

OWNER/DEVELOPER

DRAFTLANDS, LLC. KEVIN BRAND 10121 THISTLE RIDGE AUSTIN, TX 78733

OWNER'S REP FOR PLAN ALTERATIONS

LAND PLANNER THROWER DESIGN RON THROWER P.O. BOX 41957 AUSTIN, TEXAS 78704 512.476.4456

CIVIL ENGINEER AMC DESIGN GROUP INC. CHRIS MCCOMB P.O. BOX 341555 AUSTIN, TEXAS 78734 512.385.2911

LANDSCAPE ARCHITECT THOMAS D. BROWN & ASSOC. TOM BROWN 2 DEPOT SQUARE, SUITE B AUSTIN, TEXAS 78621 512.328.3289

SURVEYOR CHAPARRAL ROBERT WATTS 3500 McCALL LANE AUSTIN, TEXAS 78744 512.443.1724

ANONYMOUS BREWERY

CONSOLIDATED SITE PLAN

4023 PROMONTORY POINT DRIVE

LEGAL DESCRIPTION

5,614 ACRES BEING ALL OF LOTS 9, 10 AND 11, BLOCK C, MISSOURI-PACIFIC INDUSTRIAL PARK, SECTION TWO, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 79, PAGE 268 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

RELATED CASE NO.

SUBDIVISION CB-69-121.01.2(80)

LOCATION INFO

GRID # J17 MAPSCO # 645

WATERSHED STATUS

THIS SITE IS LOCATED IN THE WILLIAMSON CREEK WATERSHED, WHICH IS CLASSIFIED AS SUBURBAN.

THIS SITE IS NOT LOCATED OVER THE EDWARD'S AQUIFER RECHARGE ZONE.

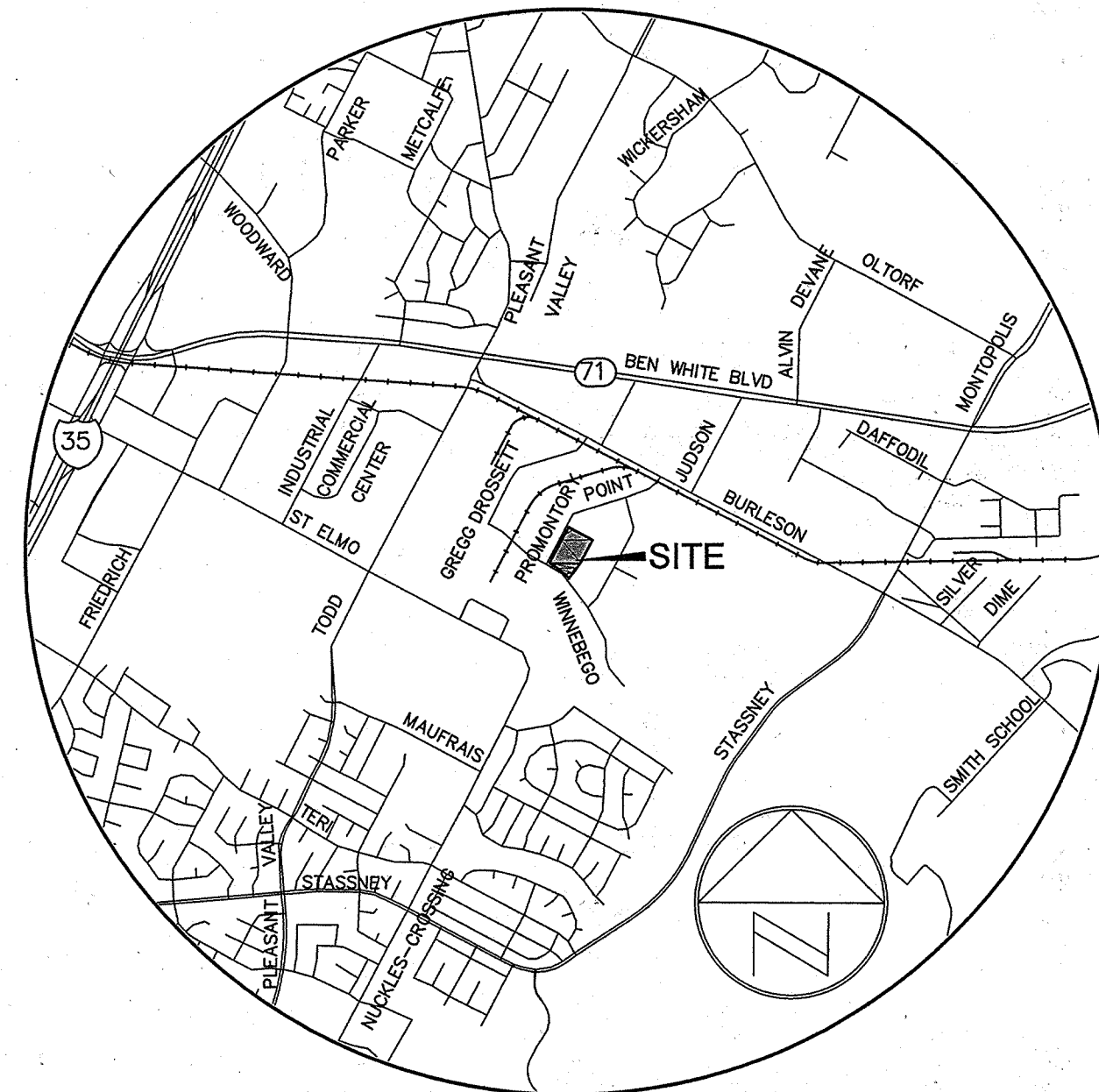
FLOODPLAIN INFORMATION

NO PORTION OF THIS SITE IS WITHIN THE 100 YEAR FLOODPLAIN AS PER FEMA FIRM PANEL 48453C0605J DATED JANUARY 6, 2016, FOR TRAVIS COUNTY, TEXAS.

