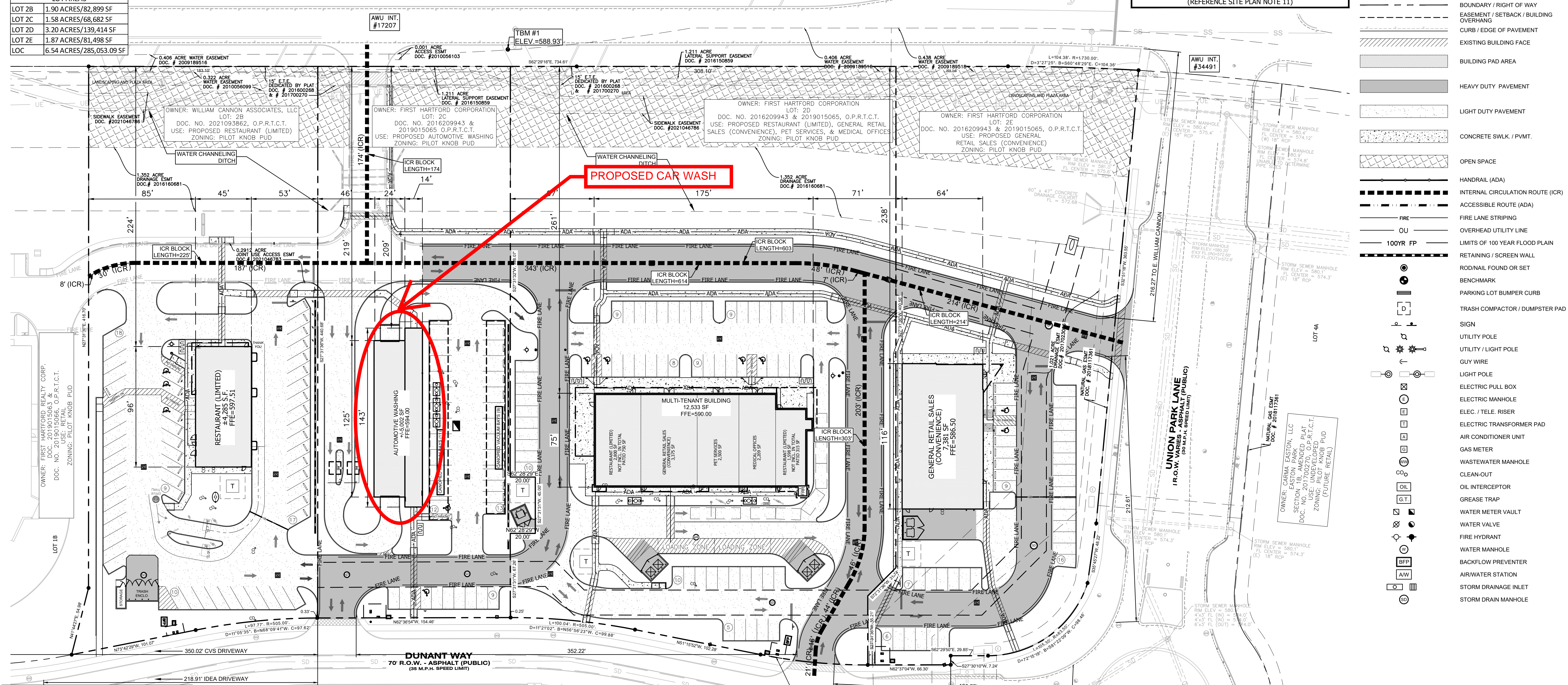
CONNECTIVITY MEASURES (LDC 2.3.1 TABLE B):

- ADDITIONAL PEDESTRIAN CONNECTIONS FROM ON-SITE BUILDINGS TO ADJACENT STREETS
- INTERNAL UTILITY LINES ARE LOCATED IN DRIVE AISLES OR INTERNAL CIRCULATION ROUTES RATHER THAN UNDER PARKING AREAS
- LIMIT CURB CUTS

SUBCHAPTER E FIGURE 34:
EXAMPLES OF FULLY-SHIELDED LIGHT FIXTURES.
(REFERENCE SITE PLAN NOTE 11)

LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK / BUILDING OVERHANG
- CURB / EDGE OF PAVEMENT
- EXISTING BUILDING FACE
- BUILDING PAD AREA
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- CONCRETE SWLK / PWMT.
- OPEN SPACE
- HANDRAIL (ADA)
- INTERNAL CIRCULATION ROUTE (ICR)
- ACCESSIBLE ROUTE (ADA)
- FIRE LANE STRIPING
- OVERHEAD UTILITY LINE
- LIMITS OF 100 YEAR FLOOD PLAIN
- RETAINING / SCREEN WALL
- ROD/NAIL FOUND OR SET BENCHMARK
- PARKING LOT BUMPER CURB
- TRASH COMPACTOR / DUMPSTER PAD
- SIGN
- UTILITY POLE
- UTILITY / LIGHT POLE
- GUY WIRE
- LIGHT POLE
- ELECTRIC PULL BOX
- ELECTRIC MANHOLE
- ELEC. / TELE RISER
- ELECTRIC TRANSFORMER PAD
- AIR CONDITIONER UNIT
- GAS METER
- WASTEWATER MANHOLE
- CLEAN-OUT
- OIL INTERCEPTOR
- GREASE TRAP
- WATER METER VAULT
- WATER VALVE
- FIRE HYDRANT
- WATER MANHOLE
- BACKFLOW PREVENTER
- AIR/WATER STATION
- STORM DRAINAGE INLET
- STORM DRAIN MANHOLE



EASTON PARK MIXED USE - LOT 2B - BUILDING DATA

CONSTRUCTION TYPE:	V-B
FOUNDATION TYPE:	SLAB ON GRADE
BUILDING HEIGHT:	18' 9 1/2"
# OF STORIES:	1
BUILDING USE:	RESTAURANT (LIMITED)
GROSS FLOOR AREA:	5.17%/4,285 SF
BUILDING COVERAGE:	5.17%/4,285 SF

PILOT KNOB PUD COMMERCIAL DEVELOPMENT TRACKING TABLE

SP	TOTAL PERMITTED FLOOR AREA	550,000 SF
SP-2019-0442C PREVIOUS DEVELOPMENTS FLOOR AREA:	14,698 SF	
CURRENT SITE PLAN FLOOR AREA:	29,201 SF	
REMAINING PERMITTED FLOOR AREA:	506,101 SF	

OWNER: IDEA PUBLIC SCHOOLS REALTY CORP.
DOC. 2019015063 & NO. 2019015066, O.P.R.T.C.T.
USE: PUBLIC CHARTER SCHOOL
ZONING: PILOT KNOB PUD

Appendix Q-2: Impervious Cover Suburban Watersheds

LOT	REQUIRED	PROVIDED:
LOT 2B	5	5
LOT 2C	5	5
LOT 2D	5	10
LOT 2E	5	5
TOTAL	20	25

EASTON PARK MIXED USE - LOT 2C - BUILDING DATA

CONSTRUCTION TYPE:	II-B
FOUNDATION TYPE:	SLAB ON GRADE
BUILDING HEIGHT:	60'
# OF STORIES:	1
BUILDING USE:	AUTOMOTIVE WASHING
GROSS FLOOR AREA:	7.82%/5,002 SF
BUILDING COVERAGE:	7.82%/5,002 SF

EASTON PARK MIXED USE - PARKING DATA - REQUIRED

LOT	USE:	RATIO:	SF/UNITS	PARKING REQUIRED
LOT 2B	COMMERCIAL USE*	1 PER 500 SF	4,285 SF	9
LOT 2C	COMMERCIAL USE*	1 PER 500 SF	5,002 SF	11
LOT 2D	COMMERCIAL USE*	1 PER 500 SF	12,533 SF	26
LOT 2E	COMMERCIAL USE*	1 PER 500 SF	7,381 SF	15

*PARKING RATIOS ARE PER PUD ORDINANCE 20161110-032, EXHIBIT H, 3.A.
COMMERCIAL USE SHALL PROVIDE ONE PARKING SPACE FOR EVERY 500 SQUARE FEET OF GROSS BUILDING AREA