GENERAL NOTES

- 1. REFER TO SHEET 2 FOR ALL CITY AND GENERAL CONSTRUCTION NOTES.
2. ALL DETENTION BASINS, WATER QUALITY PONDS, AND APPURTENANCES WHICH RECEIVE STORMWATER RUNOFF FROM COMMERCIAL OR MULTI-FAMILY DEVELOPMENT SHALL BE MAINTAINED BY THE RECORD OWNER IN ACCORDANCE WITH THE MAINTENANCE STANDARDS IN THE DRAINAGE AND ENVIRONMENTAL CRITERIA MANUALS.
3. THE DISTURBED AREAS WITHIN THIS PROJECT SHALL BE REVEGETATED AND ALL PERMANENT EROSION/ SEDIMENTATION CONTROLS COMPLETED PRIOR TO THE RELEASE OF FISCAL SURETY FOR THAT PHASE. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE ADJUSTED AS NEEDED PRIOR TO THIS RELEASE TO ENSURE THAT SUBSEQUENT PHASE DISTURBED AREAS ARE ADEQUATELY COVERED. ANY AREA WITHIN THE LIMIT OF DISTURBANCE OF THE PROJECT WHICH IS NOT ADEQUATELY REVEGETATED SHALL BE BROUGHT INTO COMPLIANCE PRIOR TO THE RELEASE OF THE FINAL PHASE.
4. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.
5. THE SITE IS COMPOSED OF 3 LOTS/TRACTS. IT HAS BEEN APPROVED AS ONE COHESIVE DEVELOPMENT. IF PORTIONS OF THE LOTS/TRACTS ARE SOLD, APPLICATION FOR SUBDIVISION AND SITE PLAN APPROVAL MAY BE REQUIRED. UDA PER DOC# 2017013073.
6. FOR MAINTENANCE OF THE DETENTION FACILITY, SEE AGREEMENT FILED IN DOC# 2017013073, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.

THIS NOTE IS BEING PLACED ON THE PLAN SET IN PLACE OF A TEMPORARY TRAFFIC CONTROL STRATEGY WITH THE FULL UNDERSTANDING THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER/ REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORDINANCE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW. THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION WHEN DEVELOPING FUTURE TRAFFIC CONTROL STRATEGIES:
\* PEDESTRIAN AND BICYCLE TRAFFIC ACCESS MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE AUTHORIZED BY RIGHT OF WAY MANAGEMENT.
\* NO LONG-TERM LANE CLOSURES WILL BE AUTHORIZED, UNLESS RIGHT OF WAY MANAGEMENT DETERMINES THAT ADEQUATE ACCOMMODATIONS HAVE BEEN MADE TO MINIMIZE TRAFFIC IMPACT.
\* PROJECT SHOULD BE PHASED SO THAT UTILITY INSTALLATION MINIMALLY IMPACTS EXISTING OR TEMPORARY PEDESTRIAN FACILITIES.



LOCATION MAP NOT TO SCALE

REVISIONS / CORRECTIONS

Table with 8 columns: No., Description, Revise (R) Add (A) Sheet No.'s, Total # Sheets in Plan Set, Net Change Imp. Cover, Site Imp. Cover, % Site Imp. Cover, Approved/Date. Row 1: Added sheets to bring project up to Austin Water current standards.

No connection may be made between private plumbing and Austin Water infrastructure until a City approved water meter has been installed. If water is needed during construction to provide for line flow, testing of fixtures, or any other City approved purpose, the contractor must make arrangements with the City of Austin Inspector responsible for the inspection of Austin Water infrastructure to have a meter installed. Once the City approved meter is installed, the applicant (who sought water service) will be billed for both water and wastewater service in accordance with the applicable rates and fees in effect during the time of service.

REVIEWED BY THE AUSTIN WATER UTILITY APPLIES ONLY TO FACILITIES WITHIN PUBLIC STREETS OR PUBLIC UTILITY EASEMENTS. ALL OTHER WATER AND WASTEWATER FACILITIES INSIDE PRIVATE PROPERTY ARE UNDER THE JURISDICTION OF BUILDING INSPECTION.

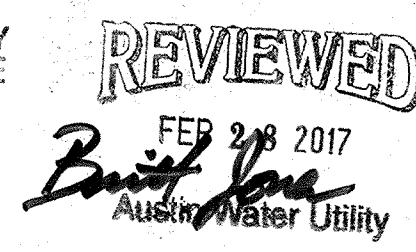
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN DOES NOT REMOVE THESE RESPONSIBILITIES.

ALL BRANCH CONNECTIONS SHALL HAVE THE VALVE BOLTED TO THE MAIN METHODS OF FLANG OR SWIVEL TEES. FOSTER ADAPTORS MAY BE USED IN LIEU OF FLANG OR SWIVEL TEES WHEN CALLED OUT ON PLANS BY DESIGN ENGINEER.

Inspection Notice: Please call Development Services Department, Site and Subdivision Inspection Division at 512.463.3262 for arrangements for payment of inspection fees and assignment for inspection of this project within 10 days of the site. Inspection fees must be paid before any pre-construction work can be held.

Meter Notice: Meters 1-1/2 inches and larger must be purchased and ordered 90 days in advance of installation.

AUSTIN WATER UTILITY EXPIRATION DATE FEB 28 2020



City of Austin Seal for General Compliance MAR 15 2017

SUBMITTAL DATE: JANUARY 13, 2016 SUBMITTED FOR APPROVAL BY:

CHRIS MCCOMB, P.E. DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

SHEET INDEX

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SHEET 3 SWPPP NOTES
SHEET 4 EXISTING CONDITIONS & DEMO PLAN
SHEET 5 PHASING PLAN
SHEET 6 SWPPP & TREE PROTECTION PLAN
SHEET 7 SITE PLAN
SHEET 8 GRADING PLAN
SHEET 9 EXISTING DRAINAGE PLAN
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APPROVALS

INDUSTRIAL WASTE 2/24/17
Home Energy 2/28/17
CITY OF AUSTIN FIRE DEPARTMENT

SOUTH (SO-1) 90 P.S.I. STATIC PRESSURE ZONE AREA

BUILDERS FOLIO 2/28/17
Austin Water Utility
MA Watts 3-15-12
DEVELOPMENT SERVICES DEPT.

BUILDING PERMITS ARE THE RESPONSIBILITY OF THE OWNER. ALL BUILDING PERMITS MUST BE OBTAINED PRIOR TO SITE PLAN EXPIRATION.

SECTION 608.2 OF THE LOCAL AMENDMENTS TO THE 2009 UNIFORM PLUMBING CODE REQUIRES A PRESSURE REDUCING VALVE IF THE LOCAL STATIC PRESSURE IS ABOVE 65 PSI.

DOMESTIC DEMAND FOR 2" METER 'A': 128 G.P.M. FOR 400 FIXTURE UNITS

DOMESTIC DEMAND FOR 2" METER 'B': 128 G.P.M. FOR 400 FIXTURE UNITS

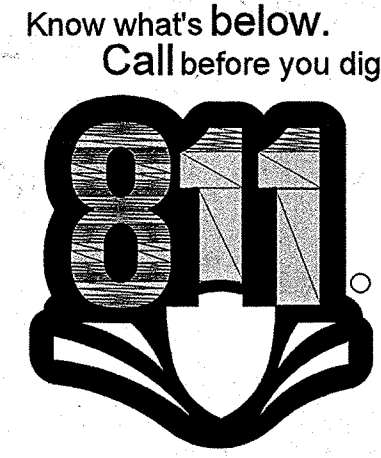
PROTECTED STREETS. PROTECTED STREET STATUS IS SUBJECT TO CHANGE OVER TIME. IT IS THE OWNER'S/ENGINEER OF RECORD'S RESPONSIBILITY TO CONFIRM THE STREET STATUS PRIOR TO CONSTRUCTION AS PROTECTED STREET STATUS WILL DIRECTLY IMPACT THE CONSTRUCTION COSTS. IF PROTECTED STREETS ARE PROPOSED TO BE DISTURBED, APPROVAL OF THE STREET AND BRIDGE DIVISION IS REQUIRED.

AUSTIN WATER SPECIAL SERVICES DIVISION (512) 972-1060. THIS PROJECT HAS 2 PRIVATE HYDRANTS LOCATED WITHIN THE PROPERTY. THE PROPERTY OWNER IS REQUIRED TO COMPLY WITH THE AUSTIN FIRE CODE. FAILURE TO COMPLY MAY RESULT IN CIVIL AND/OR CRIMINAL REMEDIES AVAILABLE TO THE CITY. THE PERFORMANCE OF THIS OBLIGATION SHALL ALWAYS REST WITH THE OWNER OF RECORD. FIRE HYDRANTS ON PRIVATE PROPERTY ARE REQUIRED TO BE SERVICED, MAINTAINED AND FLOWED ANNUALLY, USING A CONTRACTOR REGISTERED WITH THE CITY TO PROVIDE THE SERVICE.

FIRE FLOW DEMAND AS PER IFC 2012. REFERENCE CODE: 2012 IFC BUILDING TYPE II-B FULLY SPRINKLERED MAX BLDG SIZE = 30,450 SF BASE FIRE (PRE DEDUCTIONS)= 3750 G.P.M. NET FIRE (POST DEDUCTION)= 1875 G.P.M. THEREFORE, USE 1875 G.P.M. AS MINIMUM

FIRE FLOW RESULTS AS PER AFD DATE: 10/31/14. FLOW HYDRANT #189726 RESIDUAL HYDRANT #189182 STATIC PRESSURE: 90 P.S.I. RESIDUAL PRESSURE: 58 P.S.I. FLOW @ 20 P.S.I.: 2228 G.P.M.

SITE PLAN APPROVAL SHEET 1 OF 22. FILE NUMBER: SP-2016-0021C APPLICATION DATE: 1/13/16. APPROVED BY PLANNING COMMISSION ON 2-15-16 UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE. EXPIRATION DATE (25-5-61, LDC) 3-15-20. CASE MANAGER: C. BARTONSHAMER. PROJECT EXPIRATION DATE (ORD 822000-A) DWPZ DOZ. Director, Development Services Department. RELEASED FOR GENERAL COMPLIANCE: 3-15-12 ZONING: LI-NP



AMC DESIGN GROUP ENGINEERING AND CONSTRUCTION CONSULTANTS P.O. BOX 341555 AUSTIN, TEXAS 78734 512.385.2911 512.385.5400 FAX TEXAS REGISTERED ENGINEERING FIRM P-1708



Thrower Design LAND PLANNERS P.O. BOX 41957 • AUSTIN, TEXAS 78704 • (512) 476-4466

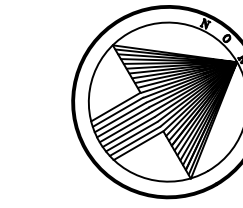
Table with 2 columns: NO, DESCRIPTION

ANONYMOUS BREWERY SITE PLAN 4023 PROMONTORY POINT DRIVE AUSTIN, TEXAS 78744

COVER SHEET

SHEET NO. 1 of 22

SP-2016-0021C



SCALE: 1" = 30'  
SCALE IN FEET  
30 15 0 30

**AMC DESIGN GROUP**  
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512-355-2919  
512-355-5400 FAX  
TEXAS REGISTERED ENGINEERING FIRM E-1706