EASTON PARK MIXED USE BIKE PARKING SPACES

LOT	REQUIRED:	PROVIDED:
LOT 2B	5	5
LOT 2C	5	5
LOT 2D	5	10
LOT 2E	5	5
TOTAL	20	25

EASTON PARK MIXED USE - LOT 2D - BUILDING DATA

CONSTRUCTION TYPE:	II-B
FOUNDATION TYPE:	SLAB ON GRADE
BUILDING HEIGHT:	24' 0"
# OF STORIES:	1
BUILDING USE:	MULTI-USE
GROSS FLOOR AREA:	8.99%/12,533 SF
BUILDING COVERAGE:	8.99%/12,533 SF

EASTON PARK MIXED USE - PARKING PROVIDED

LOT	TYPE:	PARKING PROVIDED:
LOT 2B	ACCESSIBLE (3 SPACES REQUIRED - 1 VAN ACCESSIBLE):	3
REGULAR:		51
TOTAL PARKING PROVIDED:		54
LOT 2C	ACCESSIBLE (1 SPACES REQUIRED - 1 VAN ACCESSIBLE):	2
REGULAR:		32
TOTAL PARKING PROVIDED:		34
LOT 2D	ACCESSIBLE (3 SPACES REQUIRED - 1 VAN ACCESSIBLE):	4
REGULAR:		56
TOTAL PARKING PROVIDED:		60
LOT 2E	ACCESSIBLE (2 SPACES REQUIRED - 1 VAN ACCESSIBLE):	2
REGULAR:		36
TOTAL PARKING PROVIDED:		38

EASTON PARK MIXED USE - LOT 2E - BUILDING DATA

CONSTRUCTION TYPE:	V-B
FOUNDATION TYPE:	SLAB ON GRADE
BUILDING HEIGHT:	60'
# OF STORIES:	1
BUILDING USE:	GENERAL RETAIL SALES (CONVENIENCE)
GROSS FLOOR AREA:	9.06%/7,381 SF
BUILDING COVERAGE:	9.06%/7,381 SF

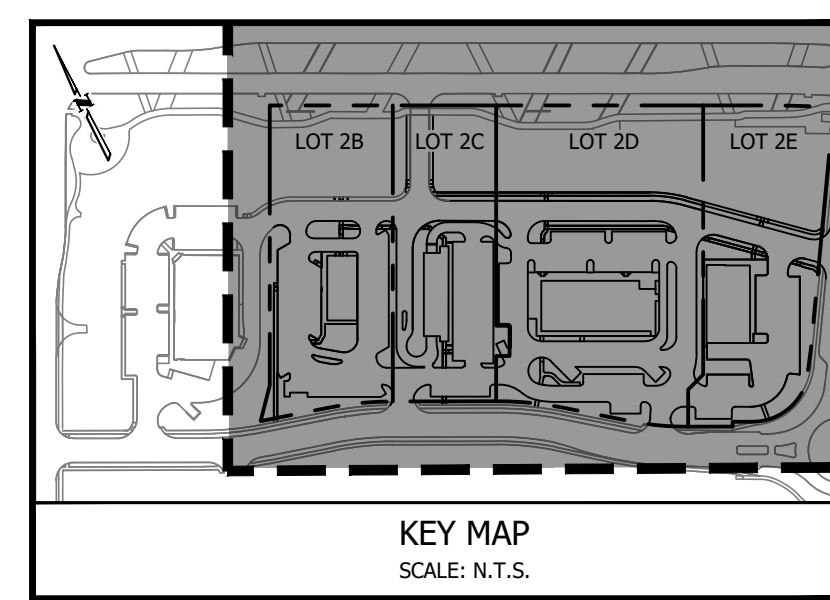
GENERAL NOTES:

- A PERMIT IS REQUIRED FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING & PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES ARE NO GREATER THAN 2% AND RUNNING SLOPE ARE NO GREATER THAN 5%. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.
- REFERENCE "SITE PLAN NOTE" ON GENERAL NOTES SHEET(S) FOR ADDITIONAL NOTES.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- YARDS, FENCES, VEGETATIVE SCREENING OR BERMS SHALL BE PROVIDED TO SCREEN ADJACENT RESIDENTIAL USES FROM VIEWS OF OFF-STREET PARKING AREAS, MECHANICAL EQUIPMENT, STORAGE AREAS, AND FOR REFUSE COLLECTION (SECTION 25-2-1066).
- THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12), WILL BE PROHIBITED (SECTION 25-3-86).
- EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.
- ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF TWENTY (20) FEET FROM ADJACENT RESIDENTIAL USES
- ALL EXTERIOR LIGHTING WILL BE HOODED OR SHIELDED FROM THE VIEW OF ADJACENT RESIDENTIAL PROPERTY. EXTERIOR LIGHTING MAY NOT EXCEED 0.4 FOOT CANDLES ACROSS THE SOURCE PROPERTY LINE (SECTION 25-3-86).
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E 2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E. (REFERENCE SUBCHAPTER E FIGURE 34, INCLUDED ON THIS SHEET)
- NONE OF THE ON-STREET SPACES ARE RESERVED FOR THE DEVELOPMENT AND MAY BE USED BY ANY MEMBER OF THE PUBLIC. THE DEVELOPER MUST BE AWARE THAT THEY CAN COUNT ON-STREET SPACES AT THEIR OWN RISK; THE SPACES MAY BE REMOVED AT ANY TIME FOR ANY REASON AND THE CITY OF AUSTIN WILL NOT RELOCATE DISPLACED ON-STREET PARKING. IN ADDITION, IF THE ADJOINING STREET APPLIES FOR AND RECEIVES RESIDENTIAL PERMIT PARKING, THE PARKING FOR THE DEVELOPMENT WILL NOT COUNT AS RESIDENTIAL PARKING AND THE RESIDENTS WILL NOT RECEIVE RESIDENTIAL PARKING PERMITS.
- THE NOISE LEVEL OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE. (SECTION 25-3-86).
- SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.

Appendix Q-2: Impervious Cover Suburban Watersheds

SLOPE CATEGORIES	ACRES	ACRES % OF CATEGORY	DRIVEWAYS/ROADWAYS
0-15%	6.82	4.10	60.31%
15-25%	0.11	0.00	0.00%
25-35%	1.15	0.22	19.13%
OVER 35%	0.08	0.00	0.00%
TOTAL SITE AREA	8.16		

*NOTE: THE 90% IMPERVIOUS COVER IS ALLOWED PER EXHIBIT P OF THE PILOT KNOB ORDINANCE 20151217-080



SITE PLAN APPROVAL
FILE NUMBER: SP-2021-0143C APPLICATION DATE: 04/21/2021
APPROVED BY COMMISSION ON _____ UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE. EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER: R. ROUDA