LEGEND



SEQUENCE OF CONSTRUCTION

- PHASE 1**
1. INSTALL EROSION CONTROLS AND TREE PROTECTION PER APPROVED PLANS.
  2. PROVIDE 72-HOUR NOTIFICATION FOR EV INSPECTION (512-974-2278) AND EV REVIEWER PRIOR TO PRE-CONSTRUCTION CONFERENCE.
  3. HOLD PRE-CONSTRUCTION CONFERENCE.
  4. CLEAR AND GRUB AREA WITHIN PHASE 1 LIMITS.
  5. INSTALL PUBLIC WASTEWATER LINE CONNECTIONS WITHIN R.O.W. FOR BUILDING A.
  6. COMPLETE CONSTRUCTION OF DETENTION POND.
  7. GRADE SITE FOR PAVED AREAS.
  8. HOLD PRE-CONSTRUCTION CONFERENCE.
  9. FINISH GRADE THE SITE WITHIN THE PHASE LIMITS.
  10. HYDROMULCH OR SOD ALL DISTURBED AREAS WITHIN PHASE 1.
  11. COMPLETE PERMANENT EROSION CONTROL AND SITE RESTORATION.
  12. PROJECT ENGINEER SHALL WRITE A CONCURRENCE LETTER AND SCHEDULE A FINAL INSPECTION WITH EV INSPECTOR AND SITE/SUBDIVISION INSPECTOR PRIOR TO THE REMOVAL OF EROSION CONTROLS FOR PHASE 1.
  13. REMOVE TEMPORARY EROSION/SEDIMENTATION CONTROLS AND TREE PROTECTION PER EV INSPECTOR'S APPROVAL. RESTORE ANY AREAS DISTURBED DURING REMOVAL OF EROSION/SEDIMENTATION CONTROLS.
  14. PHASE 1 MUST BE COMPLETED PRIOR TO THE ISSUANCE OF CERTIFICATE OF COMPLIANCE OR OCCUPANCY FOR ANY OTHER PHASE.
- PHASE 2 & 3**
1. INSTALL EROSION CONTROLS AND TREE PROTECTION PER APPROVED PLANS.
  2. PROVIDE 72-HOUR NOTIFICATION FOR EV INSPECTION (974-2278) AND EV REVIEWER PRIOR TO PRE-CONSTRUCTION CONFERENCE.
  3. HOLD PRE-CONSTRUCTION CONFERENCE.
  4. CLEAR AND GRUB AREA WITHIN PHASE LIMITS.
  5. IT IS ASSUMED THAT THIS PHASE SHALL BE CONSTRUCTED AFTER PHASE 1 IS COMPLETE.
  6. GRADE SITE FOR PAVED AREAS.
  7. HOLD PRE-CONSTRUCTION CONFERENCE.
  8. HOLD PRE-CONSTRUCTION CONFERENCE.
  9. FINISH GRADE SITE WITHIN PHASE LIMITS.
  10. COMPLETE CONSTRUCTION OF PROJECT.
  11. HYDROMULCH OR SOD ALL DISTURBED AREAS, INSTALL LANDSCAPING AND CLEANUP SITE.
  12. COMPLETE PERMANENT EROSION CONTROL AND SITE RESTORATION.
  13. PROJECT ENGINEER SHALL WRITE A CONCURRENCE LETTER FOR EACH PHASE AND SCHEDULE A FINAL INSPECTION WITH EV INSPECTOR PRIOR TO THE REMOVAL OF EROSION CONTROLS.
  14. REMOVE TEMPORARY EROSION/SEDIMENTATION CONTROLS AND TREE PROTECTION PER EV INSPECTOR'S APPROVAL. RESTORE ANY AREAS DISTURBED DURING REMOVAL OF EROSION/SEDIMENTATION CONTROLS.



**Thrauer Design**  
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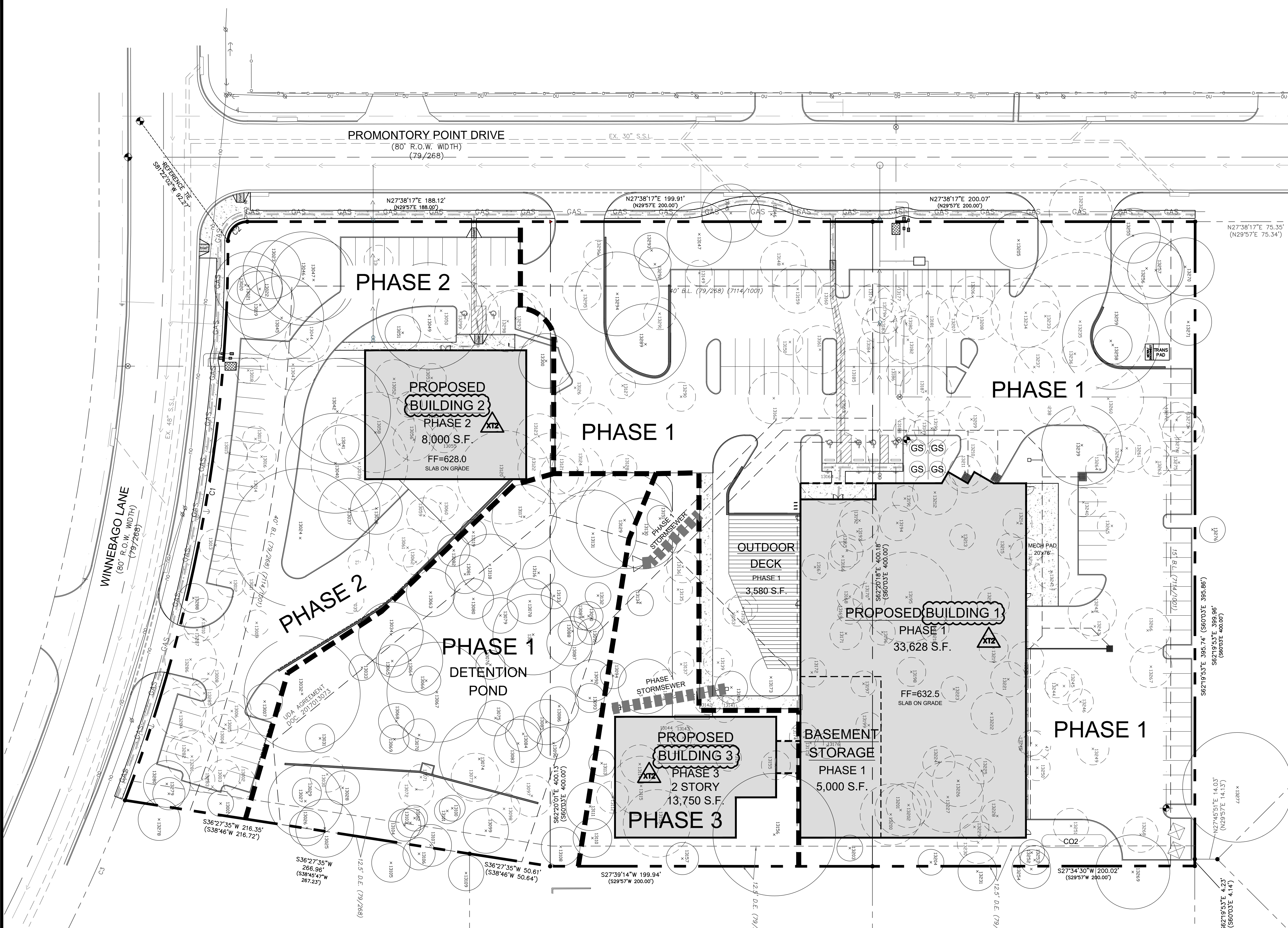
NO.	DATE	DESCRIPTION
1	6/3/22	UPDATED BUILDING ADDRESSES
2		
3		
4		
5		
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11		
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15		

**ANONYMOUS BREWERY SITE PLAN**  
4023 PROMONTORY POINT DRIVE  
AUSTIN, TEXAS 78744

PHASING PLAN

SHEET NO.  
**5** of 24

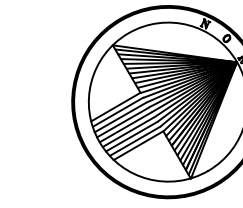
SP-2016-0021C



**SITE PLAN APPROVAL** SHEET \_\_\_ OF 24  
FILE NUMBER: SP-2016-0021C APPLICATION DATE: 1/13/16  
APPROVED BY PLANNING COMMISSION ON \_\_\_\_\_ UNDER SECTION \_\_\_\_\_ 112  
OF CHAPTER \_\_\_\_\_ 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81, LDC) \_\_\_\_\_ CASE MANAGER: C. BARTON+HOLMES  
PROJECT EXPIRATION DATE (ORD. #970905-A) \_\_\_\_\_ DWPZ \_\_\_\_\_ DDZ \_\_\_\_\_

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: LL-NP  
Rev. 1 \_\_\_\_\_ Correction 1  
Rev. 2 \_\_\_\_\_ Correction 2  
Rev. 3 \_\_\_\_\_ Correction 3

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



SCALE: 1" = 30'  
SCALE IN FEET  
30 15 0 30

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NO	DATE	DESCRIPTION
XT2	6/3/22	UPDATED BUILDING ADDRESSES

**ANONYMOUS BREWERY**  
**SITE PLAN**  
4023 PROMONTORY POINT DRIVE  
AUSTIN, TEXAS 78744

**SITE PLAN**

SHEET NO. **7** of 24

SP-2016-0021C

**NOTES**

- SITE NOTES:**
- PARKING SPACE DIMENSIONS: COA STANDARDS AS OUTLINED IN TRANSPORTATION CRITERIA MANUAL. PARKING SURFACE TO BE CONCRETE AND ASPHALT. SEE CONSTRUCTION DETAILS.
  - FOR DRIVEWAY CONSTRUCTION: THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF OR DAMAGE TO UTILITIES.
  - COORDINATE ALL CONSTRUCTION IN PRIVATE RIGHT-OF-WAY WITH OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
  - ALL DEMOLISHED MATERIALS ARE TO BE MOVED TO AN OFF-SITE LOCATION BY DEMOLITION CONTRACTOR.
  - THERE ARE NO OTHER STRUCTURES OR BUILDINGS WITHIN 50' OF THE LIMITS OF CONSTRUCTION OTHER THAN THOSE SHOWN.
  - ESTABLISH FIRE ZONES AS SHOWN ON SITE BY PAINTING GUTTER RED. STENCIL THE WORDS "FIRE ZONE/TOW-AWAY ZONE" IN WHITE LETTERS AT LEAST 3 INCHES HIGH AT 35' INTERVALS ALONG THE CURB OR PAVEMENT AS NOTED ON THE SITE PLAN.
  - GUARDRAILS ARE REQUIRED ON ALL STRUCTURES WHERE THE VERTICAL GRADE SURFACE IS GREATER THAN 30 INCHES ACCORDING TO THE UNIFORM BUILDING CODE. REFER TO ARCHITECTURAL PLANS FOR GUARDRAIL DESIGN AND LAYOUT.
  - COMPLIANCE WITH THE COMMERCIAL AND MULTI-FAMILY RECYCLING ORDINANCE IS MANDATORY FOR MULTI-FAMILY COMPLEXES AND BUSINESSES AND OFFICE BUILDINGS.
- ACCESSIBILITY NOTES:**
- WHEN MORE THAN ONE BUILDING OR FACILITY IS LOCATED ON A SITE, AT LEAST ONE ACCESSIBLE ROUTE MUST BE PROVIDED BETWEEN ACCESSIBLE ELEMENTS, FACILITIES AND BUILDINGS.
  - SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
  - ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
  - GROUND SURFACES ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM AND SLIP RESISTANT.
  - THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION IS 1:12. THE MAXIMUM RISE FOR ANY RAMP RUN IS 30 IN.
  - DETECTABLE WARNINGS FOR CURB RAMPS SHALL FOLLOW TDR TECHNICAL MEMORANDUM TM 08-01 AND HAVE TEXTURES CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN., A HEIGHT OF NOMINAL 0.2 IN. AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 IN. AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT OR DARK, OR DARK ON LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
  - ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH SLOPE NOT EXCEEDING 1:50.
  - ACCESSIBLE PARKING SPACES MUST BE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE BUILDING ENTRANCE. IN FACILITIES WITH MULTIPLE ACCESSIBLE BUILDING ENTRANCES WITH ADJACENT PARKING, ACCESSIBLE PARKING SPACES MUST BE DISPERSED AND LOCATED NEAR THE ACCESSIBLE ENTRANCES.
  - EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED" OR EQUIVALENT LANGUAGE, CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE THE GROUND SO THAT THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE. SEE SIGN DETAIL ON CONSTRUCTION DETAILS SHEET.
  - AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL, THERE MUST BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS MUST INDICATE THE DIRECTION TO AN ACCESSIBLE BUILDING ENTRANCE.
  - THE CONTRACTOR SHALL VERIFY ALL GRADES CONCERNING ACCESSIBLE ROUTES AND WALKWAYS PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL CONTACT THE ENGINEER 48 HOURS PRIOR TO CONCRETE PLACEMENT ON ALL ACCESSIBLE ROUTES AND WALKWAYS IN ORDER TO VERIFY FORM PLACEMENT, SLOPES AND GRADES.