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING PUD

REV. 1 _____ CORRECTION 1 _____
REV. 2 _____ CORRECTION 2 _____
REV. 3 _____ CORRECTION 3 _____

FINAL PLAN MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL

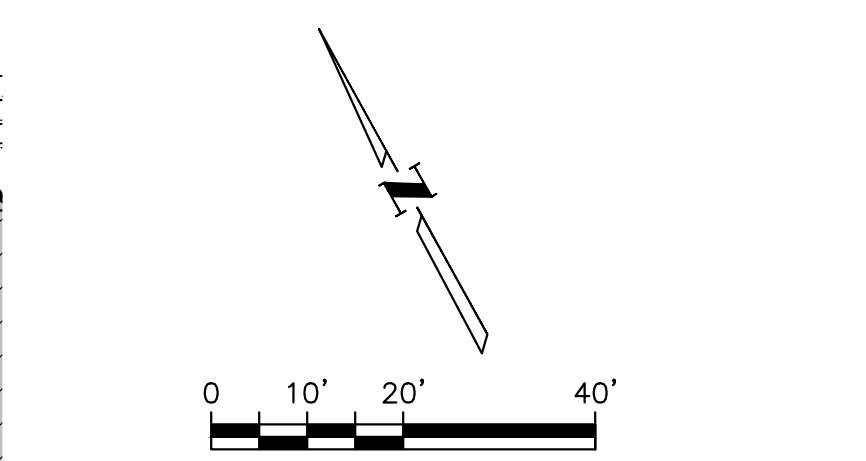
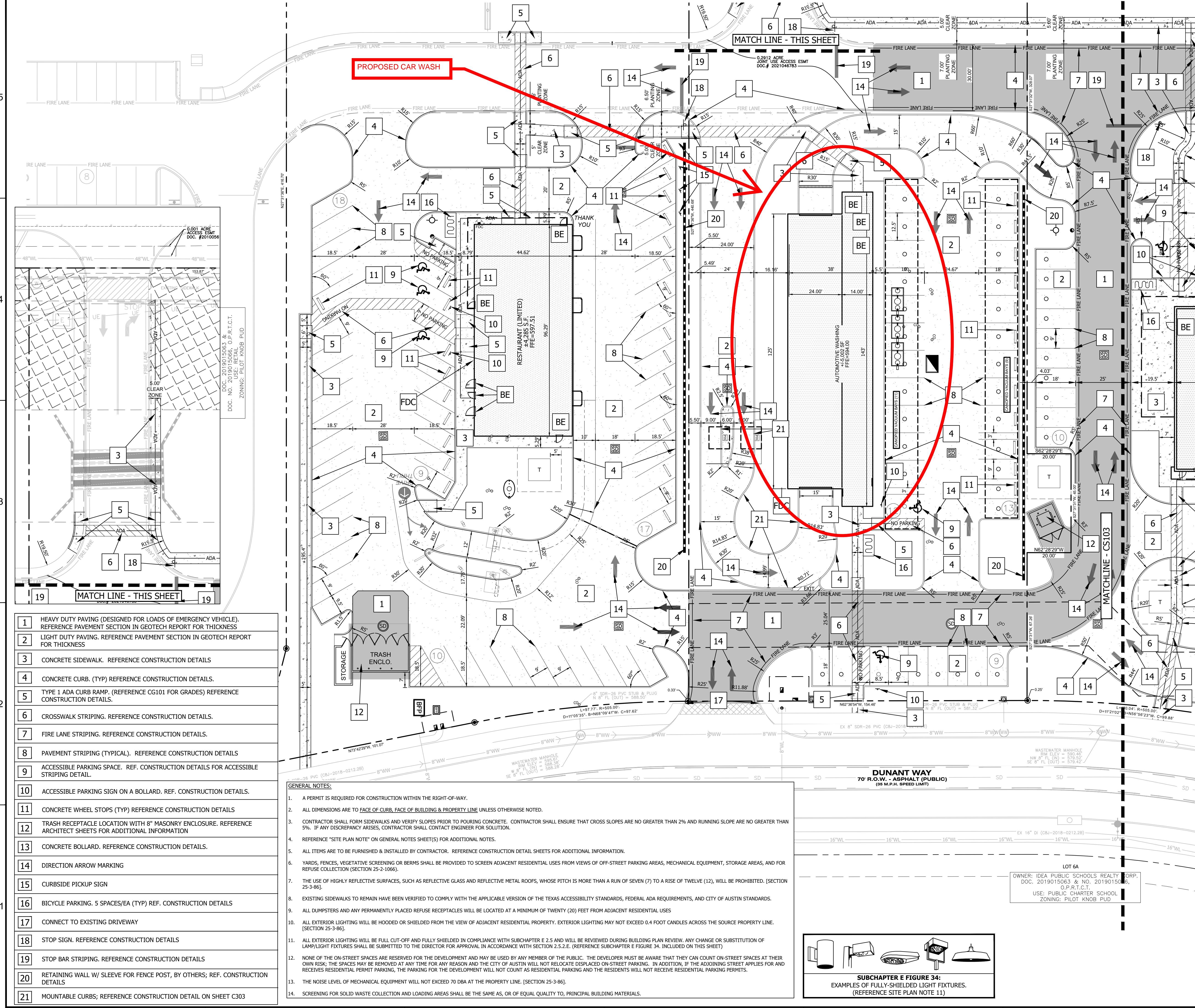
WGL
WGInc.com