**SITE CALCS**

LIMITS OF CONSTRUCTION =	5.383 ACRES = 234,500 S.F.
SITE AREA	5.614 ACRES = 244,528 S.F.
IMPERVIOUS COVER SUMMARY	4.491 ACRES = 195,022 S.F. 80%
ALLOWABLE IMPERVIOUS COVER	
EXISTING IMPERVIOUS COVER	142 S.F.
BUILDINGS	- S.F.
PARKING, DRIVES & WALKS	142 S.F. 0.06%
PROPOSED IMPERVIOUS COVER	
BUILDINGS	PHASE 1 PHASE 2 PHASE 3 TOTAL
DECK	30,913 8,000 7,175 46,088 S.F.
PARKING, DRIVES & WALKS @ 50%	1,790 1,300 1,300 4,390 S.F.
	67,120 28,011 2,636 97,767 S.F.
	99,823 36,011 8,811 144,645 S.F. 59.56%
BUILDING SUMMARY	
BUILDING SIZE =	35,450 8,000 13,750 57,200 S.F.
BUILDING COVERAGE =	30,913 8,000 7,175 46,088 S.F. 18.85%
BUILDING F.A.R. =	0.14 0.03 0.06 0.23:1
BUILDING HEIGHT =	30 30 30 30 FT.
BUILDING STORIES =	2 1 2
USE	PHASE 1 PHASE 2 PHASE 3 TOTAL
OFFICE	3,126 1,000 1,000 5,126 S.F. 8%
BEER SALES/ON-SITE CONSUMPTION	2,762 - - 2,762 S.F. 5%
WAREHOUSE, STORAGE, MANUF. (LIMITED)	32,740 7,000 12,750 52,490 S.F. 87%
	38,628 8,000 13,750 60,378 S.F.
PARKING SUMMARY	
REQUIRED PARKING	RATIO PHASE 1 PHASE 2 PHASE 3 TOTAL
OFFICE (ADMIN/BUSINESS)	11 4 4 19
BEER SALES/ON-SITE CONSUMPTION	100 28 28 156
WAREHOUSE, STOR. MANUF. (LIMITED)	33 7 13 52
	72 11 17 99 SPACES
CUMULATIVE TOTAL	72 83 100 255
HANDICAP SPACES	3 1 1 5
PROVIDED	PHASE 1 PHASE 2 PHASE 3 TOTAL
STANDARD SPACES	66 40 - 106
HANDICAP SPACES	4 2 - 6
	90 42 - 132 SPACES
CUMULATIVE TOTAL	90 132 132
LOADING SPACES	PHASE 1 PHASE 2 PHASE 3 TOTAL
REQUIRED	1 1 1 3
PROVIDED	12 1 - 13
BICYCLE SPACES - TYPE III	PHASE 1 PHASE 2 PHASE 3 TOTAL
REQUIRED @ 5% OR 5 (GREATER OF THE TW)	5 6 2 - 13
PROVIDED	6 2 - 8