EASTON PARK MIXED USE
7310 UNION PARK LN
AUSTIN, TRAVIS COUNTY, TEXAS

OVERALL SITE PLAN

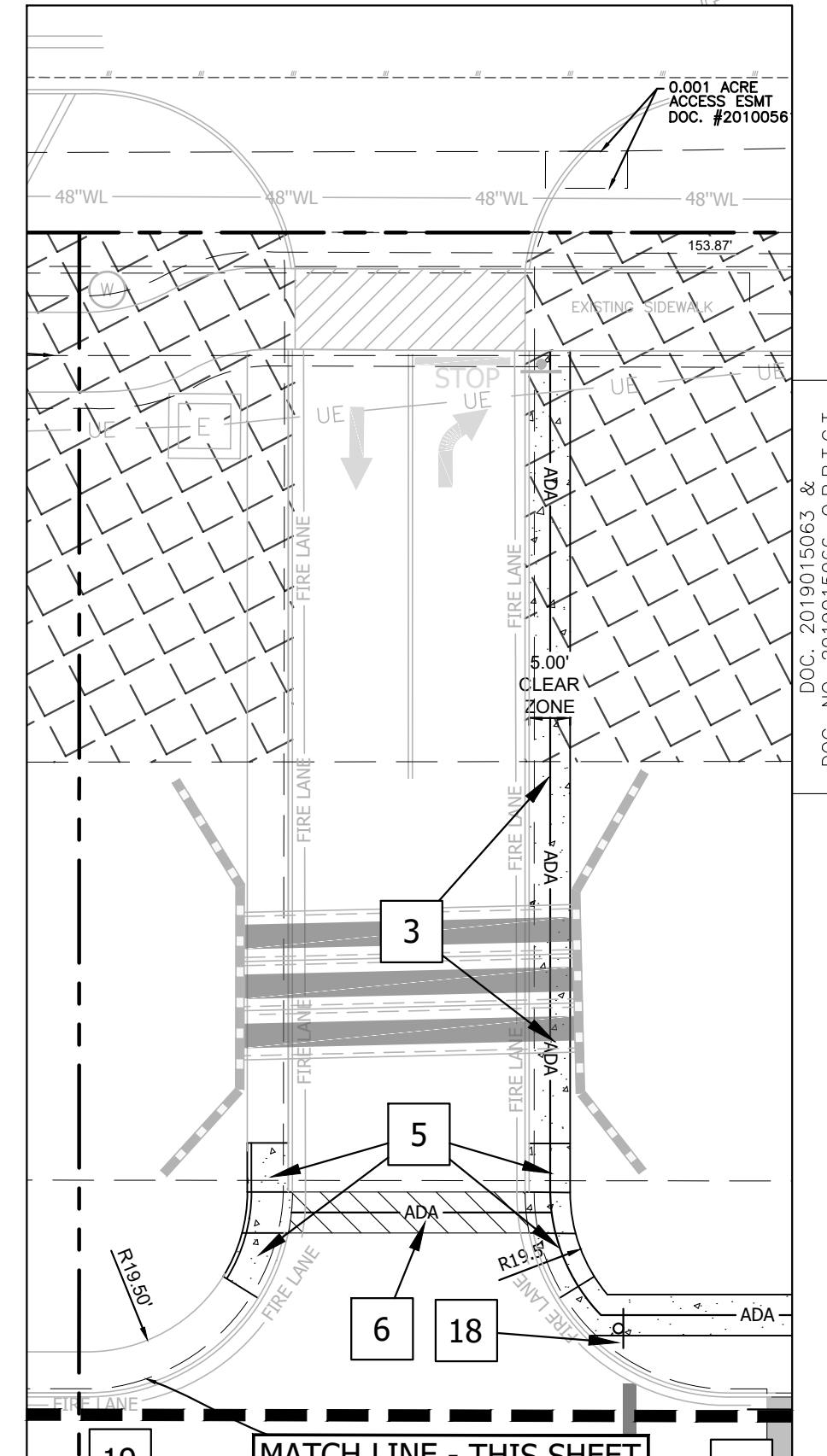
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SP-2021-0143C