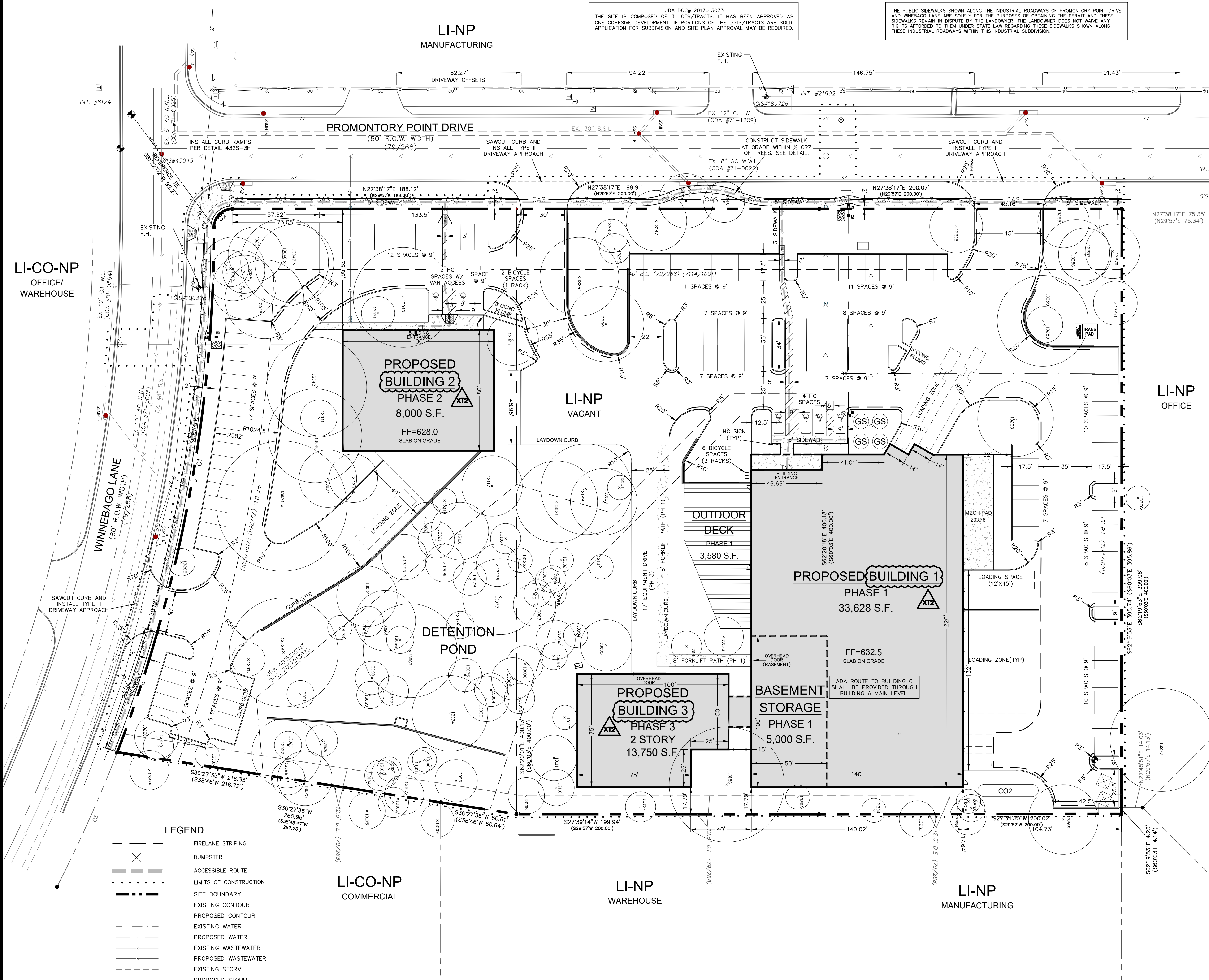
**SITE PLAN APPROVAL**

FILE NUMBER: SP-2016-0021C APPLICATION DATE: 1/13/16  
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Director, Development Services Department  
 RELEASED FOR GENERAL COMPLIANCE: \_\_\_\_\_ ZONING: LI-NP

Rev. 1 \_\_\_\_\_ Correction 1  
 Rev. 2 \_\_\_\_\_ Correction 2  
 Rev. 3 \_\_\_\_\_ Correction 3

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE. IF APPLICABLE, SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENT AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.



UDA DOC# 2017013073  
 THE SITE IS COMPOSED OF 3 LOTS/TRACTS. IT HAS BEEN APPROVED AS ONE COHESIVE DEVELOPMENT. PORTIONS OF THE LOTS/TRACTS ARE SOLD. APPLICATION FOR SUBDIVISION AND SITE PLAN APPROVAL MAY BE REQUIRED.

THE PUBLIC SIDEWALKS SHOWN ALONG THE INDUSTRIAL ROADWAYS OF PROMONTORY POINT DRIVE AND WINEBAGO LANE ARE SOLELY FOR THE PURPOSES OF OBTAINING THE PERMIT AND THESE SIDEWALKS REMAIN IN DISPUTE BY THE LANDOWNER. THE LANDOWNER DOES NOT WAIVE ANY RIGHTS AFFORDED TO THEM UNDER STATE LAW REGARDING THESE SIDEWALKS SHOWN ALONG THESE INDUSTRIAL ROADWAYS WITHIN THIS INDUSTRIAL SUBDIVISION.

**LEGEND**

	FIRELANE STRIPING
	DUMPSTER
	ACCESSIBLE ROUTE
	LIMITS OF CONSTRUCTION
	SITE BOUNDARY
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING WATER
	EXISTING WASTEWATER
	PROPOSED WATER
	PROPOSED WASTEWATER
	EXISTING STORM
	PROPOSED STORM
	TREE TO REMAIN

LI-CO-NP COMMERCIAL

LI-NP WAREHOUSE

LI-NP MANUFACTURING

**PROPOSED BUILDING 2**  
 PHASE 2  
 8,000 S.F.  
 FF=628.0  
 SLAB ON GRADE

**PROPOSED BUILDING 1**  
 PHASE 1  
 33,628 S.F.  
 FF=632.5  
 SLAB ON GRADE

**PROPOSED BUILDING 3**  
 PHASE 3  
 2 STORY  
 13,750 S.F.

**BASEMENT STORAGE**  
 PHASE 1  
 5,000 S.F.

**OUTDOOR DECK**  
 PHASE 1  
 3,580 S.F.

DETECTION POND

LI-NP VACANT

LI-NP OFFICE

LI-CO-NP OFFICE/ WAREHOUSE

LI-NP MANUFACTURING

PLANNING COMMISSION SITE PLAN EXTENSION  
REVIEW SHEET

CASE NUMBER: SP-2016-0021C(XT2)      PC COMMISSION DATE: October 25, 2022

PROJECT NAME: Anonymous Brewery – Site Plan Extension

ADDRESS: 4023 Promontory Point Drive

AREA: 5.614 acres

WATERSHED: Williamson Creek (Suburban)

COUNCIL DISTRICT: 2

JURISDICTION: Full Purpose

APPLICANT: Draftlands LLC  
Kevin Brand  
10121 Thistle Ridge  
Austin, Texas 78733

AGENT: AMC Design Group  
Chris McComb  
PO Box 341555  
Austin, Texas 78734

EXISTING ZONING: LI-NP

NEIGHBORHOOD PLANNING AREA: Southeast Combined NPA

PROPOSED DEVELOPMENT: Three buildings, including administrative office, warehouse, brewery, and on-site consumption functions, were proposed to be built within a larger industrial park. The project was approved under SP-2016-0021C and expired on March 15, 2020. An administrative extension was filed in February 2020, citing funding issues, and was approved, moving the expiration date to March 15, 2021. The Mayoral Covid order moved the expiration date again, however, no work was done on the site and a second extension request was filed February 5, 2021. The applicant has requested a ten-year Commission-approved extension.

STAFF RECOMMENDATION: Staff recommends a three-year extension to March 15, 2024. Staff typically recommends three-year extensions for commercial projects, and if additional time is needed, the applicant may apply for further extensions, and staff will review the project against code that is current at that time.

CASE MANAGER: Christine Barton-Holmes Telephone: 512-974-2788  
[christine.barton-holmes@austintexas.gov](mailto:christine.barton-holmes@austintexas.gov)

PREVIOUS APPROVALS: SP-2016-0021C, original site plan, and SP-2016-0021C(XT), administrative extension

PROJECT INFORMATION: 5.383acres

EXIST. ZONING: LI-NP

MAX. IMPERV. CVRG: 80%

REQ. PARKING: 99 spaces

PROP. IMP. CVRG: 145,645 sf (59.56%)

PROP. PARKING: 132 spaces

### A COMPARISON OF THE APPROVED PROJECT WITH CURRENT REGULATIONS

WATERSHED ORDINANCE: This project complies with current watershed regulations.

LAND USE: The site plan complies with all zoning regulations.

ENVIRONMENTAL: All environmental comments have been cleared.

TRANSPORTATION: All transportation comments have been cleared.

### SURROUNDING CONDITIONS:

Zoning/ Land Use

North: LI-NP (brewery)

South: LI-CO-NP (Industrial sales)

East: LI-NP (Distillery)

West: LI-NP (Government and industrial uses)

STREET:	R.O.W.	SURFACING	CLASSIFICATION
Promontory Point	varies (+/- 75')	varies (+/- 42')	Local City Street

### NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District

Austin Lost and Found Pets

Austin Neighborhoods Council

Del Valle Community Coalition

Dove Springs Proud

Friends of Austin Neighborhoods

Go Austin Vamos Austin

Homeless Neighborhood Association

Kensington Park Homeowners Association

Neighborhood Empowerment Found

Onion Creek Homeowners Association

SELTexas

Sierra Club, Austin Regional Group

Southeast Combined Neighborhood Plan Contact Team



AMC Design Group, Inc.  
P.O. Box 341555  
Austin, Texas 78734

Tel 512.385.2911  
chris@amcdesigngroup.com

February 20, 2020

Ms. Denise Lucas  
Director  
Development Services Department  
City of Austin  
P.O. Box 1088  
Austin, Texas 78767

RE: Anonymous Brewery  
Site Development Plan  
SP-2016-0021C XT1 (related changes underlined)

Ms. Lucas,

The owner's intentions for the development of the land encompassed within the limits of construction include the construction of a multi-phased commercial building project totaling 57,200 s.f., parking and access, site utility improvements and related site construction for this multi-phased project that was approved on March 15, 2017 as SP-2016-0021C. This development occurs on 5.614 total acres with 5.614 acres of Net Site Area available for development. We request an administrative extension to this approved site plan. The site is currently undeveloped and is located in Travis County.

The 5.614 acre project within the limits of construction is located on Promontory Point which is south of Burleson Road in the Missouri Pacific Industrial Park. The address is 4023 Promontory Point. The property is within the City of Austin full purpose zoning jurisdiction. No additional R.O.W. or public improvement is required for this development. The original site plan application was filed with the good faith expectation that the site plan would be constructed. At the time of this extension request, our client is actively working on closing his construction loan to get started on Phase 1. Because of these facts, the applicant has met the burden for obtaining an extension.

The development is contained within the Williamson Creek Watershed, which is classified as suburban. The site is not located over the Edwards Aquifer Recharge Zone. No portion of this site lies within the 100-year floodplain as per FIRM Map No. 48453C 0605 K dated January 22, 2020, for Travis County.

Page 2 of 2

The developed drainage area for the property is approximately 5.6 acres. There are 2.2 acres of off-site drainage to the northeast of the property. The combined drainage area is 7.8 acres and is designated Drainage Area A. Drainage for Drainage Area A includes property that is rectangular in shape and drainage within the property travels overland west to east towards an existing drainage easement. An on-site private detention pond is proposed for this development, and the pond structures were designed to comply with the 2-year detention element as required by the City of Austin Drainage Criteria Manual.

Water service shall be provided by the City of Austin. Water service for the site shall be from existing 12" main that runs within the adjacent Right of Way. This line will be connected with a 6-inch private fire line that will loop through the project boundary. From this service, fire, domestic, irrigation and process water connections will be made. Wastewater for the property shall be served by the City of Austin. Wastewater service for the site shall be from existing 8-inch and 10-inch gravity mains that run within the adjacent Public Right of Way. No other water and sewer improvements are required for this development.

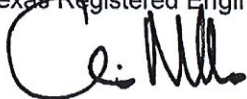
Refer to the attached Engineering and Drainage Study for all information concerning existing and proposed drainage.

An Environmental Resource Inventory report is not required for this watershed zone.

Please call or email if there are any questions. Thank you for a prompt turnaround.

Sincerely,

AMC Design Group, Inc.  
Texas Registered Engineering Firm F-1708



Christopher McComb, P.E.  
President



This report is released under the authority of  
Christopher McComb, P.E., on January 12, 2016  
And updated on February 20, 2020.