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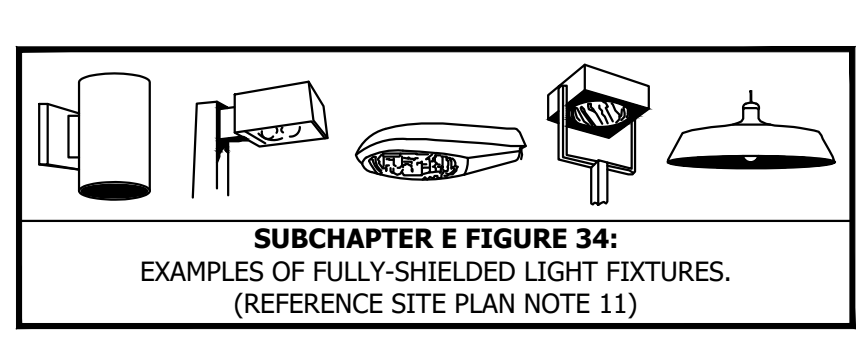
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	ELECTRIC TRANSFORMER PAD
	AIR CONDITIONER UNIT
	GAS METER
	WASTEWATER MANHOLE
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	OIL INTERCEPTOR
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	FIRE HYDRANT
	WATER MANHOLE
	BACKFLOW PREVENTER
	AIRWATER STATION
	STORM DRAINAGE INLET
	STORM DRAIN MANHOLE
	BUILDING ENTRANCE
	FIRE DEPARTMENT CONNECTION



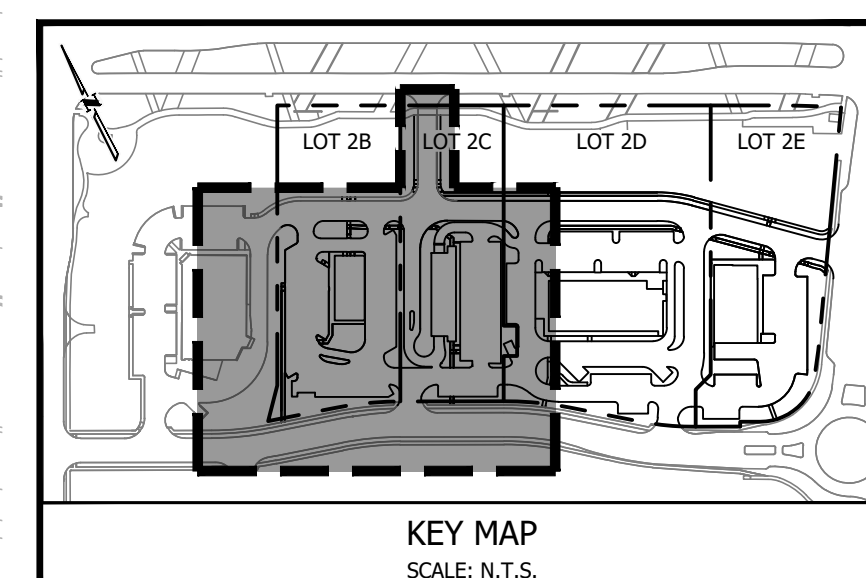
- 1 HEAVY DUTY PAVING (DESIGNED FOR LOADS OF EMERGENCY VEHICLE). REFERENCE PAVEMENT SECTION IN GEOTECH REPORT FOR THICKNESS
- 2 LIGHT DUTY PAVING. REFERENCE PAVEMENT SECTION IN GEOTECH REPORT FOR THICKNESS
- 3 CONCRETE SIDEWALK. REFERENCE CONSTRUCTION DETAILS
- 4 CONCRETE CURB. (TYP) REFERENCE CONSTRUCTION DETAILS.
- 5 TYPE 1 ADA CURB RAMP. (REFERENCE CG101 FOR GRADES) REFERENCE CONSTRUCTION DETAILS.
- 6 CROSSWALK STRIPING. REFERENCE CONSTRUCTION DETAILS.
- 7 FIRE LANE STRIPING. REFERENCE CONSTRUCTION DETAILS.
- 8 PAVEMENT STRIPING (TYPICAL). REFERENCE CONSTRUCTION DETAILS
- 9 ACCESSIBLE PARKING SPACE. REF. CONSTRUCTION DETAILS FOR ACCESSIBLE STRIPING DETAIL.
- 10 ACCESSIBLE PARKING SIGN ON A BOLLARD. REF. CONSTRUCTION DETAILS.
- 11 CONCRETE WHEEL STOPS (TYP) REFERENCE CONSTRUCTION DETAILS
- 12 TRASH RECEPTACLE LOCATION WITH 8" MASONRY ENCLOSURE. REFERENCE ARCHITECT SHEETS FOR ADDITIONAL INFORMATION
- 13 CONCRETE BOLLARD. REFERENCE CONSTRUCTION DETAILS.
- 14 DIRECTION ARROW MARKING
- 15 CURBSIDE PICKUP SIGN
- 16 BICYCLE PARKING. 5 SPACES/EA (TYP) REF. CONSTRUCTION DETAILS
- 17 CONNECT TO EXISTING DRIVEWAY
- 18 STOP SIGN. REFERENCE CONSTRUCTION DETAILS
- 19 STOP BAR STRIPING. REFERENCE CONSTRUCTION DETAILS
- 20 RETAINING WALL W/ SLEEVE FOR FENCE POST, BY OTHERS; REF. CONSTRUCTION DETAILS
- 21 MOUNTABLE CURBS; REFERENCE CONSTRUCTION DETAIL ON SHEET C303

GENERAL NOTES:

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- YARDS, FENCES, VEGETATIVE SCREENING OR BERMS SHALL BE PROVIDED TO SCREEN ADJACENT RESIDENTIAL USES FROM VIEWS OF OFF-STREET PARKING AREAS, MECHANICAL EQUIPMENT, STORAGE AREAS, AND FOR REFUSE COLLECTION (SECTION 25-2-1066).
- THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12), WILL BE PROHIBITED. [SECTION 25-3-88].
- EXISTING SIDEWALKS TO REMAIN HAVE BEEN VERIFIED TO COMPLY WITH THE APPLICABLE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS, FEDERAL ADA REQUIREMENTS, AND CITY OF AUSTIN STANDARDS.
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SUBCHAPTER E FIGURE 34:
EXAMPLES OF FULLY-SHIELDED LIGHT FIXTURES.
(REFERENCE SITE PLAN NOTE 11)



SITE PLAN APPROVAL SHEET 12 OF 32
 FILE NUMBER: SP-2021-0143C APPLICATION DATE: 04/21/2021
 APPROVED BY COMMISSION ON _____ UNDER SECTION 112 OF
 CHAPTER 25-5 OF THE CITY OF AUSTIN CODE. EXPIRATION DATE
 (25-5-81, LDC) _____ CASE MANAGER: R. ROUDA

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT
 RELEASED FOR GENERAL COMPLIANCE: _____ ZONING PUD

REV. 1 _____ CORRECTION 1 _____
 REV. 2 _____ CORRECTION 2 _____
 REV. 3 _____ CORRECTION 3 _____

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL

FIRM NO. F-15065

WGL
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512.688.5560

8/28/22

STATE OF TEXAS
SHAYNA R. JOHNSON
127381
LICENSED SURVEYOR

EASTON PARK MIXED USE
7310 UNION PARK LN
AUSTIN, TRAVIS COUNTY, TEXAS

PROJECT:

KEY MAP
SCALE: N.T.S.

SITE PLAN APPROVAL SHEET 12 OF 32

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING PUD

REV. 1 _____ CORRECTION 1 _____

REV. 2 _____ CORRECTION 2 _____

REV. 3 _____ CORRECTION 3 _____

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SHEET
CS102
12 OF 32
SP-2021-0143C

DETAILED SITE PLAN A

SHEET TITLE: